City of Fairhope
Planning Commission Agenda
5:00 PM
Council Chambers
November 4, 2024

Sherry Sullivan
Mayor

Council Members

Kevin G. Boone

Jack Burrell, ACMO

Jimmy Conyers

Corey Martin

Jay Robinson

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

1. Call to Order

2. Consent Agenda

Approval of Minutes - October 7, 2024

SD 21.43 Harvest Green East Phase 2 - Request of Applicant, S.E. Civil, LLC for a second extension of one-year for preliminary plat
SD 21.45 Harvest Green West Phase 2 - Request of Applicant, S.E. Civil, LLC for a second extension of one-year for preliminary plat
UR 24.09 Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 14,770 LF of buried fiber cable at 202 N. Summit Street.
UR 24.15 Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 6,871 LF of buried fiber cable at 9445 Valor Drive.
UR 24.17 Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 7,672 LF of buried fiber cable at 2 Hoffren Drive.
UR 24.18 Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 8,606 LF of buried fiber cable at 845 Summer Lake.

3. Regular Agenda

Old Business – No Old Business

New Business

A. **SR 24.05** Request of the Applicant, Jade Consulting, LLC on behalf of the Owner, Encounter Development, LLC, for Site Plan Approval of Encounter House Relocation – Lot 11. The property is approximately 1.02 acres and is zoned B-2 – General Business District. The property is located on the northeast corner of State Highway 181 and State Highway 104. **PPIN #: 108453**

161 North Section Street
P.O. Drawer 429
Fairhope, Alabama 36533
251-928-2136
251-928-6776 Fax
www.fairhopeal.gov

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B. **SD 24.23** Public hearing to consider the request of the Applicant, Sawgrass Consulting, LLC, on behalf of the Owner, Rockwell, LLC, for Final Plat Approval of Rockwell Place, a 252-unit Multiple Occupancy Project. The property is approximately 20.91 acres and is located on the east side of State Highway 181, south of the Harvest Green East Subdivision and across from The Waters Subdivision. **PPIN #: 14535**

C. Public hearing to consider the request from the City of Fairhope Planning and Zoning Department, for approval of Resolution 2024-02 for Comprehensive Plan 2024 approval.

4. Adjourn

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The Planning Commission met Monday, October 7, 2024, at 5:00 PM at the City Municipal Complex, 161 N. Section Street in the Council Chambers.

Present: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Erik Cortinas; Rebecca Bryant; Hunter Simmons, Planning and Zoning Director; Mike Jeffries, Development Services Manager; Michelle Melton, Planner; Chris Williams, City Attorney; and Cindy Beaudreau, Planning Clerk.

Absent: Jay Robinson, Clarice Hall-Black and Paul Fontenot

Chairman Turner called the meeting to order at 5:02 PM.

Approval of the Minutes September 5, 2024:
John Worsham made a motion to approve the minutes from September 5, 2024.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Erik Cortinas
ABSTAIN: Rebecca Bryant
NAY: None.

Chairman Turner stated that Item J on the agenda would not be discussed at this meeting and the Comprehensive Plan Discussion will be moved to the end of the agenda.

Old/New Business

- Election of Officers

John Worsham made a motion to nominate the current officers of: Lee Turner, Chair; Rebecca Bryant, Vice-Chair and Cindy Beaudreau, Secretary.

Harry Kohler seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Erik Cortinas; Rebecca Bryant
NAY: None.

- Approval of 2025 Meeting Schedule

Erik Cortinas made a motion to approve the 2025 meeting schedule.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Erik Cortinas; Rebecca Bryant
NAY: None.

Consideration of Agenda Items

A. UR 24.09 Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 14,770 LF of buried fiber cable at 202 N. Summit Street.

Summary: Hunter Simmons, Planning and Zoning Director, stated that staff has had an increase in calls and requested that C-Spire be responsible for their contractors. The contractors need to spend more time locating utilities in the ROWs. Mr. Simmons stated that staff is looking at implementing a consent agenda to be able to approve multiple UR cases with one vote. Mike Jeffries, Development Services Manager, presented the request of the Applicant, C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 14,770 LF of buried fiber cable at 202 N. Summit Street. Mr. Jeffries shared the zoning and aerial maps.

Staff recommends conditional approval of UR 24.09 subject to the following conditions:

1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
   a. An additional right-of-way permit may be required for the potholing procedures.
4. Follow-up activities below required by staff and the applicant:
   a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS Supervisor for inclusion in GIS utility maps as needed.
5. Provide draft door hanger for approval at time of pre-construction.
6. Approved door hangers shall be in place no later than **7 days** prior to construction.
7. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
8. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
9. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).
10. Utilities boxes shall be concentrated near existing boxes.
11. For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

Chairman Turner allowed the public to speak about these cases.

Bob Comstock, 114 N Bayview, is against adding a third internet provider stating there is no room in the ROW in front of his house. Mr. Comstock added that the subcontractors do not keep to the limits of daily installation and are consistently leaving a mess. Mr. Comstock requested that the work for UR 24.09 be placed on the north side of Oak Street.

Eric Zubler, 105 Powell Street, stated that his house was ruined due to the contracting hitting the sewer line near his house and the contractors had to remove a Japanese maple. Mr. Zubler does not want the neighborhood messed up again and asked that this project not be approved in the Bluffs neighborhood.

Mr. Simmons stated he will pass these comments along to the ROW Inspector.

Chris Williams stated that the Planning Commission has the purview to review the location, character and extent of the utility infrastructure.

Erik Cortinas has two ROW Inspectors, a Utility Inspector who can coordinate with Jamie Rollins, Horticulturist, so more people can keep track of the project.

Rebecca Bryant stated that she has not seen oversight for the trees in the field.

Mr. Simmons stated that this case could be tabled so more information can be requested from C-Spire.

John Worsham made a motion to table UR 24.09 until the November Planning Commission meeting.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Erik Cortinas; Rebecca Bryant
NAY: None.

B. UR 24.10 Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 27,968 LF of buried fiber cable at 818 Fairhope Avenue.

Summary: Mike Jeffries, Development Services Manager, presented the request of the Applicant, C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 27,968 LF of buried fiber cable at 818 Fairhope Avenue. Mr. Jeffries shared the zoning and aerial maps.

Staff recommends conditional approval of UR 24.10 subject to the following conditions:

1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
    a. An additional right-of-way permit may be required for the potholing procedures.
4. Follow-up activities below required by staff and the applicant:
    a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS Supervisor for inclusion in GIS utility maps as needed.
5. Provide draft door hanger for approval at time of pre-construction.
6. Approved door hangers shall be in place no later than **7 days** prior to construction.
7. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
8. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
9. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).
10. Utilities boxes shall be concentrated near existing boxes.
11. For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

Erik Cortinas made a motion to approve UR 24.10 with staff recommendations.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Erik Cortinas; Rebecca Bryant
NAY: None.

C. UR 24.11 Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 3,172 LF of buried fiber cable at 9051 Feather Trail.

Summary: Mike Jeffries, Development Services Manager, presented the request of the Applicant, C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 3,172 LF of buried fiber cable at 9051 Feather Trail. Mr. Jeffries shared the zoning and aerial maps.

Staff recommends conditional approval of UR 24.11 subject to the following conditions:

1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
    a. An additional right-of-way permit may be required for the potholing procedures.
4. Follow-up activities below required by staff and the applicant:
    a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS Supervisor for inclusion in GIS utility maps as needed.
5. Provide draft door hanger for approval at time of pre-construction.
6. Approved door hangers shall be in place no later than **7 days** prior to construction.
7. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
8. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
9. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).
10. Utilities boxes shall be concentrated near existing boxes.
11. For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

John Worsham made a motion to approve UR 24.11 with staff recommendations.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Erik Cortinas; Rebecca Bryant
NAY: None.

D. UR 24.12 Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 4,837 LF of buried fiber cable at 102 Majors Run.

Summary: Mike Jeffries, Development Services Manager, presented the request of the Applicant, C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 4,837 LF of buried fiber cable at 102 Majors Run. Mr. Jeffries shared the zoning and aerial maps.

Staff recommends conditional approval of UR 24.12 subject to the following conditions:

1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
   a. An additional right-of-way permit may be required for the potholing procedures.
4. Follow-up activities below required by staff and the applicant:
   a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS Supervisor for inclusion in GIS utility maps as needed.
5. Provide draft door hanger for approval at time of pre-construction.
6. Approved door hangers shall be in place no later than **7 days** prior to construction.
7. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
8. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
9. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).
10. Utilities boxes shall be concentrated near existing boxes.
11. For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

John Worsham made a motion to approve UR 24.12 with staff recommendations.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Erik Cortinas; Rebecca Bryant
NAY: None.

E. UR 24.13 Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 9,533 LF of buried fiber cable at 8933 Nichols Avenue.

Summary: Mike Jeffries, Development Services Manager, presented the request of the Applicant, C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 9,533 LF of buried fiber cable at 8933 Nichols Avenue. Mr. Jeffries shared the zoning and aerial maps.

Staff recommends conditional approval of UR 24.13 subject to the following conditions:

1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
   a. An additional right-of-way permit may be required for the potholing procedures.
4. Follow-up activities below required by staff and the applicant:
   a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS Supervisor for inclusion in GIS utility maps as needed.
5. Provide draft door hanger for approval at time of pre-construction.
6. Approved door hangers shall be in place no later than **7 days** prior to construction.
7. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
8. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
9. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).
10. Utilities boxes shall be concentrated near existing boxes.
11. For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

John Worsham made a motion to approve UR 24.13 with staff recommendations.

Harry Kohler seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Erik Cortinas; Rebecca Bryant
NAY: None.

F. UR 24.14 Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 4,777 LF of buried fiber cable at 120 Stratford Street.

Summary: Mike Jeffries, Development Services Manager, presented the request of the Applicant C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 4,777 LF of buried fiber cable at 120 Stratford Street. Mr. Jeffries shared the zoning and aerial maps.

Staff recommends conditional approval of UR 24.14 subject to the following conditions:

1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
   a. An additional right-of-way permit may be required for the potholing procedures.
4. Follow-up activities below required by staff and the applicant:

a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS Supervisor for inclusion in GIS utility maps as needed.

5. Provide draft door hanger for approval at time of pre-construction.
6. Approved door hangers shall be in place no later than **7 days** prior to construction.
7. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
8. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
9. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).
10. Utilities boxes shall be concentrated near existing boxes.
11. For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

John Worsham made a motion to approve UR 24.14 with staff recommendations.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Erik Cortinas; Rebecca Bryant
NAY: None.

G. SR 24.03 Request of the Applicant, Jade Consulting, LLC on behalf of the Owner, Encounter Development, LLC, for Site Plan Approval of Sherwin Williams. The property is approximately 0.894 acres and is zoned B-2 – General Business District. The property is located on the northeast corner of State Highway 181 and State Highway 104. **PPIN #: 108453**

Summary: Michelle Melton, City Planner, presented the request of the Applicant, Jade Consulting, LLC on behalf of the Owner, Encounter Development, LLC, for Site Plan Approval of Sherwin Williams. The property is approximately 0.894 acres and is zoned B-2 – General Business District. Ms. Melton shared the zoning and aerial maps.

Staff recommends approval of SR 24.03 to the City Council.

Paul Marcinko, Jade Consulting, stated that the apron on the east side is not needed and it could be added later if necessary.

Chairman Turner asked what the apron would be used for. Mr. Simmons stated that some lots 2-6 in the Encounter Development have a limit of 3 entrances to Bushell Drive. There is no requirement to install the apron but if the apron is removed, staff would require a revised landscape plan prior to taking to the City Council.

Rebecca Bryant made a motion to recommend SR 24.03 to City Council with the following condition:

1. The apron can be removed and a revised landscape plan to be received prior to taking to the City Council.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Erik Cortinas; Rebecca Bryant
NAY: None.

H. SR 24.04 Request of the Applicant, S.E. Civil on behalf of the Owner, FST Fargason, Peter, for Site Plan Approval of Aubergine. The property is approximately 0.10 acres and is zoned B-2 – General Business District. The property is located at 315 De La Mare Avenue #A. **PPIN #: 68209**

Mike Jeffries, Development Services Manager, presented the request of the Applicant, S.E. Civil, on behalf of the Owner, FST Fargason, Peter, for Site Plan Approval of Aubergine. The property is approximately 0.10 acres and is zoned B-2 – General Business District. The property is located at 315 De La Mare Avenue #A. Mr. Jeffries shared the plat and site data. Mr. Jeffries stated that the existing building footprint would remain the same, only the second floor is being added.

Staff recommends approval of SR 24.04 to the City Council with the following condition:

1. Draft and record in Baldwin County Probate an ingress/egress/utility easement from John Bethea and provide a recorded copy of said easement to Planning & Zoning prior to applying for a permit.

Mr. Cortinas asked about the fire flow. Since this was done during the City's water conservation period, how long ago was the fire flow completed.

Larry Smith, S.E. Civil, stated that it is about a year and a half old, but due to the improvements in that area, the fire flow should be even better now.

Chairman Turner asked if when the original building was built, was there a plan to add another story. Mac Walcott, WAV Architects, stated that the front portion of the building is designed for a second story and the back will be beefed up to allow for the second story.

John Worsham made a motion to recommend SR 24.04 to City Council with staff recommendations.

Rebecca Bryant seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Erik Cortinas; Rebecca Bryant
NAY: None.

I. SD 24.22 Public hearing to consider the request of the Applicant, S.E. Civil, on behalf of the Owner, FST Fargason, Peter, for preliminary plat approval of Aubergine, a 4-unit multiple occupancy project. The property is zoned B-2, General Business District. The property is approximately 0.10 acres and is located at 315 De La Mare Avenue #A. **PPIN #: 68209**

Mike Jeffries, Development Services Manager, presented the request of the Applicant, S.E. Civil, on behalf of the Owner, FST Fargason, Peter, for preliminary plat approval of Aubergine, a 4-unit multiple occupancy project. The property is zoned B-2, General Business District. The property is approximately 0.10 acres and is located at 315 De La Mare Avenue #A. Mr. Jeffries shared the zoning and aerial maps.

Staff recommends approval of SD 24.22 with the following conditions:

1. Draft and record in Baldwin County Probate an ingress/egress/utility easement from John Bethea and provide a recorded copy of said easement to Planning & Zoning prior to applying for a permit.
2. Approval of Site Plan Review by City Council.

Chairman Turner opened the public hearing at 5:48pm. Having no one present to speak, the public hearing was closed at 5:48pm.

Hollie MacKellar made a motion to recommend SD 24.22 with staff recommendations.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Erik Cortinas; Rebecca Bryant
NAY: None.

J. SD 24.21 Public hearing to consider the request of the City of Fairhope's Planning and Zoning Department to accept Resolution 2024-01 for various proposed amendments to Article IV of the City of Fairhope's Subdivision Regulations.

This item was delayed until the November Planning Commission meeting.

K. ZC 24.06 Public hearing to consider the request of the Applicant, S.E. Civil, on behalf of the Owner, 181 Fairhope Ave 2023, LLC, to rezone property from PUD, Planned Unit Development to PUD, Planned Unit Development – Mixed Use, to be known as Eastlake Village. The property is approximately 75.73 acres and is located at 20741 State Highway 181. **PPINS #: 236701, 24160, 316793**

Hunter Simmons, Planning and Zoning Director, presented the request of the Applicant, S.E. Civil, on behalf of the Owner, 181 Fairhope Ave 2023, LLC, to rezone property from PUD, Planned Unit Development to PUD, Planned Unit Development – Mixed Use, to be known as Eastlake Village. The property is approximately 75.73 acres and is located at 20741 State Highway 181. Mr. Simmons shared the zoning and aerial maps. Mr. Simmons shared locations in the City of "Village Nodes" and Place Types maps and explained that the 2016 Comprehensive Plan shows the intersection of Fairhope Avenue and Highway 181 is a proposed "Village Node" with the standards for that type of development. Mr. Simmons then explained the differences between a Village Districts (CVC, VRM) vs. a Planed Unit Development (PUD) and stated that the Village Districts meets Fairhope regulations. Mr. Simmons shared the building height plan and where many of these buildings exceed the building height requirements. As proposed, this development would require many exceptions and described some of these exceptions. Mr. Simmons then discussed the current inconsistencies comparing the recommended guidelines and the proposed guidelines as submitted.

Staff recommends denial of ZC 24.06.

Drew Dolan, 68 Ventures, stated that their vision is to create a village center mixed-use master plan and explained the project layout and design. Mr. Dolan shared a slide show and video presentation.

Jared Calhoun, Nequette Architecture and Design, 227 2nd Avenue N, Birmingham, stated that this plan is community focused with a variety of housing options and how the different user groups support this type of community. Mr. Calhoun shared the zoning diagram that shows a combination of a village residential mix and a community village center. Mr. Calhoun then addressed some of the inconsistencies that were stated earlier and explained the reasoning for the density, building heights, setback/lot size and parking deviations in the development.

Mr. Worsham stated that the division into CVC and VRM looks arbitrary. Mr. Calhoun stated that he was working to concentrate the commercial node at the intersection of Fairhope Avenue and Highway 181 to catch the street end and the rest was based on uses and distribution on site. Mr. Worsham stated that the divisions do not match up with the phasing and asked if that was a way to get around the density requirements for a VRM. Mr. Calhoun stated that may change the density category in the VRM and the mix of uses and how he was working to keep the single-family, detached and townhomes in the VRM and the townhomes are accommodated in both districts. Anything that had commercial space would need to be placed in the CVC.

Chairman Turner opened the public hearing at 6:39pm.

Mac Walcott, 233 Live Oak Street, stated that he is fascinated with the quality and intent of this development and approves of the project.

The public hearing was closed at 6:41pm.

Chairman Turner does not have issues with the plan overall, but is concerned with Statement F, that states the intent to sell and would like a guarantee for the details shown in the project. Mr. Turner would like the developer to work more with staff on a guarantee for the details.

Mr. Worsham agrees with Mr. Turner.

Ms. MacKellar agrees and would like the details in writing.

Rebecca Bryant is concerned for future owners and asked if this is a Village District or a PUD. Ms. Bryant stated that she would like it to be a Village District.

Mr. Cortinas loves the concept and asked how easy it would be to make a quick guess of the water usage that will be required for this development. Mr. Cortinas shared the improvements to the City water system and would not like to lose it all to a single development.

Mr. Dolan believes that the design book included with the packet would govern the architecture, and that phase 1 will be the infrastructure and phase 2 will be the multifamily which will include 35 – 40K square feet of commercial. Mr. Dolan addressed the Village District vs. a PUD and stated that this development is a PUD and how the design book with the guidelines will be followed.

Mr. Dolan requested that the Planning Commission table the project to meet with staff. Mr. Turner shared his interest in attending the meeting once it is scheduled. Mr. Simmons added that the guidelines have good components to them with architectural designs, but the guidelines are not referenced. Mr.

Simmons stated that the dimensions and space break-up should be included. Mr. Simmons is concerned with setting a building height precedent in the future.

John Worsham made a motion to table ZC 24.06 until the December Planning Commission meeting.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Erik Cortinas; Rebecca Bryant
NAY: None.

Old/New Business (Cont'd)

- Comprehensive Plan Discussion

Mr. Simmons, Planning and Zoning Director, stated that due to the RESTORE project and deadline, staff plans to bring the 2024 Comprehensive Plan to the Planning Commission at the November meeting.

Mr. Cortinas shared some concerns related to:

- Flood zones and setbacks around flood plains. The City prohibits habitable buildings in floodways. There are guidelines for new developments in and around floodplains currently listed in the Flood Damage Prevention Ordinance.
- Design standards discuss a Technical Design Review Committee and if the City is looking to create that committee. Mr. Simmons stated that there is a potential for a committee that would review signage, historic buildings, etc. and be a recommendation rather than a regulatory committee.
- Bioswales, permeable pavement and bioretention are addressed in the City Building Code Supplement. Mr. Cortinas does not want the Comprehensive Plan to conflict with them.
- The Historic Preservation section is being addressed now with the creation of the City Historic Preservation Commission.
- Encourage the development of private paved parking. Mr. Cortinas's first thought was the customer cost of private paved parking. Mr. Simmons stated that these are options that developers can look at when considering a project. Mr. Cortinas is concerned that developers will build a lot of parking lots rather than buildings just to make money.
- The regulation of LSVs and where they are allowed. Mr. Cortinas stated his willingness to help write that ordinance.
- Coordinating with Baldwin County Board of Education. Mr. Cortinas stated that the developer should be required to get a letter from them acknowledging they are aware of new developments. Mr. Simmons stated that staff has a good working relationship with them, but the timeframes are sometimes hard to work with.
- Allowing ADUs. Mr. Cortinas added that he has received many calls from residents about family wanting to move adult children and/or parents that need care onto their property. Mr. Simmons stated that the City may be able to try it in some areas.
- Disallowing single-family attached and duplexes broadly across the CBD. Mr. Cortinas suggested limiting the size of them. Mr. Simmons stated that the challenge is when someone builds a house in the CBD and then complains about the noise and traffic in the area.

Adjournment
Erik Cortinas made a motion to adjourn.

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Erik Cortinas; Rebecca Bryant
NAY: None.

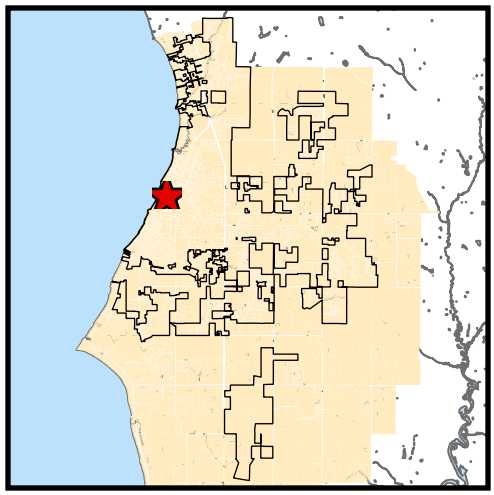
Adjourned at 7:24pm.

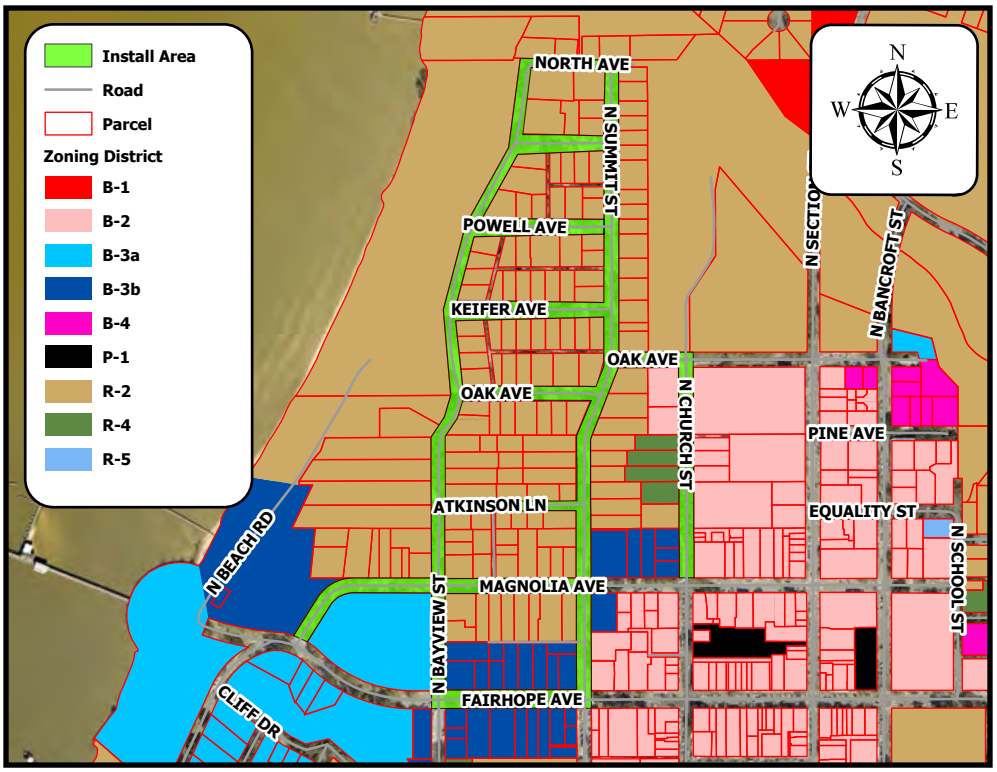
_____ _____
Lee Turner, Chairman Cindy Beaudreau, Secretary

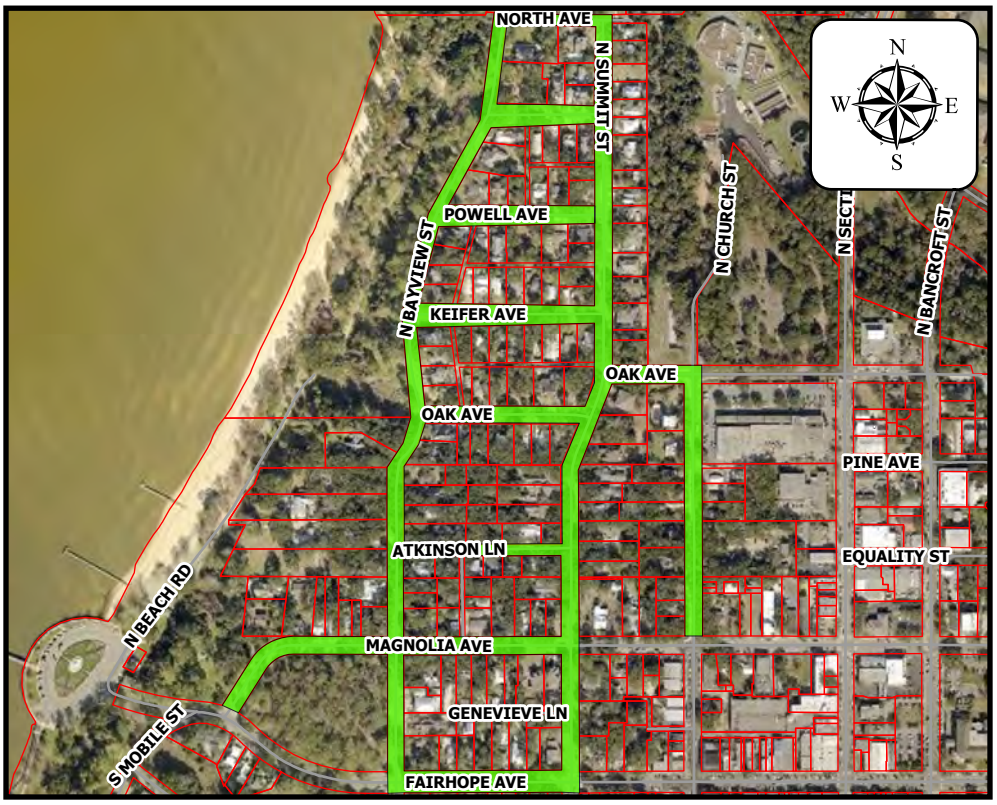
This digital package has been condensed for size and some documents may not contain all the original pages. All submittals were reviewed in full by staff in preparation for the reports prepared for the Planning Commission.

City of Fairhope
Planning Commission
November 04, 2024

UR 24.09 - 202 N Summit Street (C-Spire)

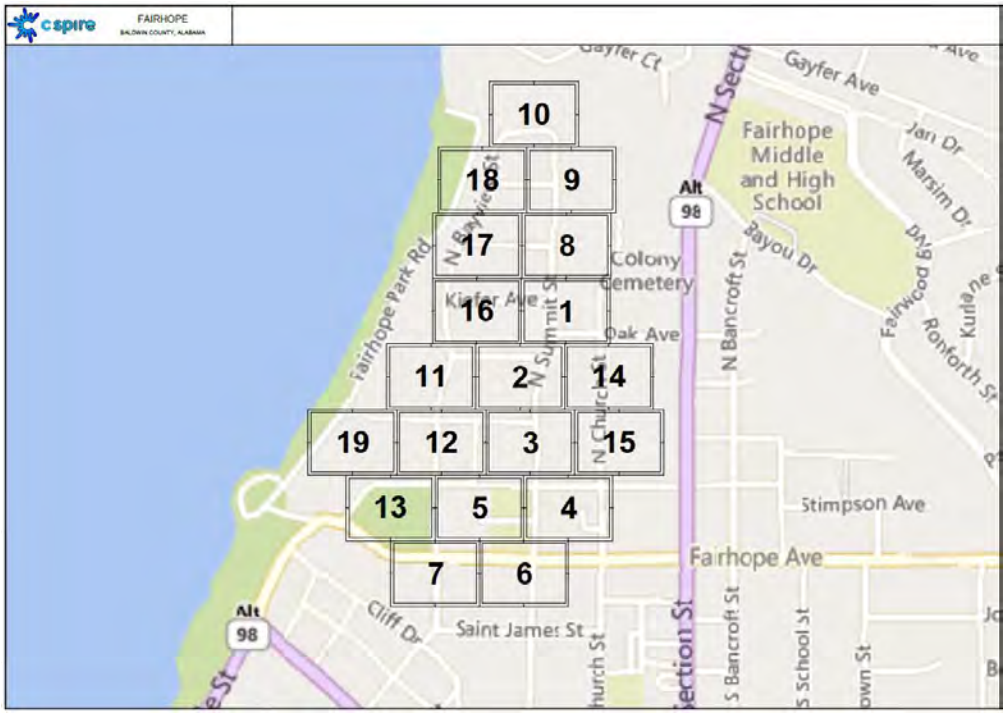






Project Name:
202 N Summit Street (C-Spire)
Site Data:
14,770 Linear Feet
Project Type:
Installation of Buried Fiber Cable
Jurisdiction:
Fairhope Planning Jurisdiction
Zoning District:
R-2
PPIN Number:
N/A
General Location:
North Avenue, traveling South to Fairhope Avenue
Surveyor of Record:
C-Spire
Engineer of Record:
C-Spire
Owner / Developer:
C-Spire
School District:
Fairhope Elementary School Fairhope Middle and High Schools
Recommendation:
Approved w/ Conditions
Prepared by:
Chris Ambron

Summary of Request: Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately **14,770 ft directional bore buried fiber** along routes outlined on the below location map.



1. Citizen Communication & Notification

- Provide Door Hangers at preconstruction meetings which shall be approved prior to distribution and work.
- Use of portable A-frame style signage at the entrance and exit of work sites.
- Applicant shall dedicate a Point of Contact to answer citizens questions.

2. Permitting, Locating & Phasing

- Subsurface Utility Engineering may be required for sensitive locations within the city as required by the ROW supervisor.
- An additional right-of-way permit may be required for the potholing procedures needed for SUE.
- A traffic control plan shall be submitted with all permits that affect the flow of traffic.
- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department. Permit not valid until approved and paid for on Citizen Serve online portal.
- The City's ROW inspector is to be notified 24 hours prior to any activity within the ROW. The prior notice applied to all activity within the ROW including but not limited to trenching, boring, concrete placement.
- Hand holes/boxes shall not be allowed to be installed in sidewalks. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate with the ROW inspector to resolve any conflicts.
- The applicant shall contact Alabama One Call 811 to locate all existing utilities in the ROW (750 LF maximum daily allocation for COF utility locates per day).
- A phasing plan must be submitted with the permit to alleviate confusion for locating.
- A pre-construction meeting shall be held with the City prior to issuance of any permits.

3. Construction

- A minimum horizontal clearance (separation) of 36" must be maintained from water, sewer, gas, stormwater, and other city utility infrastructure.
- A minimum depth for all telecommunication lines shall be 30".
- Conduit shall match the 811-color code for communication, electric, gas etc. No blue/blue striped conduit is to be used for telecommunications.
- The contractor responsible for *excavating inside right of way will be required to provide video documentation of the integrity of any sanitary sewer line (including laterals) within 3 feet of work being performed. This can be videoed prior to work being performed if locations, including depths, are clearly established by contractor, and said work is not within 3 ft of sewer mains or laterals within right of way. This does not apply to laterals on private property not "publicly maintained" (Private infrastructure).
- Water, sewer, and gas mains/services must be potholed prior to bore/missile crossings. If street cuts are necessary please contact Right of Way inspector for restoration.
- If sidewalk panels need to be removed, the subgrade must be compacted to the satisfaction of the ROW inspector. Cold patch asphalt shall be used as a temporary walking surface until the permanent repair can be done.
- Sidewalk panels shall be a minimum of 4000 psi and be inspected within 24 hours of pouring concrete. Anything over one sidewalk panel shall be poured via concrete truck (no bag mix allowed).

4. Horticultural

- Handholes shall not be located within driplines of trees within City property, to include the right of ways, without explicit written permission from the City Horticulturalist.
- Any proposed trenching shall not be within the dripline of trees.
- If within tree dripline, consult the City of Fairhope Horticulturist prior to earth work.
- Trees shall not be negatively impacted.
- Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. The contractor is responsible for any damaged trees.
- Any work done within the critical root zone shall be done to meet or exceed Internal Society Arboriculture (ISA) standards.
- All roots to be removed shall be severed cleanly at the perimeter of the protected radius.
- Protective barriers shall be used for all trees, barricades shall be erected a minimum of 20' from the trunk.

5. Erosion Control

- Any ROW cuts shall be stabilized (covered) at the end of each day & disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project. Sod shall be watered to ensure survival.
- Any excess soil shall be removed and disposed of properly. Dumping on private property without approval will not be tolerated.
- Mulch / seed shall only be acceptable as temporary cover.
- Inlets shall be protected. BMPs shall be placed at all affected storm inlets.
- If the site is within 100' of a critical area (wetland, etc.), red soil/clay shall not be allowed as fill material, per the City's Red Clay/Soil Ordinance.
- BMPs shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.

6. Project Completion, Punch List Walk, & As Built

- The applicant shall provide as-built drawings of all installed lines depicting depths.
- Damage to any City's infrastructure (storm, sewer, water, ditches etc. shall be the responsibility of the permittee to repair to city standards at no cost to the city.
- Any damage that occurs needs to be reported to the city as soon as possible.
- Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency.

7. Staff Recommendation

- The proposed utility construction falls within the corporate limits of the City of Fairhope. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the respective agency.
- This site shall comply with all State, Federal and local requirements, including, but not limited to the following City of Fairhope Ordinances:
    i. City of Fairhope Wetland Ordinance (#1370), which regulates activity within 20' of wetlands.
    ii. City of Fairhope Red Soil & Clay Ordinance (#1423), which prohibits the use of red soil / clay within 100' of critical areas.
    iii. City of Fairhope Erosion and Sediment Control Ordinance (#1398).
    iv. Chapter 19 Article VI: ROW Construction and Administration, Ordinance (1754)
    v. City of Fairhope Tree and Landscape Ordinance (#1444)
- Staff Recommendation: **Approval with Conditions of UR 24.09**

1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
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3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
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4. Follow-up activities below required by staff and the applicant:
    a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS technician for inclusion in GIS utility maps.
5. Provide draft door hanger for approval at time of pre-construction.
6. Approved door hangers shall be in place no later than **7 days** prior to construction.
7. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
8. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
9. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).
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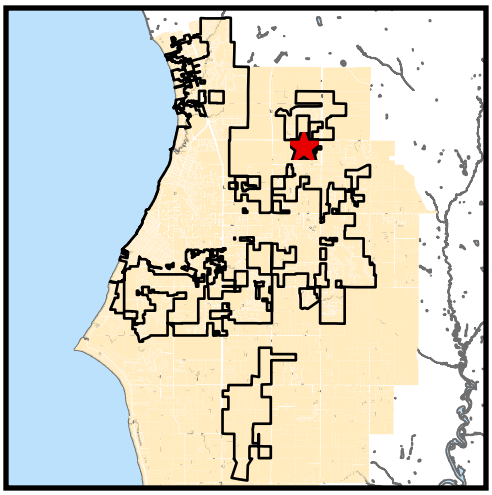
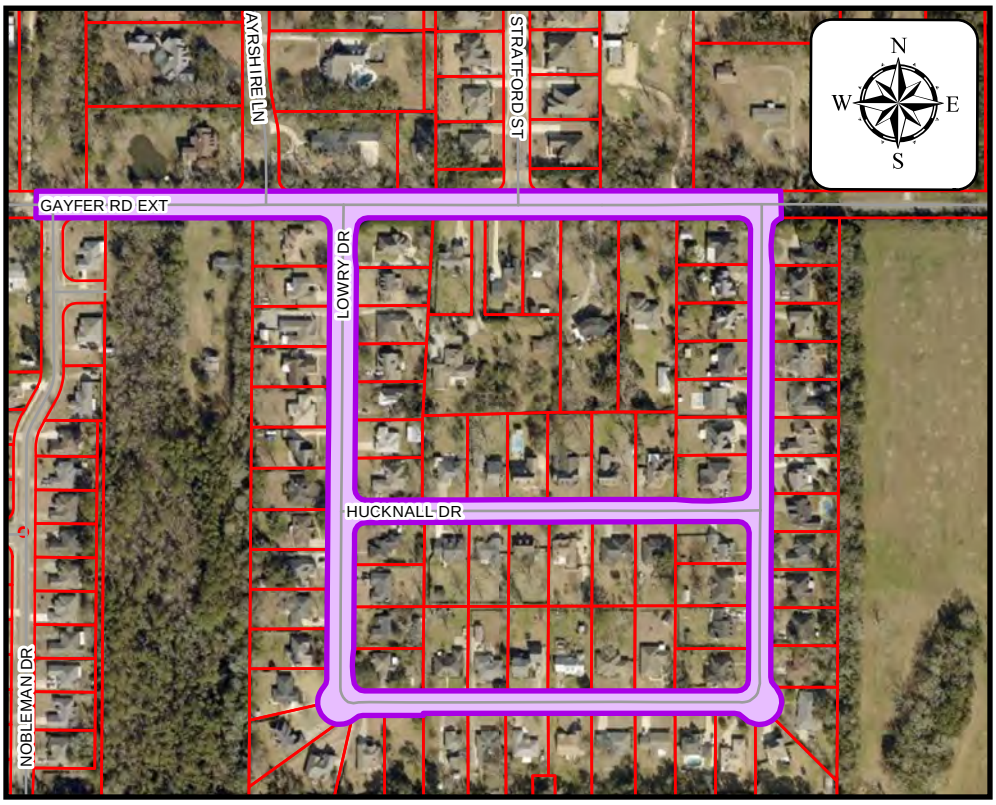
City of Fairhope
Planning Commission
November 4, 2024

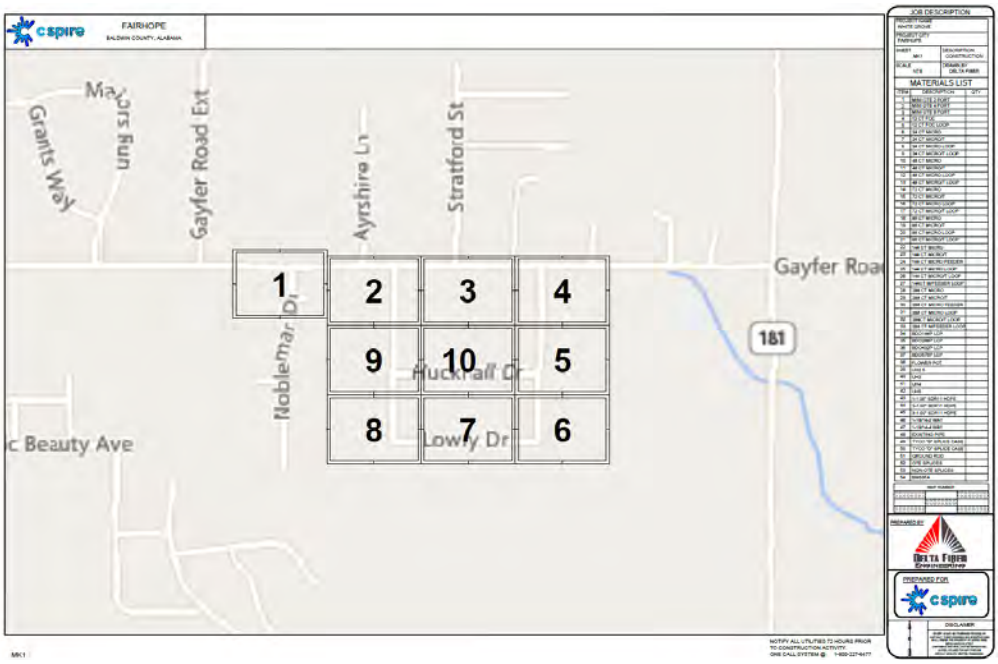
UR 24.15 - 9445 Valor Drive (C-Spire)

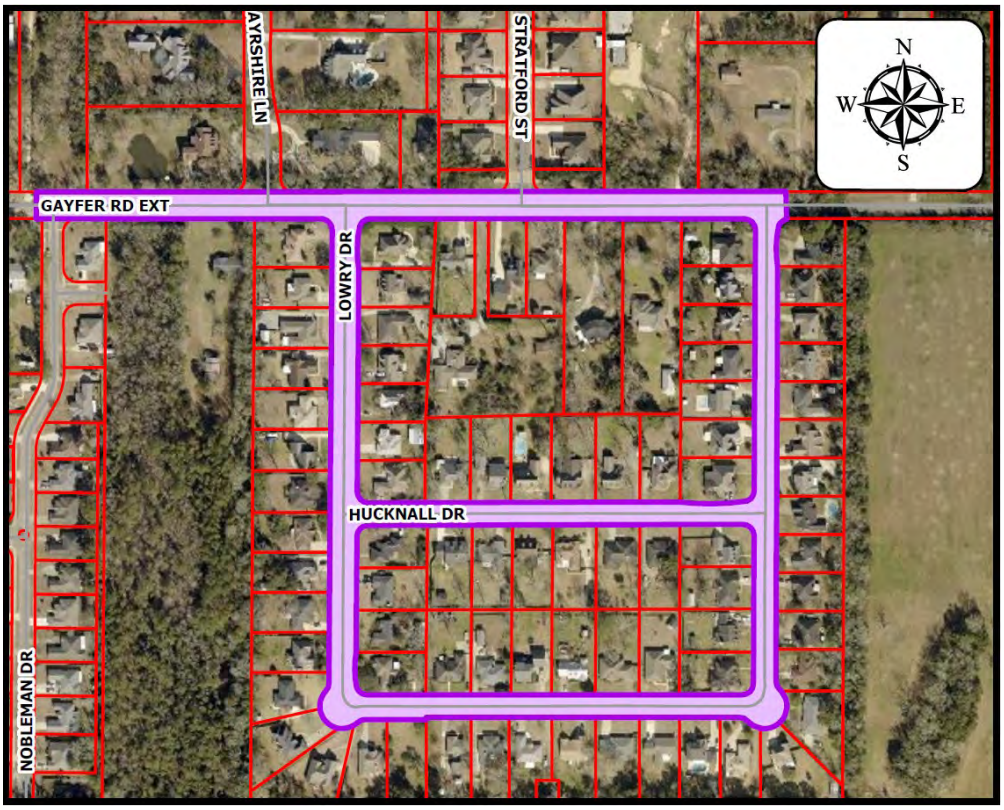




Project Name:
9445 Valor Drive (C-Spire)
Site Data:
6,871 Linear Feet
Project Type:
Directional Bore Fiber Installation
Jurisdiction:
Fairhope Planning Jurisdiction
Zoning District:
R-2
PPIN Number:
N/A
General Location:
South of Gayfer Road Extentsion, East of County Road 13
Surveyor of Record:
C-Spire
Engineer of Record:
C-Spire
Owner / Developer:
C-Spire
School District:
Fairhope Elementary School Fairhope Middle and High Schools
Recommendation:
Approved w/ Conditions
Prepared by:
Chris Ambron

Summary of Request: Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately **6,871 ft directional bore buried fiber** along routes outlined on the below location map.





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Planning Commission
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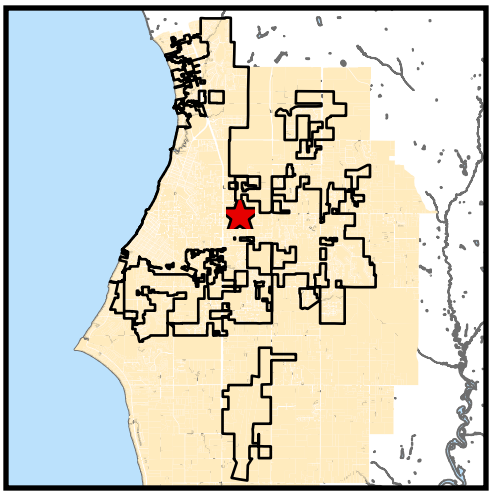
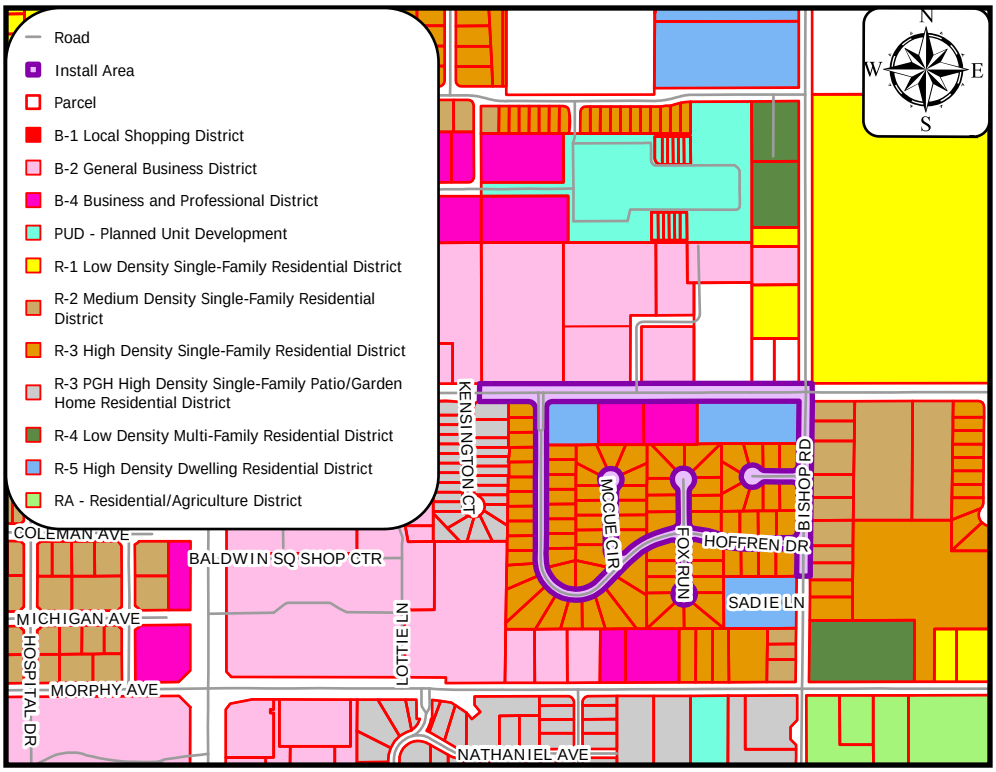
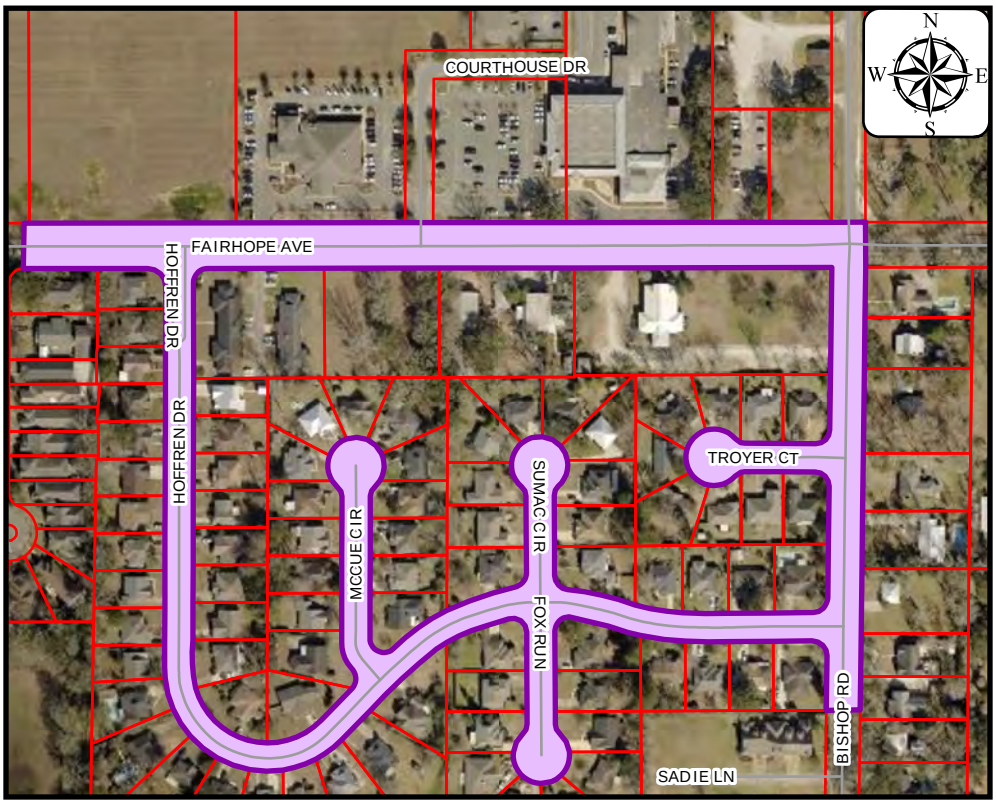
UR 24.17 - 2 Hoffren Drive (C-Spire)







Project Name:
2 Hoffren Drive (C-Spire)
Site Data:
7,672 Linear Feet
Project Type:
Directional Bore Fiber Installation
Jurisdiction:
Fairhope Planning Jurisdiction
Zoning District:
R-3
PPIN Number:
N/A
General Location:
East side of Greeno Road, South side of Fairhope Avenue
Surveyor of Record:
C-Spire
Engineer of Record:
C-Spire
Owner / Developer:
C-Spire
School District:
Fairhope Elementary School Fairhope Middle and High Schools
Recommendation:
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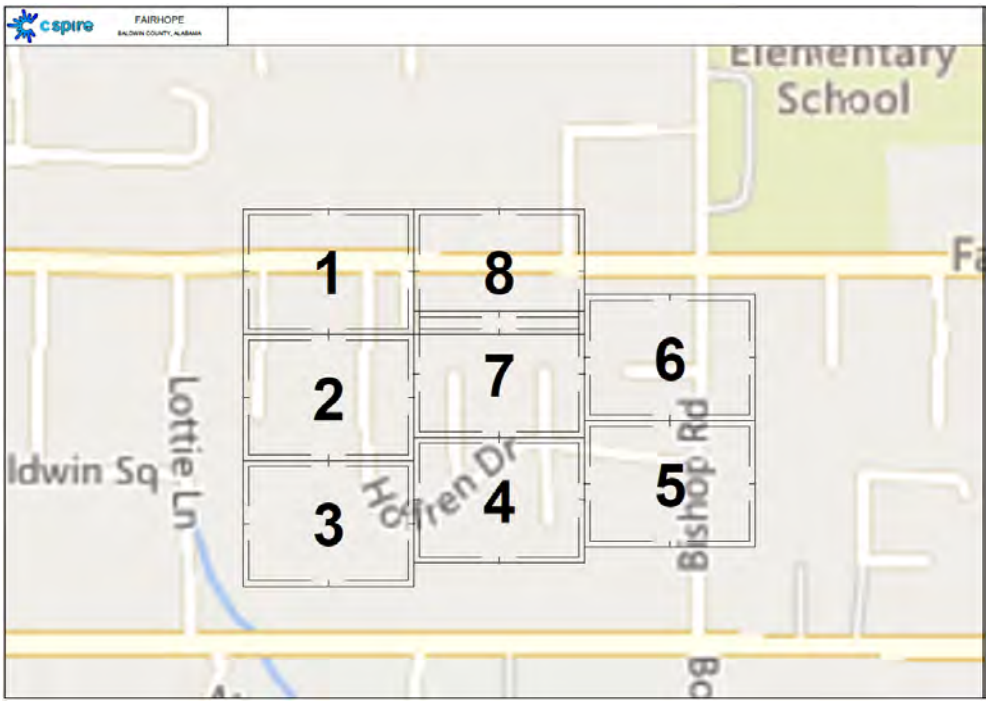

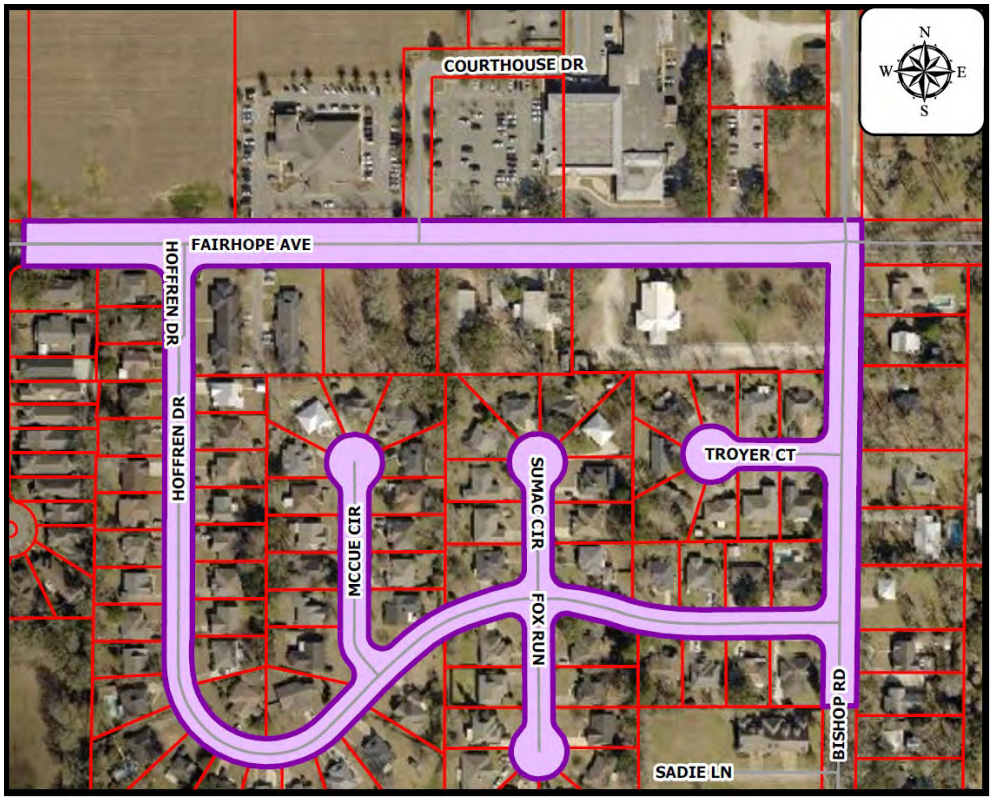

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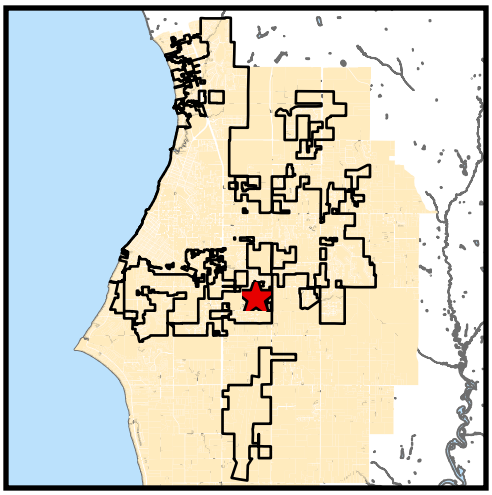
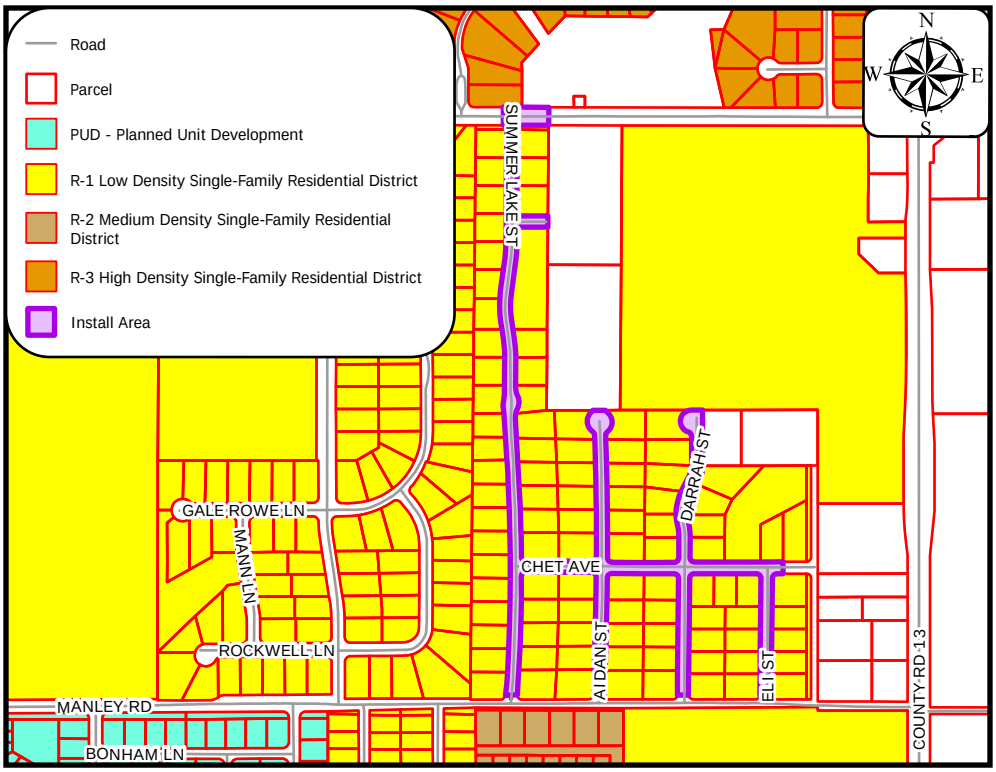
8. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
9. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).
10. Utilities boxes shall be concentrated near existing boxes.

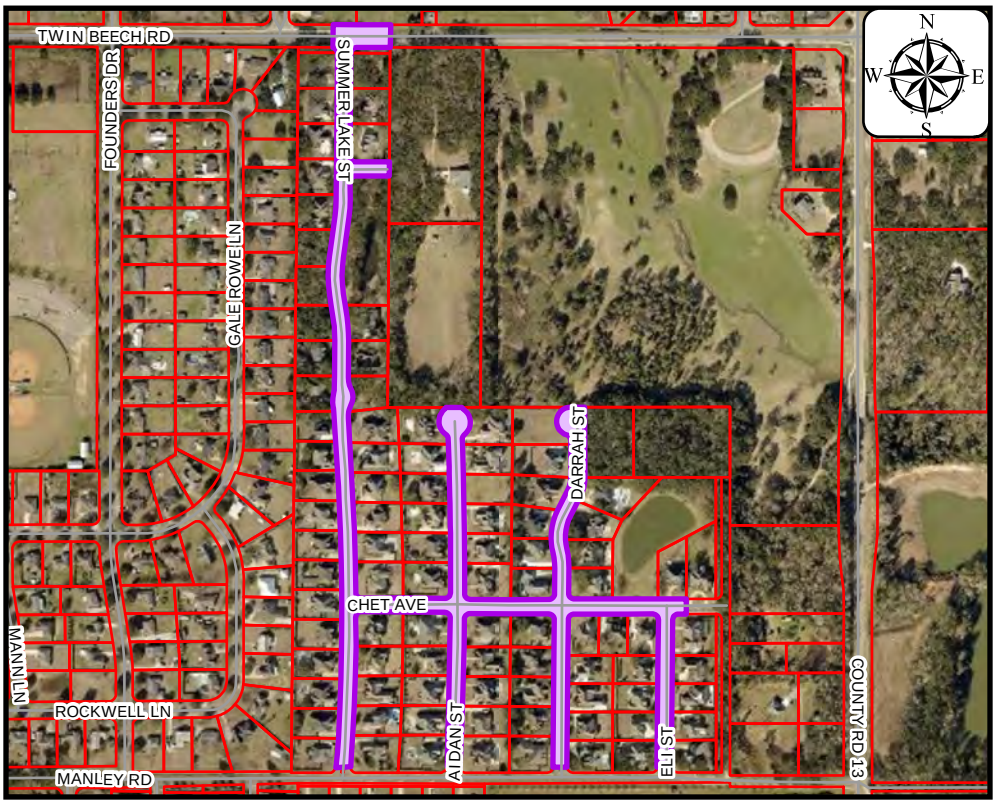
    For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

City of Fairhope
Planning Commission
November 4, 2024

UR 24.18 - 845 Summer Lake (C-Spire)

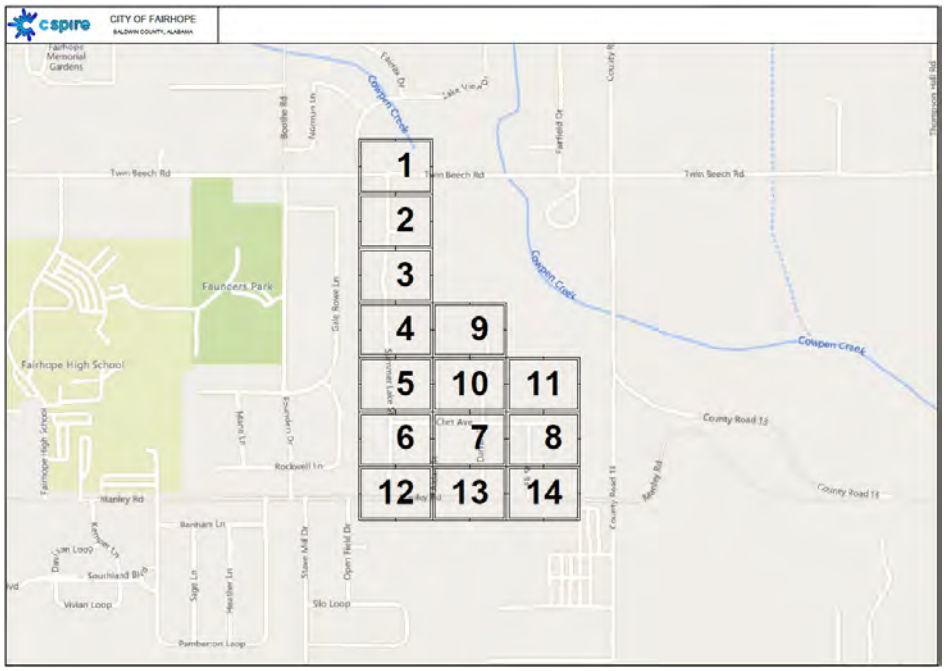


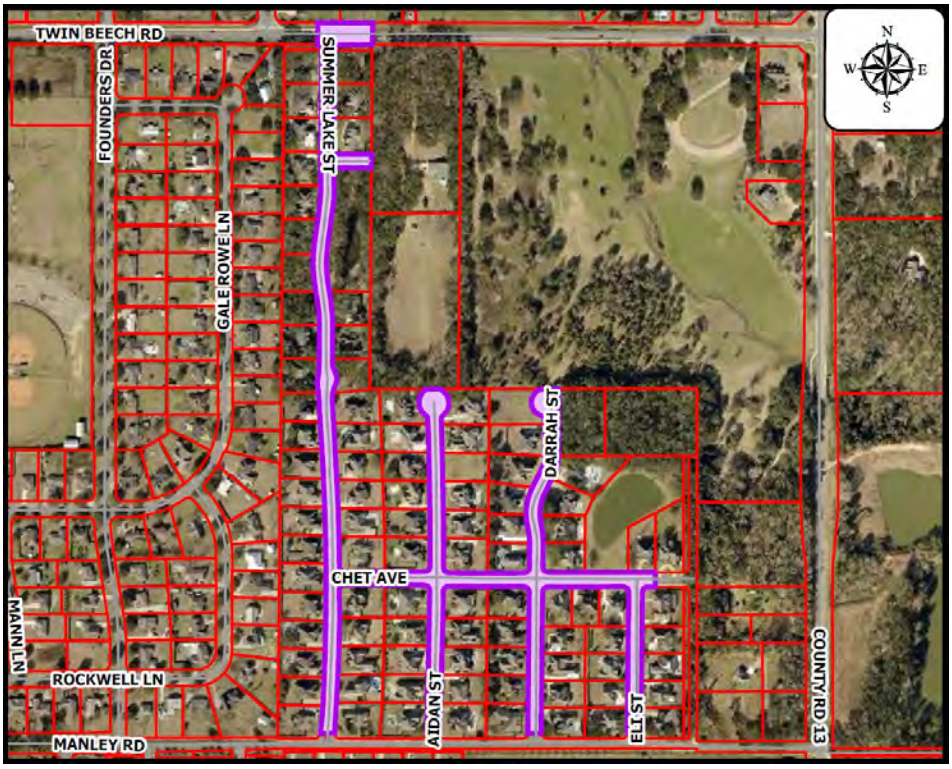




Project Name:
845 Summer Lake (C-Spire)
Site Data:
8,606 Linear Feet
Project Type:
Directional Bore Fiber Installation
Jurisdiction:
Fairhope Planning Jurisdiction
Zoning District:
R-1
PPIN Number:
N/A
General Location:
East side of Greeno Road, South side of Twin Beech Road
Surveyor of Record:
C-Spire
Engineer of Record:
C-Spire
Owner / Developer:
C-Spire
School District:
Fairhope Elementary School Fairhope Middle and High Schools
Recommendation:
Approved w/ Conditions
Prepared by:
Chris Ambron

Summary of Request: Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately **8,606 ft directional bore buried fiber** along routes outlined on the below location map.





1. Citizen Communication & Notification

- Provide Door Hangers at preconstruction meetings which shall be approved prior to distribution and work.
- Use of portable A-frame style signage at the entrance and exit of work sites.
- Applicant shall dedicate a Point of Contact to answer citizens questions.

2. Permitting, Locating & Phasing

- Subsurface Utility Engineering may be required for sensitive locations within the city as required by the ROW supervisor.
- An additional right-of-way permit may be required for the potholing procedures needed for SUE.
- A traffic control plan shall be submitted with all permits that affect the flow of traffic.
- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department. Permit not valid until approved and paid for on Citizen Serve online portal.
- The City's ROW inspector is to be notified 24 hours prior to any activity within the ROW. The prior notice applied to all activity within the ROW including but not limited to trenching, boring, concrete placement.
- Hand holes/boxes shall not be allowed to be installed in sidewalks. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate with the ROW inspector to resolve any conflicts.
- The applicant shall contact Alabama One Call 811 to locate all existing utilities in the ROW (750 LF maximum daily allocation for COF utility locates per day).
- A phasing plan must be submitted with the permit to alleviate confusion for locating.
- A pre-construction meeting shall be held with the City prior to issuance of any permits.

3. Construction

- A minimum horizontal clearance (separation) of 36" must be maintained from water, sewer, gas, stormwater, and other city utility infrastructure.
- A minimum depth for all telecommunication lines shall be 30".
- Conduit shall match the 811-color code for communication, electric, gas etc. No blue/blue striped conduit is to be used for telecommunications.
- The contractor responsible for *excavating inside right of way will be required to provide video documentation of the integrity of any sanitary sewer line (including laterals) within 3 feet of work being performed. This can be videoed prior to work being performed if locations, including depths, are clearly established by contractor, and said work is not within 3 ft of sewer mains or laterals within right of way. This does not apply to laterals on private property not "publicly maintained" (Private infrastructure).
- Water, sewer, and gas mains/services must be potholed prior to bore/missile crossings. If street cuts are necessary please contact Right of Way inspector for restoration.
- If sidewalk panels need to be removed, the subgrade must be compacted to the satisfaction of the ROW inspector. Cold patch asphalt shall be used as a temporary walking surface until the permanent repair can be done.
- Sidewalk panels shall be a minimum of 4000 psi and be inspected within 24 hours of pouring concrete. Anything over one sidewalk panel shall be poured via concrete truck (no bag mix allowed).

4. Horticultural

- Handholes shall not be located within driplines of trees within City property, to include the right of ways, without explicit written permission from the City Horticulturalist.
- Any proposed trenching shall not be within the dripline of trees.
- If within tree dripline, consult the City of Fairhope Horticulturist prior to earth work.
- Trees shall not be negatively impacted.
- Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. The contractor is responsible for any damaged trees.
- Any work done within the critical root zone shall be done to meet or exceed Internal Society Arboriculture (ISA) standards.
- All roots to be removed shall be severed cleanly at the perimeter of the protected radius.
- Protective barriers shall be used for all trees, barricades shall be erected a minimum of 20' from the trunk.

5. Erosion Control

- Any ROW cuts shall be stabilized (covered) at the end of each day & disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project. Sod shall be watered to ensure survival.
- Any excess soil shall be removed and disposed of properly. Dumping on private property without approval will not be tolerated.
- Mulch / seed shall only be acceptable as temporary cover.
- Inlets shall be protected. BMPs shall be placed at all affected storm inlets.
- If the site is within 100' of a critical area (wetland, etc.), red soil/clay shall not be allowed as fill material, per the City's Red Clay/Soil Ordinance.
- BMPs shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.

6. Project Completion, Punch List Walk, & As Built

- The applicant shall provide as-built drawings of all installed lines depicting depths.
- Damage to any City's infrastructure (storm, sewer, water, ditches etc. shall be the responsibility of the permittee to repair to city standards at no cost to the city.
- Any damage that occurs needs to be reported to the city as soon as possible.
- Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency.

7. Staff Recommendation

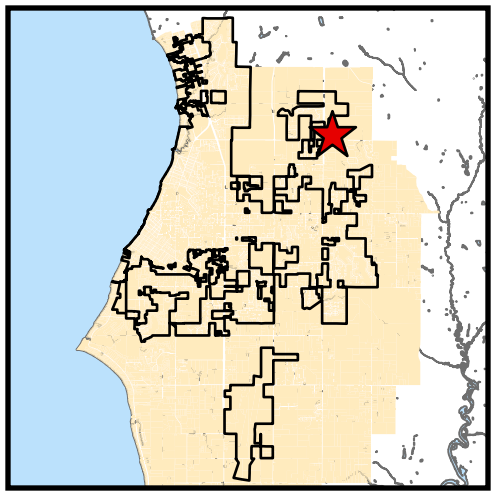
- The proposed utility construction falls within the corporate limits of the City of Fairhope. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the respective agency.
- This site shall comply with all State, Federal and local requirements, including, but not limited to the following City of Fairhope Ordinances:
    i. City of Fairhope Wetland Ordinance (#1370), which regulates activity within 20' of wetlands.
    ii. City of Fairhope Red Soil & Clay Ordinance (#1423), which prohibits the use of red soil / clay within 100' of critical areas.
    iii. City of Fairhope Erosion and Sediment Control Ordinance (#1398).
    iv. Chapter 19 Article VI: ROW Construction and Administration, Ordinance (1754)
    v. City of Fairhope Tree and Landscape Ordinance (#1444)
- Staff Recommendation: **Approval with Conditions of UR 24.18**

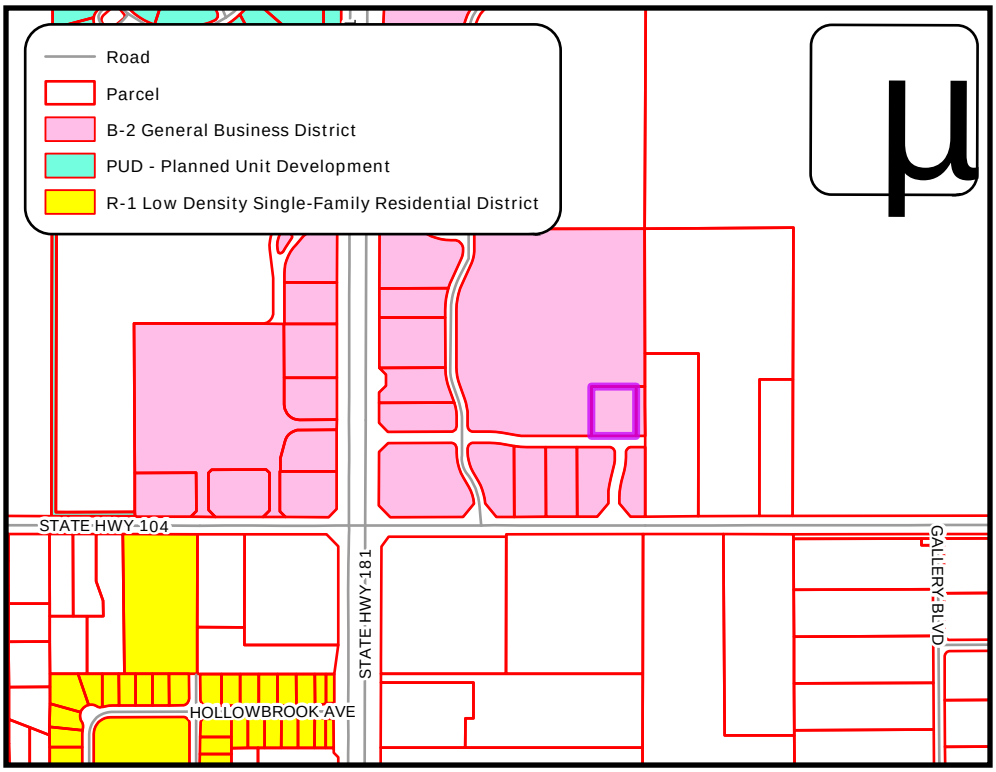
1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
    a. An additional right-of-way permit may be required for the potholing procedures.
4. Follow-up activities below required by staff and the applicant:
    a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS technician for inclusion in GIS utility maps.
5. Provide draft door hanger for approval at time of pre-construction.
6. Approved door hangers shall be in place no later than **7 days** prior to construction.
7. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
8. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
9. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).
10. Utilities boxes shall be concentrated near existing boxes.

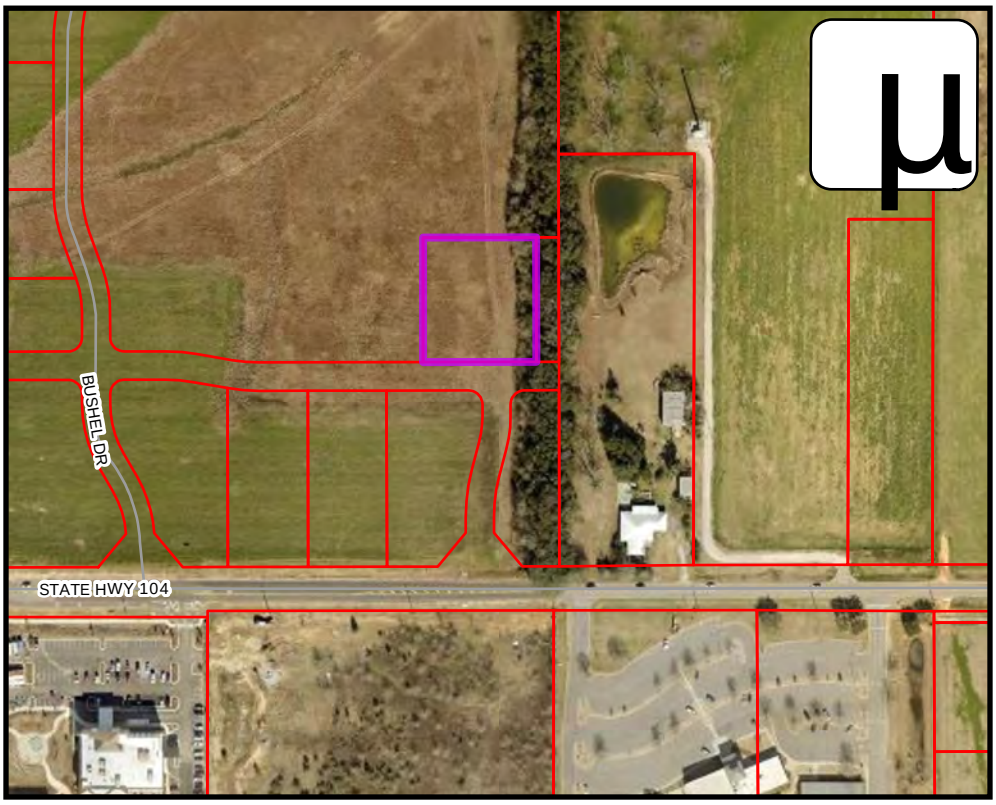
    For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

City of Fairhope
Planning Commission
November 4, 2024

SR 24.05 - Encounter House Relocat on







Project Name:
Encounter House Relocat on
Site Data:
1.02 acres
Project Type:
Site Plan Approval
Jurisdic t on:
Fairhope Planning Jurisdic t on
Zoning District:
B-2
PPIN Number:
627501
General Loca t on:
North of State Highway 104, East of State Highway 181
Surveyor of Record:
Jade Consul t ng LLC
Engineer of Record:
Jade Consul t ng LLC
Owner / Developer:
Encounter Development LLC
School District:
Fairhope Elementary School Fairhope Middle and High Schools
Recommenda t on:
Approved w/ Condi t ons
Prepared by:
Michelle Melton

Docusign Envelope ID: 6DD1FBA9-FE99-4F55-97BE-48C833D6D7FA

APPLICATION FOR SITE PLAN APPROVAL

Application Type: ☑ Site Plan
Attachments: ☑ Articles of Incorporation or List all associated investors

Date of Application: 8/20/24

Property Owner / Leaseholder Information

Name of Property Owner: Encounter Development, LLC Phone Number: 251-599-3240
Address of Property Owner: 3262 Old Shell Rd, Ste. C-1
City: Mobile State: AL Zip: 36607

Proposed Site Plan Name: House Relocation
Site Acreage: 1.02 Sq. Footage:
Parcel No: 05-46-01-02-0-000-001.510 (Lot 11) Current Zoning: B-2

Authorized Agent Information

Name of Authorized Agent: JADE Consulting, LLC Phone Number: 251-928-3443
Address: 208 N. Greeno Rd., Ste. C
City: Fairhope State: AL Zip: 36532
Contact Person: Perry C. "Trey" Jinright, III, PE

Engineer/Architect Information

Name of Firm: JADE Consulting, LLC Phone Number: 251-928-3443
Address: 208 N. Greeno Rd., Ste. c
City: Fairhope State: AL Zip: 36532
Contact Person: Perry C. "Trey" Jinright, III, PE

I certify that I am the property owner/leaseholder of the above described property and hereby submit this site plan to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

XXXXXXXXXXXXXXXX KEN KLEBAN
Scott Delaney
Property Owner/Leaseholder Printed Name

Signed by:
ken kleban
2853E6471E394A3...
9/23/2024
Date

Signature

Fairhope Single Tax Corp. (If Applicable)
Reuben E. Davidson, III
FSTC Secretary

Docusign Envelope ID: 6DD1FBA9-FE99-4F55-97BE-48C833D6D7FA

Site Plan Review Application Checklist*

*This checklist is intended for convenience purposes only.
Refer to the City of Fairhope Zoning Ordinance and other applicable City Ordinances for additional requirements.

2 copies of the Site Plan
2 sets of Construction Plans
1 copy of the Site Plan in PDF format on disk
Site Plan Review Application with Articles of Incorporation attached
Overall Site Plan
Curb Cut Locations
Dumpster Location and Screening
Grading and Drainage Plans
BMP Plan
A Topographic and Boundary Survey
Pedestrian Circulation Plan
Building Elevations indicating exterior construction materials
Legal Description and Property Map
Landscape Plan, including tree preservation plan (Existing and Proposed Contours shall be on the Landscape Plan)
All landscape plans shall be in compliance with Ordinance No. 1223 – Tree Ordinance.
20% of the total property (not including the right of way) shall be landscaped
A 20' landscaped buffer is required where commercial/industrial abuts residential
A Site Lighting Plan indicating light locations, mounting height, wattages and fixture types
A Site Data Table including but not limited to:

- Current Zoning
- Lot Size
- Proposed Building Height
- Total Gross Floor Area
- Proposed Building Coverage
- Percentage of Impervious Area, excluding the Building
- Percentage of Proposed Landscaping (60% of the required plant materials shall be located between the building walls and public streets)

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- Proposed number of parking spaces/ required number of parking spaces
- Percentage of proposed Green-space

Aerial Photograph with Site Plan and topographic lines overlaid
Utility Plans
Loading/unloading space (if applicable)
Drive-up window locations (if applicable)
Total number of Proposed Buildings, Proposed Uses and the Square Footages of each
Phasing Schedule for Projects being developed over an extended period of time
Location, materials, and elevations of any and all fences and/or walls.
Location of mechanical equipment (mechanical equipment shall be screened)
Flow Modeling
Plans submitted shall include but not be limited to:

- Name of Project
- Date of preparation, including all revision dates
- Appropriate Scale
- North Arrow
- Preparer's Name, Phone Number and Fax Number
- Name of Owner

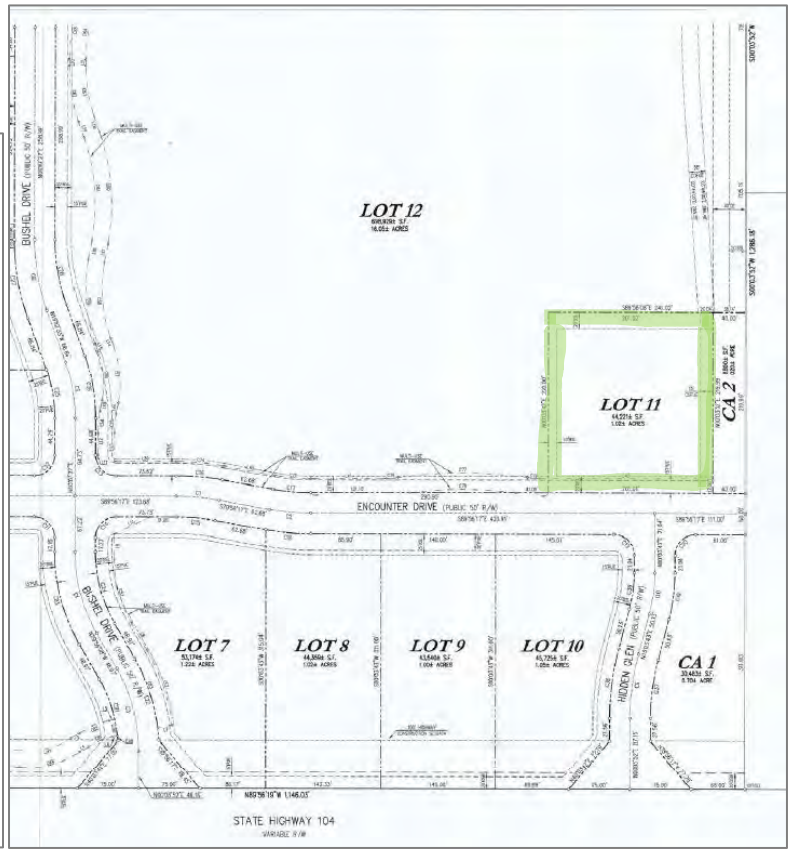
Compliance with the City's Comprehensive Plan and the standards, goals and intent of the Fairhope Zoning Ordinance
All signage requires a sign permit
All Applicable Outside Agency Permits (e.g. ALDOT, ADEM, COE, etc.)

Please note that this document only applies to properties within the City of Fairhope.

Summary of Request:

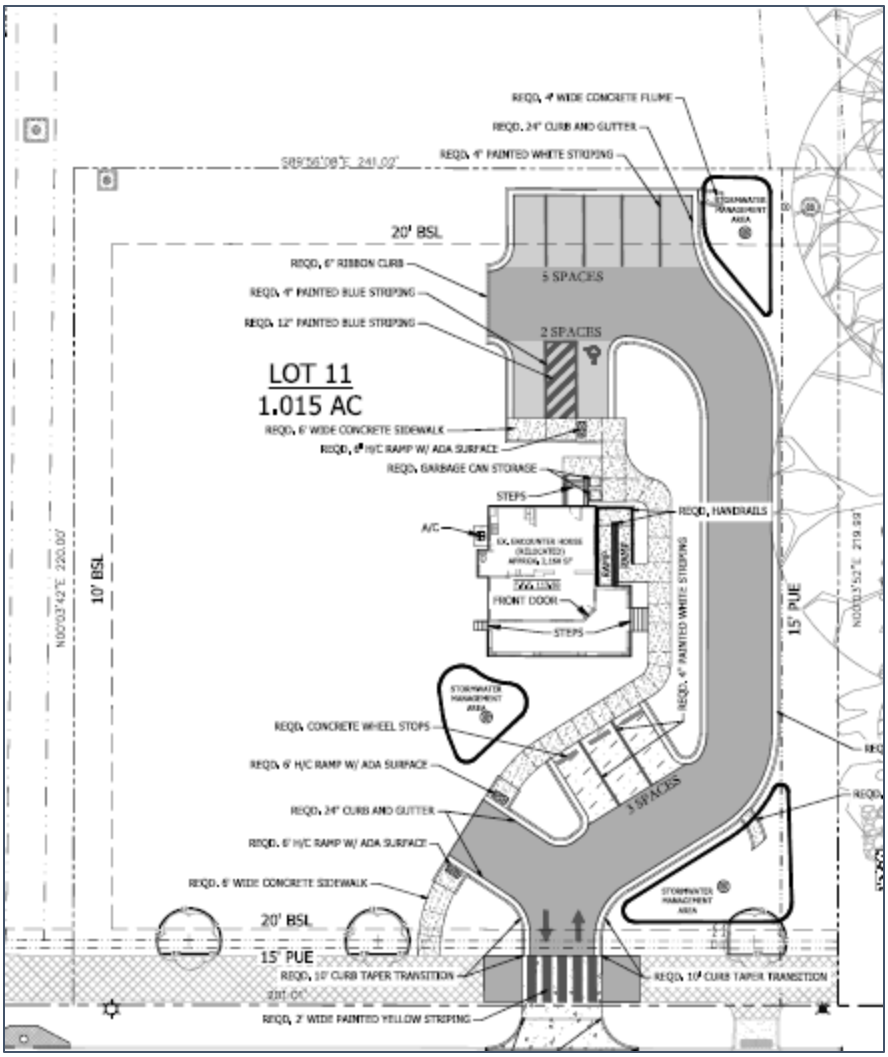
Request of Applicant, JADE Consulting, LLC ("JADE"), on behalf of owner, Encounter Development, LLC, for Site Plan Approval to relocate the Close Encounters house from Lot 6 to Lot 11 of the Encounter Commercial Retail Center on the northeast corner of the Alabama Highways 104 and 181 intersection. Trey Jinright, III, PE, is the authorized agent and engineer for the project. The subject property is a little more than an acre (1.02) and is zoned B-2. The existing building is 2,160sf.

SITE DATA TABLE		
STATE OF ALABAMA COUNTY OF BALDWIN CITY OF FAIRHOPE LOT 11 - ENCOUNTER COMMERCIAL RETAIL CENTER SUBDIVISION		
EX. TAX PARCEL ID:	PORTION OF 05-46-01-02-0-000-001.510	
LOT SIZE:	APPROX. 1.015 ACRES	
EX. ZONING:	B-2 GENERAL BUSINESS DISTRICT	
BUILDING SETBACKS:		
FRONT:	20'-0"	
SIDE:	10'-0"	
REAR:	20'-0"	
GENERAL PARKING STANDARDS:		
	0-400 SF GFA = 4 SPACES + 400-5000 SF GFA = 1 SPACE/400 SF + OVER 5000 SF GFA = 1 SPACE/200 SF	400 SF GFA = 4 SPACES + 1760 SF / 400 SF = 4.4 SPACES 8.40 TOTAL SPACES
VEHICLE PARKING REQUIRED:	8.40 SPACES	
"NO USE SHALL PROVIDE MORE THAN 20% MORE THAN THE PARKING REQUIRED BY TABLE 4-3." 8.40 SPACES * 1.2 = 10.08 SPACES		
VEHICLE PARKING PROVIDED:	10 SPACES	
PROPOSED BUILDING & AREA COVERAGE CALCULATIONS:		
BUILDING HEIGHT:	±25'-0" (TWO STORIES)	
TOTAL GROSS FLOOR AREA:	2,160 SF	
BUILDING COVERAGE:	1,309 SF / 44,221 SF = ±3%	
IMPERVIOUS AREA:	12,033 = ±27% (EXCLUDING BUILDING)	
GREEN SPACE:	30,879 SF = ±70%	



Setbacks: Setbacks for this development vary. B-2 requires only a 20ft front setback according to Table 3-2. Lot 11 fronts Encounter Drive, which has a 20ft setback. The other setbacks are 20ft rear and 10ft side setbacks.

Building: Building height for the two-story structure is estimated at 25ft. The building takes up 3% of Lot 11. Proposed use is office space. All elevations are included in the packet. Existing east elevation is shown in Figure 1. Materials for the building are brick/stucco with stone columns. The building was a prominent set in the 1977 film *Close Encounters of the Third Kind* starring Richard Dreyfess and Teri Garr. *See Figure 4.*



Site Plan

Figure 2. Existing Conditions on Lot 6.

Figure 3: Movie Poster

Figure4: Still from the movie "Close Encounters of the Third Kind" (Spielberg 1977).

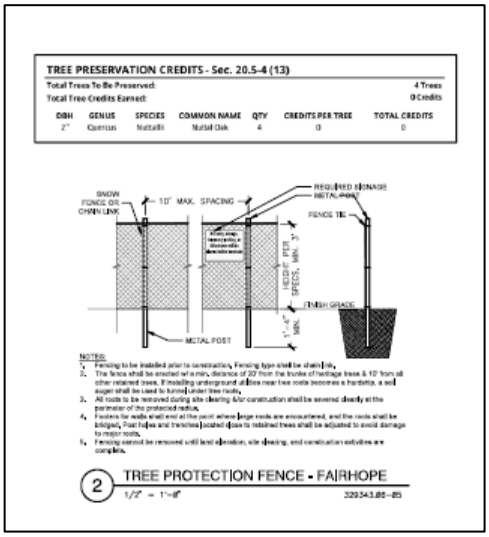
Figure 5 . Architectural Elevations

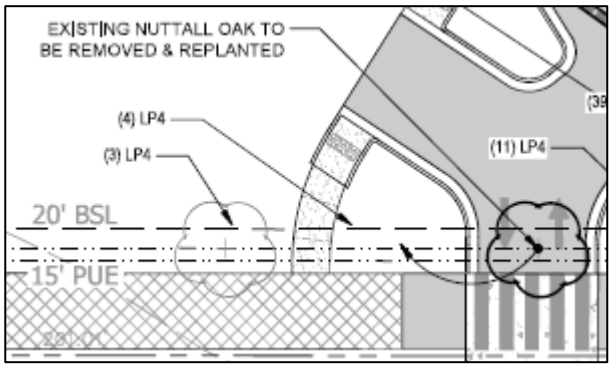
<u>Sidewalks:</u> This Site Plan includes interior sidewalks on the site and a sidewalk on Encounter Drive.

<u>Mechanical equipment</u>: Mechanical equipment has been finalized and all appear on the Site Plan.

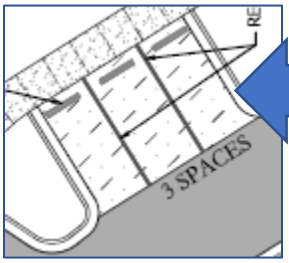
<u>Storm water:</u> Drainage has been accounted for the entire Encounter Commercial Retail Center in SD 24.13; thus, there are not retention/detention facilities on individual lots. There is a large retention pond within Lot 12 of the Encounter development where drainage from the lot is directed.

Landscaping Plan: The landscape plan submitted is acceptable. Applicant is preserving four (4) trees. A nuttal oak tree will be removed and replanted on site.

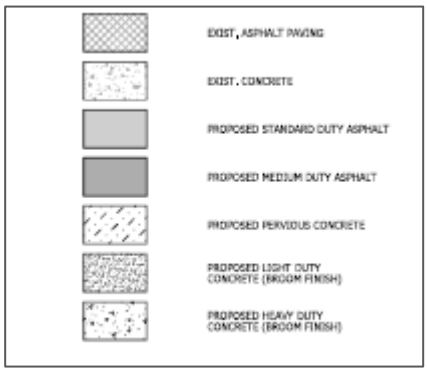




Parking: The plan has surplus parking with 10 spaces. Eight (8) spaces are required per Table 4-3 Parking Schedule. Twenty percent (20%) overage is allowed and shall be pervious. Parking meets the requirements of Zoning Ordinance, as well as the perimeter landscape screening requirements of the Tree Ordinance.



Surplus parking spaces are gravel (permeable surface).



Locations, intensity, and heights of exterior lights: A photometric plan was submitted and is included as an attachment. The first draft had light poles that were too high at 18ft; whereas, parking lots with 50 or fewer spaces shall have light poles that do not exceed 10ft overall height pursuant to Article IV, Section B(3) of the Zoning Ordinance. Applicant has modified the lighting to satisfy the ordinance.

Dumpster location and screening: Garbage is collected in a screened can storage area located on north side of the building. The dumpsters are surrounded by a Sweetbay Magnolia and camelias.

Location and size of all signage: A sign plan was not submitted. Signs require a separate permit and will be reviewed at that time for compliance with the Sign Ordinance.

Erosion control: An Erosion Control plan was submitted with the application and is acceptable.

Utilities: A utility plan was submitted and has been reviewed and approved by the appropriate providers.

ADA Requirements: ADA requirements have been met.

Traffic: A thorough traffic study was conducted for the entire Encounter development and the road infrastructure was designed in accordance with the recommendations from the traffic study. The Cover Sheet for the subject property has the speed limit posted as 30 mph; however, the speed limit within the commercial retail center is actually 20 mph, which is consistent with the residential developments to the north. Shared driveways are encouraged and will be required as build-out continues.

Article II, Section C.2.d. (Site Plan Review Criteria)
Criteria – The application shall be reviewed based on the following criteria:

(1) Compliance with the Comprehensive Plan; **The previous Comprehensive Plan put a Commercial Node at the AL Hwys 181 and 104 intersection. The Encounter Commercial Retail Center is located in a newly recognized Suburban Mixed-Use Center in the proposed Comprehensive Plan.**
(2) Compliance with any other approved planning documents; **Meets**
(3) Compliance with the standards, goals, and intent of this ordinance and applicable zoning districts; **Meets**
(4) Compliance with other laws and regulations of the City; **Meets**
(5) Compliance with other applicable laws and regulations of other jurisdictions; **Meets**
(6) Impacts on adjacent property including noise, traffic, visible intrusions, potential physical impacts, and property values; **Meets. Lot 11 is isolated on the northern boundary of Encounter Drive and the use as office space should have little impact(s).**
(7) Impacts on the surrounding neighborhood including noise, traffic, visible intrusions, potential physical impacts, and property values; **Property is zoned B-2. The larger development site does abut to conflicting uses. There is a residential district directly to the north of the development NOT Lot 11. Proper buffers are included in the plans to mitigate the conflicting land uses.**
(8) Overall benefit to the community; **Meets. There are a lot of residential units being built in the immediate surrounding area, especially to the north. A commercial retail center with a variety of retail/restaurant/office/commercial units will be a benefit to the residential subdivisions.**
(9) Compliance with sound planning principles; **Meets. The general location has been designated a commercial node in the past and future comprehensive plans. Connectivity with other developments has been included.**
(10) Compliance with the terms and conditions of any zoning approval; **Meets**
(11) Any other matter relating to the health, safety, and welfare of the community; **Nothing noted**
(12) Property boundaries with dimensions and setback lines; **Meets**
(13) Location of proposed buildings and structures indicating sizes in square feet; **Meets**
(14) Data to show percentage of lot covered with existing and proposed buildings; **Meets**
(15) Elevations indicating exterior materials;
Front, side, and rear elevations were provided with the building materials.
(16) The locations, intensity, and height of exterior lights; **Meets**
(17) The locations of mechanical equipment; **All relevant requirements are met.**
(18) Outside storage and/or display; **Meets**
(19) Drive-up window locations (must be away from residential uses/districts and not in front of building);
n/a
(20) Curb-cut detail and location(s);
Provided.

(21) Parking, loading, and maneuvering areas;
Meets.
(22) Landscaping plan in accordance with the City Landscape Ordinance; **Meets**
(23) Location, materials, and elevation of any and all fences and/or walls; **n/a**
(24) Dumpster location and screening; and
Meets
(25) Location and size of all signage. **A signage plan was not submitted.**

Recommendation:

Staff recommends **approval** of case SR 24.05 Encounter House Relocation to Lot 11 in the Encounter Commercial Retail Center.

NOTARIZED AUTHORIZATION OF OWNER

I/We, Kenneth M. Kleban as the sole or joint fee simple title holder(s) of the property described as parcels 05-46-01-02-0-000-001.509 & 05-46-01-02-0-000-001.510 in the City of Fairhope, County of Baldwin, State of Alabama, authorize JADE Consulting, LLC and/or their consultants to act as our agent to seek City, County or state PUD, Rezone, subdivision, Site Plan/Development, Variance, DOT & DEP approvals, and/or all regulatory approvals in connection therewith, on the above referenced property.

Company: Encounter Development LLC

By: Kenneth M. Kleban

As Its: Owner

Address: 1189 Post Road, Suite 3B, Fairfield, CT 06824

Phone: (203) 247-0732 Fax: N/A

Email: kkleban@klebanproperties.com

STATE OF Connecticut

COUNTY OF Fairfield

The forgoing instrument was acknowledged before me this 16th day of February, 2023 by Kenneth M. Kleban as its Owner, who is personally known to me or who has produced Known to me (type of ID) as identification and who did not take an oath.

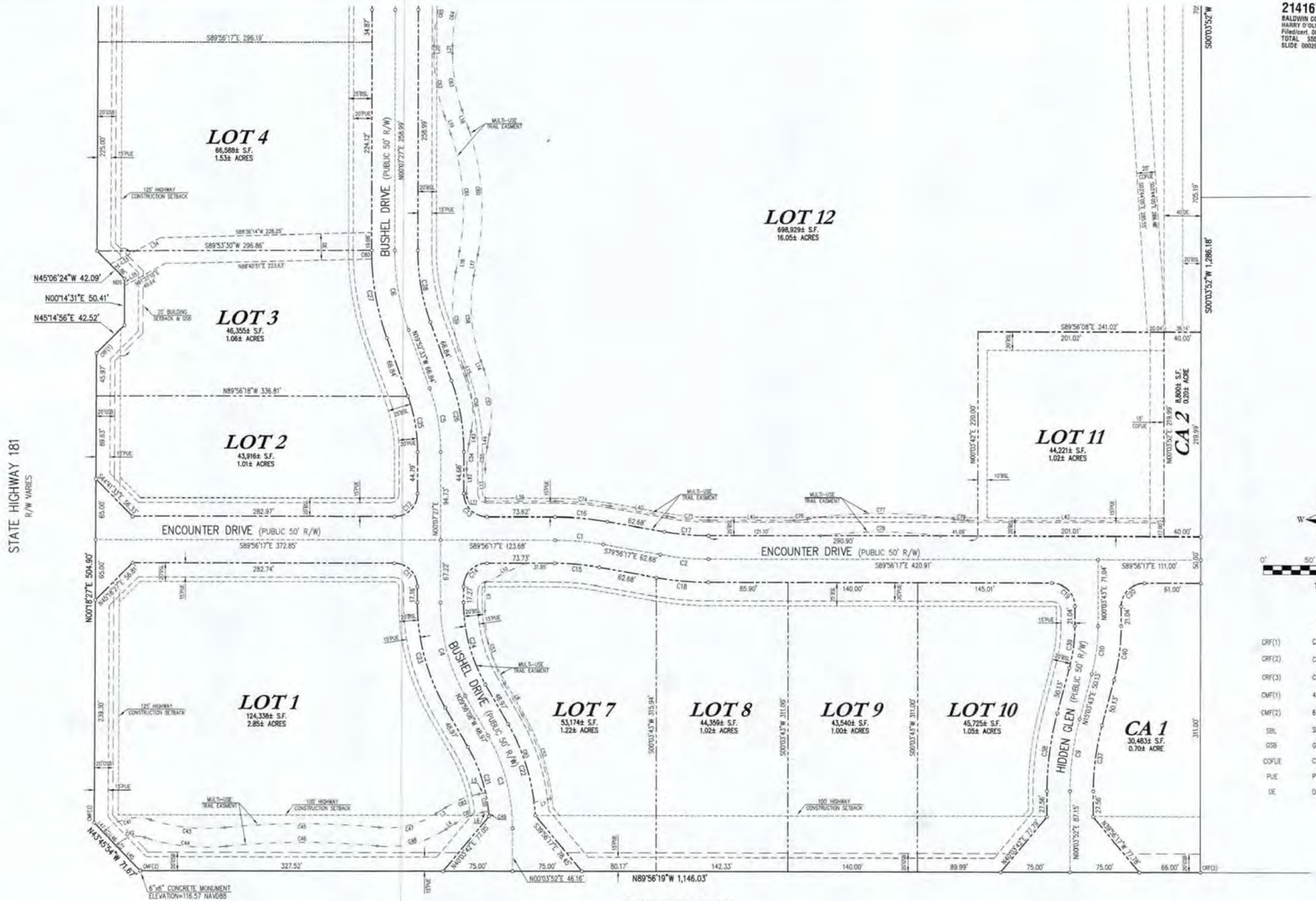
DIANE SALERNO
Notary Public, Connecticut
My Commission Expires March 31, 2023

NOTARY PUBLIC – STATE OF Connecticut

NAME OF NOTARY – TYPED OR PRINTED

COMMISSION NO: 0163781

2141670
BALDWIN COUNTY, ALABAMA
HARRY D'OLIVE, JR. PROBATE JUDGE
Filed/cert. 08/16/2024 02:34 PM
TOTAL $55.00 3 Pages
SLIDE 0002963-A



LEGEND

CRF(1)	CAPPED REBAR FOUND (WATTIER)
CRF(2)	CAPPED REBAR FOUND (MOORE)
CRF(3)	CAPPED REBAR FOUND (DEWBERRY)
CMF(1)	4"x4" CONCRETE MONUMENT FOUND
CMF(2)	6"x6" CONCRETE MONUMENT FOUND
SBL	SETBACK LINE
GSB	GREEN SPACE BUFFER
COFUE	CITY OF FAIRHOPE UTILITY EASEMENT
PUE	PUBLIC UTILITY EASEMENT
DE	DRAINAGE EASEMENT

ENCOUNTER COMMERCIAL RETAIL CENTER SUBDIVISION

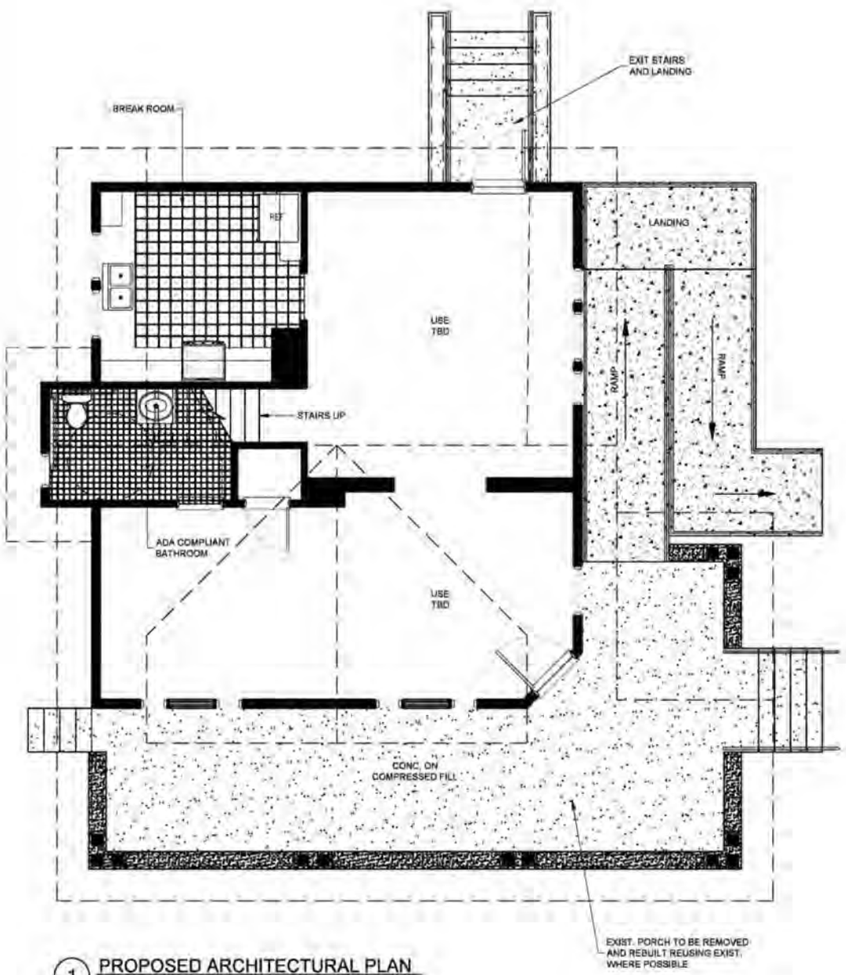
PLAT OF SUBDIVISION

JUNE 10, 2024

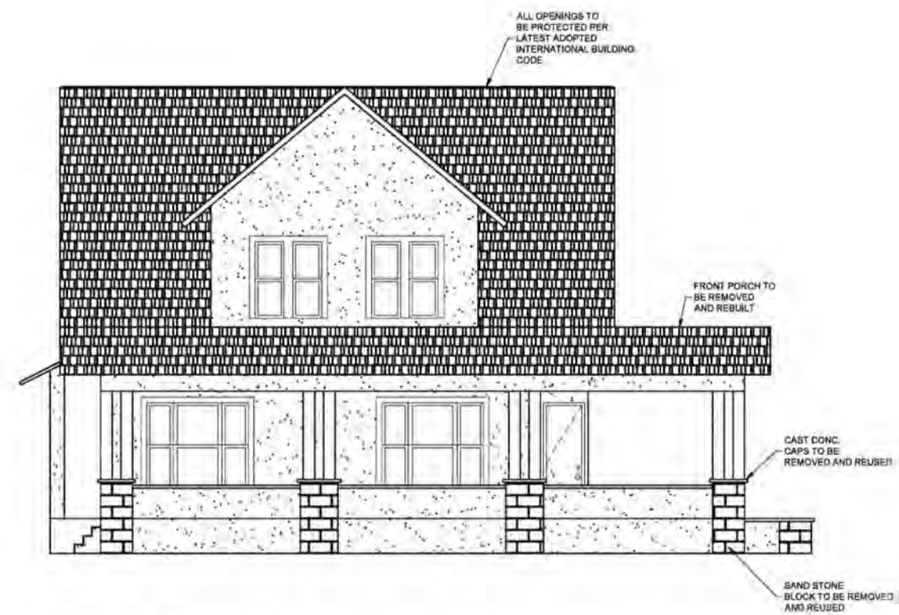
WATTIER SURVEYING, INC.
PROFESSIONAL LAND SURVEYORS
4318 Downtowner Loop N., Suite H
Mobile, Alabama 36609
251-342-2640

SHEET 1 OF 3

J.O. NO. 23-0217 COMP. FILE 2872 DWG. NO. 65-2E-02-04



1 PROPOSED ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED EXTERIOR ELEVATION - EAST
SCALE: 1/4" = 1'-0"

NARRATIVE:

- THIS STRUCTURE SHALL HAVE THE FRONT PORCH, REAR PORCH, AND NORTH FIREPLACE REMOVED. THE REAR PORCH AND NORTH FIREPLACE DOES NOT APPEAR TO BE ORIGINAL AND WILL NOT BE RE-USED. THE COMPONENTS OF THE FRONT PORCH WILL BE CAREFULLY REMOVED PRESERVING AS MUCH OF THE EXISTING CONSTRUCTION AS IS POSSIBLE TO BE RE-USED IN THE NEW LOCATION.
- WHEN COMPONENTS LISTED ARE REMOVED, THE HOUSE WILL BE LIFTED ON STEEL BEAMS FOR RELOCATION. AT THIS TIME OUR STRUCTURAL ENGINEERS CAN SEE HOW THE FLOOR IS FRAMED AND WILL PROVIDE NEW INTERIOR FLOOR BEAMS AS REQUIRED TO PROVIDE ADEQUATE SUPPORT FOR COMMERCIAL LOADING. THE HOUSE WILL BE PLACED ON A CONTINUOUS PERIMETER CONCRETE BLOCK SUPPORT WALLS AND INTERIOR SUPPORT BEAMS THROUGHOUT. ADDITIONAL REVIEW OF THE INTERIOR AND EXTERIOR WALLS WILL PROVIDE INFORMATION TO PROVIDE CONTINUOUS GRAVITY SUPPORT FROM THE WALLS TO THE ROOF. THIS INFORMATION WILL BE PROVIDED TO THE CITY OF FAIRHOPE'S BUILDING DEPARTMENT PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE GROUND FLOOR HEATED AND COOLED AREA IS 870 SQUARE FEET. THUS ONE UNISEX ADA COMPLIANT RESTROOM IS SUFFICIENT. THERE IS AN ADDITIONAL RESTROOM ON THE 2ND FLOOR TO PROVIDE FOR THAT USE.

Adams·Stewart·Architects
Architecture•Planning•Interiors•Construction Administration
P.O. Box 529 • 22615 Highway 59 North
Robertsdale, Alabama 36567
Office: 251.947.3884

ISSUE	DATE	DESCRIPTION
1.	-	-

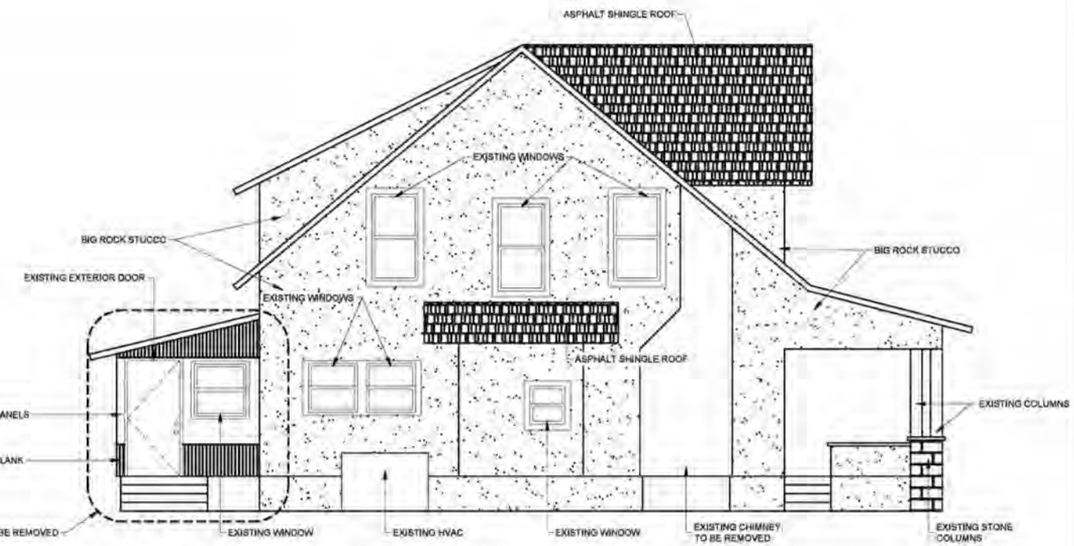
ENCOUNTER HOUSE
–, FAIRHOPE, AL 36532

PROJECT NO: 24-030

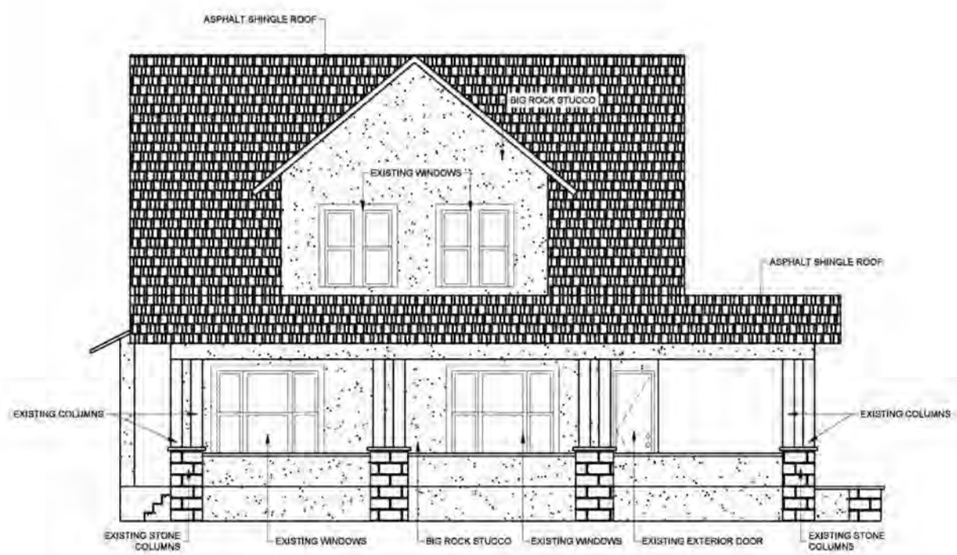
SHEET NO:
PROPOSED ARCHITECTURAL PLAN
A300.1

8/23/2024 4:18:18 PM – z:\jobs-2024\24-030 encounter house\01 working drawings\01 schematic design\24-030 A300.1 Proposed Architectural Plan.dwg

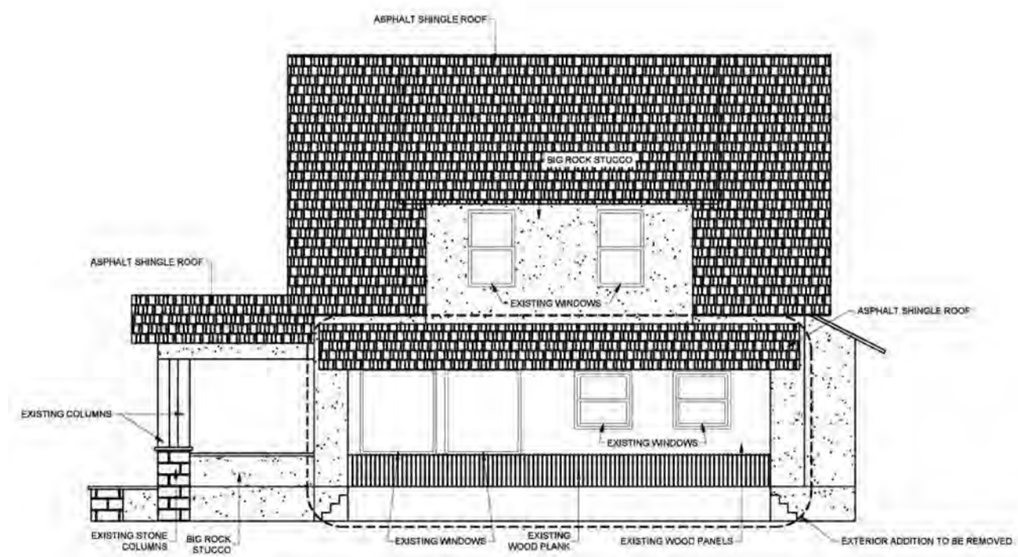
1 EXISTING ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



2 EXISTING ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



3 EXISTING ELEVATION - EAST
SCALE: 1/4" = 1'-0"



4 EXISTING ELEVATION - WEST
SCALE: 1/4" = 1'-0"

Adams·Stewart·Architects
Architecture•Planning•Interiors•Construction Administration
P.O. Box 529 • 22615 Highway 59 North
Robertsdale, Alabama 36567
Office: 251.947.3864

ISSUE	DATE	DESCRIPTION
1.	—	—

ENCOUNTER HOUSE
FAIRHOPE, AL 36532

PROJECT NO: 24-030

SHEET NO:
EXISTING - EXTERIOR ELEVATIONS

A200.1

9/20/2024 4:16:18 PM z:\jobs 2024\24-030 encounter house\01 working drawings\01 schematic design\24-030 A200.1 Exterior Elevations.dwg

SPEED LIMIT 55

POSTED SPEED LIMIT
AL-181 & AL-104

SPEED LIMIT 30

POSTED SPEED LIMIT
ENCOUNTER DRIVE, BUSHEL DRIVE, & HIDDEN GLEN
(R2-1)

ENCOUNTER HOUSE RELOCATION

FAIRHOPE, AL

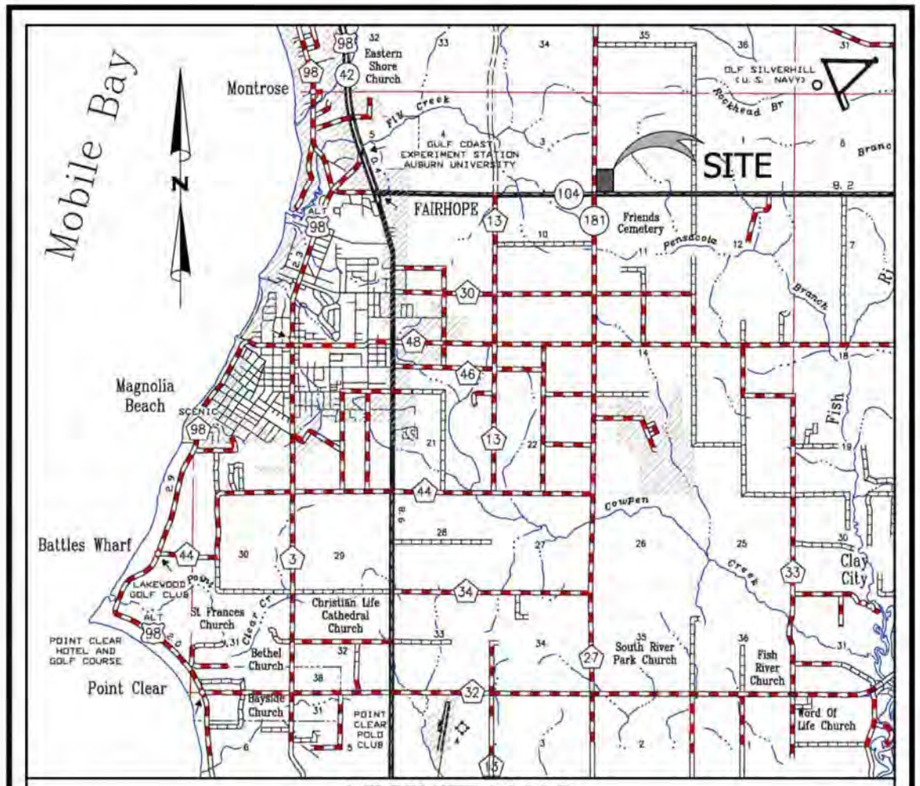
ENCOUNTER DRIVE & HIDDEN GLEN

GRADE, DRAIN, BASE AND PAVE
WATER DISTRIBUTION
SEWAGE COLLECTION SYSTEM

SEPTEMBER 2024

INDEX TO SHEETS:

SHEET	DESCRIPTION
C0.0	CIVIL COVER SHEET
C1.0-C1.1	EXISTING CONDITIONS/DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GEOMETRIC LAYOUT & UTILITY PLAN
C4.0	GRADING & DRAINAGE PLAN
C5.0	CIVIL CONSTRUCTION NOTES
C6.0-C6.1	CIVIL CONSTRUCTION DETAILS
C7.0	EROSION CONTROL PLAN
C8.0	EROSION CONTROL DETAILS



VICINITY MAP

NOT TO SCALE

SITE DATA TABLE		
STATE OF ALABAMA COUNTY OF BALDWIN CITY OF FAIRHOPE LOT 11 - ENCOUNTER COMMERCIAL RETAIL CENTER SUBDIVISION		
EX. TAX PARCEL ID:	PORTION OF 05-46-01-02-0-000-001.510	
LOT SIZE:	APPROX. 1.015 ACRES	
EX. ZONING:	B-2 GENERAL BUSINESS DISTRICT	
BUILDING SETBACKS:		
FRONT:	20'-0"	
SIDE:	10'-0"	
REAR:	20'-0"	
GENERAL PARKING STANDARDS:		
	0-400 SF GFA = 4 SPACES + 400-5000 SF GFA = 1 SPACE/400 SF + OVER 5000 SF GFA = 1 SPACE/200 SF	400 SF GFA = 4 SPACES + 1760 SF / 400 SF = 4.4 SPACES 8.40 TOTAL SPACES
VEHICLE PARKING REQUIRED:	8.40 SPACES	
"NO USE SHALL PROVIDE MORE THAN 20% MORE THAN THE PARKING REQUIRED BY TABLE 4-3." 8.40 SPACES * 1.2 = 10.08 SPACES		
VEHICLE PARKING PROVIDED:	10 SPACES	
PROPOSED BUILDING & AREA COVERAGE CALCULATIONS:		
BUILDING HEIGHT:	±25'-0" (TWO STORIES)	
TOTAL GROSS FLOOR AREA:	2,160 SF	
BUILDING COVERAGE:	1,309 SF / 44,221 SF = ±3%	
IMPERVIOUS AREA:	12,033 = ±27% (EXCLUDING BUILDING)	
GREEN SPACE:	30,879 SF = ±70%	

UTILITY INFORMATION	
CONTRACTOR SHALL HAVE ALL EXISTING BURIED UTILITIES "LINE SPOTTED" BY CALLING 1-800-292-8925 (ALABAMA ONE-CALL) OR BY CONTACTING LOCAL UTILITY COMPANIES	
WATER/GAS:	FAIRHOPE PUBLIC UTILITIES 555 S SECTION ST, FAIRHOPE, AL 36532 DARYL MOREFIELD (WATER), WES BOYETT (GAS) (251) 928-2136
SEWER:	FAIRHOPE PUBLIC UTILITIES 555 S SECTION ST, FAIRHOPE, AL 36532 DARYL MOREFIELD (251) 928-2136 BALDWIN COUNTY SEWER SERVICE 14747 UNDERWOOD RD, SUMMERDALE, AL 36580 ANGELA FOLEY (251) 971-3022
ELECTRICAL:	RIVIERA UTILITIES 413 E LAUREL AVE, FOLEY, AL 36536 SCOTT SLIGH (251) 943-5001
TELEPHONE:	AT&T - BELLSOUTH TELECOMMUNICATIONS, LLC 2155 OLD SHELL RD, MOBILE, AL 36607 WADE MITCHELL (251) 471-8361

ALABAMA 811 Know what's below. Call before you dig.

PREPARED FOR:

ENCOUNTER DEVELOPMENT, LLC
1189 POST RD STE 38
FAIRFIELD, CT 06824
KEN KLEBAN
203-955-1978

BENCHMARK INFORMATION:

TBM #BRB
CRS CONTROL
ELEV = 114.67

NOTE:

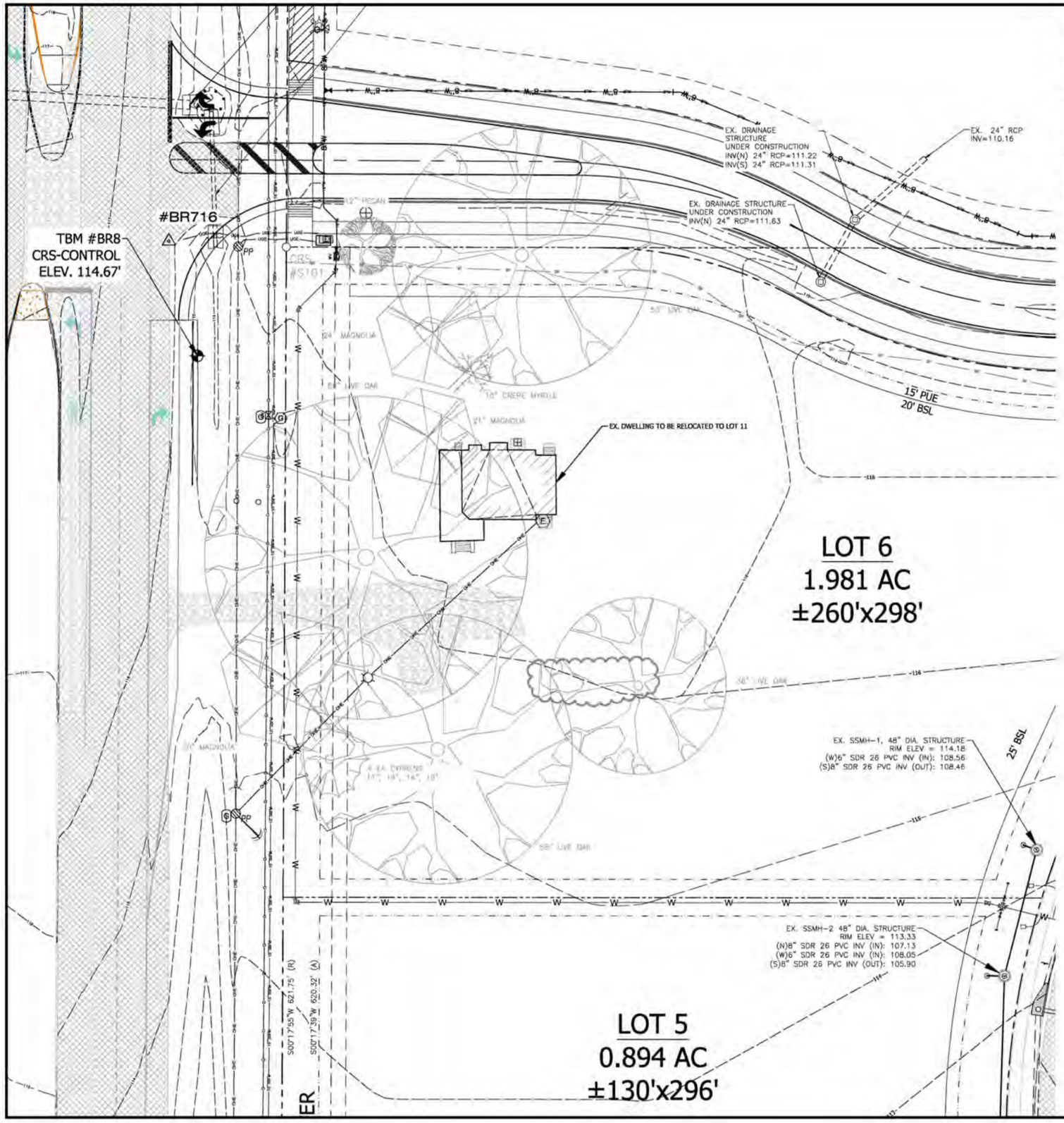
NO CONSTRUCTION AND/OR LAND DISTURBANCE, EXCEPT THOSE NECESSARY TO INSTALL THE BMP'S, SHALL BEGIN ON THIS PROJECT UNTIL THE BMP PLAN HAS BEEN INSTALLED AND APPROVED BY THE CITY/COUNTY.

JADE CONSULTING

Jinright & Associates Development Engineers
208 Greeno Road North Fairhope, Alabama 36532
P.O. Box 1929 Fairhope, Alabama 36533
Phone: (251) 928-3443 Fax: (251) 928-3665
jadeengineers.com (AL) CA-3157-E

ALABAMA LICENSED PROFESSIONAL ENGINEER
No. 25791
JAY WYATT MANSFIELD
9/23/24

COVER SHEET
HOUSE RELOCATION
ENCOUNTER DEVELOPMENT, LLC



NOTES:

1. ALL NEW WORK SHOWN IN THESE PLANS SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL BUILDING AND UTILITY INSTALLATION CODES.

2. NO WORK SHALL COMMENCE, INCLUDING DEMOLITION, UNTIL ALL APPLICABLE EROSION CONTROL MEASURES HAVE BEEN INSTALLED, INSPECTED BY THE PROJECT ENGINEER, AND APPROVED.

3. EROSION CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO ANY CLEARING OR EARTHWORK OPERATIONS AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL PERMANENT GROUND COVER IS ESTABLISHED IN ALL DISTURBED AREAS.

DEMOLITION NOTE:

1. ALL DEMOLITION TO BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS.

2. CLEAR AND GRUB ALL AREAS WITHIN ROADWAY FOOTPRINTS.

EXISTING UTILITIES DISCLAIMER:

EXISTING UTILITIES INDICATED ON THESE PLANS ARE BASED ON AVAILABLE INFORMATION. CONTRACTOR IS REQUIRED TO VERIFY LOCATION, BURY DEPTH, SIZE AND MATERIAL TYPE PRIOR TO ANY UTILITY IMPROVEMENTS. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES THAT ARE FOUND.

FLOOD ZONE NOTE:

ACCORDING TO THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP NO. 01003C0757 M, DATED APRIL 19, 2019, THE ABOVE DESCRIBED PROPERTY IS LOCATED IN FLOOD HAZARD AREAS "X-UNSHADED" AS DETERMINED BY GRAPHIC SCALING.

N

GRAPHIC SCALE
20 0 20
(IN FEET)
1 inch = 20 ft.

LEGEND

BENCHMARK
CONCRETE MONUMENT FOUND
CAPPED RBS FOUND
CAPPED RBS SET
RIGHT-OF-WAY
CENTERLINE
EXIST. PROPERTY LINE
PROPERTY LINE (ADJACENT)
EXIST. EASEMENT LINE
EXIST. OVERHEAD UTILITY AND UTILITY POLE
EXIST. GUY WIRE AND UTILITY POLE
EXIST. WATER LINE
EXIST. SANITARY SEWER FORCE MAIN
EXIST. GAS LINE
EXIST. UNDERGROUND CABLE LINE
EXIST. UNDERGROUND ELECTRIC LINE
EXIST. BELT FENCE
EXIST. WIRE FENCE LINE
EXIST. PIPE
EXIST. 1 FOOT CONTOUR
EXIST. 5 FOOT CONTOUR
EXIST. GRADE SPOT ELEVATION
EXIST. POWER POLE
EXIST. ELECTRICAL METER
EXIST. ELECTRICAL BOX
EXIST. WATER METER
EXIST. WATER VALVE
EXIST. FIRE HYDRANT
EXIST. SANITARY SEWER SERVICE
EXIST. SANITARY SEWER MANHOLE
EXIST. GAS VALVE
EXIST. GAS LINE METER
EXIST. GAS LINE MARKER
EXIST. GAS LINE VENT
EXIST. COMMUNICATIONS VAULT
EXIST. COMMUNICATIONS MARKER
EXIST. STORM SEWER MANHOLE
EXIST. ASPHALT PAVING
EXIST. CONCRETE
EXIST. GRAVEL
TO BE REMOVED
TO BE REMOVED
TO BE REMOVED

BENCHMARK INFORMATION:

TBM #BR8
CRS CONTROL
ELEV = 114.67

SURVEY PROVIDED BY:

Wattier Surveying, Inc.
Professional Land Surveyors
4318 Downtowner Loop N., Suite H
Mobile, Alabama 36609
251-342-2640

ALABAMA 811 Know what's below. Call before you dig.

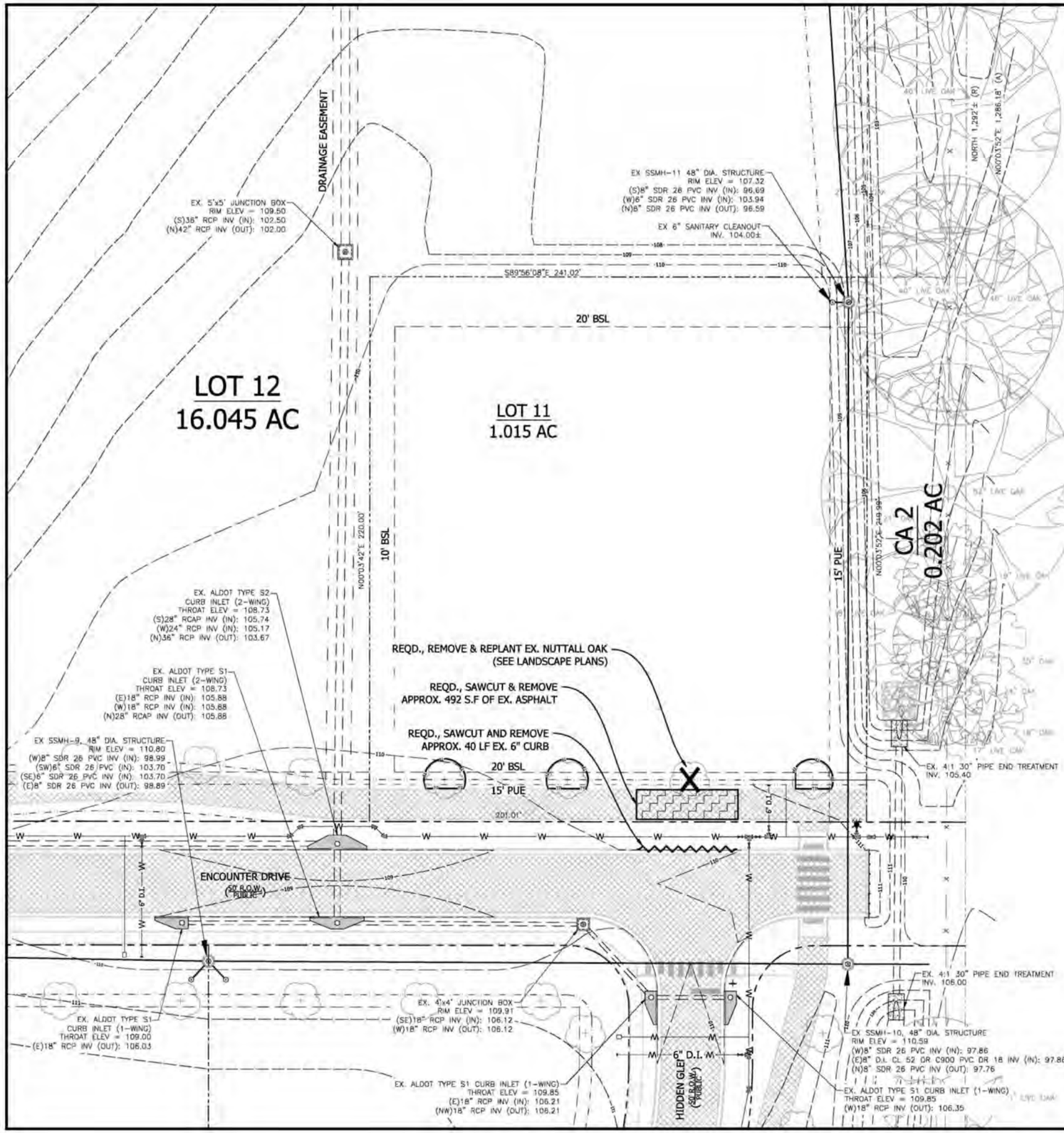
JADE CONSULTING
208 Gereno Rd. North, Ste. C
Fairhope, Alabama 36532
P.O. Box 1929
Fairhope, Alabama 36533
Phone: (251) 928-5443
jadeengineers.com
(AL) CA-3157-E

ALABAMA LICENSED NO. 34324 PROFESSIONAL ENGINEER
WYATT MARCINO
9/23/24

NO.	REVISION	DATE	APPR.
1.	CITY SUBMITTAL	9/23/24	

EXISTING CONDITIONS/DEMOLITION PLAN
LOT 6
HOUSE RELOCATION
ENCOUNTER DEVELOPMENT, LLC

JOB NO:	23-1897.20
SCALE:	1" = 20'
DATE:	SEPT 2024
DRAFTER:	CBE
SHEET:	C1.0



NOTES:

1. ALL NEW WORK SHOWN IN THESE PLANS SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL BUILDING AND UTILITY INSTALLATION CODES.

2. NO WORK SHALL COMMENCE, INCLUDING DEMOLITION, UNTIL ALL APPLICABLE EROSION CONTROL MEASURES HAVE BEEN INSTALLED, INSPECTED BY THE PROJECT ENGINEER, AND APPROVED.

3. EROSION CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO ANY CLEARING OR EARTHWORK OPERATIONS AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL PERMANENT GROUND COVER IS ESTABLISHED IN ALL DISTURBED AREAS.

DEMOLITION NOTE:

1. ALL DEMOLITION TO BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS.

2. CLEAR AND GRUB ALL AREAS WITHIN ROADWAY FOOTPRINTS.

EXISTING UTILITIES DISCLAIMER:

EXISTING UTILITIES INDICATED ON THESE PLANS ARE BASED ON AVAILABLE INFORMATION. CONTRACTOR IS REQUIRED TO VERIFY LOCATION, BURY DEPTH, SIZE AND MATERIAL TYPE PRIOR TO ANY UTILITY IMPROVEMENTS. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES THAT ARE FOUND.

FLOOD ZONE NOTE:

ACCORDING TO THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP NO. 01003C0757 M, DATED APRIL 19, 2019, THE ABOVE DESCRIBED PROPERTY IS LOCATED IN FLOOD HAZARD AREAS "X-UNSHADED" AS DETERMINED BY GRAPHIC SCALING.

GRAPHIC SCALE
20 0 20
(IN FEET)
1 inch = 20 ft.

LEGEND

BENCHMARK
CONCRETE MONUMENT FOUND
CAPPED RODS FOUND
CAPPED RODS SET
REBAR/CAP FOUND
CENTERLINE
EXIST. PROPERTY LINE
PROPERTY LINE (ADJACENT)
EXIST. EASEMENT LINE
EXIST. OVERHEAD UTILITY AND UTILITY POLE
EXIST. GUY WIRE AND UTILITY POLE
EXIST. WATER LINE
EXIST. SANITARY SEWER FORCE MAIN
EXIST. GAS LINE
EXIST. UNDERGROUND CABLE LINE
EXIST. UNDERGROUND ELECTRIC LINE
EXIST. SILT FENCE
EXIST. WIRE FENCE LINE
EXIST. PIPE
EXIST. 1 FOOT CONTOUR
EXIST. 5 FOOT CONTOUR
EXIST. GRADE SPOT ELEVATION
EXIST. POWER POLE
EXIST. ELECTRICAL METER
EXIST. ELECTRICAL BOX
EXIST. WATER METER
EXIST. WATER VALVE
EXIST. FIRE HYDRANT
EXIST. SANITARY SEWER SERVICE
EXIST. SANITARY SEWER MANHOLE
EXIST. GAS VALVE
EXIST. GAS LINE METER
EXIST. GAS LINE MARKER
EXIST. GAS LINE VENT
EXIST. COMMUNICATIONS VAULT
EXIST. COMMUNICATIONS MARKER
EXIST. STORM SEWER MANHOLE
EXIST. ASPHALT PAVING
EXIST. CONCRETE
EXIST. GRAVEL
TO BE REMOVED
TO BE REMOVED
TO BE REMOVED
TREE PROTECTION

BENCHMARK INFORMATION:

TBM #BR8
CRS CONTROL
ELEV = 114.67

SURVEY PROVIDED BY:

Wattier Surveying, Inc.
Professional Land Surveyors
4318 Downtowner Loop N., Suite H
Mobile, Alabama 36609
251-342-2640

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P.O. Box 1929
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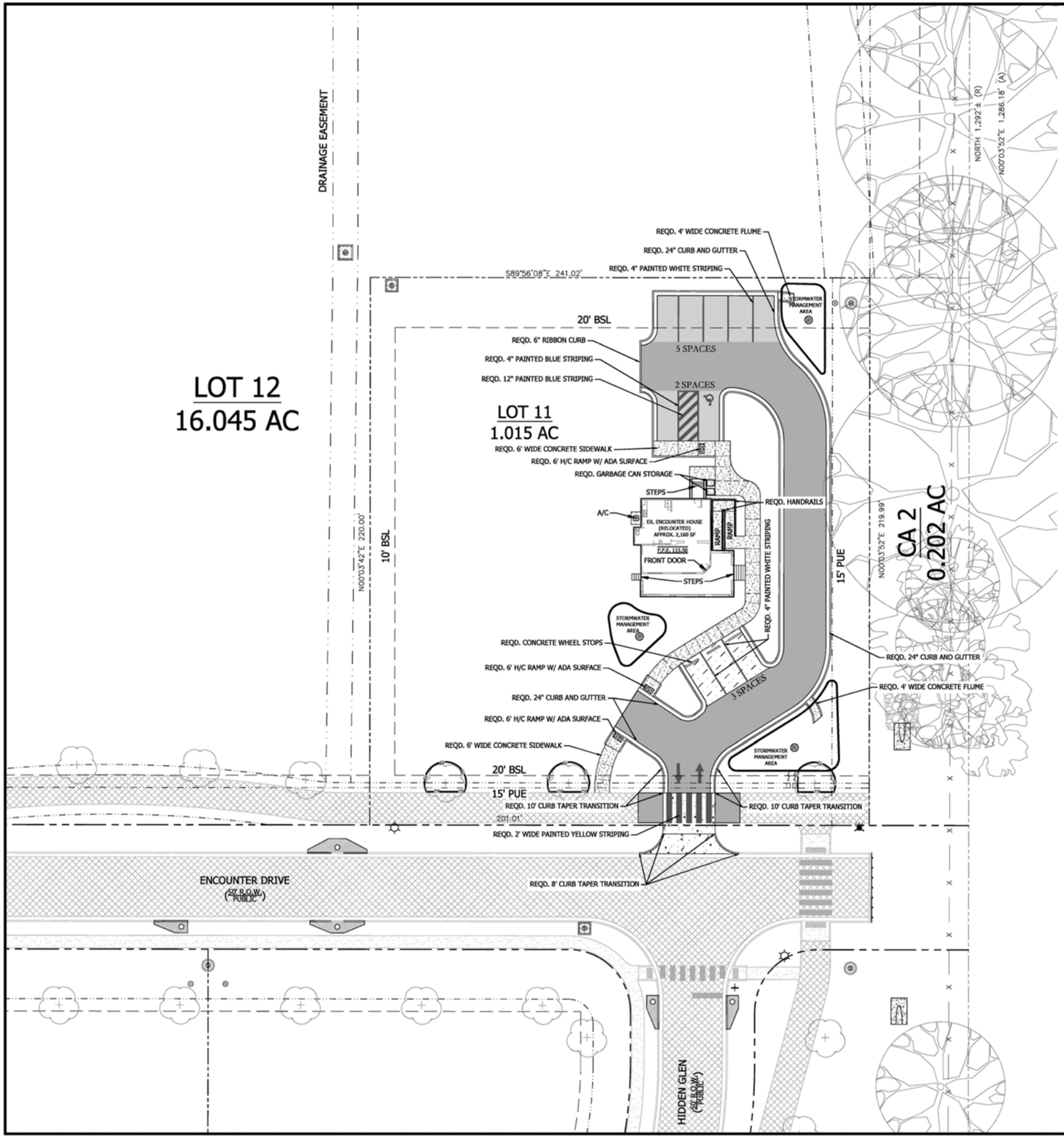
Phone: (251) 928-5443
jadeengineers.com
(AL) CA-3157-E

ALABAMA LICENSED PROFESSIONAL ENGINEER
CHARLES WYATT MARCANO
9/23/24

NO.	REVISION	DATE	APPR.
1.	CITY SUBMITTAL	9/23/24	

EXISTING CONDITIONS/DEMOLITION PLAN
LOT 11
HOUSE RELOCATION
ENCOUNTER DEVELOPMENT, LLC

JOB NO: 23-1897.20
SCALE: 1" = 20'
DATE: SEPT 2024
DRAFTER: CBE
SHEET: C1.1



NOTES TO CONTRACTOR:

1. EVERY EFFORT HAS BEEN MADE TO ENSURE THAT THE BUILDING INDICATED IN THESE DRAWINGS MATCHES THE ARCHITECTS LATEST BUILDING AND FOUNDATION PLAN. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONFIRM THE AGREEMENT BETWEEN THE BUILDING FOOT PRINT SHOWN IN THESE PLANS AND THE ARCHITECTS BUILDING FOOTPRINT AND FOUNDATION PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
2. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ANY EXISTING SLOPES AND INFRASTRUCTURES ON THE SITE (I.E. PIPES, INLETS, ETC.).
3. CONTRACTOR TO VIDEO ALL EXISTING SEWER AND DRAIN LINES TO ENSURE THEY ARE CLEAR AND IN PROPER WORKING ORDER. PROVIDE VIDEO TO THE OWNER.
4. AFTER THE STORM DRAIN SYSTEM IS COMPLETED THE CONTRACTOR SHALL VIDEO THE SYSTEM AND SUBMIT VIDEO TO THE OWNER FOR REVIEW.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO THE SITE FOR THE DURATION OF THE PROJECT.
6. ALL EARTHWORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH GEOTECHNICAL RECOMMENDATIONS.
7. ALL CONDUIT LOCATIONS FOR POWER, TELEPHONE, AND CABLE SHALL BE COORDINATED WITH ARCHITECTURAL PLANS AND LOCAL UTILITY PROVIDERS.

N

GRAPHIC SCALE
20 0 20
(IN FEET)
1 inch = 20 ft.

SITE DATA TABLE

STATE OF ALABAMA COUNTY OF BALDWIN CITY OF FAIRHOPE LOT 11 - ENCOUNTER COMMERCIAL RETAIL CENTER SUBDIVISION		
EX. TAX PARCEL ID:	PORTION OF 05-46-01-02-0-000-001.510	
LOT SIZE:	APPROX. 1.015 ACRES	
EX. ZONING:	B-2 GENERAL BUSINESS DISTRICT	
BUILDING SETBACKS:		
FRONT:	20'-0"	
SIDE:	10'-0"	
REAR:	20'-0"	
GENERAL PARKING STANDARDS:		
	0-400 SF GFA = 4 SPACES + 400-5000 SF GFA = 1 SPACE/400 SF + OVER 5000 SF GFA = 1 SPACE/200 SF	400 SF GFA = 4 SPACES + 1760 SF / 400 SF = 4.4 SPACES + 8.40 TOTAL SPACES
VEHICLE PARKING REQUIRED:	8.40 SPACES	
"NO USE SHALL PROVIDE MORE THAN 20% MORE THAN THE PARKING REQUIRED BY TABLE 4-3." 8.40 SPACES * 1.2 = 10.08 SPACES		
VEHICLE PARKING PROVIDED:	10 SPACES	
PROPOSED BUILDING & AREA COVERAGE CALCULATIONS:		
BUILDING HEIGHT:	±25'-0" (TWO STORIES)	
TOTAL GROSS FLOOR AREA:	2,160 SF	
BUILDING COVERAGE:	1,309 SF / 44,221 SF = ±3%	
IMPERVIOUS AREA:	12,033 = ±27% (EXCLUDING BUILDING)	
GREEN SPACE:	30,879 SF = ±70%	

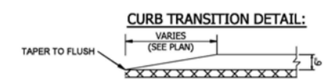
LEGEND

- BENCHMARK
- CMF — CONCRETE MONUMENT FOUND
- CRF — CAPPED ROD FOUND
- CRS — CAPPED ROD SET
- R/W — RIGHT-OF-WAY
- CENTERLINE
- EXIST. PROPERTY LINE
- PROPERTY LINE (ADJACENT)
- EXIST. EASEMENT LINE
- OHE — EXIST. OVERHEAD UTILITY AND UTILITY POLE
- GUY — EXIST. GUY WIRE AND UTILITY POLE
- W — EXIST. WATER LINE
- SSFM — EXIST. SANITARY SEWER FORCE MAIN
- EXIST. GAS LINE
- UGC — EXIST. UNDERGROUND CABLE LINE
- UGE — EXIST. UNDERGROUND ELECTRIC LINE
- SF — EXIST. SILT FENCE
- X — EXIST. WIRE FENCE LINE
- EXIST. PIPE
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT LINE
- PROPOSED SETBACK LINE
- PROPOSED 24" CONCRETE CURB & GUTTER
- PROPOSED 6" CONCRETE CURB
- EXIST. POWER POLE
- EXIST. ELECTRICAL METER
- EXIST. LIGHT POLE
- EXIST. ELECTRICAL BOX
- EXIST. WATER METER
- EXIST. WATER VALVE
- EXIST. FIRE HYDRANT
- EXIST. SANITARY SEWER SERVICE
- EXIST. SANITARY SEWER MANHOLE
- EXIST. GAS VALVE
- EXIST. GAS LINE METER
- EXIST. GAS LINE MARKER
- EXIST. GAS LINE VENT
- EXIST. COMMUNICATIONS VAULT
- EXIST. COMMUNICATIONS MARKER
- EXIST. STORM SEWER MANHOLE
- EXIST. ASPHALT PAVING
- EXIST. CONCRETE
- PROPOSED STANDARD DUTY ASPHALT
- PROPOSED MEDIUM DUTY ASPHALT
- PROPOSED PERVIOUS CONCRETE
- PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH)
- PROPOSED HEAVY DUTY CONCRETE (BROOM FINISH)

PROPOSED JOINT LAYOUT:

- PROPOSED CONTRACTION/SAWCUT JOINT
- PROPOSED EXPANSION JOINT

CURB TRANSITION DETAIL:



SPEED LIMIT 30

POSTED SPEED LIMIT
ENCOUNTER DRIVE, BUSHEL DRIVE, & HIDDEN GLEN
(R2-1)

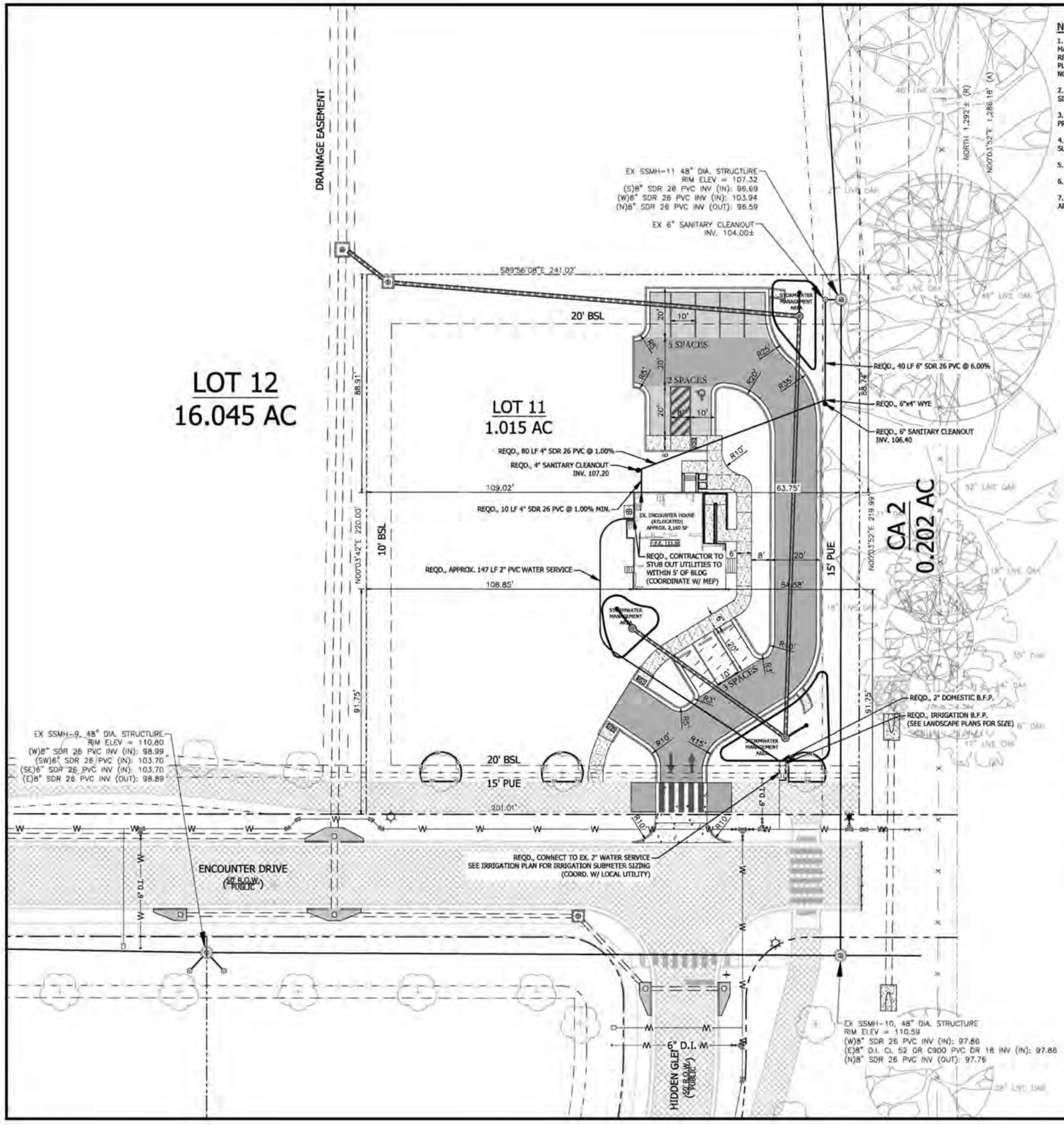
JADE CONSULTING
208 Greeno Rd. North, Ste. C
Fairhope, Alabama 36532
P.O. Box 1929
Fairhope, Alabama 36533
Phone: (251) 928-3443
jadeengineers.com
(AL) CA-3157-E

ALABAMA LICENSED PROFESSIONAL ENGINEER NO. 31974 WYATT MARCHANO
9/23/24

NO.	REVISION	DATE	APPR.
1.	CITY SUBMITTAL	9/23/24	

SITE PLAN
HOUSE RELOCATION
ENCOUNTER DEVELOPMENT, LLC

JOB NO:	23-1897.20
SCALE:	1" = 20'
DATE:	SEPT 2024
DRAFTER:	CBE
SHEET:	C2.0



NOTES TO CONTRACTOR:

1. EVERY EFFORT HAS BEEN MADE TO ENSURE THAT THE BUILDING INDICATED IN THESE DRAWINGS MATCHES THE ARCHITECTS LATEST BUILDING AND FOUNDATION PLAN. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONFIRM THE AGREEMENT BETWEEN THE BUILDING FOOT PRINT SHOWN IN THESE PLANS AND THE ARCHITECTS BUILDING FOOTPRINT AND FOUNDATION PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.

2. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ANY EXISTING SLOPES AND INFRASTRUCTURES ON THE SITE (I.E. PIPES, INLETS, ETC.).

3. CONTRACTOR TO VIDEO ALL EXISTING SEWER AND DRAIN LINES TO ENSURE THEY ARE CLEAR AND IN PROPER WORKING ORDER. PROVIDE VIDEO TO THE OWNER.

4. AFTER THE STORM DRAIN SYSTEM IS COMPLETED THE CONTRACTOR SHALL VIDEO THE SYSTEM AND SUBMIT VIDEO TO THE OWNER FOR REVIEW.

5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO THE SITE FOR THE DURATION OF THE PROJECT.

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7. ALL CONDUIT LOCATIONS FOR POWER, TELEPHONE, AND CABLE SHALL BE COORDINATED WITH ARCHITECTURAL PLANS AND LOCAL UTILITY PROVIDERS.

N

GRAPHIC SCALE
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(IN FEET)
1 inch = 20 ft.

LEGEND

BENCHMARK
CONCRETE MONUMENT FOUND
CAPPED ROD FOUND
CAPPED ROD SET
RIGHT-OF-WAY
CENTERLINE
EXIST. PROPERTY LINE
PROPERTY LINE (ADJACENT)
EXIST. EASEMENT LINE
EXIST. OVERHEAD UTILITY AND UTILITY POLE
EXIST. GUY WIRE AND UTILITY POLE
EXIST. WATER LINE
EXIST. SANITARY SEWER FORCE MAIN
EXIST. GAS LINE
EXIST. UNDERGROUND CABLE LINE
EXIST. UNDERGROUND ELECTRIC LINE
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EXIST. WIRE FENCE LINE
EXIST. PIPE
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EXIST. LIGHT POLE
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EXIST. WATER VALVE
EXIST. FIRE HYDRANT
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EXIST. SANITARY SEWER MANHOLE
EXIST. GAS VALVE
EXIST. GAS LINE METER
EXIST. GAS LINE MARKER
EXIST. GAS LINE VENT
EXIST. COMMUNICATIONS VAULT
EXIST. COMMUNICATIONS MARKER
EXIST. STORM SEWER MANHOLE
EXIST. ASPHALT PAVING
EXIST. CONCRETE
PROPOSED STANDARD DUTY ASPHALT
PROPOSED HEAVY DUTY ASPHALT
PROPOSED PERVIOUS CONCRETE
PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH)
PROPOSED HEAVY DUTY CONCRETE (BROOM FINISH)

EXISTING UTILITIES DISCLAIMER:

EXISTING UTILITIES INDICATED ON THESE PLANS ARE BASED ON AVAILABLE INFORMATION. CONTRACTOR IS REQUIRED TO VERIFY LOCATION, BURY DEPTH, SIZE AND MATERIAL TYPE PRIOR TO ANY UTILITY IMPROVEMENTS. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES THAT ARE FOUND.

UTILITY NOTE:

CONTRACTOR TO STUB OUT UTILITIES TO WITHIN 5' OF BUILDING.
COORDINATE WITH PLUMBING PLANS FOR CONNECTION.

DIMENSION NOTE:

DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

PROPOSED JOINT LAYOUT:

PROPOSED CONTRACTION/SAWCUT JOINT

PROPOSED EXPANSION JOINT

UTILITY INFORMATION

CONTRACTOR SHALL HAVE ALL EXISTING BURIED UTILITIES "LINE SPOTTED" BY CALLING 1-800-292-8525 (ALABAMA ONE-CALL) OR BY CONTACTING LOCAL UTILITY COMPANIES

WATER/SEWER/GAS:	FAIRHOPE PUBLIC UTILITIES 555 S SECTION ST, FAIRHOPE, AL 36532 JASON LANGLEY (WATER/SEWER), JEREMY LITTLE (GAS) (251) 928-2136
ELECTRICAL:	RIVIERA UTILITIES 413 E LAUREL AVE, FOLEY, AL 36536 SCOTT SLIGH (251) 943-5001
TELEPHONE:	AT&T - BELLSOUTH TELECOMMUNICATIONS, LLC 2155 OLD SHELL RD, MOBILE, AL 36607 WADE MITCHELL (251) 471-8381

ALABAMA 811 Know what's below. Call before you dig.

SURVEY PROVIDED BY:

Wattier Surveying, Inc.
Professional Land Surveyors
4318 Downtowner Loop N., Suite H
Mobile, Alabama 36609
251-342-2640

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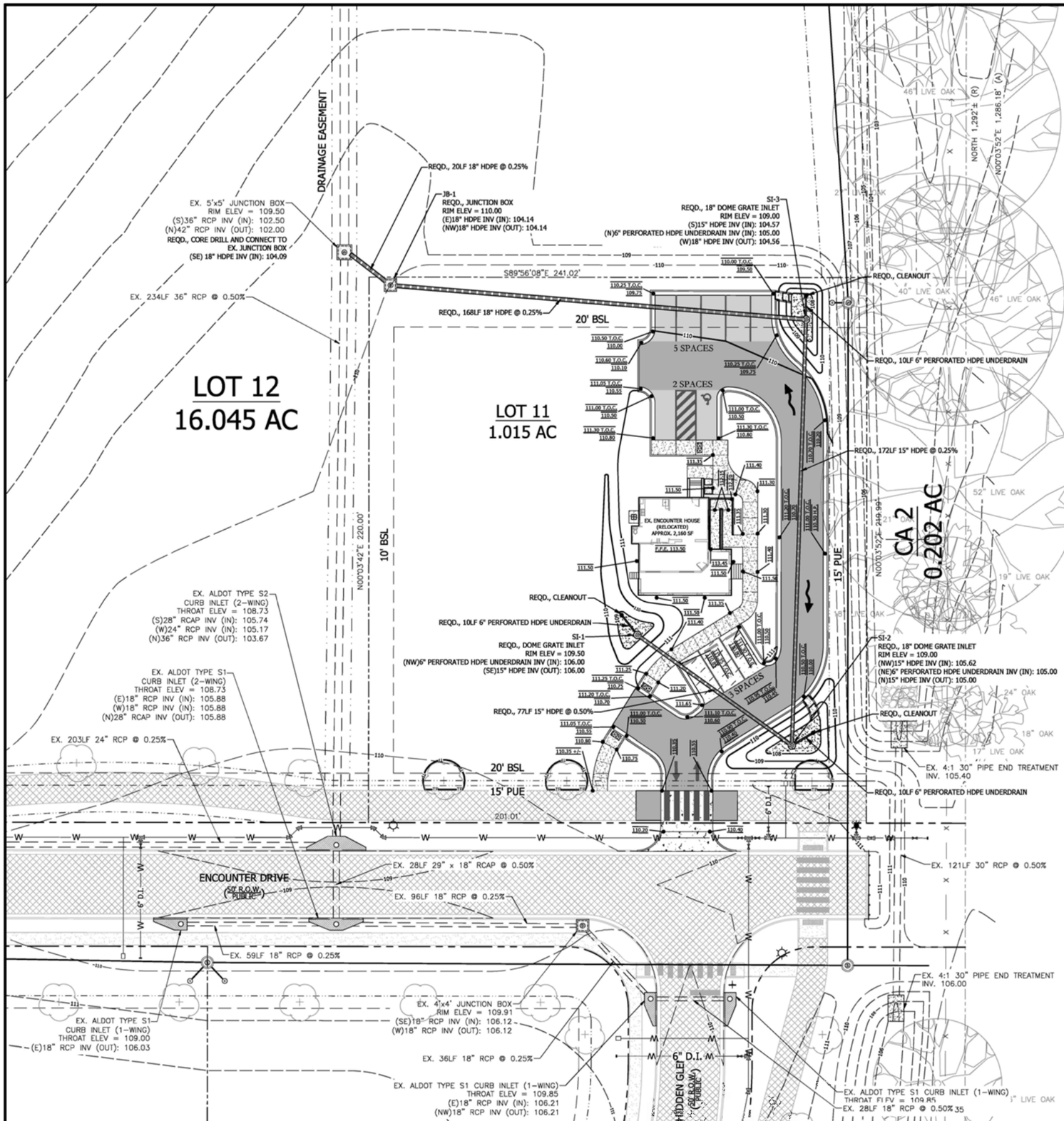
ALABAMA LICENSED PROFESSIONAL ENGINEER
WYATT MARCHINO
9/23/24

NO.	REVISION	DATE	APPR.
1.	CITY SUBMITTAL	9/23/24	

GEOMENTRIC LAYOUT AND UTILITY PLAN
HOUSE RELOCATION
ENCOUNTER DEVELOPMENT, LLC

JOB NO: 23-1897.20
SCALE: 1" = 20'
DATE: SEPT 2024
DRAFTER: CBE
SHEET: C3.0



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7. ALL CONDUIT LOCATIONS FOR POWER, TELEPHONE, AND CABLE SHALL BE COORDINATED WITH ARCHITECTURAL PLANS AND LOCAL UTILITY PROVIDERS.

DRAINAGE NOTE:

1. FOR ALL CURB INLETS, THE THROAT ELEVATION CALLED OUT ON THE PLANS IS THE ACTUAL GUTTER FLOW LINE ELEVATION.

2. MANHOLE STEPS SHALL BE PROVIDED FOR ALL STRUCTURES OVER 4' DEEP. STEPS MUST BE EASILY ACCESSIBLE FROM MANHOLE ACCESS.

3. CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY OF ALL STORM NETWORK STRUCTURE ELEVATIONS AND PIPE INVERTS.

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   A. DETAIL OF THE POND CONTROL STRUCTURE INCLUDING STRUCTURE TYPE, STRUCTURE SIZE, INVERT OF ALL PIPES, ORIFICES, WEIRS AND THE INVERT CONNECTIONS AT OFF-SITE CONVEYANCE SYSTEMS, GRATES AND SKIMMERS.

   B. POND CONSTRUCTION DETAILS SHOWING THE POND TOPOGRAPHY, TOP OF THE POND BERM/WALL AND POND BOTTOM ELEVATIONS AND THE LOCATION OF SAND FILTERS.

   C. SHOW ENTIRE STORM WATER CONVEYANCE SYSTEM INCLUDING THE SIZE TYPE AND INVERT OF ALL PIPES, CHANNELS, ROOF DRAIN SYSTEMS, STRUCTURES, CURBING AND SPOT SHOT ELEVATIONS IN VEHICLE USE AREAS. DRAINAGE STRUCTURES SHALL INCLUDE "X" AND "Y" COORDINATES.

   D.SHOW ALL TRAFFIC CONTROL DEVICES INCLUDING SIGNS, SIGNALS, PARKING STRIPING AND PAVEMENT MARKINGS.

   E. DELINEATE CONSERVATION AND DRAINAGE EASEMENT BOUNDARIES AND LABEL WITH THE "OR" BOOK AND PAGE NUMBER.D

   F. ANY ADDITIONAL ITEMS REQUIRED BY PERMITTING JURISDICTION.

GRAPHIC SCALE
20 0 20
(IN FEET)
1 inch = 20 ft.

LEGEND

BENCHMARK
CMF — CONCRETE MONUMENT FOUND
CRF — CAPPED ROD FOUND
CRS — CAPPED ROD SET
R.O.W. — RIGHT-OF-WAY
CENTERLINE
EXIST. PROPERTY LINE
PROPERTY LINE (ADJACENT)
EXIST. EASEMENT LINE
OHE — EXIST. OVERHEAD UTILITY AND UTILITY POLE
GUY — EXIST. GUY WIRE AND UTILITY POLE
W — EXIST. WATER LINE
SSFM — EXIST. SANITARY SEWER FORCE MAIN
G — EXIST. GAS LINE
UGC — EXIST. UNDERGROUND CABLE LINE
UGE — EXIST. UNDERGROUND ELECTRIC LINE
SF — EXIST. SILT FENCE
X — EXIST. WIRE FENCE LINE
EXIST. PIPE
PROPOSED PROPERTY LINE
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EXIST. COMMUNICATIONS MARKER
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PROPOSED MEDIUM DUTY ASPHALT
PROPOSED PERVIOUS CONCRETE
PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH)
PROPOSED HEAVY DUTY CONCRETE (BROOM FINISH)
PROPOSED 36" SAND FILTER
EXIST. 1 FOOT CONTOUR
EXIST. 5 FOOT CONTOUR
EXIST. GRADE SPOT ELEVATION
PROPOSED 1 FOOT CONTOUR
PROPOSED 5 FOOT CONTOUR
FINISHED GRADE ELEVATION (TOP OF CURB)
FINISHED GRADE ELEVATION
DRAINAGE DIRECTION

SURVEY PROVIDED BY:

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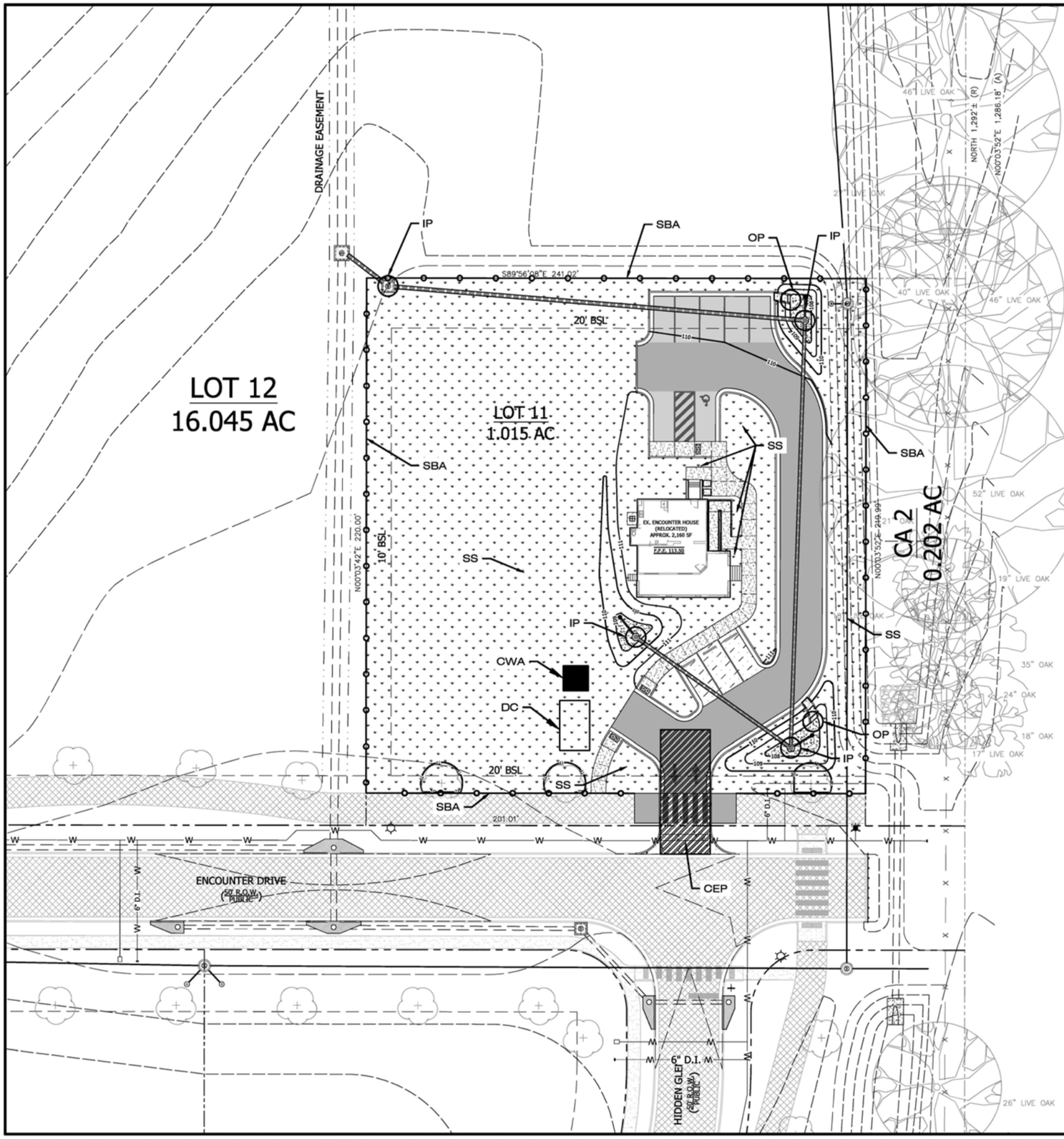
Phone: (251) 928-3443
jadeengineers.com
(AL) CA-3157-E

ALABAMA LICENSED PROFESSIONAL ENGINEER
NO. 29794
NOAH WYATT MARCHINO
9/23/24

NO.	REVISION	DATE	APPR.
1.	CITY SUBMITTAL	9/23/24	

GRADING AND DRAINAGE PLAN
HOUSE RELOCATION
ENCOUNTER DEVELOPMENT, LLC

JOB NO: 23-1897.20
SCALE: 1" = 20'
DATE: SEPT 2024
DRAFTER: CBE
SHEET: C4.0



EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LATEST ADEM STANDARDS.

2. ALL AREAS LEFT UNATTENDED FOR LONGER THAN 13 DAYS SHALL BE COVERED WITH SEASONAL TEMPORARY SEEDING AND MULCHING.

3. ALL SLOPES SHALL BE TRACKED PERPENDICULAR TO THE SLOPE.

4. NO WORK SHALL COMMENCE UNTIL ALL APPLICABLE EROSION CONTROL MEASURES HAVE BEEN INSTALLED, INSPECTED BY THE PROJECT ENGINEER, AND APPROVED.

5. STORMWATER DETENTION POND OR SEDIMENT BASIN SHALL BE CONSTRUCTED, INSPECTED, AND APPROVED PRIOR TO WORK ON ANY OTHER TASK, UNLESS OTHERWISE APPROVED BY THE PROJECT ENGINEER.

6. ALL DISTURBED AREAS WILL BE PROPERLY STABILIZED. CONTRACTOR TO COORDINATE WITH LANDSCAPE PLAN FOR FINAL PLANTING REQUIREMENTS.

7. 4" MIN TOPSOIL TO BE SPREAD ACROSS DISTURBED SURFACES ONCE FINAL GRADING HAS BEEN ESTABLISHED. CONTRACTOR TO PROVIDE SEED/SOD AS PER EROSION CONTROL PLAN AND STABILIZE DISTURBED AREAS PER ADEM REQUIREMENTS.

8. BMP'S SHALL BE CLEANED OUT WHEN THEY REACH ½ FULL.

9. INACTIVE PROJECTS (MORE THAN 7 DAYS) SHALL BE MULCHED IF INACTIVE FOR LESS THAN 60 DAYS. IF PROJECT TO REMAIN INACTIVE FOR MORE THAN 60 DAYS, PROJECT SHALL BE SEEDED AND MULCHED.

10. CONTRACTOR SHALL USE ALL MEANS NECESSARY TO MINIMIZE DUST GENERATION DUE TO CONSTRUCTION ACTIVITIES.

CONSTRUCTION PHASE SEQUENCE:

PHASE ONE

- INSTALL CONSTRUCTION ENTRANCE/EXIT
- CLEAR AREA REQUIRED FOR SILT FENCE PLACEMENT
- INSTALL SILT FENCE (SBA)

PHASE TWO

- WATTLES, INLET, AND OUTLET PROTECTION TO BE INSTALLED

PHASE THREE

- DEMOLITION AND REMOVAL OF DEMO DEBRIS
- CLEAR/GRUB REMAINING SITE AREAS

PHASE FOUR

- INSTALL STORM DRAINAGE MEASURES
- GRADE SITE TO ROUGH GRADES

PHASE FIVE

- CONSTRUCT UTILITIES (WATER, SEWER)

PHASE SIX

- CONSTRUCT ROADS (PAVING, CURB AND GUTTER, SIDEWALKS)

PHASE SEVEN

- STABILIZE DISTURBED AREAS WITH SOLID SOD
- INSTALL PERMANENT LANDSCAPING

PHASE EIGHT

- REMOVE BMP MEASURES
- REMOVE CAPTURED SEDIMENT FROM BMP AREAS AND CONVERT TO PERMANENT FUNCTIONING STRUCTURES

PHASE NINE

- REMOVE SILT FENCE
- PROJECT COMPLETE, FINAL INSPECTION, FILE NOTICE OF TERMINATION

SITE CONSTRUCTION DEBRIS DISPOSAL NOTE:

A DUMPSTER OF SUITABLE SIZE SHALL BE ON-SITE DURING ALL PHASES OF CONSTRUCTION ACTIVITIES AND EMPTIED AT A SUITABLE PERMITTED DISPOSAL SITE AND REPLACED AS NEEDED THROUGHOUT THE DURATION OF THE PROJECT. ALL DISPOSAL SHALL MEET ALL LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS.

RAINFALL INSPECTION NOTE:

ALL EROSION CONTROLS SHALL BE INSPECTED BY A QUALIFIED PERSON WITHIN 24 HOURS OF A RAINFALL EVENT OF 3/4 INCH OR GREATER AND REPAIRED AS NEEDED.

GRAPHIC SCALE
20 0 20
(IN FEET)
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LEGEND

BENCHMARK
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PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH)
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PROPOSED 30" SAND FILTER
EXIST. 1 FOOT CONTOUR
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DRAINAGE DIRECTION

EROSION CONTROL LEGEND

IP - INLET PROTECTION
OP - OUTLET PROTECTION
DC - DEBRIS CONTAINMENT
CWA - CONCRETE WASHOUT AREA
SBA - SEDIMENT BARRIER (SILT FENCE, TYPE A)
TP - TREE PROTECTION
CEP - CONSTRUCTION EXIT PAD
SS - SOLID SOD/SEED AND MULCH ALL AREAS REQD TO BE PROPERLY STABILIZED

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(AL) CA-3157-E

ALABAMA LICENSED PROFESSIONAL ENGINEER
NO. 37374
PRELIMINARY NOT FOR CONSTRUCTION
WYATT MARCHANO
9/23/24

NO.	REVISION	DATE	APPR.
1.	CITY SUBMITTAL	9/23/24	

EROSION CONTROL PLAN
HOUSE RELOCATION
ENCOUNTER DEVELOPMENT, LLC

JOB NO:	23-1897.20
SCALE:	1" = 20'
DATE:	SEPT 2024
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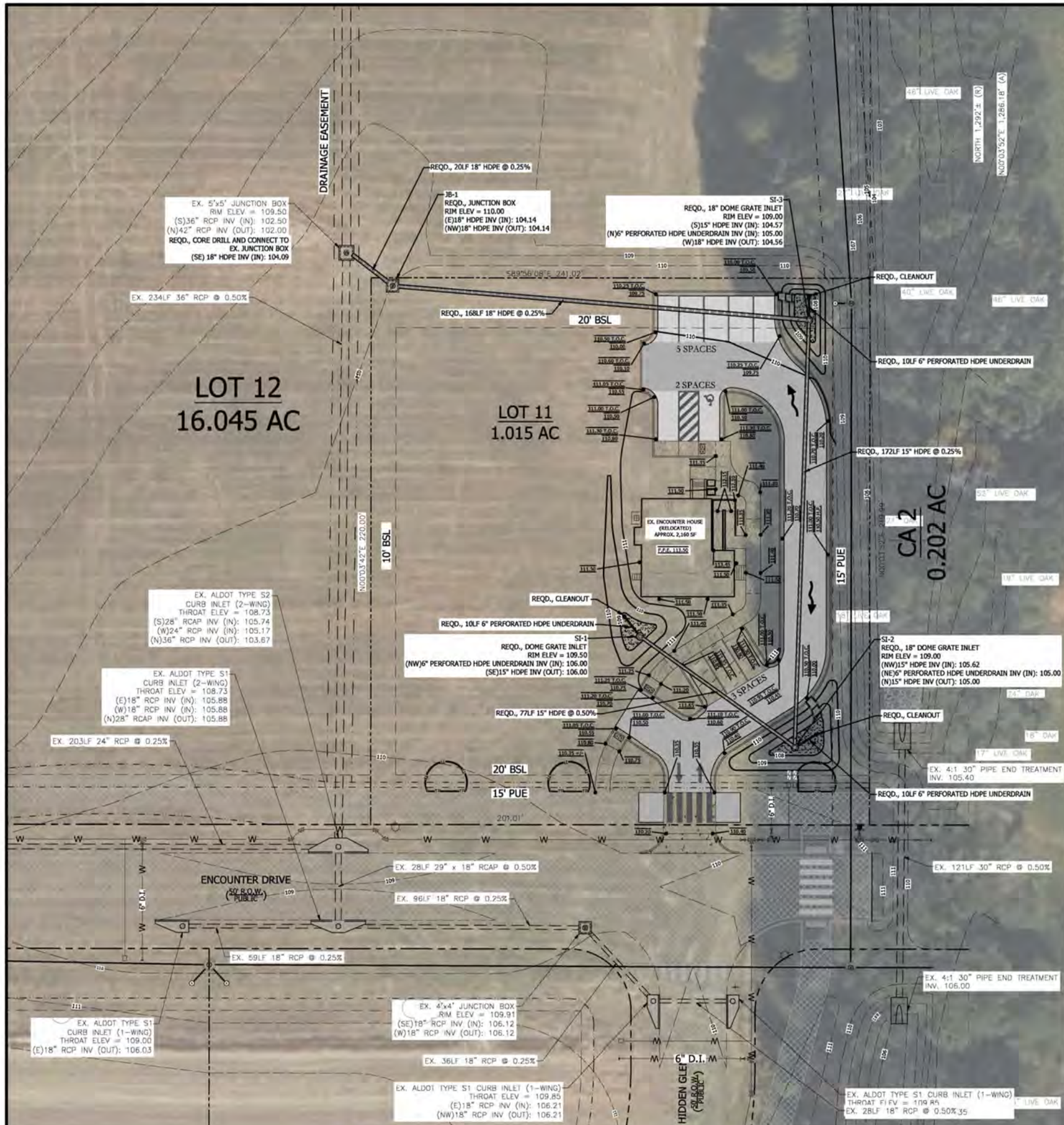

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   - B. POND CONSTRUCTION DETAILS SHOWING THE POND TOPOGRAPHY, TOP OF THE POND BERM/WALL AND POND BOTTOM ELEVATIONS AND THE LOCATION OF SAND FILTERS.
   - C. SHOW ENTIRE STORM WATER CONVEYANCE SYSTEM INCLUDING THE SIZE TYPE AND INVERT OF ALL PIPES, CHANNELS, ROOF DRAIN SYSTEMS, STRUCTURES, CURBING AND SPOT SHOT ELEVATIONS IN VEHICLE USE AREAS. DRAINAGE STRUCTURES SHALL INCLUDE "X" AND "Y" COORDINATES.
   - D.SHOW ALL TRAFFIC CONTROL DEVICES INCLUDING SIGNS, SIGNALS, PARKING STRIPING AND PAVEMENT MARKINGS.
   - E. DELINEATE CONSERVATION AND DRAINAGE EASEMENT BOUNDARIES AND LABEL WITH THE "OR" BOOK AND PAGE NUMBER.Đ
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- PROPOSED POROUS CONCRETE
- PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH)
- PROPOSED HEAVY DUTY CONCRETE (BROOM FINISH)
- PROPOSED 36" SAND FILTER
- EXIST. 1 FOOT CONTOUR
- EXIST. 5 FOOT CONTOUR
- EXIST. GRADE SPOT ELEVATION
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- 115.50 T.O.C. — FINISHED GRADE ELEVATION (TOP OF CURB)
- 115.00 — FINISHED GRADE ELEVATION
- DRAINAGE DIRECTION

SURVEY PROVIDED BY:

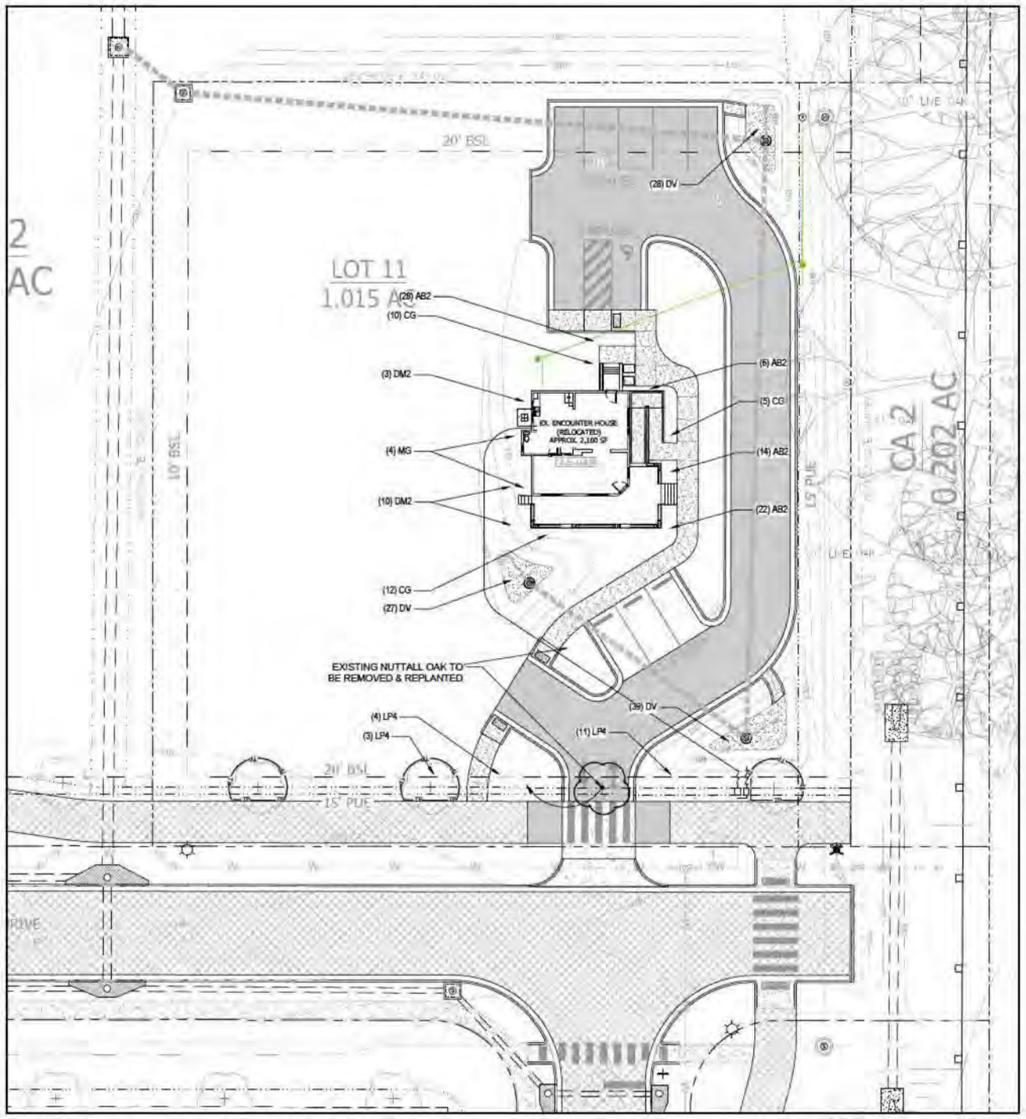
Wattier Surveying, Inc.
Professional Land Surveyors
4318 Downtowner Loop N., Suite H
Mobile, Alabama 36609
251-342-2640

JADE CONSULTING
2108 Greeno Rd. North, Ste. C
Fairhope, Alabama 36532
P.O. Box 1929
Fairhope, Alabama 36533
Phone: (251) 928-3443
jadeengineers.com
(AL) CA-3157-E

NO.	REVISION	DATE	APPR.
1.	CITY SUBMITTAL	9/23/24	

AERIAL GRADING AND DRAINAGE PLAN
HOUSE RELOCATION
ENCOUNTER DEVELOPMENT, LLC

JOB NO:	23-1897.20
SCALE:	1" = 20'
DATE:	SEPT 2024
DRAFTER:	CBE
SHEET:	

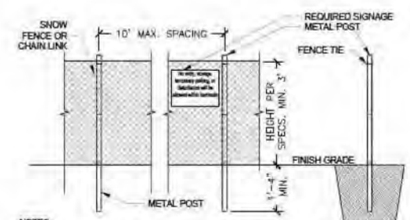


1 TREE PRESERVATION & REMOVAL PLAN
Scale: 1"=20'

TREE PRESERVATION CREDITS - Sec. 20.5-4 (13)

Total Trees To Be Preserved: 4 Trees
Total Tree Credits Earned: 0 Credits

DBH	GENUS	SPECIES	COMMON NAME	QTY	CREDITS PER TREE	TOTAL CREDITS
2"	Quercus	Nuttallii	Nuttall Oak	4	0	0



NOTES:
1. Fencing to be installed prior to construction. Fencing type shall be chain link.
2. The fence shall be erected w/ a min. distance of 20' from the trunks of heritage trees & 10' from all other retained trees. If installing underground utilities near tree roots becomes a hardship, a soil auger shall be used to tunnel under tree roots.
3. All roots to be removed during site clearing &/or construction shall be severed cleanly at the perimeter of the protected radius.
4. Footers for walls shall end at the point where large roots are encountered, and the roots shall be bridged. Post holes and trenches located close to retained trees shall be adjusted to avoid damage to major roots.
5. Fencing cannot be removed until land alteration, site clearing, and construction activities are complete.

2 TREE PROTECTION FENCE - FAIRHOPE
1/2" = 1'-0" 329343.06-05

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Mobile, Alabama
P. 251.344.4025
Jackson, Mississippi
P. 601.795.0201
Pensacola, Florida
P. 850.703.4752
www.was-design.com

NOT
FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN APPROVED AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for
Encounter House
Fairhope, Alabama

Revisions

No.	Date	Revisions / Submissions
	09.24.24	CITY SUBMITTAL
	10.15.24	CITY RE-SUBMITTAL

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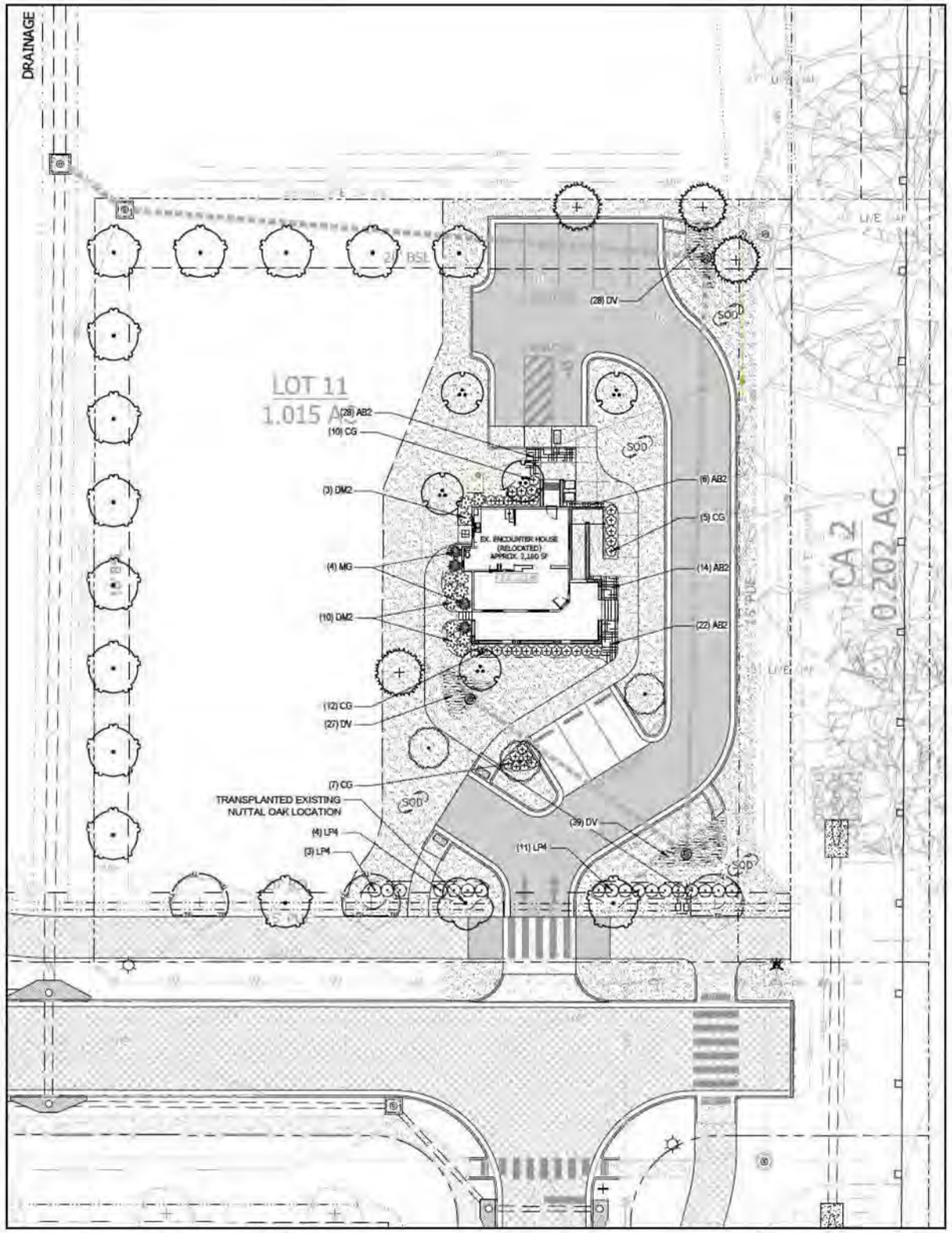
BC
Drawn
VTW
Project Manager
LCW
Principal
243483-002
Project No.
09.22.24
Date

Registration
STATE OF ALABAMA
LESTER CHAN WONG
NUMBER 518
REGISTERED LANDSCAPE ARCHITECT

Sheet Title
TREE PRESERVATION & REMOVAL PLAN

Sheet No.
TP200



1 LANDSCAPE PLANTING PLAN
Scale: 1"= 20'

IRRIGATION NOTE:
ALL LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM THAT SHALL PROVIDE 100% HEAD-TO-HEAD COVERAGE.

800-292-8525
#DIG (Cellular)
Dig Safely. Alabama 1 Call

QUANTITY TAKEOFF DISCLAIMER:

QUANTITIES NOTED ON PLANS ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR FOR BID PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.

Lanscape Adjacent to Public R.O.W. Requirements - Sec. 20.5-4 (4)

Required: 48" high visual screen between vehicle use area & public R.O.W.

Provided: 48" high visual screen between vehicle use area & public R.O.W.

PERIMETER REQUIREMENTS - Sec. 20.5-4 (5)

Road Frontage Overstory Trees

1 tree per 30 LF ROW	@	180.0 LF =	6.00 trees
Required Frontage Overstory Trees:			**6 trees**
Provided Frontage Overstory Trees:			**6 trees**

Remaining Outside Lot Perimeter

West Property Line

1 tree per 30 LF Perimeter	@	220.0 LF =	7.33 trees
Required Trees:			**8 trees**
Provided Trees:			**8 trees**

North Property Line

1 tree per 30 LF Perimeter	@	201.0 LF =	6.70 trees
Required Trees:			**7 trees**
Provided Trees:			**7 trees**

East Property Line

1 tree per 30 LF Perimeter	@	220.0 LF =	7.33 trees
Required Trees:			**8 trees**
Provided Trees:			***8 trees**

*Due to existing utility easement, trees have been placed around other areas of the site.

Parking Area

1 tree per	12 spaces	@ 10 spaces =	0.83 trees
Required Parking Trees:			**1 trees**
Provided Parking Trees:			**1 trees**

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT	REMARKS
TREES								
	LN	3	LAGERSTROEMIA INDICA 'NATCHEZ'	'NATCHEZ' CRAPE MYRTLE	30 GAL		8'-10'	MINIMUM 3 TRUNKS; FULL HEAD
	MA	5	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	30 GAL		10'-12'	3 TRUNKS; FULL HEAD
	QN	14	QUERCUS NUTTALLII	NUTTALL OAK	B&B OR CONT	2"CAL	10'	FULL HEAD, SPECIMEN QUALITY
	PC	4	TAXODIUM ASCENDENS	POND CYPRESS	B&B OR CONT	2"CAL	10'	FULL HEAD, SPECIMEN QUALITY

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	W	SPACING	REMARKS
SHRUBS									
	CG	34	CAMELLIA SASANQUA 'SHISHI GASHIRA'	SHISHI GASHIRA CAMELLIA	3 GAL			36" o.c.	
	DM2	13	DISTYLIUM 'VINTAGE JADE'	VINTAGE JADE DISTYLIUM	3 GAL			48" o.c.	
	LP4	18	LOROPETALUM CHINENSIS 'CAROLINA MIDNIGHT'	CAROLINA MIDNIGHT LOROPETALUM	7 GAL			48" o.c.	FULL
GRASSES									
	MG	4	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO MAIDEN GRASS	3 GAL			48" o.c.	

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	NATIVE	SPACING	REMARKS
GROUND COVERS									
	AB2	70	AGAPANTHUS AFRICANUS 'BLUE'	BLUE LILY OF THE NILE	1 GAL@			18" o.c.	
	DV	94	DIETES VEGETA	WHITE AFRICAN IRIS	1 GAL@			24" o.c.	
SOD/SEED									
	SOD	9,764 SF	CYNODON DACTYLON 'TIFWAY 419'	TIFWAY 419 BERMUDA GRASS	SOD				

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Mobile, Alabama
P: 251.344.4075
Jackson, Mississippi
P: 601.955.0700
Pensacola, Florida
P: 850.573.6252
www.was-design.com

NOT FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN APPROVED AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for
Encounter House
Fairhope, Alabama

Revisions		
No.	Date	Revisions / Submissions
	09.24.24	CITY SUBMITTAL
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BC
Drawn
VTW
Project Manager
LCW
Principal
243483-002
Project No.
09.22.24
Date

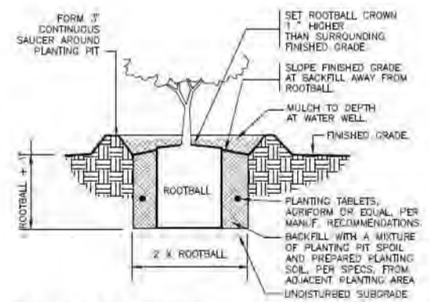
Registration
STATE OF ALABAMA
LESTER CHAD WEBB
NUMBER 518
REGISTERED LANDSCAPE ARCHITECT

Sheet Title

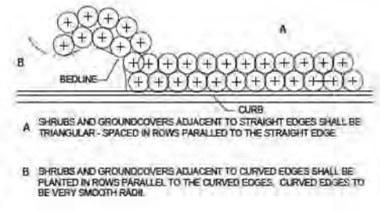
LANDSCAPE PLANTING PLAN

Sheet No.

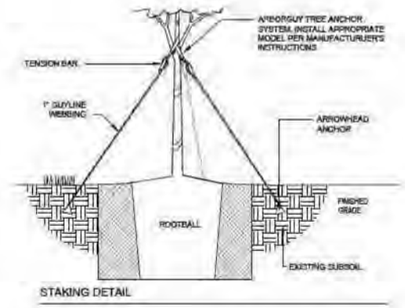
LP200



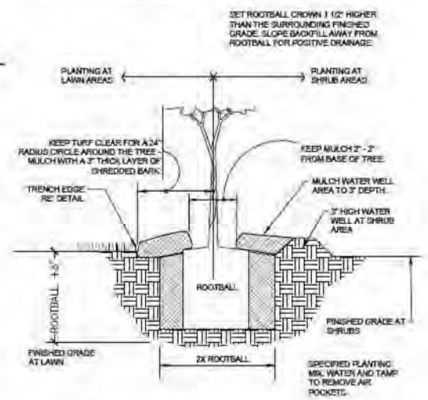
1 SHRUB PLANTING
1" = 1'-0" 329333.13-01



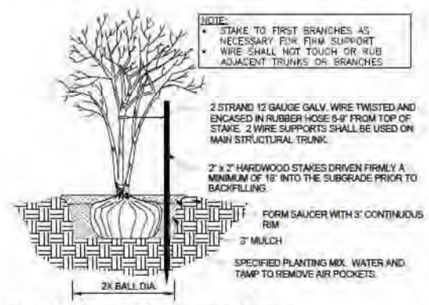
2 TYPICAL PLANT SPACING
NOT TO SCALE 329399-04



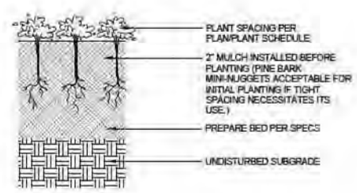
STAKING DETAIL



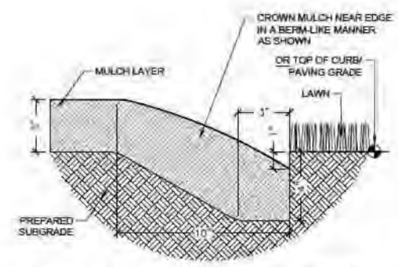
PLANT PIT DETAIL



3 MULTI-TRUNK TREE STAKING
1/2" = 1'-0" 329343-01



4 GROUNDCOVER PLANTING
3" = 1'-0" 329313-01



NOTE: TRENCH EDGE TO BE LOCATED BETWEEN ALL PLANTING BED AREAS AND ADJACENT TURF AREAS, UNLESS NOTED OTHERWISE.

6 TRENCH EDGE
3" = 1'-0" 329413.23-02

GENERAL CONDITIONS:

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO ACQUAINT HIMSELF WITH EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF LANDSCAPE MATERIAL AT ALL TIMES. LANDSCAPE CONTRACTOR TO COORDINATE SAFE STAGING AREA WITH GENERAL CONTRACTOR AND/OR OWNER.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, INCLUDING GRASS, FOR 365 CONSECUTIVE CALENDAR DAYS FROM SUBSTANTIAL COMPLETION OF THE WORK, AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT.
- ALL AREAS IMPACTED NEGATIVELY BY CONSTRUCTION PROCESSES SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER PRIOR TO SUBSTANTIAL COMPLETION.

LANDSCAPE AREA SOIL PREPARATION:

- SOIL SHALL BE AMENDED BY THE ADDITION OF COMPOST AND FERTILIZER. COMPOST TYPE SHALL BE MUSHROOM COMPOST OR DECOMPOSED PINE BARK, AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE. COMPOST SHALL BE UNIFORMLY APPLIED OVER PLANTING BEDS AT AN AVERAGE DEPTH OF 2 INCHES, AND OVER SOD AREAS AT AN AVERAGE DEPTH OF 3/4 INCH.
- INCORPORATE COMPOST UNIFORMLY IN PLANTING BEDS TO A DEPTH OF 6 INCHES AND IN SOD AREAS TO A DEPTH OF 3 INCHES USING A ROTARY TILLER OR OTHER APPROPRIATE EQUIPMENT. PRE-PLANT FERTILIZER AND PH ADJUSTING AGENTS (E.G., LIME AND SULFUR) MAY BE APPLIED IN CONJUNCTION WITH COMPOST INCORPORATION, AS NECESSARY.
- RAKE SOIL SURFACE SMOOTH PRIOR TO PLANTING.
- REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- WATER THOROUGHLY AFTER PLANTING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 3% POSITIVE DRAINAGE IN ALL PLANTING BEDS. ANY OTHER PROPOSED DRAINAGE METHODS SHALL BE COORDINATED WITH PLANTING EFFORTS TO MINIMIZE CONFLICTS AND MAINTAIN PROPER FUNCTION OF DRAINAGE SYSTEMS.

7 GENERAL PLANTING NOTES
1" = 1" 329399-05

PLANT MATERIAL AND PLANTING:

- PLANT QUANTITIES ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR, AND ARE NOT ABSOLUTE. CONTRACTOR SHALL VERIFY PLANT COUNT FROM PLAN AND REPORT DIFFERENCES.
- ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL OR REFUSAL BY THE OWNER OR LANDSCAPE ARCHITECT AT THE JOB SITE.
- PLANTS SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM INJURY, INSECTS AND DISEASES. PLANTS SHALL EQUAL OR SURPASS QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERYMEN, INC.
- UNLESS NOTED SPECIFICALLY, ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
- FRONT ROW OF SHRUBS SHALL BE PLANTED FROM CENTER OF PLANT A MINIMUM OF 24" BEHIND BED LINE @ LAWNS OR WALKS AND A MINIMUM OF 36" BACK OF CURB @ PARKING SPACES.
- NO PRUNING SHOULD BE PERFORMED DURING FIRST GROWING SEASON EXCEPT FOR REMOVING DAMAGED OF DEAD GROWTH. WOUND PAINT IS NOT RECOMMENDED FOR ANY CUTS.
- ALL PLANTING AREAS, TREE PITS, AND OTHER AREAS INDICATED ON PLANS SHALL BE MULCHED WITH A SETTLED LAYER OF THE INDICATED MULCH:
  - [ ] 3" DEPTH PINE BARK
  - [ ] 4" DEPTH SHREDDED HARDWOOD MULCH
  - [x] 3" DEPTH LONGLEAF PINESTRAW, SETTLED
- TRENCH EDGE TO BE LOCATED BETWEEN ALL PLANTING AREAS AND LAWN, UNLESS NOTED OTHERWISE.
- TREE STAKING SHALL BE PROVIDED TO KEEP TREES PLUMB AND PROTECTED FROM EXCESSIVE WINDS. ALL TREE-STAKING APPARATUS SHALL BE REMOVED AT THE END OF THE ONE-YEAR WARRANTY PERIOD.
- ONE YEAR OF LANDSCAPE MAINTENANCE FROM SUBSTANTIAL COMPLETION SHALL BE INCLUDED AS AN OPTIONAL BID ITEM TO THE OWNER.

5 TREE PLANTING - GUY STRAP
1" = 1'-0" 329343.26-02

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landscape architects

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A Landscape Development Plan for
Encounter House
Fairhope, Alabama

Revisions

No.	Date	Revisions / Submissions
	09.24.24	CITY SUBMITTAL
	10.15.24	CITY RE-SUBMITTAL

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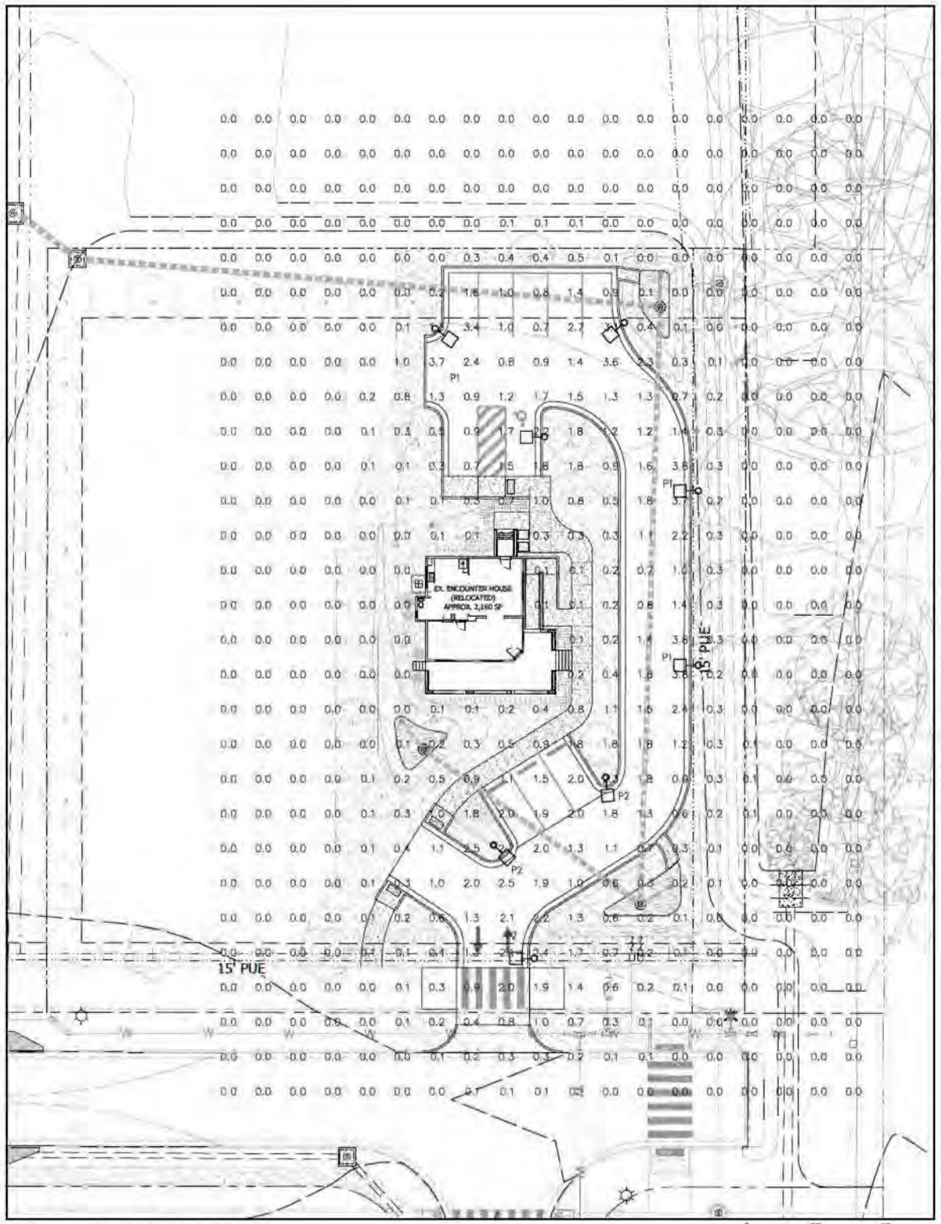
Drawn: BC
Project Manager: VTW
Principal: LCW
Project No.: 243483-002
Date: 09.22.24

Registration: STATE OF ALABAMA — LESTER CHAD WEBB — NUMBER 518 — REGISTERED LANDSCAPE ARCHITECT

Sheet Title

LANDSCAPE PLANTING DETAILS

Sheet No.
LP500



1 SITE LIGHTING PLAN
Scale: 1" = 20'

PARKING LOT PHOTOMETRIC SCHEDULE

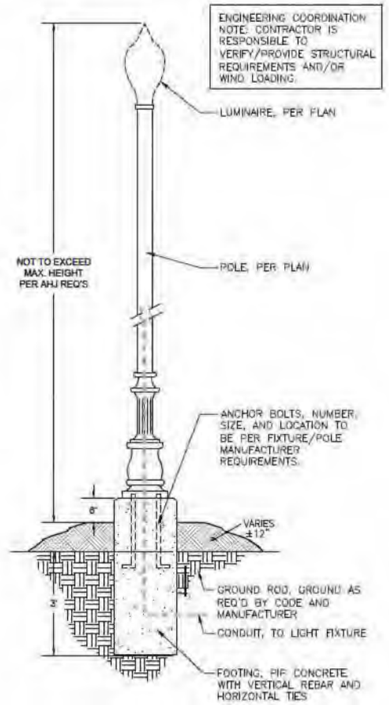
AVERAGE FOOT-CANDLES	1.68
MAXIMUM FOOT-CANDLES	3.8
MINIMUM FOOT-CANDLES	0.7
MAXIMUM TO MINIMUM FC RATIO	5.74
AVERAGE TO MINIMUM FC RATIO	2.55

GENERAL LIGHTING NOTES

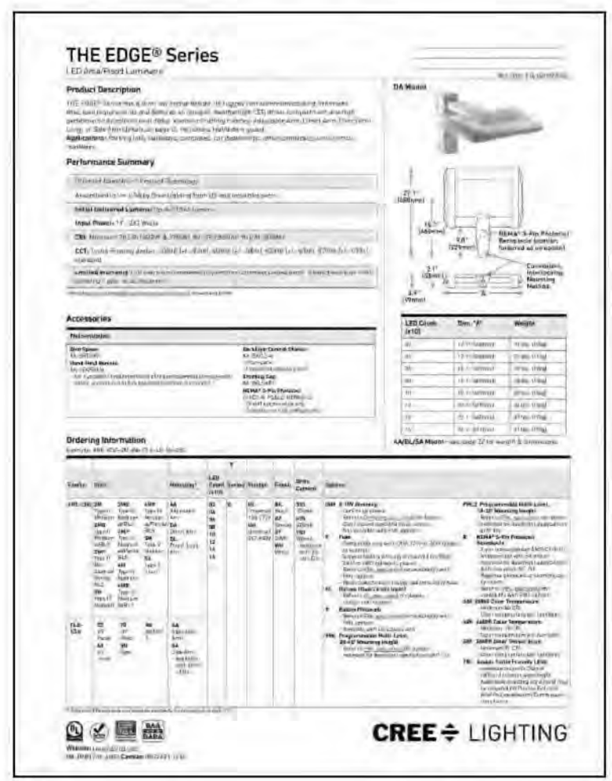
- ALL SITE LIGHT POLE FIXTURES ARE MODELED AT A 9'-6" MOUNTING HEIGHT. ALL PORTIONS OF THE LIGHT POLE AND FIXTURE SHALL NOT EXCEED 10' OVERALL HEIGHT PER CITY REQUIREMENTS.

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	DESCRIPTION	MOUNTING	NOTE 3	QUANTITY	MOUNTING HEIGHT	LUMENS / LAMP
P1		Type III Medium w/ BLS, 20 LEDs, 525mA, 3000K	POLE	Cree-RESTL, 12/29/2016, Measurement orientation: base up, Serial Number: PL01023-001, 120.14 Vac, 101W, TEST PROCEDURE: IESNA-LM-79-08, TEST DISTANCE = 29.36 Feet, Philips LED-INTA-0530C-28000, 7602.1	4	9'-6"	2064
P2		Type V Medium, 20 LEDs, 525mA, 3000K	POLE	Cree-RESTL, 9/6/2016, Measurement orientation: base up, Serial Number: PL09285-001, 120.10 Vac, 134W, TEST PROCEDURE: IESNA-LM-79-08, TEST DISTANCE = 29.36 Feet, Philips LED-INTA-0700C-21000, 13136.0	4	9'-6"	3096



2 STREET LIGHT DETAIL
1/2" = 1'-0"



265613-01

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A Landscape Development Plan for
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BLH
Drawn
VTW
Project Manager
LCW
Principal
243483-002
Project No.
09.22.24
Date

Registration

Sheet Title

SITE LIGHTING PLAN

Sheet No.

LE100

AL TOLBERT
Chairman
DAVID WILSON
Vice Chairman
RAYMOND LOVELL
Secretary/Treasurer

JOBY SMITH
Director

PAUL MUELLER
BILLY PAPPAS
ALAINNA ELLIOTT
ANTHONY LOWERY

MARK D. RYAN
General Counsel

911 TELECOMMUNICATOR CIRCLE, ROBERTSDALE, ALABAMA 36567

Subdivision: The Encounter

Subdivision location: northeast corner of State Highway 104 @ State Highway 181

Requested by: Sherry Ruth - Jade Engineers

Email: sruth@jadengineers.com Phone: 251-928-3443

Reservation valid through: 3/28/2025

We have approved the following road names for the development listed above. The road names are reserved for one year (365 days) from the date of this letter. If the road name changes in any way from what is listed on this confirmation letter, please contact our office for approval. If you find that you need these road names reserved beyond one year, you must contact us requesting as such or the road names will be automatically released and labeled "available for use".

PreMod	PreDir	PreType	PreSep	Street Name	PosTyp	PosDir	PosMod
				BUSHEL	DRIVE		
				ENCOUNTER	DRIVE		
				HIDDEN	GLEN		

Please feel free to contact our office with any questions or concerns.

Signed: *Samantha Roberts* Date: 3/28/2024

Sherry Sullivan
Mayor

Council Members:
Kevin G. Boone
Jay Robinson
Jack Burrell, ACMO
Jimmy Conyers
Corey Martin

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
Treasurer

December 19, 2022

Jade Consulting, LLC
208 North Green Rd, Suite C
Fairhope, AL 36532

RE: Proposed Commercial Development at AL Hwy 181 & AL Hwy 104

Water, Sewer and Gas are available with Fairhope Public Utilities. Aid to construction will be determined upon approval of the final utility plans.

Jason Langley
Water/Wastewater Superintendent

Jeremy Little
Gas Superintendent

161 North Section St.
PO Drawer 429
Fairhope, AL 36533

251-928-2136 (p)
251-928-6776 (f)
www.fairhopeal.gov

RIVIERA UTILITIES

413 East Laurel Avenue - Foley, AL 36535
Phone (251) 943-5001

12/16/2022

Sherry Ruth
JADE Consulting, LLC
208 North Greeno Road, Suite C
Fairhope, AL 36532

RE: WAWA Food Mart – State Highway 181 and 104

This letter is to confirm that based on the site plan received; Riviera Utilities is able to provide electric service to the proposed WAWA Food Mart – State Highway 181 and 104 in Fairhope, AL.

Riviera Utilities requires a 10' easement along all side property lines and a 15' easement along all front and rear property lines. Please ensure all property plats reflect the easements.

Upon final design, Riviera Utilities will provide estimates for service fees and system installation requirements to meet all Riviera specifications. Please contact the following Riviera employees concerning costs and requirements.

Name	Department	Email
Scott Sligh	Electric	ssligh@rivierautilities.com

If you have any questions or comments, contact Riviera Utilities at 251-943-5001.

Thank you,

James Wallace

AT&T Alabama
2155 Old Shell Rd
Mobile, AL 36607
www.att.com

T: 251.471.8361
F: 251.471.0410
w.mitchell@att.com

December 16, 2022

Sherry Ruth
Jade Consulting, LLC

RE: Service Availability – WAWA Food Mart – State Hwy 181 & AL Hwy 104

Dear Ms. Ruth,

This letter is in response to your request for information on the availability of service at the above location by AT&T.

This letter acknowledges that the above referenced property is located in an area served by AT&T. Any service arrangements for this location will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to this location.

Please contact me at the phone number included in this letter with any questions.

Thank you for contacting AT&T.

Sincerely,

Wade Mitchell
Manager, OSP Planning and Design
AT&T Alabama
2155 Old Shell Rd
Mobile, Alabama 36607
Gulf District/ Mobile Office

USA Proud Sponsor of the U.S. Olympic Team

STATE OF ALABAMA

DOMESTIC LIMITED LIABILITY COMPANY (LLC)
CERTIFICATE OF FORMATION

PURPOSE: In order to form a Limited Liability Company (LLC) under Section 10A-5A-2.01 of the *Code of Alabama 1975*, this Certificate of Formation and the appropriate filing fees must be filed with the Office of the Secretary of State. **The information required in this form is required by Title 10A.**

1. The name of the limited liability company (must contain the words "Limited Liability Company" or the abbreviation "L.L.C." or "LLC," and comply with *Code of Alabama*, Section 10A-1-5.06. You may use Professional or Series before Limited Liability Company or LLC (or PLLC or SLLC) if they apply:
   Encounter Development, LLC

2. **A copy of the Name Reservation Certificate from the Office of the Secretary of State must be attached.**

3. The name of the registered agent (only one agent): Corporation Service Company

   Street (**no PO Boxes**) address of registered office (must be located in Alabama):
   22148 State Hwy. 181 Fairhope, AL 36526

   *COUNTY of above address: BALDWIN

   Mailing address in Alabama of registered office (if different from street address):
   641 South Lawrence Street Montgomery, AL 36104 MONTGOMERY

4. The undersigned certify that there is at least one member of the limited liability company.

(For SOS Office Use Only)

Alabama
Sec. Of State

001-015-602 DLL

Date	04/20/2022
Time	12:48:00
File	$100.00
County	$100.00

Total	$200.00

DOMESTIC LIMITED LIABILITY COMPANY (LLC) CERTIFICATE OF FORMATION

5. Check **only** if the type applies to the Limited Liability Company being formed:

   ○ Series LLC complying with Title 10A, Chapter 5A, Article 11

   ○ Professional LLC complying with Title 10A, Chapter 5A, Article 8

   ○ Non-Profit LLC complying with Section 10A-5A-1.04(c)

6. The filing of the limited liability company is effective immediately on the date received by the office of the Secretary of State, Business Services Division or at the delayed filing date (cannot be prior to the filing date) specified in this filing complying with Section 10A-1-4.12
   The undersigned specify 4 / 20 / 2022 as the effective date (must be on or after the date filed in the office of the Secretary of State, but no later than the 90th day after the date this instrument was signed) and the time of filing to be 0 : 46 ○ AM or ◉ PM. (cannot be noon or midnight – 12:00)

☐ Attached are any other matters the members determine to include herein (if this item is checked there must be attachments with the filing).

4 / 20 / 2022
Date (MM/DD/YYYY)

Clyde E. Ellis
Signature as required by 10A-5A-2.04

Organizer
Typed title (organizer or attorney-in-fact)

*County of Registered Agent is requested in order to determine distribution of County filing fees.

John H. Merrill
Secretary of State

P.O. Box 5616
Montgomery, AL 36103-5616

STATE OF ALABAMA

I, John H. Merrill, Secretary of State of Alabama, having custody of the Great and Principal Seal of said State, do hereby certify that

pursuant to the provisions of Title 10A, Chapter 1, Article 5, Code of Alabama 1975, and upon an examination of the entity records on file in this office, the following entity name is reserved as available:

Encounter Development, LLC

This name reservation is for the exclusive use of Kenneth M. Kleban, 1189 Post Road, Suite 3B, Fairfield, CT 06824 for a period of one year beginning April 20, 2022 and expiring April 20, 2023

RES017924

In Testimony Whereof, I have hereunto set my hand and affixed the Great Seal of the State, at the Capitol, in the city of Montgomery, on this day.

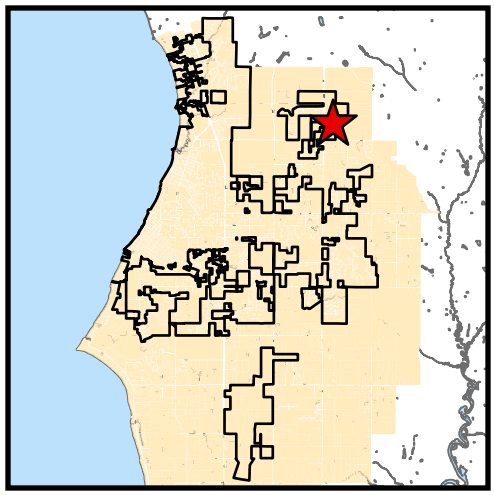
April 20, 2022

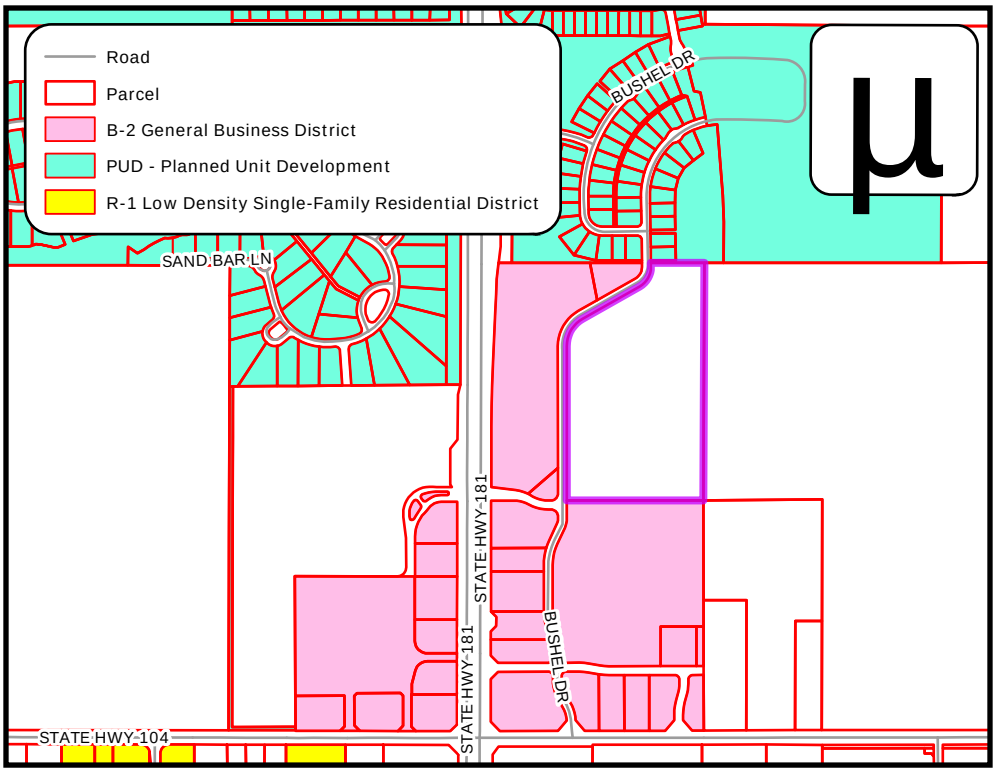
Date

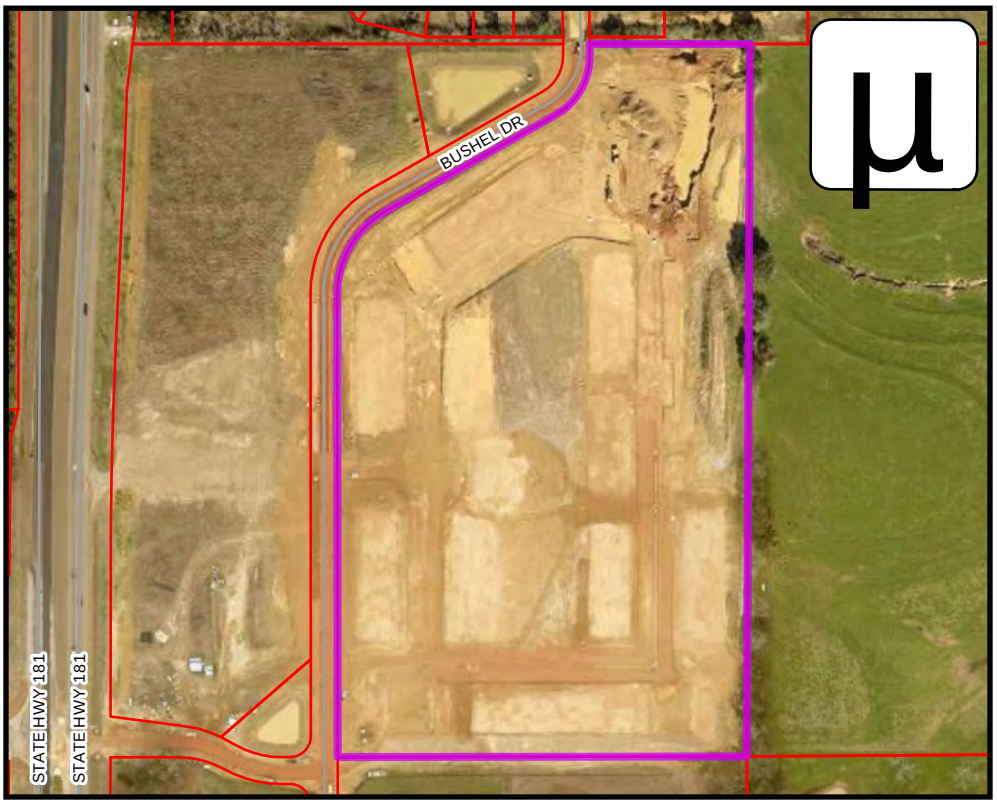
John H. Merrill **Secretary of State**

City of Fairhope
Planning Commission
November 4, 2024

SD 24.23 - Rockwell Place







Project Name:
Rockwell Place
Site Data:
20.91 acres
Project Type:
252 - Unit Multiple Occupancy Project
Jurisdiction:
Fairhope Planning Jurisdiction
Zoning District:
N/A
PPIN Number:
14535
General Location:
North of State Highway 104, East of State Highway 181
Surveyor of Record:
Sawgrass Consulting LLC
Engineer of Record:
Sawgrass Consulting LLC
Owner / Developer:
Rockwell LLC
School District:
Fairhope Elementary School Fairhope Middle and High Schools
Recommendation:
Approved w/ Conditions
Prepared by:
Mike Jeffries

APPLICATION FOR SUBDIVISION PLAT APPROVAL

Application Type: ☐ Village Subdivision ☐ Minor Subdivision ☐ Informal (No Fee)

☐ Preliminary Plat ☐ Final Plat ☑ Multiple Occupancy Project

Attachments: ☑ Articles of Incorporation or List all associated investors

Date of Application: 09-23-2024

Property Owner / Leaseholder Information

Name of Property Owner: Rockwell LLC Phone Number: 251-544-7900

Address of Property Owner: P O Box 579

City: Bay Minette State: AL Zip: 36507

Proposed Subdivision Name: Rockwell Place

No. Acres in Plat: 20.91 No. Lots/Units: 1 lot

Parcel No: 05-46-01-02-0-000-001.927 Current Zoning: HDR (County)

Authorized Agent Information

Plat must be signed by the property owner before acceptance by the City of Fairhope

Name of Authorized Agent: Sawgrass Consulting, LLC Phone Number: 251-544-7900

Address: 30673 Sgt El Boots Thomas Dr

City: Spanish Fort State: AL Zip: 36527

Contact Person: Tim Lawley, PE

Surveyor/Engineer Information

Name of Firm: Sawgrass Consulting, LLC Phone Number: 251-544-7900

Address: 30673 Sgt El Boots Thomas Dr

City: Bay Minette State: AL Zip: 36527

Contact Person: Tim Lawley, PE

Plat Fee Calculation:

Reference: Ordinance 1269

Signatures:

I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Timothy D. Lawley, PE

Property Owner/Leaseholder Printed Name

9-23-24

Date

Signature

252 Units

Fairhope Single Tax Corp. (If Applicable)

Reuben E. Davidson, III
Secretary FSTC

SAWGRASS

AGENT AUTHORIZATION

I/We authorize and permit **Sawgrass Consulting, LLC** act as my/our representative and agent in any manner regarding Rockwell LLC. I/We understand that the agent representation may include but not be limited to decisions relating to the submittal, status, conditions, or withdrawal of this application.

PROPERTY OWNER(S)

TOM MITCHELL

Name(s) Printed

P O BOX 579 BAY MINETTE, AL 36507

Mailing Address City, State, Zip Code

Signature(s) 5-15-24 Date

AUTHORIZED AGENT

Sawgrass Consulting, LLC TIM LAWLEY, PE

Name(s) Printed

30673 Sgt. E.I. Boots Thomas Drive Spanish Fort, AL 36527

Mailing Address

Signature 05-14-24 Date

Summary of Request:

The Applicant, Sawgrass Consulting, LLC, on behalf of the Owner, Rockwell, LLC, is requesting Final Plat approval of Rockwell Place, a 252-lot multiple occupancy project. The property is approximately 20.91 acres and is located on the east side of State Highway 181, south of Harvest Green East Subdivision and across from The Waters Subdivision.

Comments:

The major infrastructure has been installed and completed except for the private access drive within the development. Attached is a proposed phasing plan that includes projected completion dates. Staff will review the completion of each phase prior to the release of the Certificate of Occupancy for the building included in the phase. The entrance on the north side will remain open for construction traffic and the main entrance will be limited to residents. Construction fencing will be relocated as shown in the phasing plan as the phasing is completed to separate public space from construction.

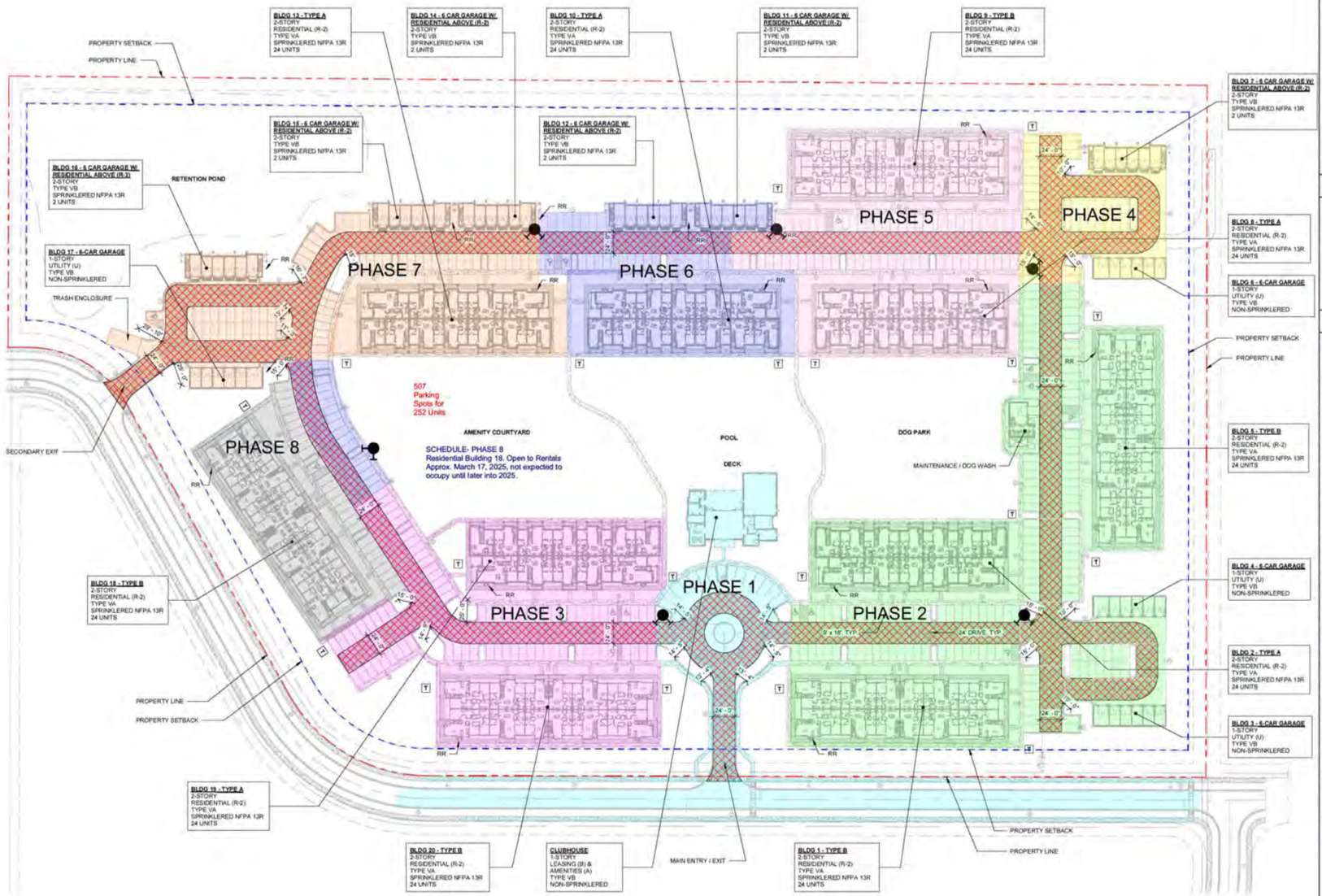
- **Utilities:** All utilities are to remain private inside the development and any maintenance will be the responsibility of the owner or POA/HOA..
    - Water – A master meter was installed for the entire development.
    - Sewer – Private sewer gravity feeds from the units to a lift station that will be accepted by Fairhope Utilities and maintain a force main extends down the southern property line to the ROW's.
        - The land where the lift station is on will be dedicated to the City of Fairhope.
    - Power – Provided by Riviera Utilities
    - Gas – Not requested
    - Communications – AT&T
    - Trash pickup will be provided by Waste Management via a trash dumpster located near the secondary entrance.
        - During the completion of vertical construction a valet trash service will be provided that includes daily garbage pick up at the front door of each rental unit. Access to the permanent dumpster location will be available after the completion of phase 7.

- **Traffic:** The turn lane warranted by the traffic study has been installed. ALDOT holds a performance bond for the improvements including the installation of the traffic light.

Staff Recommendation of Case SD 24.23 Rockwell Apartments:

Staff recommends approval with the following conditions.

1. The area for the lift station shall be a deeded lot to the City of Fairhope.
2. Staff shall approve each phase, buildings and final site work, prior to issuance of any Certificate of Occupancy for individual buildings
3. The Final MOP plat shall be signed and recorded after completion of the last phase. Staff will coordinate appropriate signature blocks and notes.
4. Upon completion of Phase 8, Staff will perform a Final Inspection of the Public Improvements prior to submitting an Acceptance Resolution to the Fairhope City Council.
5. A letter confirming all onsite Sewer, Water, and drives are to remain privately maintained and is not the responsibility of the City of Fairhope or Baldwin County signed by the development owner.
6. A complete As-Built set, and GIS shapefiles shall be provided as part of the close out of the final phase.



1 FIRE APPARATUS PLAN
SCALE: 1" = 50'-0"

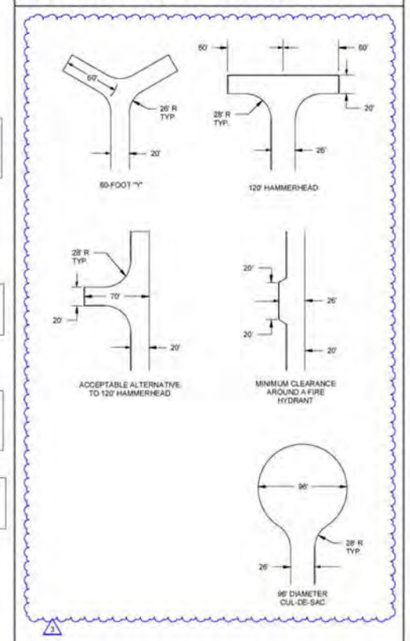
FIRE GENERAL NOTES (PER IFC 2018)

1. **FIRE HYDRANT LOCATIONS:** ALONG REQUIRED FIRE APPARATUS ACCESS ROADS AND ADJACENT PUBLIC STREETS
2. **HYDRANT DISTRIBUTION:** MIN. NO. & DISTRIB. OF FIRE HYDRANTS PER IFC TABLE C105.1
3. **AVERAGE HYDRANT SPACING:** NOT TO EXCEED THAT LISTED IN IFC TABLE C105.1 (EXCEPTION PER FIRE CHIEF)
4. **WIDTH:** FIRE ACCESS ROAD WIDTH WITH A HYDRANT SHALL BE 26'-0".
5. **GRADE:** FIRE ACCESS ROAD SHALL NOT EXCEED 10% IN GRADE. EXCEPTION: GRADES STEEPER THAN 10% AS APPROVED BY THE FIRE CHIEF
6. **TURNING RADIUS:** TO BE DETERMINED BY THE FIRE CODE OFFICAL.
7. **DEAD ENDS:** DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET SHALL BE PROVIDED WITH WIDTH AND TURNAROUND PROVISIONS IN ACCORDANCE WITH TABLE D103.4
8. **ACCESS & LOADING:** DRIVING SURFACE CAPPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
9. **SIGNS:** SIGNS SHALL HAVE A MINIMUM DIMENSION OF 12 INCHES WIDE BY 18 INCHES HIGH AND HAVE RED LETTERS ON A WHITE RELECTIVE BACKGROUND. SIGNS SHALL BE POSTED ON ONE OR BOTH SIDES OF FIRE APPARATUS ROAD.
10. **PROJECTS HAVING MORE THAN 200 DWELLING UNITS:** MULTIPLE-FAMILY RESIDENTIAL PROJECTS HAVING MORE THAN 200 DWELLING UNITS SHALL BE PROVIDED WITH TWO SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROADS REGARDLESS OF WHETHER THEY ARE EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
11. **AERIAL FIRE APPARATUS ACCESS ROADS:**
    - A. **WHERE REQUIRED:** WHERE THE VERTICAL DISTANCE BETWEEN THE GRADE PLANE AND THE HIGHEST ROOF SURFACE EXCEEDS 30 FEET, APPROVED AERIAL APPARATUS ACCESS ROADS SHALL BE PROVIDED.
    - B. **WIDTH:** MIN. UNOBSTRUCTED WIDTH OF 26'-0" EXCLUSIVE OF SHOULDERS IN THE IMMEDIATE VICINITY OF THE BUILDING OR PORTION THEREOF.
    - C. **PROXIMITY TO BUILDING:** AT LEAST ONE OF THEIR EQUIRED ACCESS ROUTES MEETING THIS AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING.
    - D. **OBSTRUCTIONS:** OVERHEAD UTILITY AND POWER LINES SHALL NOT BE LOCATED OVER THE AERIAL FIRE APPARATUS ACCESS ROAD OR BETWEEN THAT AND THE BUILDING.

LEGEND

- FIRE DEPARTMENT CONNECTION (F.D.C.)
- FIRE HYDRANT LOCATION
- FIRE DEPARTMENT PERSONNEL ACCESS POINT
- TRANSFORMER
- STANDPIPE LOCATION
- FIRE DEPARTMENT ACCESS ROUTE (PERSONNEL AND APPARATUS)
- PROPERTY LINE

DEAD-END APPARATUS ROAD TURNAROUND



DYNAMIK DESIGN
5601 PEACHTREE DUNWOODY RD.
BUILDING C, STE 550
ATLANTA, GA 30328
TELEPHONE: 678-506-8830
DYNAMIKDESIGN.COM

CONSULTANT:

SEAL:

ALABAMA REGISTERED NO. 7213 PROFESSIONAL ARCHITECT NIAMA DAVID KING

PROJECT NUMBER: STU2021-01

ROCKWELL PLACE APARTMENTS

FAIRHOPE, AL 36523

CLIENT:

215 EAST FIRST STREET
BAY MINETTE, AL 36507

△	DRAWING RELEASE	DATE
	DESIGN DEVELOPMENT	03/11/2022
	ISSUED FOR PERMIT	06/12/2022
3	ADDENDUM	09/25/2023
	IFC	09/25/2023

TITLE:

FIRE APPARATUS PLAN

SHEET NUMBER:

FA-01

© COPYRIGHT 2021 DYNAMIK DESIGN

CERTIFICATE OF COUNTY ZONING

To: Fairhope Planning Commission

This Zoning Certificate is issued for the subject lands the description of which has been furnished by the developer's surveyor/engineer.

ROCKWELL, LLC Subdivider's Name	TIM LAWLEY, PE Name of Designer
ROCKWELL PLACE SUB Name of Development	05-46-01-02-0-000-001. 503/PIN 14535 Tax Parcel I.D. #
Location of Subdivision proposed:	TOWNSHIP 6S RANGE 2E SECTION 2

The subject property lies within Baldwin County Zoning District No. 37. R-A RURAL AG

☒ Zoned _____ For HDR - HIGH DENSITY RESIDENTIAL
(Type of development)

☐ Currently has no zoning established

Name of Chairperson for this District: N/A - CONTACT PLANNING DIRECTOR

FOR MATTHEW BROWN
By:
For the County Zoning Officer

9/21/2023
Date

Date 01/30/2023 Engineer Stephen Tirador

Name And Address

ELE34427

Rockwell Place Phase 1

This invoice covers the Aide-To-Construction for the underground services to:

1	Aid-to-Construction	$246,399.99
	Ft. of 200A U/G Secondary Service	$0.00
	Ft. of 400A U/G Secondary Service	$0.00
	# Utility Crossing @ $100.00 ea.	$0.00
37	# of Decorative Lights	$37,000.00
0	# of lots for new subdivision	$0.00
	Misc. Cost	

Total of all charges due: $283,399.99

Rockwell, LLC
PO Box 373
Bay Minette, AL 36507

The First, A National Banking Association
PO Box 1506
Fairhope, AL 36532
36-235/433

1081

4/28/2023

PAY TO THE ORDER OF Riviera Utilities $ **283,399.99

Two Hundred Eighty-Three Thousand Three Hundred Ninety-Nine and 99/100********** DOLLARS

Riviera Utilities

MEMO ELE34427 Rockwell Place Phase 1

⑈001081⑈ ⑆065301360⑆ 455001784⑈

04/28/23 1081 $283399.99

RESOLUTION NO. 2024-02

A RESOLUTION TO AMEND AND UPDATE THE CITY OF FAIRHOPE COMPREHENSIVE PLAN AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Fairhope Planning Commission (the "Planning Commission") has previously been organized by the City Council of the City of Fairhope, Alabama (the "City") pursuant to Section 11-52-2 of the Alabama Code (1975);

WHEREAS, the Comprehensive Plan for the City of Fairhope (the "Plan") provides for updates every five years;

WHEREAS, the Planning Commission has engaged the public in order to extract concerns, goals, objectives, and vision that the community held to be important for purposes of updating the Plan;

WHEREAS, the Planning Commission held a public hearing in November 2024 regarding the Plan and adopted certain updates to the Plan at that meeting;

NOW THEREFORE, BE IT RESOLVED THAT, the Planning Commission hereby confirms and ratifies its adoption of the Plan in the form attached hereto as Exhibit "A", which Plan was approved at the Planning Commission meeting in November 2024. Upon adoption of this resolution and execution hereof by the Chairman of the Commission, this resolution shall be delivered to the City Clerk of the City to be kept with the original records of the Planning Commission.

EFFECTIVE DATE: This amendment shall be in full force and effect upon its due adoption and certification as provided by law.

Adopted this _____ Day of _____, 2024.

_____
Lee Turner, Chairman

Attest:

_____
Cindy Beaudreau, Planning Clerk

Exhibit "A" is too large to include in this document but can be viewed on the City of Fairhope website.