



**City of Fairhope  
Planning Commission Agenda  
5:00 PM  
Council Chambers  
December 2, 2024**

Sherry Sullivan  
*Mayor*

*Council Members*

Kevin G. Boone

Jack Burrell, ACMO

Jimmy Conyers

Corey Martin

Jay Robinson

Lisa A. Hanks, MMC  
*City Clerk*

Kimberly Creech  
*City Treasurer*

1. Call to Order

2. Consent Agenda

Approval of Minutes - November 4, 2024

**UR 24.16** Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 11,988 LF of buried fiber cable at 100 Vivian Loop.

3. Regular Agenda

Old Business

None

New Business

**A. SD 24.20** Public hearing to consider the request of the Applicant, The Woodlands Group, on behalf of the Owner, Mary Crumpton, for preliminary and final plat approval of Magnolia Beach Estates, a 2-lot minor subdivision. The property is zoned R-2, Medium Density Single-Family Residential District. The property is approximately 2.4 acres and is located at 104 Laurel Avenue. **PPIN #36014**

**B. SR 24.06** Request of the Applicant, Civil Consultants, Inc., on behalf of the Owner, Corte, Cave/Mitchell 1, LLC, for Site Plan Approval of Express Oil Change. The property is approximately 0.99 acres and is zoned B-2 – General Business District. The property is located at 22179 State Highway 181. **PPIN #: 626313**

161 North Section Street

P.O. Drawer 429

Fairhope, Alabama 36533

251-928-2136

251-928-6776 Fax

[www.fairhopeal.gov](http://www.fairhopeal.gov)

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**C. ZC 24.09** Public hearing to consider the request of the Applicant, Jay Broughton, on behalf of the Owner, Tallawampa Properties LLC, for conditional annexation to R-2, Medium Density Single-Family Residential District, to be known as the Tallawampa Subdivision. The property is approximately 5.20 acres and is located at 0 Gayfer Road Extension. **PPIN #: 13818**

**D. ZC 24.10** Public hearing to consider the request of the Applicant, Dewberry, on behalf of the Owner, Brian Metcalf, to rezone property from R-1, Low Density Single-Family Residential District, to B-1, Local Shopping District. The property is approximately 2.06 acres and is located to the east of the terminus at Sweetwater Circle. **PPINS #: 243332, 281752, 281750, 57219**

**4. Adjourn**

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The Planning Commission met Monday, November 4, 2024, at 5:00 PM at the City Municipal Complex, 161 N. Section Street in the Council Chambers.

Present: Lee Turner; Harry Kohler; Paul Fontenot; Hollie MacKellar; Erik Cortinas; Rebecca Bryant; Hunter Simmons, Planning and Zoning Director; Mike Jeffries, Development Services Manager; Michelle Melton, Planner; Chris Williams, City Attorney; and Cindy Beaudreau, Planning Clerk.

Absent: Kevin Boone, John Worsham, and Clarice Hall-Black

Chairman Turner called the meeting to order at 5:02 PM.

Chairman Turner explained that the Planning Commission had moved to a consent agenda and a regular agenda and how those would work in this meeting and future meetings.

### **Consent Agenda**

- Approval of the Minutes October 7, 2024
- **SD 21.43** Harvest Green East Phase 2 - Request of Applicant, S.E. Civil, LLC for a second extension of one-year for preliminary plat
- **SD 21.45** Harvest Green West Phase 2 - Request of Applicant, S.E. Civil, LLC for a second extension of one-year for preliminary plat
- **UR 24.09** Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 14,770 LF of buried fiber cable at 202 N. Summit Street.
- **UR 24.15** Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 6,871 LF of buried fiber cable at 9445 Valor Drive.
- **UR 24.17** Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 7,672 LF of buried fiber cable at 2 Hoffren Drive.
- **UR 24.18** Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 8,606 LF of buried fiber cable at 845 Summer Lake.

Hunter Simmons, Planning and Zoning Director, shared the information for each item listed on the Consent Agenda. The two requests for extensions have no staff recommendations. All utility reviews have the following conditions:

1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
  - a. An additional right-of-way permit may be required for the potholing procedures.
4. Follow-up activities below required by staff and the applicant:
  - a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS Supervisor for inclusion in GIS utility maps as needed.

5. Provide draft door hanger for approval at time of pre-construction.
6. Approved door hangers shall be in place no later than **7 days** prior to construction.
7. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
8. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
9. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).
10. Utilities boxes shall be concentrated near existing boxes.
11. For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

Will Couch, C-Spire, stated that it is possible to move the installation to the west side of the road for UR 24.09.

Chairman Turner asked if anyone would like to speak on any items from the consent agenda.

Donald DeGutz, 110 Blakeney, had two concerns regarding UR 24.09 and asked C-Spire to withdraw their request.

Mr. Couch addressed Mr. DeGutz's concerns.

Carl Sphinx, 361 N. Summit, was concerned about his yard being trashed and the process for removing unused utilities but was in support of having more than one utility in the area.

Erik Cortinas made a motion to approve the items on the consent agenda with staff recommendations.

Harry Kohler seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; Paul Fontenot; Hollie MacKellar; Erik Cortinas; Rebecca Bryant  
NAY: None.

### **Old Business**

- No old business

### **New Business**

- A. SR 24.05** Request of the Applicant, Jade Consulting, LLC on behalf of the Owner, Encounter Development, LLC, for Site Plan Approval of Encounter House Relocation – Lot 11. The property is approximately 1.02 acres and is zoned B-2 – General Business District. The property is located on the northeast corner of State Highway 181 and State Highway 104. **PPIN #: 627501**

Michelle Melton, City Planner, presented the request of the Applicant, Jade Consulting, LLC on behalf of the Owner, Encounter Development, LLC, for Site Plan Approval of Encounter House Relocation – Lot 11. The property is approximately 1.02 acres and is zoned B-2 – General Business District. Ms. Melton shared the zoning and aerial maps.

Staff recommends approval of SR 24.05 to the City Council with the following condition:

1. Provide a revised landscape plan that complies with the Tree Ordinance.

Discussion was held regarding:

- Pervious parking spaces
- Whether the trees on Lot 6 would be preserved
- Requesting that future landscape plans include the height of the plantings

Thomas Luce, Jade Consulting, stated that all landscape questions will be given to his office for consideration and added that they are proposing pervious concrete for parking spaces.

Rebecca Bryant made a motion to recommend SR 24.05 to City Council with staff recommendations.

Paul Fontenot seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; Paul Fontenot; Hollie MacKellar; Erik Cortinas; Rebecca Bryant

NAY: None.

- B. SD 24.23** Public hearing to consider the request of the Applicant, Sawgrass Consulting, LLC, on behalf of the Owner, Rockwell, LLC, for Final Plat Approval of Rockwell Place, a 252-unit Multiple Occupancy Project. The property is approximately 20.91 acres and is located on the east side of State Highway 181, south of the Harvest Green East Subdivision and across from The Waters Subdivision. **PPIN #: 14535**

Mike Jeffries, Development Services Manager, presented the request of the Applicant, Sawgrass Consulting, LLC, on behalf of the Owner, Rockwell, LLC, for Final Plat Approval of Rockwell Place, a 252-unit Multiple Occupancy Project. The property is approximately 20.91 acres and is located on the east side of State Highway 181, south of the Harvest Green East Subdivision and across from The Waters Subdivision. Mr. Jeffries shared the zoning and aerial maps.

Staff recommends approval of SD 24.23 with the following conditions:

1. The area for the lift station shall be a deeded lot to the City of Fairhope.
2. Staff shall approve each phase, buildings and final site work, prior to issuance of any Certificate of Occupancy for individual buildings.
3. The Final MOP plat shall be signed and recorded after completion of the last phase. Staff will coordinate appropriate signature blocks and notes.
4. Upon completion of Phase 8, Staff will perform a final inspection of the public improvements prior to submitting an Acceptance Resolution to the Fairhope City Council.
5. A letter confirming all onsite Sewer, Water, and drives are to remain privately maintained and is not the responsibility of the City of Fairhope or Baldwin County signed by the development owner.
6. A complete As-Built set and GIS shapefiles shall be provided as part of the close out of the final phase.

Chairman Turner opened the public hearing at 6:05pm. Having no one present to speak, the public hearing was closed at 6:05pm.

Erik Cortinas made a motion to recommend SD 24.23 with staff recommendations including:

7. No building shall be occupied until ALDOT has approved the use of Rockwell Boulevard for public access.

Harry Kohler seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; Paul Fontenot; Hollie MacKellar; Erik Cortinas; Rebecca Bryant

NAY: None.

- C. Public hearing to consider the request from the City of Fairhope Planning and Zoning Department, for approval of Resolution 2024-02 for Comprehensive Plan 2024 approval.

Hunter Simmons, Planning and Zoning Director, presented the request from the City of Fairhope Planning and Zoning Department, for approval of Resolution 2024-02 for Comprehensive Plan 2024 approval.

Chairman Turner opened the public hearing at 6:10pm.

Gary Gover, 300 Lincoln Street, shared his concerns regarding an annual progress review and the Safe Streets for All Master Plan.

Donald DeGutz, 110 Blakeney Avenue, requested that Alabama State Law 11.52.9 be placed back into the Comprehensive Plan.

The public hearing was closed at 6:17pm.

Rebecca Bryant made a motion to approve Resolution 2024-02.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; Paul Fontenot; Hollie MacKellar; Erik Cortinas; Rebecca Bryant

NAY: None.

### **Adjournment**

Erik Cortinas made a motion to adjourn.

AYE: Lee Turner; Harry Kohler; Paul Fontenot; Hollie MacKellar; Erik Cortinas; Rebecca Bryant

NAY: None.

Adjourned at 6:18pm.

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Lee Turner, Chairman

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Cindy Beaudreau, Secretary



This digital package has been condensed for size and some documents may not contain all the original pages. All submittals were reviewed in full by staff in preparation for the reports prepared for the Planning Commission.

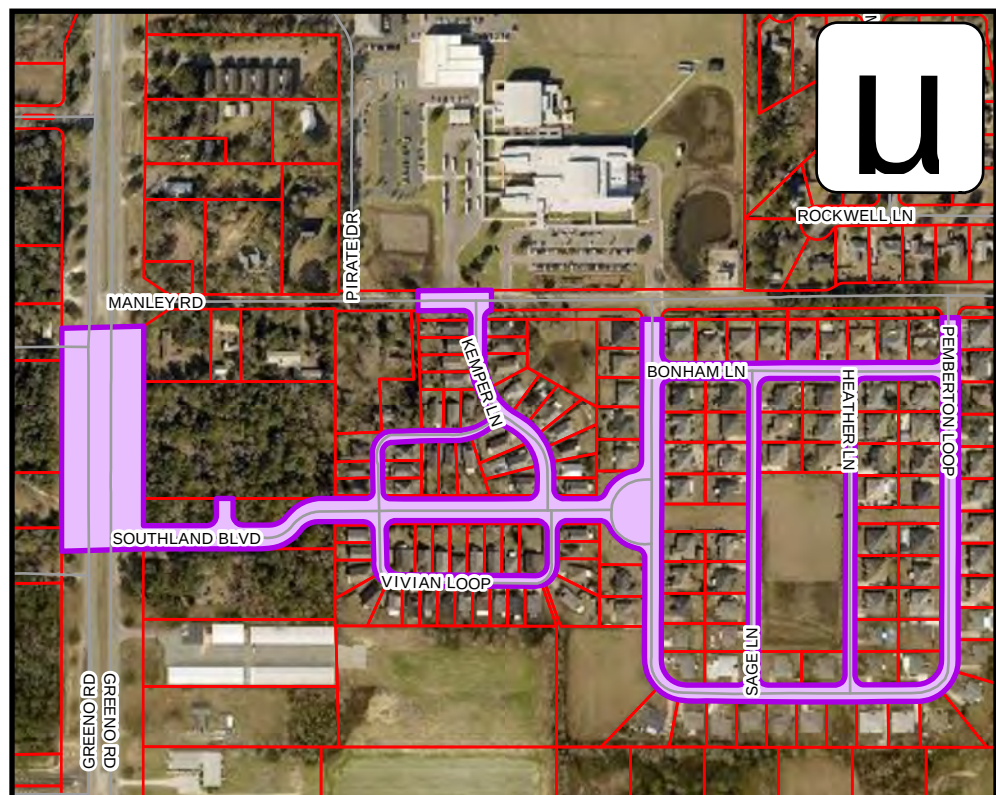
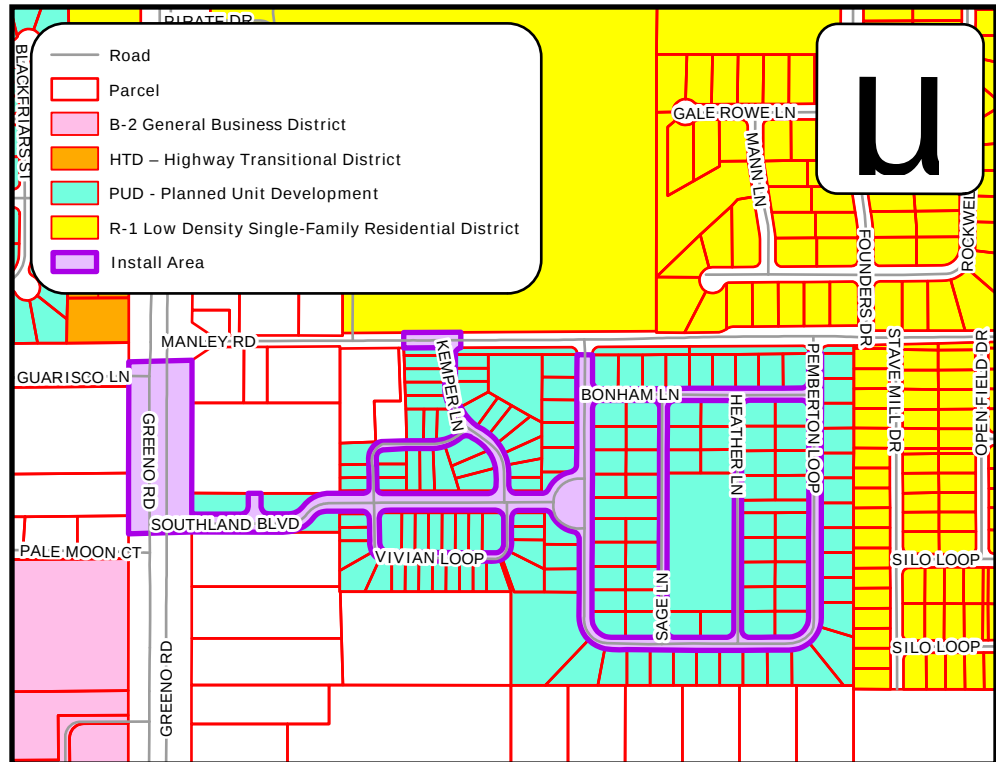
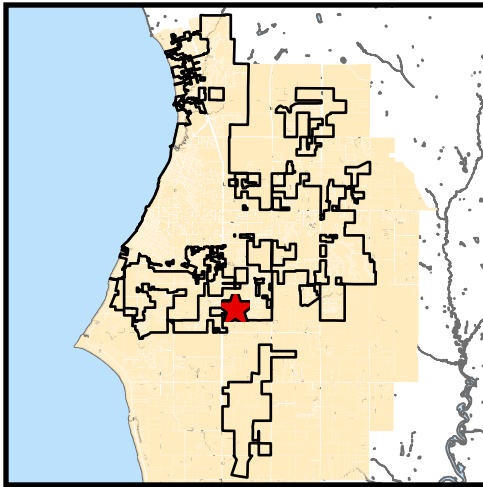
# City of Fairhope

## Planning Commission

### December 2, 2024



## UR 24.16 - 100 Vivian Loop (C-Spire)



#### Project Name:

100 Vivian Loop (C-Spire)

#### Site Data:

11,988 Linear Feet

#### Project Type:

Directional Bore Fiber Installation

#### Jurisdiction:

Fairhope Planning Jurisdiction

#### Zoning District:

PUD

#### PPIN Number:

N/A

#### General Location:

East side of Greeno Road, South of Manley Road

#### Surveyor of Record:

C-Spire

#### Engineer of Record:

C-Spire

#### Owner / Developer:

C-Spire

#### School District:

Fairhope Elementary School  
Fairhope Middle and High Schools

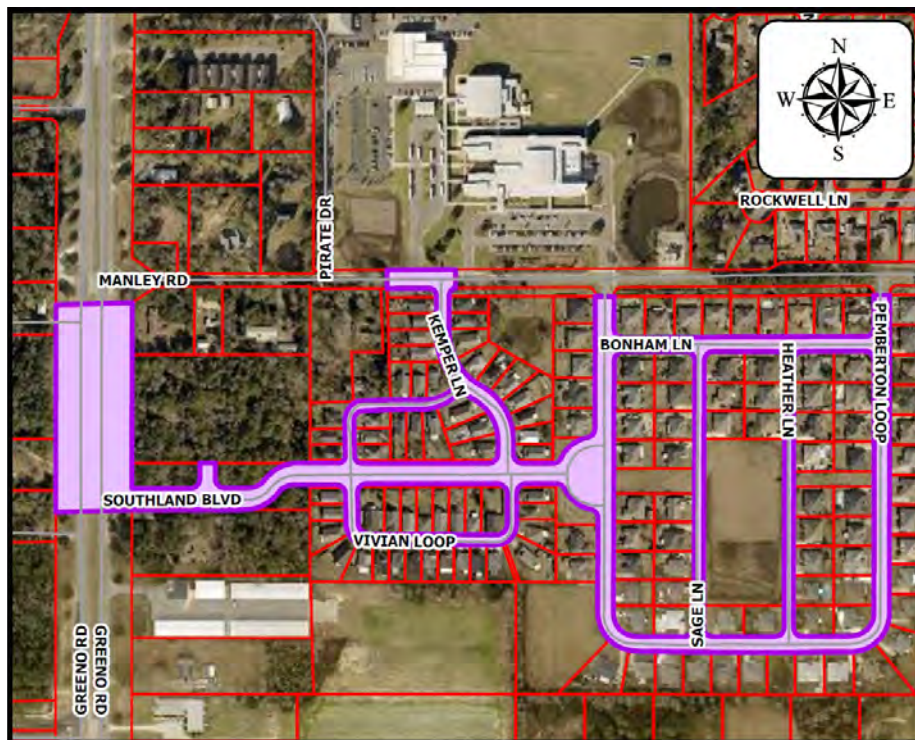
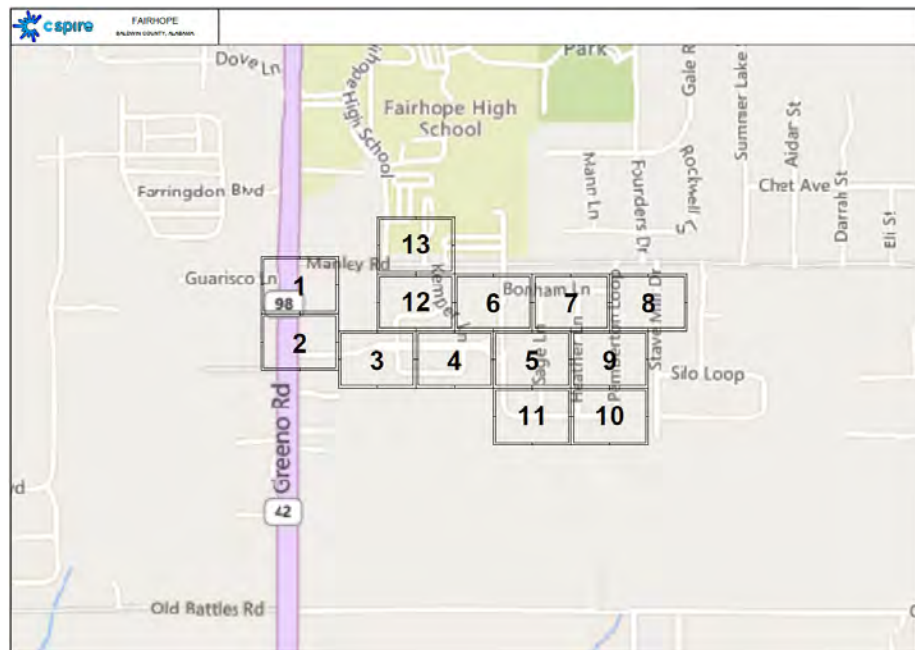
#### Recommendation:

Approved w/ Conditions

#### Prepared by:

Chris Ambron

**Summary of Request:** Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately **11,988 ft directional bore buried fiber** along routes outlined on the below location map.



## **1. Citizen Communication & Notification**

- Provide Door Hangers at preconstruction meetings which shall be approved prior to distribution and work.
- Use of portable A-frame style signage at the entrance and exit of work sites.
- Applicant shall dedicate a Point of Contact to answer citizens questions.

## **2. Permitting, Locating & Phasing**

- Subsurface Utility Engineering may be required for sensitive locations within the city as required by the ROW supervisor.
- An additional right-of-way permit may be required for the potholing procedures needed for SUE.
- A traffic control plan shall be submitted with all permits that affect the flow of traffic.
- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department. Permit not valid until approved and paid for on Citizen Serve online portal.
- The City's ROW inspector is to be notified 24 hours prior to any activity within the ROW. The prior notice applied to all activity within the ROW including but not limited to trenching, boring, concrete placement.
- Hand holes/boxes shall not be allowed to be installed in sidewalks. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate with the ROW inspector to resolve any conflicts.
- The applicant shall contact Alabama One Call 811 to locate all existing utilities in the ROW (750 LF maximum daily allocation for COF utility locates per day).
- A phasing plan must be submitted with the permit to alleviate confusion for locating.
- A pre-construction meeting shall be held with the City prior to issuance of any permits.

## **3. Construction**

- A minimum horizontal clearance (separation) of 36" must be maintained from water, sewer, gas, stormwater, and other city utility infrastructure.
- A minimum depth for all telecommunication lines shall be 30".
- Conduit shall match the 811-color code for communication, electric, gas etc. No blue/blue striped conduit is to be used for telecommunications.
- The contractor responsible for \*excavating inside right of way will be required to provide video documentation of the integrity of any sanitary sewer line (including laterals) within 3 feet of work being performed. This can be videoed prior to work being performed if locations, including depths, are clearly established by contractor, and said work is not within 3 ft of sewer mains or laterals within right of way. This does not apply to laterals on private property not "publicly maintained" (Private infrastructure).
- Water, sewer, and gas mains/services must be potholed prior to bore/missile crossings. If street cuts are necessary please contact Right of Way inspector for restoration.
- If sidewalk panels need to be removed, the subgrade must be compacted to the satisfaction of the ROW inspector. Cold patch asphalt shall be used as a temporary walking surface until the permanent repair can be done.
- Sidewalk panels shall be a minimum of 4000 psi and be inspected within 24 hours of pouring concrete. Anything over one sidewalk panel shall be poured via concrete truck (no bag mix allowed).

#### **4. Horticultural**

- Handholes shall not be located within driplines of trees within City property, to include the right of ways, without explicit written permission from the City Horticulturalist.
- Any proposed trenching shall not be within the dripline of trees.
- If within tree dripline, consult the City of Fairhope Horticulturist prior to earth work.
- Trees shall not be negatively impacted.
- Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. The contractor is responsible for any damaged trees.
- Any work done within the critical root zone shall be done to meet or exceed Internal Society Arboriculture (ISA) standards.
- All roots to be removed shall be severed cleanly at the perimeter of the protected radius.
- Protective barriers shall be used for all trees, barricades shall be erected a minimum of 20' from the trunk.

#### **5. Erosion Control**

- Any ROW cuts shall be stabilized (covered) at the end of each day & disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project. Sod shall be watered to ensure survival.
- Any excess soil shall be removed and disposed of properly. Dumping on private property without approval will not be tolerated.
- Mulch / seed shall only be acceptable as temporary cover.
- Inlets shall be protected. BMPs shall be placed at all affected storm inlets.
- If the site is within 100' of a critical area (wetland, etc.), red soil/clay shall not be allowed as fill material, per the City's Red Clay/Soil Ordinance.
- BMPs shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.

#### **6. Project Completion, Punch List Walk, & As Built**

- The applicant shall provide as-built drawings of all installed lines depicting depths.
- Damage to any City's infrastructure (storm, sewer, water, ditches etc. shall be the responsibility of the permittee to repair to city standards at no cost to the city.
- Any damage that occurs needs to be reported to the city as soon as possible.
- Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency.

## 7. Staff Recommendation

- The proposed utility construction falls within the corporate limits of the City of Fairhope. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the respective agency.
  - This site shall comply with all State, Federal and local requirements, including, but not limited to the following City of Fairhope Ordinances:
    - i. City of Fairhope Wetland Ordinance (#1370), which regulates activity within 20' of wetlands.
    - ii. City of Fairhope Red Soil & Clay Ordinance (#1423), which prohibits the use of red soil / clay within 100' of critical areas.
    - iii. City of Fairhope Erosion and Sediment Control Ordinance (#1398).
    - iv. Chapter 19 Article VI: ROW Construction and Administration, Ordinance (1754)
    - v. City of Fairhope Tree and Landscape Ordinance (#1444)
  - Staff Recommendation: **Approval with Conditions of UR 24.16**
1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
  2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
  3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
    - a. An additional right-of-way permit may be required for the potholing procedures.
  4. Follow-up activities below required by staff and the applicant:
    - a. **Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS technician for inclusion in GIS utility maps.**
  5. Provide draft door hanger for approval at time of pre-construction.
  6. **Approved door hangers shall be in place no later than 7 days prior to construction.**
  7. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
  8. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
  9. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).
  10. Utilities boxes shall be concentrated near existing boxes.

For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

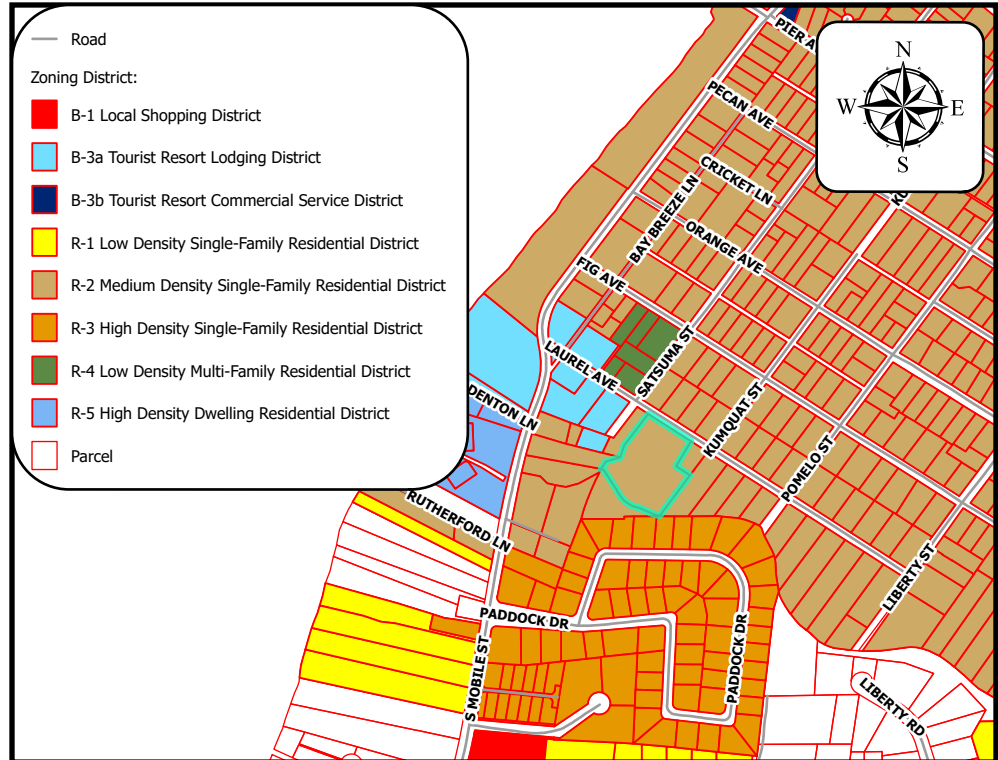
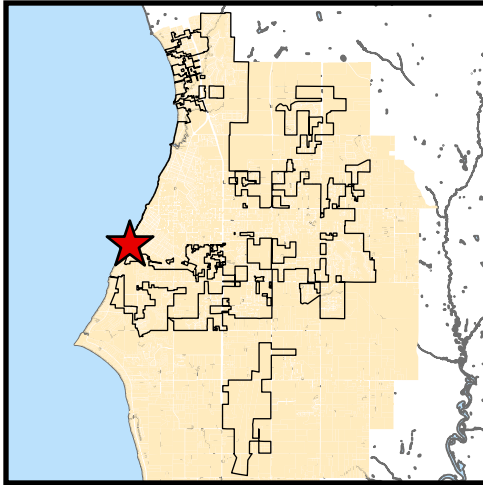
# City of Fairhope

## Planning Commission

December 2, 2024



### SD 24.20 - Magnolia Beach Estates



**Project Name:**

Magnolia Beach Estates

**Site Data:**

2.4 acres

**Project Type:**

2-lot Minor Subdivision

**Jurisdiction:**

Fairhope Planning Jurisdiction

**Zoning District:**

R-2

**PPIN Number:**

36014

**General Location:**

East side of Scenic 98, South side of  
Laurel Ave

**Surveyor of Record:**

Woodlands Group

**Engineer of Record:**

N/A

**Owner / Developer:**

Mary Crompton

**School District:**

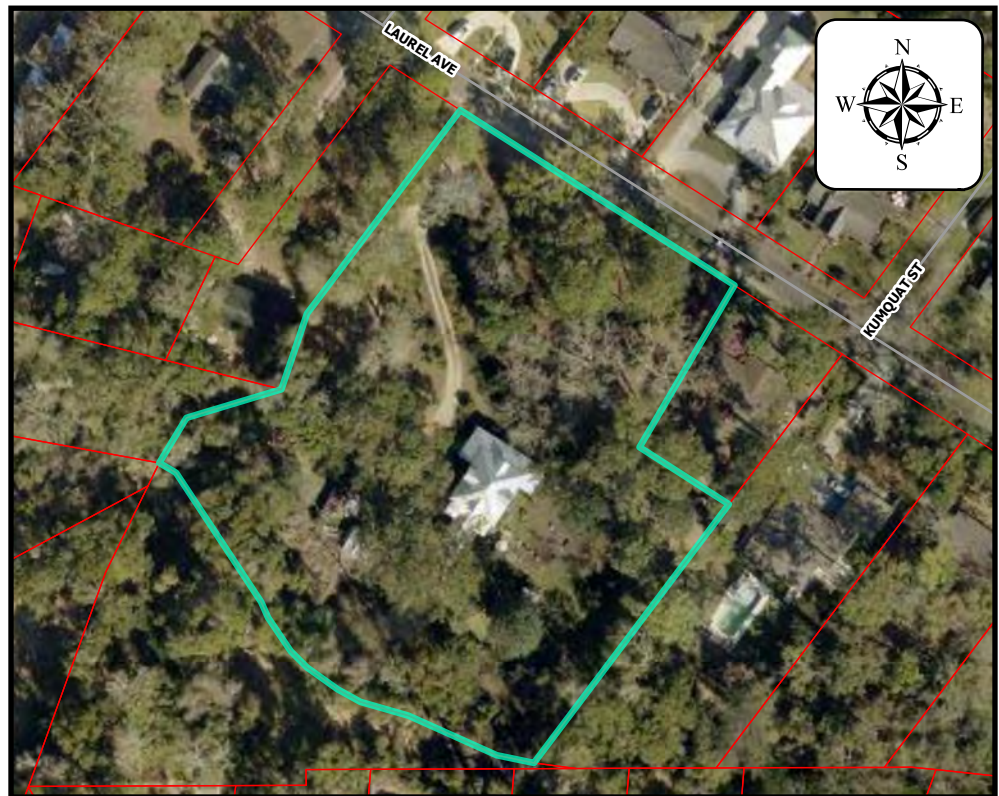
Fairhope Elementary School  
Fairhope Middle and High Schools

**Recommendation:**

Approved w/ Conditions

**Prepared by:**

Mike Jeffries





### APPLICATION FOR SUBDIVISION PLAT APPROVAL

Application Type: ☐ Village Subdivision ☒ Minor Subdivision ☐ Informal (No Fee)  
☐ Preliminary Plat ☐ Final Plat ☐ Multiple Occupancy Project  
 Attachments: ☐ Articles of Incorporation or List all associated investors  
 Date of Application: \_\_\_\_\_

#### Property Owner / Leaseholder Information

Name of Property Owner: Mary Crumpton Phone Number: \_\_\_\_\_  
 Address of Property Owner: 104 Laurel Ave  
 City: Fairhope State: AL Zip: 36532

Proposed Subdivision Name: Magnolia Beach Estates  
 No. Acres in Plat: 2.4 No. Lots/Units: 3  
 Parcel No: 05-46-03-37-0-013-085.000 Current Zoning: R-2

#### Authorized Agent Information

Plat must be signed by the property owner before acceptance by the City of Fairhope

Name of Authorized Agent: Sustin Palmer Phone Number: 251-929-4774  
 Address: PO Box 11  
 City: Point Clear State: AL Zip: 36546  
 Contact Person: Sustin Palmer

#### Surveyor/Engineer Information

Name of Firm: The Woodlands Group Phone Number: 251-929-4774  
 Address: 16960 River Park Rd.  
 City: Fairhope State: AL Zip: 36532  
 Contact Person: Sustin Palmer

Plat Fee Calculation:

**Reference: Ordinance 1269**

Signatures:

I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. \*If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Mary Crumpton  
 Property Owner/Leaseholder Printed Name

Signature

Date

Fairhope Single Tax Corp. (If Applicable)



## The Woodlands Group, LLC

### Agent Authorization Form

I/We Authorize and permit The Woodlands Group, LLC to act as my/our representative and agent in any manner regarding this application which relates to property described as tax parcel ID# 46-03-37-0-013 - 085.000

I/We understand that the agent representation may include but not limited to decisions relating to status, conditions, or withdrawal of this application. In understanding this, I/we release any governing authority from any liability resulting from actions made on my/our behalf by the authorized agent and representative.

#### PROPERTY OWNER(S)

Mary Crumpton  
Name(s) [printed]  
104 Laurel Ave  
Address  
Fairhope, AL 36532  
City/State  
251-604-10482  
Phone  
M. Betty Crumpton Fax #  
Signature(s) Date

#### AUTHORIZED AGENT

The Woodlands Group, LLC  
Name(s) [printed]  
P.O. Box 11  
Address  
Point Clear, AL 36564  
City/State  
251-929-4774 855-479-3408  
Phone Fax #  
A. Palmer  
Signature(s) Date

**Summary of Request:**

The owner is Mary Crumpton. Justin Palmer of The Woodlands Group, LLC is the authorized agent for the project. This application is requesting approval of Magnolia Beach Estates, a 2-lot Minor Subdivision. The property is approximately 2.4 acres and is located at 104 Laurel Avenue. The subject property is zoned R-2 - Medium Density Single-Family Residential District. There is an existing residence on proposed Lot-1. The site data table is below:

**REQUIRED SETBACKS:**

FRONT: 35 FT  
REAR: 35 FT  
DRIVEWAY SIDE: 15 FT  
SIDE: 10 FT  
SIDE STREET: 20 FT

**SITE DATA:**

CURRENT ZONING: R2  
MINIMUM LOT SIZE: 7,146 SF  
NUMBER OF LOTS: 2  
SMALLEST LOT: 11,778 SF±  
LARGEST LOT: 97,116 SF±  
TOTAL AREA: 2.50 ACRES±

**SURVEYOR/DESIGNER:**

THE WOODLANDS GROUP, LLC COA#1073  
16960 RIVER PARK ROAD  
FAIRHOPE, AL. 36532  
JUSTIN PALMER, PLS LIC. NO. 34934  
EMAIL:JUSTIN@THEWOODLANDSGROUP.ORG  
PHONE: 251-929-4774

**OWNER:**

MARY KITTY CAROLE CRUMPTON  
104 LAUREL AVE,  
FAIRHOPE, AL 36532.

**General Comments:**

All lots are within 450 feet of a fire hydrant and each lot fronts a paved publicly maintained road.

The proposed subdivision according to Fairhope's Subdivision Regulations is a minor subdivision and has been reviewed accordingly. The proposed subdivision does not include the building of any additional infrastructure or improvements therefore a tree protection plan, landscape plan, and other criteria required for a major subdivision is not applicable. The proposed subdivision did not trigger a traffic study.

Fairhope's Subdivision Regulations Article VI Section D requires the provision of sidewalks along all streets in the Planning Jurisdiction of Fairhope. Sidewalks do not currently exist along Laurel Ave. The applicant has requested to provide an easement for the sidewalk in lieu of installing sidewalks. Staff does not support this. Staff recommends the installation of the sidewalk.

Final plat must be recorded within 120 days of approval.

The name of the subdivision "Magnolia Beach Estates" too closely resembles multiple existing subdivisions. Staff requests a new name be proposed and approved by the Planning Director.

**Drainage Comments:**

The existing flow patterns are not being changed.

Wetlands exist on the property and are reflected on the plat along with the appropriate wetland buffer. The wetland buffer signs need to be reflected every 100' and signs installed.

**Utility Comments:**

Water, sewer, and gas are provided by the City of Fairhope. Power is provided by Riviera and AT&T is the telecommunications provider.

**Connectivity:**

The applicant is requesting to provide a sidewalk easement. Staff recommends the installation of the sidewalk as part of the approval.

**Comments:**

*The City of Fairhope Subdivision Regulations contain the following criteria in Article V.B.2. **Approval Standards.***

***“2. Consistency with Plans, Regulations and Laws - The Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:***

***a. The proposed subdivision is not consistent with the City’s Comprehensive Plan, and/or the City’s Zoning ordinance, where applicable;***

- Meets

***b. The proposed subdivision is not consistent with the City’s Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;***

- Meets

***c. The proposed subdivision is not consistent with these Regulations;***

- Meets

***d. The proposed subdivision is not consistent with other applicable state or federal laws and regulations;***

- Meets

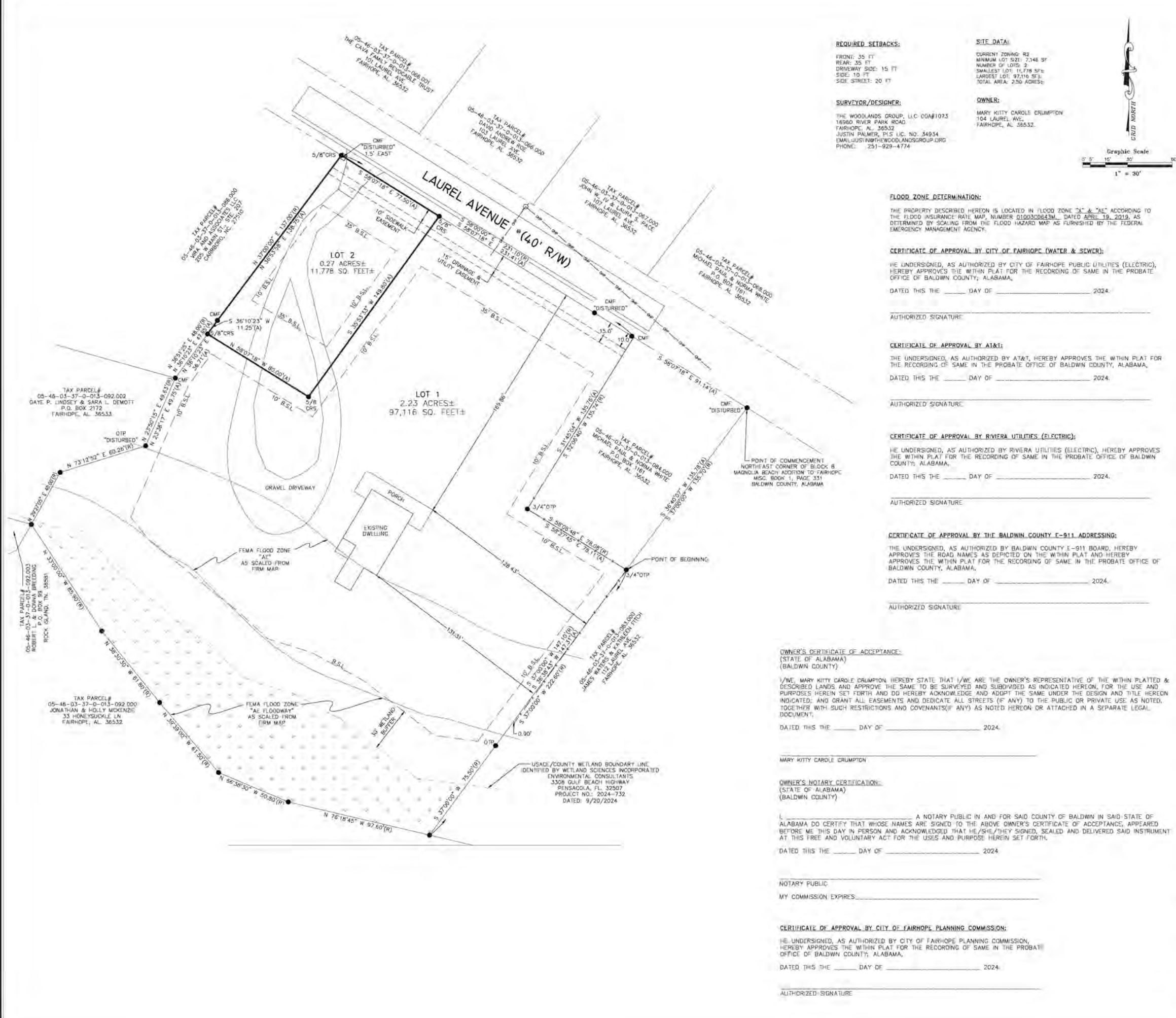
***e. The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City.”***

- Meets

**Staff Recommendation**

Staff recommends **APPROVAL** of SD 24.20 Magnolia Beach Estates with the following conditions:

1. Installation of the sidewalk along Laurel Avenue the length of the property.
2. Provide a new name for the subdivision to be approved by the Planning Director.
3. Wetland buffer signs are reflected on the plat and installed prior to final signature of the plat.
4. Provide a signature block for Fairhope Gas.
5. Adjust the site data table to reflect the minimum lot size as 10,500 sf.



REQUIRED SETBACKS:

FRONT: 35 FT  
REAR: 35 FT  
DRIVEWAY SIDE: 15 FT  
SIDE: 10 FT  
SIDE STREET: 20 FT

SURVEYOR/DESIGNER:

THE WOODLANDS GROUP, LLC CO#1073  
16960 RIVER PARK ROAD  
FAIRHOPE, AL 36532  
JUSTIN PALMER, PLS LIC. NO. 34934  
EMAIL: JUSTIN@THEWOODLANDSGROUP.ORG  
PHONE: 251-929-4774

SITE DATA:

CURRENT ZONING: R2  
MINIMUM LOT SIZE: 7,146 SQ FT  
NUMBER OF LOTS: 2  
SMALLEST LOT: 11,778 SQ FT  
LARGEST LOT: 97,116 SQ FT  
TOTAL AREA: 2.50 ACRES

OWNER:

MARY KITTY CAROLE CRUMPTON  
104 LAUREL AVE.  
FAIRHOPE, AL 36532

FLOOD ZONE DETERMINATION:

THE PROPERTY DESCRIBED HEREON IS LOCATED IN FLOOD ZONE "X" & "AE" ACCORDING TO THE FLOOD INSURANCE RATE MAP, NUMBER 11003C0643M, DATED APRIL 19, 2019, AS DETERMINED BY SCALING FROM THE FLOOD HAZARD MAP AS FURNISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

CERTIFICATE OF APPROVAL BY CITY OF FAIRHOPE (WATER & SEWER):

HE UNDERSIGNED, AS AUTHORIZED BY CITY OF FAIRHOPE PUBLIC UTILITIES (ELECTRIC), HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

DATED THIS THE \_\_\_\_ DAY OF \_\_\_\_ 2024.

AUTHORIZED SIGNATURE: \_\_\_\_\_

CERTIFICATE OF APPROVAL BY AT&T:

THE UNDERSIGNED, AS AUTHORIZED BY AT&T, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

DATED THIS THE \_\_\_\_ DAY OF \_\_\_\_ 2024.

AUTHORIZED SIGNATURE: \_\_\_\_\_

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES (ELECTRIC):

HE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES (ELECTRIC), HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

DATED THIS THE \_\_\_\_ DAY OF \_\_\_\_ 2024.

AUTHORIZED SIGNATURE: \_\_\_\_\_

CERTIFICATE OF APPROVAL BY THE BALDWIN COUNTY E-911 ADDRESSING:

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY E-911 BOARD, HEREBY APPROVES THE ROAD NAMES AS DEPICTED ON THE WITHIN PLAT AND HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

DATED THIS THE \_\_\_\_ DAY OF \_\_\_\_ 2024.

AUTHORIZED SIGNATURE: \_\_\_\_\_

OWNER'S CERTIFICATE OF ACCEPTANCE:

(STATE OF ALABAMA)  
(BALDWIN COUNTY)

I/WE, MARY KITTY CAROLE CRUMPTON HEREBY STATE THAT I/WE ARE THE OWNER'S REPRESENTATIVE OF THE WITHIN PLATTED & DESCRIBED LANDS AND APPROVE THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USE AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED; AND GRANT ALL EASEMENTS AND DEDICATE ALL STREETS (IF ANY) TO THE PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS (IF ANY) AS NOTED HEREON OR ATTACHED IN A SEPARATE LEGAL DOCUMENT.

DATED THIS THE \_\_\_\_ DAY OF \_\_\_\_ 2024.

MARY KITTY CAROLE CRUMPTON

OWNER'S NOTARY CERTIFICATION:

(STATE OF ALABAMA)  
(BALDWIN COUNTY)

I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR SAID COUNTY OF BALDWIN IN SAID STATE OF ALABAMA DO CERTIFY THAT WHOSE NAMES ARE SIGNED TO THE ABOVE OWNER'S CERTIFICATE OF ACCEPTANCE, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE/THEY SIGNED, SEALED AND DELIVERED SAID INSTRUMENT AT HIS FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES HEREIN SET FORTH.

DATED THIS THE \_\_\_\_ DAY OF \_\_\_\_ 2024.

NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

CERTIFICATE OF APPROVAL BY CITY OF FAIRHOPE PLANNING COMMISSION:

HE UNDERSIGNED, AS AUTHORIZED BY CITY OF FAIRHOPE PLANNING COMMISSION, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

DATED THIS THE \_\_\_\_ DAY OF \_\_\_\_ 2024.

AUTHORIZED SIGNATURE: \_\_\_\_\_



VICINITY MAP  
NOT TO SCALE

SURVEY LEGEND

- SURVEY MONUMENT
- (R) RECORD DIMENSION
- (A) ACTUAL DIMENSION
- R/W RIGHT-OF-WAY
- B.S.L. BUILDING SETBACK LINES
- FENCE
- OVERHEAD POWER
- CONCRETE
- GRAVEL
- ASPHALT
- COVERED AREA
- CRS 3/4" CAPPED REBAR SET (WOODLANDS 2A-1073)
- DRF 3/4" CAPPED REBAR FOUND
- RBF REBAR FOUND
- CTP CRIMPED TOP PIPE FOUND
- OTP OPEN TOP PIPE FOUND
- CMF CONCRETE MONUMENT FOUND
- LIGHT POLE
- TELEPHONE PEDESTAL
- POWER POLE
- GLY AND/OR
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- WOOD STAKE

SURVEYOR'S NOTES:

- UNLESS STATED OTHERWISE HEREON, THIS PLAT WAS PREPARED WITHOUT BENEFIT OF AN ABSTRACT OF TITLE. NO LIABILITY IS ASSUMED BY THE UNDERSIGNED FOR LOSS RELATING TO ANY MATTER THAT MIGHT BE DISCOVERED BY AN ABSTRACT OR TITLE SEARCH OF THE PROPERTY. THERE MAY BE RECORDED AND UN-RECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS OR OTHER INSTRUMENTS THAT AFFECT THE BOUNDARIES OF THIS PROPERTY. THERE MAY BE UTILITIES LOCATED ON THIS PROPERTY THAT ARE NOT SHOWN.
- REPRODUCTIONS OF THIS PLAT ARE NOT VALID UNLESS SEALED WITH AN ORIGINAL SURVEYOR'S SEAL.
- TYPE OF SURVEY - BOUNDARY & SUBDIVISION SURVEY
- ALL BEARINGS BASED ON GLOBAL POSITIONING SYSTEM OBSERVATION USING THE NORTH AMERICAN DATUM OF 1983. ALL DISTANCES SHOWN ARE GROUND DISTANCES. ALL MEASUREMENTS HEREON MADE IN ACCORDANCE WITH U.S. STANDARD FEET.
- FIELD WORK WAS PERFORMED 10/25/2023.
- THE LOTS SHOWN HEREON ARE SERVED BY AT&T COMMUNICATIONS, (TELEPHONE) CITY OF FAIRHOPE - WATER, GAS, & SEWER, POWER PROVIDED BY RIVIERA UTILITIES.
- THIS PROPERTY LIES WITHIN THE CITY OF FAIRHOPE.
- NO NEW STREETS OR UTILITY LINES ARE BEING CREATED BY THIS PROJECT AT THIS TIME.
- THERE WAS NO ATTEMPT TO LOCATE ANY SUBSURFACE FEATURES ON THIS PROPERTY.
- IF ANY ZONING, BUILDING SETBACKS AND BUILDING LOCATIONS WITH THE PROPER AUTHORITIES PRIOR TO BEGINNING ANY PLANNING OR CONSTRUCTION.
- THERE SHALL BE A 15 FOOT UTILITY EASEMENT ALONG THE FRONT, REAR AND SIDE LOT LINES AS REQUIRED BY RIVIERA UTILITIES AND THE CITY OF FAIRHOPE.

RECORD PROPERTY DESCRIPTION INSTRUMENT NO. 1324491:

BLOCK EIGHT OF THE MAGNOLIA BEACH ADDITION TO FAIRHOPE, ALABAMA, ACCORDING TO THE MAP THEREOF RECORDED IN MISC. BOOK 1, AT PAGE 331, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA, EXCEPTING THEREFROM LOTS 1 AND 2 HAVING A 90 FOOT FRONTAGE ON LAUREL STREET AND DEPTH OF 135 FEET MEASURED AT RIGHT ANGLES TO LAUREL STREET, OUT OF THE NE CORNER OF LOTS 5 AND 6 OF SAID BLOCK; THE PROPERTY HEREIN DESCRIBED BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: COMMENCE AT A POINT ON THE EAST LINE OF BLOCK 8 OF THE ABOVE NAMED SUBDIVISION, SITUATED S 37° W, 135.7 FEET FROM THE NE CORNER OF SAID BLOCK, AS THE POINT OF BEGINNING; THENCE RUN N 58° W, 78.2 FEET; THENCE RUN N 32° E, 135 FEET; THENCE RUN N 58° W ALONG THE SOUTH SIDE OF LAUREL STREET 230 FEET; THENCE RUN S 37° W, ALONG THE WESTERN MARGIN OF LOT 2 IN SAID BLOCK 8, 185 FEET TO A POINT; THENCE RUN S 22° 29' E, 113.3 FEET TO A POINT ON THE NW BANK OF BIGHEAD GULLY; THENCE CONTINUE S 22° 29' E TO THE SOUTH BOUNDARY OF SAID BLOCK 8; THENCE RUN EASTWARDLY ALONG SAID GULLY AND ALONG THE SOUTH BOUNDARY OF SAID BLOCK 8 TO A POINT SITUATED S 37° W FROM THE POINT OF BEGINNING, THENCE RUN N 37° E TO AN 18" PIN ON THE NORTH BANK OF SAID GULLY; THENCE CONTINUE N 37° W, 150.7 FEET TO THE POINT OF BEGINNING. LOT CONTAINS 2.1 ACRES, MORE OR LESS. IN BLOCK 8, MAGNOLIA BEACH ADDITION TO FAIRHOPE, ALABAMA.

SURVEYOR PROPERTY DESCRIPTION:

COMMENCING AT A POINT BEING USED AS THE NORTHEAST CORNER OF BLOCK EIGHT OF THE MAGNOLIA BEACH ADDITION TO FAIRHOPE, ALABAMA, AS PER MISC. BOOK 1, PAGE 331, AS RECORDED IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA, POINT BEING ON THE EAST RIGHT-OF-WAY LINE OF LAUREL AVENUE; THENCE RUN SOUTH 36°40'00" WEST 135.78 FEET TO THE POINT OF BEGINNING OF THE PROPERTY HEREIN DESCRIBED; THENCE RUN SOUTH 36°38'43" WEST 147.31 FEET TO A POINT; THENCE RUN SOUTH 37°00'00" WEST 75.50 FEET TO A POINT ON THE CENTERLINE OF TATUMVILLE GULLY; THENCE RUN ALONG SAID CENTERLINE NORTH 76°18'45" WEST 97.60 FEET TO A POINT; THENCE RUN ALONG SAID CENTERLINE NORTH 66°38'30" WEST 50.80 FEET TO A POINT; THENCE RUN ALONG SAID CENTERLINE NORTH 39°39'00" WEST 61.50 FEET TO A POINT; THENCE RUN ALONG SAID CENTERLINE NORTH 38°30'30" WEST 61.80 FEET TO A POINT; THENCE RUN ALONG SAID CENTERLINE NORTH 33°00'00" WEST 85.90 FEET TO A POINT; THENCE RUN NORTH 29°27'05" EAST 40.60 FEET TO A POINT; THENCE RUN NORTH 73°32'24" EAST 80.26 FEET TO A POINT; THENCE RUN NORTH 23°38'17" EAST 49.75 FEET TO A POINT; THENCE RUN NORTH 36°10'23" EAST 36.71 FEET TO A POINT; THENCE RUN NORTH 36°10'23" EAST 11.25 FEET TO A POINT; THENCE RUN NORTH 36°53'47" EAST 138.75 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF LAUREL AVENUE; THENCE RUN ALONG SAID EAST RIGHT-OF-WAY LINE SOUTH 58°07'09" EAST 231.42 FEET TO A POINT; THENCE RUN SOUTH 31°45'04" WEST 135.78 FEET TO A POINT; THENCE RUN SOUTH 58°27'45" EAST 78.11 FEET TO THE POINT OF BEGINNING. ALL BEING A TOTAL AREA OF 2.50 ACRES MORE OR LESS AND LOCATED ENTIRELY IN SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 37, TOWNSHIP-6-SOUTH, RANGE-2-EAST, BALDWIN COUNTY, ALABAMA.

SURVEYOR'S CERTIFICATION:

STATE OF ALABAMA,  
COUNTY OF BALDWIN

I, JUSTIN PALMER, A LICENSED PROFESSIONAL SURVEYOR IN BALDWIN COUNTY, ALABAMA, HEREBY CERTIFY THAT ALL PARTS OF THIS PLAT AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

JUSTIN PALMER, PLS DATE 10/22/2024  
LICENSED LAND SURVEYOR PLS#34934  
THE WOODLANDS GROUP, LLC CO#1073  
16960 RIVER PARK RD.  
FAIRHOPE, AL 36532  
PHONE: 251-929-4774  
EMAIL: JUSTIN@THEWOODLANDSGROUP.ORG



September 26, 2024

Justin Palmer, PLS

[justin@thewoodlandsgroup.org](mailto:justin@thewoodlandsgroup.org)

**Re: Wetland Assessment Report  
104 Laurel Avenue, Fairhope, Baldwin County, AL  
WSI Reference #2024-732**

Dear Mr. Palmer,

As requested, Wetland Sciences, Inc. has completed a field wetland for a parcel located at 104 Laurel Avenue in Fairhope, Baldwin County, Alabama (herein referred as subject property or subject site). The parcels are identified by Baldwin County Revenue Commission by the following Parcel Identification Numbers (PIN): 36014 (See Site Location Map in **Exhibit A**).

The purpose of performing the wetland assessment was to assess if wetlands or Waters of the United States (WOTUS) are present and, if so, to identify the boundaries. The wetland delineation was conducted in accordance with the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Atlantic and Gulf Coastal Plain Region (Federal – Corps). The following is a summary of our findings.

#### **Desktop Review**

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Prior to performing the delineation, several remote data sources were reviewed to assist with identifying potential WOTUS and wetland areas at the site. Each source of data is described in detail below.

#### ***Natural Resource Conservation Service Soil Survey***

WSI reviewed the Natural Resources Conservation Service (NRCS) on-line Web Soil Survey (WSS) to identify soil types within the subject property. According to data produced by the United States Department of Agriculture (USDA), one soil type is present within the subject property: Lakeland loamy fine sand. This soil is fully described within the soil report appended as **Exhibit B**.

Lakeland loamy fine sand is considered non-hydric with a hydric rating of 5% (See Hydric Soil Rating Map – **Exhibit C**). This rating indicates the percentage of map units that meets the criteria for hydric (wetland) soils. Map units are composed of one or more map unit components or soil types, each of which is rated as hydric soil or not hydric. Map units that are made up dominantly of hydric soils may have small areas of minor nonhydric components in the higher positions on the landform, and map units that are made up dominantly of nonhydric soils may have small areas of minor hydric components in the lower positions on the landform. Each map unit is rated based on its respective components and the percentage of each component within the map unit.

Hydric soils are defined by the National Technical Committee for Hydric Soils (NTCHS) as soils that formed under conditions of saturation, flooding, or ponding long enough during the growing season to develop anaerobic conditions in the upper part (Federal Register, 1994). Under natural conditions, these soils are either saturated or inundated long enough during the growing season to support the growth and reproduction of hydrophytic vegetation. The NTCHS definition identifies general soil properties that are associated with wetness. To determine whether a specific soil is a hydric soil or nonhydric soil, however, more specific information, such as information about the depth and duration of the water table, is needed. Thus, criteria that identify those estimated soil properties unique to hydric soils have been established (Federal Register, 2002). These criteria are used to identify map unit components that normally are associated with wetlands. The criteria used are selected estimated soil properties that are described in "Soil Taxonomy" (Soil Survey Staff, 1999) and "Keys to Soil Taxonomy" (Soil Survey Staff, 2006) and in the "Soil Survey Manual" (Soil Survey Division Staff, 1993). If soils are wet enough for a long enough period of time to be considered hydric, they should exhibit certain properties that can be easily observed in the field. These visible properties are indicators of hydric soils. The indicators used to make onsite determinations of hydric soils are specified in "Field Indicators of Hydric Soils in the United States" (Hurt and Vasilas, 2006).

### ***Aerial Photograph***

WSI reviewed aerial photographs to identify suspected wetland areas on the site and to determine changes in wetland areas over time. Wetland signatures throughout were observed on the aerial photograph (See current aerial in **Exhibit D**).

### ***National Wetland Inventory Map***

The US Fish and Wildlife Service (FWS) is the principal US Federal agency tasked with providing information to the public on the status and trends of our Nation's wetlands. The US FWS National Wetlands Inventory (NWI) is a publicly available resource that provides detailed information on the abundance, characteristics, and distribution of US wetlands. Prior to our field inspection of the property, Wetland Sciences, Inc. researched the U.S. Fish and Wildlife Service's National Wetland Inventory Data. NWI data depicts a Riverine feature and Freshwater Forested/Shrub Wetland within the subject property (See National Wetland Inventory Map in **Exhibit E**).

### ***USGS Quadrangle Map***

The USGS 7.5-minute quadrangle map and the National Map were reviewed (**Exhibit F**). Wetland features and riverine features associated with Mobile Bay were noted throughout the subject property

### ***Field Review***

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The desktop review was followed by a pedestrian survey. I personally inspected the property on September 20, 2024. I used technical criteria, field indicators, historic aerial photographs, and other sources of information to assess the site. The evaluation methods followed the routine on-site determination method referenced in the Corps of Engineers Wetland Delineation Manual, 1987 and Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Atlantic and Gulf Coastal Plain Region.

Wetlands generally have three essential characteristics: hydrophytic vegetation, hydric soils, and wetland hydrology. The techniques for evaluating the plant community, soils, and hydrology are described in the following sections.

#### *Hydric Soils Assessment*

Several soil test holes were evaluated to identify field indications of hydric soils. WSI utilized the hydric soil definition provided by the National Technical Committee for Hydric Soils and criteria to determine whether soils within the site are considered hydric. It was determined during the desktop review that the property contains hydric soils. A specific area is not necessarily considered to have hydric soils because it is dominated by soils on a hydric soils list. Hydric soils must be identified by verifying the presence of one or more of the hydric soil indicators.

During our field inspection of the property, hydric soils were verified in conjunction with the floodplain of Tatumville Gully. The flowing system is located beyond the limits of the subject parcel.

#### *Wetland Hydrology Assessment*

At each plot, visual indications of wetland hydrology were recorded. Wetland hydrology indicators include algal mats, aquatic mosses or liverworts on trees or substrate, aquatic plants, aufwuchs (presence or remains of the assemblage of sessile, attached, or free-living, nonvascular plants and invertebrate animals which develop a community on inundated surfaces), drift lines and rafted debris, elevated lichen lines, evidence of aquatic fauna, hydrologic data, morphological plant adaptations, secondary flow channels, sediment deposition, vegetated tussocks or hummocks, and water marks.

Both primary and secondary indicators of hydrology were noted within forested wetland complexes located along the eastern margins of the property, and an isolated wetland features located within the northern portion of the property. Observed indicators include inundation, saturation, aquatic fauna, plant morphological adaptations, and drainage patterns.

#### *Plant Community Structure*

The subject property could be characterized by the following ecological communities: residential and forested floodplain.

#### *Field Identification of Wetlands*

Wetland Sciences, Inc. identified a single wetland complex located on the south side of the subject property. The subject wetland is located at the bottom of the slope leading to the gully (see attached sketch - **Exhibit G**). USACE Wetland Data forms are appended in **Exhibit H**.

The wetland complex will fall under the regulatory jurisdiction of the Department of the Army Corps of Engineers. The boundary of each feature was identified in the field by progressively locating points along the upland/wetland boundary at 15-20-ft. intervals or corresponding with directional changes with the boundary. Each point was identified and located by an experienced wetland scientist. Pink flags were placed at each point clearly marked "Wetland Delineation". Each flagged point also contains a specific alpha numeric designator for later tracking of its location. Wetland Sciences, Inc. used an RTK GPS to locate each point.

Please keep in mind that there are many variables that affect the accuracy of the GPS data used to generate the attached sketch. This sketch should be considered approximate unless verified by a survey or other appropriate means.

The boundary of jurisdictional wetland as depicted in the exhibits of this report are not final or "binding" until such time as they are confirmed by the USACE through field inspection. As such, the depicted wetland boundary may be subject to minor changes upon such inspection/approval.

This concludes our report. Please call me with any questions.

Respectfully,

**Wetland Sciences, Inc.**

A handwritten signature in black ink, appearing to read "Craig Martin", with a stylized flourish at the end.

Craig Martin  
Senior Scientist

Enclosures: As indicated



1249 Pencarro Blvd  
Foley, Alabama 36535  
T: (251) 269-8689  
[jww@wooteneng.com](mailto:jww@wooteneng.com)

July 27, 2024

The Woodlands Group  
ATTN: Justin Palmer, PLS, Principal Surveyor  
(601) 479-3408  
[Justin@TheWoodlandsGroup.org](mailto:Justin@TheWoodlandsGroup.org)

**RE: MAGNOLIA BEACH ESTATES  
104 LAUREL STREET  
FAIRHOPE, ALABAMA 36532**

Dear Mr. Palmer:

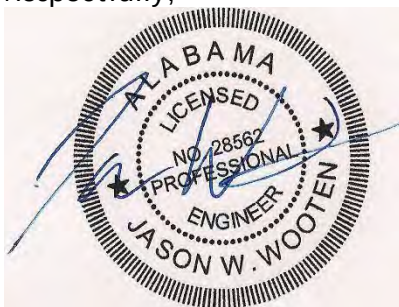
Wooten Engineering has reviewed the information you have provided for the planned Magnolia Beach Estates Subdivision with respect to the need for a potential traffic study. It is our understanding that the subdivision is to create 3 lots from an existing lot located at 104 Laurel Street in Fairhope, Alabama (County Parcel No. 05-46-03-37-0-013-085.000).

The existing property is a 2.35-acre single-family lot located along the southwest side of Laurel Street between the intersections of Satsuma Street/Laurel Streets and Kumquat/Laurel Streets. There is an existing house located near the center of the property. An existing driveway connects to Laurel Street. The surrounding area of the subject site is typical single-family neighborhood with curbed city streets of approximately 20 feet total width.

The planned subdivision will create a 1.81-acre lot to site the existing house and two 0.27-acre lots for future single-family residential use. All three lots will have driveway connections to Laurel Street. Attached is the planned subdivision plat provided.

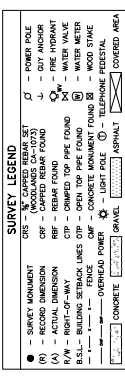
It is our opinion that the creation of 2 additional single-family lots along Laurel Street does not warrant a traffic study to determine effects on the level of service of city streets in vicinity to the project. Please note that this determination is based on the land use being single-family residents. If the planned use is to differ from our assumption, we would appreciate an opportunity to review and possibly revise our recommendation.

Respectfully,



Jason W. Wooten, P.E., Principal

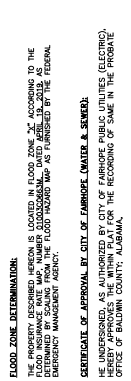
ATTACHMENT

[illegible][illegible][illegible]

**REVIEWERS' CERTIFICATION:**  
STATE OF ALABAMA

JUSTIN PALMER, A LICENSED PROFESSIONAL SURVEYOR IN BALDWIN COUNTY, ALABAMA, HEREBY CERTIFY THAT ALL PARTS OF THIS PLAT AND DRAWING HAVE BEEN COMPLETED IN CONFORMANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND

STIN PALMER, PLS DATE 07/23/2024  
ENSED LAND SURVEYOR PLS#34934  
E WOODLANDS GROUP, LLC CO#1073  
560 RIVER PARK RD.  
IRHOPI, AL 36532  
ONE: 251-929-4774  
MAIL: JUSTIN@THEWOODLANDSGROUP.ORG



**AUTHORIZED SIGNATURE**

**CERTIFICATE OF APPROVAL BY AT&T:**  
THE UNDERSIGNED, AS AUTHORIZED BY AT&T, HEREBY APPROVES THE WITHIN PLAT FOR

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

TESTIMONY OF ABBAS BY DIRECT EXAMINATION

HE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES (ELECTRIC), HEREBY APPROVES  
THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN  
COUNTY, ALABAMA,

\_\_\_\_\_  
AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY THE BALDWIN COUNTY E-911 ADDRESSING:  
THE UNDERSIGNED AS AUTHORIZED BY BALDWIN COUNTY E-911 BOARD MEETING

APPROVES THE WITHIN FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF  
BALDWIN COUNTY, ALABAMA,  
DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

**AUTHORIZED SIGNATURE**

**REFERENCE:**

HEREBY STATE THAT I/WE ARE THE OWNER'S REPRESENTATIVE OF THE WITHIN PLATTED & THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USE AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON

2024.

---

THE NAMES ARE SIGNED TO THE ABOVE OWNER'S CERTIFICATE OF ACCEPTANCE, APPEARED AND ACKNOWLEDGED THAT HE/SHE/THEY SIGNED, SEALED AND DELIVERED SAID INSTRUMENT FOR THE USES AND PURPOSE HEREIN SET FORTH.

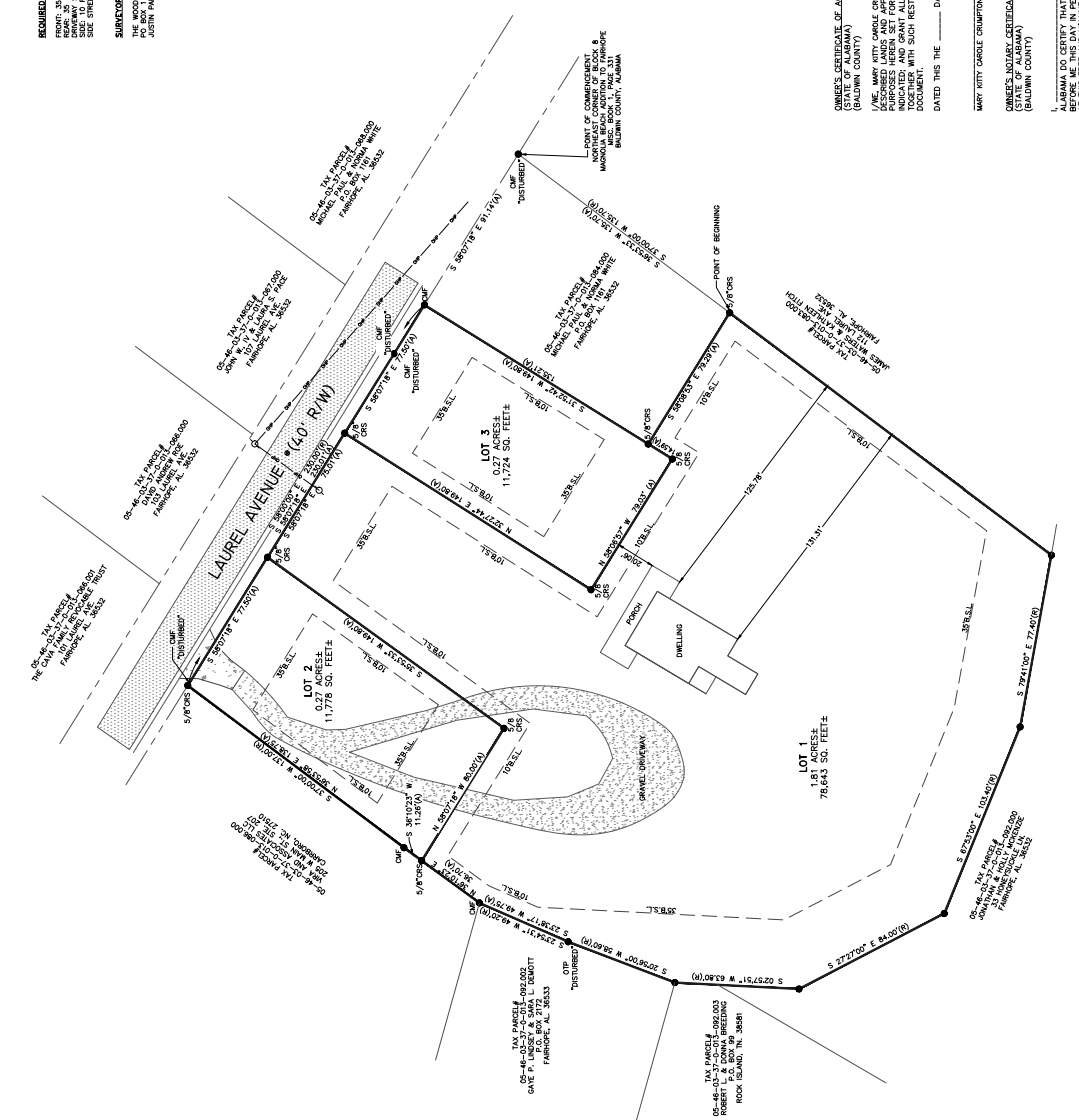
1000

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BY CITY OF FAIRHOPE PLANNING COMMISSION,  
ATTEST FOR THE RECORDING OF SAME IN THE PROBATE  
COURT OF THE COUNTY OF ALBANY, ALABAMA,

---

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## Fairhope Water Utility

### Hydrant Flow Test

Date: July 26, 2024

Time: 6:30 AM

### Flow Hydrant

Hydrant Location 141 Laurel Ave

Latitude: 30.512353

Longitude: -87.915727

Size of Water Main (Inches) 8

Type of Material: PVC

Pitot PSI 50

Outlet Diameter (in): 2.5

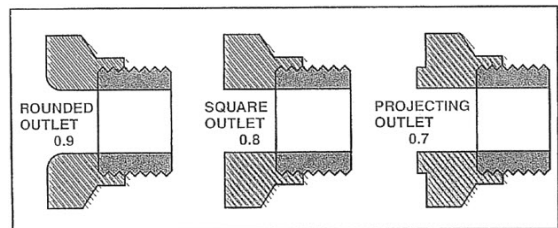
Number of Outlets Flowing 1

C factors for outlets of less than 4-inches in size and type are given below.

|                                                  |      |
|--------------------------------------------------|------|
| Outlet less than 4" in size, smooth and rounded: | 0.90 |
| Outlet less than 4" in size, square and sharp:   | 0.80 |
| Outlet less than 4" in size, projecting:         | 0.70 |

Select Appropriate C Value:

0.9



Calculated Flow (Q)

1186.48

GPM

### Flow Hydrant

Hydrant Location 18 Laurel Ave (In front of Gambino's off S Mobile St)

Latitude: 30.513460

Longitude: -87.918046

Size of Water Main (Inches) 6

Type of Material: Cast Iron

Static Pressure (PSI) 86

Residual Pressure (PSI) 68

Calculated Fire Flow @ 20 PSI (AFF): 2393.14

GPM

Signatures:

Operator: Micheal C. Johnson

Engineer of Record:



## Hydrant Flow Test

Date: \_\_\_\_\_

Time: \_\_\_\_\_

### Flow Hydrant

30.512353, -87.915727

Hydrant Location: \_\_\_\_\_

Size of Watermain: \_\_\_\_\_ Type Material: \_\_\_\_\_

Pitot PSI: \_\_\_\_\_ Flow GPM: \_\_\_\_\_

Calculated Fire Flow @ 20 PSI: 1962 GPM

### Test Hydrant (Residual)

30.513460, -87.918046

Hydrant Location: \_\_\_\_\_

Size of Watermain: \_\_\_\_\_ Type material: \_\_\_\_\_

Static PSI: \_\_\_\_\_ Residual PSI: \_\_\_\_\_

Operator: \_\_\_\_\_

Engineer of Record: \_\_\_\_\_

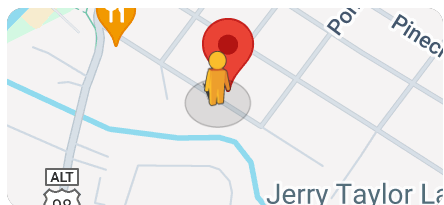


112 Laurel Ave

Flow Hydrant



Image capture: May 2024 © 2024 Google





700 S Mobile St

18 Laurel Ave Test Hyd



Fairhope, Alabama

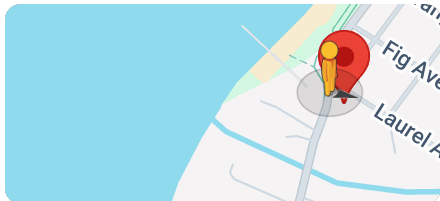


Google Street View

May 2024

[See more dates](#)

Image capture: May 2024 © 2024 Google





July 19, 2024

The Woodlands Group  
22881 US Hwy 98  
Fairhope, AL 36532

Sherry Sullivan  
*Mayor*

*Council Members:*

Kevin G. Boone  
Jay Robinson  
Jack Burrell, ACO  
Jimmy Conyers  
Corey Martin

Lisa A. Hanks, MMC  
*City Clerk*

Kimberly Creech  
*Treasurer*

RE: Regarding your availability request for 3 lot subdivision of PPIN 36014.

This availability letter is only valid based on what was propose at the utility review meeting on July 18, 2024. Any changes or deviations of the proposed plan will require another utility review. This statement of availability remains effective for twelve (12) months from the date of this letter, at which time it shall expire and automatically be withdrawn.

**Water & Sewer:** Based upon review of the proposed three lot subdivision of PPIN 36014, water and sewer service by Fairhope Public Utilities is currently available. All tap fees and system development charges (SDC's) will apply, and all necessary infrastructure improvements will be at the developer's expense.

**Electric:** Electric is available through Fairhope Public Utilities. The developer will be responsible for system upgrades and aid to construction (ATC).

Sincerely,

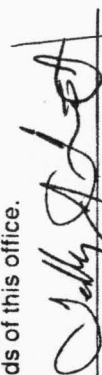
  
\_\_\_\_\_  
Jason Brown  
Water/Wastewater Project Coordinator  
\_\_\_\_\_  
Marshall King  
Electrical Engineering Technician

161 North Section St.  
PO Drawer 429  
Fairhope, AL 36533

251-928-2136 (p)  
251-928-6776 (f)  
[www.fairhopeal.gov](http://www.fairhopeal.gov)

| Parcel Number             | Pin    | Owner Name                                           | Address               | City        | Stat | Zip   | Prope Property Street Name |
|---------------------------|--------|------------------------------------------------------|-----------------------|-------------|------|-------|----------------------------|
| 05-46-03-37-0-013-055.002 | 36841  | ROSENQUIST, R G ETAL ROSENQUIST, MARIAN AND B TR     | 10345 CANAL CIR       | FAIRHOPE    | AL   | 36532 | 560 SATSUMA ST             |
| 05-46-03-37-0-013-066.000 | 8208   | ROE, DAVID ANDREW AS TRUSTEE OF THE DAVID ANDRE      | 103 LAUREL AVE        | FAIRHOPE    | AL   | 36532 | 103 LAUREL AVE             |
| 05-46-03-37-0-013-082.000 | 24365  | STACEY, RHONDA L                                     | 114 LAUREL AVE        | FAIRHOPE    | AL   | 36532 | 114 LAUREL AVE             |
| 05-46-03-37-0-013-100.000 | 35420  | ALSTON, SANDRA A                                     | 114 PADDOCK DR        | FAIRHOPE    | AL   | 36532 | 114 PADDOCK DR             |
| 05-46-03-37-0-013-084.000 | 18799  | MANDINA, ANTHONY T JR ETAL MANINT, WENDY             | 110 LAUREL AVE        | FAIRHOPE    | AL   | 36532 | 110 LAUREL AVE             |
| 05-46-03-37-0-013-069.000 | 33271  | WANG, FRANK ETAL WANG, SUK LEE CHAN                  | 143 LAUREL AVE        | FAIRHOPE    | AL   | 36532 | 143 LAUREL AVE             |
| 05-46-03-37-0-013-069.001 | 38631  | APPLEFIELD, BRYAN M ETAL APPLEFIELD, SHE AND ILA     | 106 ADRIS PLACE       | DOTHAN      | AL   | 36303 | 141 LAUREL AVE             |
| 05-46-03-37-0-013-106.000 | 27750  | ZIEMAN, CHRISTOPHER MICHAEL                          | 105 PADDOCK DR        | FAIRHOPE    | AL   | 36532 | 105 PADDOCK DR             |
| 05-46-03-37-0-013-081.000 | 36008  | RICHEY, JOHN R ETAL RICHEY, MARCIA F                 | 116 LAUREL AVE        | FAIRHOPE    | AL   | 36532 | 116 LAUREL AVE             |
| 05-46-03-37-0-013-052.000 | 55847  | VALENTZ, WILLIAM L ETAL VALENTZ, CHRISTA AND G       | 106 FIG AVE           | FAIRHOPE    | AL   | 36532 | 106 FIG AVE                |
| 05-46-03-37-0-013-050.000 | 36066  | RIDER, DELMER OWEN II ETUX RIDER, DORIS AND H        | 114 FIG AVE           | FAIRHOPE    | AL   | 36532 | 114 FIG AVE                |
| 05-46-03-37-0-013-109.000 | 36157  | INGE, GRACE B                                        | 117 PADDOCK DR        | FAIRHOPE    | AL   | 36532 | 117 PADDOCK DR             |
| 05-46-03-37-0-013-083.000 | 35657  | WATERS JAMES AND FITCH KATHLEEN                      | 112 LAUREL AVE        | FAIRHOPE    | AL   | 36532 | 112 LAUREL AVE             |
| 05-46-03-37-0-013-105.000 | 42766  | KLAVAS, ROBERT M ETUX SARAH M                        | 101 PADDOCK DR        | FAIRHOPE    | AL   | 36532 | 101 PADDOCK DR             |
| 05-46-03-37-0-013-067.000 | 1074   | PACE, JOHN W IV ETAL PACE, LAURA S                   | 107 LAUREL AVE        | FAIRHOPE    | AL   | 36532 | 107 LAUREL ST              |
| 05-46-03-37-0-013-055.000 | 36840  | ROSENQUIST, R G ETAL ROSENQUIST, MARIAN AND B TR     | 10345 CANAL CIR       | FAIRHOPE    | AL   | 36532 | 0                          |
| 05-46-03-37-0-013-064.000 | 6585   | WILSON, GARY E ETUX JEAN M                           | P O BOX 156           | STAPLETON   | AL   | 36578 | 23 LAUREL ST               |
| 05-46-03-37-0-013-066.001 | 99133  | CAVA FAMILY REVOCABLE TRUST, THE                     | 101 LAUREL AVE        | FAIRHOPE    | AL   | 36532 | 101 LAUREL AVE             |
| 05-46-03-37-0-013-051.000 | 34708  | BARRETT REBECCA C                                    | 50 S CHURCH ST UNIT 1 | FAIRHOPE    | AL   | 36532 | 110 FIG AVE                |
| 05-46-03-37-0-013-053.000 | 15986  | RODGERS CHRISTOPHER CAMPBELL AND RODGERS TATI        | 3823 SOUTH XENIA ST   | DENVER      | CO   | 80237 | 102 FIG AVE                |
| 05-46-03-37-0-013-108.000 | 19931  | WADE MARLON                                          | 250 N CRAFT HWY       | CHICKASAW   | AL   | 36611 | 113 PADDOCK DR             |
| 05-46-03-37-0-013-102.000 | 20675  | COLLINS, TIMOTHY J ETAL COLLINS, ELAINE AND K        | 10160 NORIEGA LN      | PENSACOLA   | FL   | 32514 | 106 PADDOCK DR             |
| 05-46-03-37-0-013-065.000 | 3832   | VIRA, ANIL K                                         | 16 N BAYVIEW ST       | FAIRHOPE    | AL   | 36532 | 25 LAUREL AVE              |
| 05-46-03-37-0-013-103.000 | 11019  | SPECK, WILLIAM A                                     | 102 PADDOCK DR        | FAIRHOPE    | AL   | 36532 | 102 PADDOCK DR             |
| 05-46-03-37-0-013-101.000 | 28239  | CUSUMANO, VITO D ETUX DARLENE F                      | 110 PADDOCK DR        | FAIRHOPE    | AL   | 36532 | 110 PADDOCK DR             |
| 05-46-03-37-0-013-107.000 | 13700  | HUNTER, PETER M                                      | 468 POMELO ST (MA)    | FAIRHOPE    | AL   | 36532 | 109 PADDOCK DR             |
| 05-46-03-37-0-013-104.000 | 12433  | TEBAY KENNETH L AND TEBAY CAROLE F                   | 98 PADDOCK DR         | FAIRHOPE    | AL   | 36532 | 98 PADDOCK DR              |
| 05-46-03-37-0-013-068.000 | 38301  | WHITE, MICHAEL PAUL ETAL WHITE, NORMA LY AND NN      | P O BOX 1161          | FAIRHOPE    | AL   | 36533 | 109 LAUREL AVE             |
| 05-46-03-37-0-013-099.000 | 34324  | BANNERMAN, JOHN FRANCIS AS TRUSTEE OF THE REVOC      | 118 PADDOCK DR        | FAIRHOPE    | AL   | 36532 | 118 PADDOCK DR             |
| 05-46-03-37-0-013-097.002 | 7882   | LIVE OAKS PROPERTIES L L C                           | 4 MOLOKAI LN          | FAIRHOPE    | AL   | 36532 | 126 PADDOCK DR             |
| 05-46-03-37-0-013-091.000 | 33014  | VIRA LISA K AND VIRA, LISA K AS TRUSTEE OF THE SHEEL | 205 W MAIN ST STE 207 | CARRBORO    | NC   | 27510 | 0 SATSUMA ST               |
| 05-46-03-37-0-013-089.001 | 84300  | VIRA, LISA K                                         | 205 MAIN ST W STE 207 | CARRBORO    | NC   | 27510 | 0                          |
| 05-46-03-37-0-013-087.000 | 33005  | VIRA LISA K AND VIRA, LISA K AS TRUSTEE OF THE SHEEL | 205 W MAIN ST STE 207 | CARRBORO    | NC   | 27510 | 26 LAUREL ST               |
| 05-46-03-37-0-013-088.001 | 6696   | ANJALI AND ASSOCIATES L L C                          | 205 W MAIN ST STE 207 | CARRBORO    | NC   | 27510 | 701 MOBILE ST S            |
| 05-46-03-37-0-013-086.000 | 33034  | VIRA LISA K AND VIRA, LISA K AS TRUSTEE OF THE SHEEL | 205 W MAIN ST STE 207 | CARRBORO    | NC   | 27510 | 100 LAUREL ST              |
| 05-46-03-37-0-013-098.000 | 24874  | STAUFFER, JOHN A                                     | 122 PADDOCK DR        | FAIRHOPE    | AL   | 36532 | 122 PADDOCK DR             |
| 05-46-03-37-0-013-092.002 | 110293 | LINDSEY, GAYE P ETAL DEMOTT, SARA L                  | PO BOX 2172           | FAIRHOPE    | AL   | 36533 | 711 MOBILE ST S            |
| 05-46-03-37-0-013-092.006 | 269464 | MCKENZIE, JONATHAN ETUX HOLLY                        | PO BOX 1121           | FAIRHOPE    | AL   | 36533 | 33 HONEYSUCKLE LN          |
| 05-46-03-37-0-013-092.003 | 200275 | BREEDING ROBERT L AND BREEDING DONNA                 | PO BOX 99             | ROCK ISLAND | TN   | 38581 | 713 MOBILE ST S            |
| 05-46-03-37-0-013-092.001 | 95658  | CROSBY, JAMES HILTON                                 | 11 HONEYSUCKLE LN     | FAIRHOPE    | AL   | 36532 | 11 HONEYSUCKLE LN          |
| 05-46-03-37-0-013-085.000 | 36014  | CRUMPTON, MARY KITTY CAROLE AS TRUSTEE O AND F T     | 104 LAUREL AVE        | FAIRHOPE    | AL   | 36532 | 104 LAUREL ST              |
| 05-46-03-37-0-013-089.000 | 5846   | VIRA LISA K AND VIRA, LISA K AS TRUSTEE OF THE SHEEL | 205 W MAIN ST STE 207 | CARRBORO    | NC   | 27510 | 709 MOBILE ST S            |
| 05-46-03-37-0-013-054.000 | 34070  | PHILLIPS SUE HOWELL AND PHILLIPS DAVID WAYNE         | 100 FIG AVE           | FAIRHOPE    | AL   | 36532 | 100 FIG AVE                |
| 05-46-03-37-0-013-092.000 | 47437  | MCKENZIE JONATHAN AND MCKENZIE HOLLY                 | 33 HONEYSUCKLE LN     | FAIRHOPE    | AL   | 36532 | 0                          |

STATE OF ALABAMA  
BALDWIN COUNTY  
I, TEDDY J. FAUST, JR., Revenue Commissioner  
in and for said State and County, do hereby  
certify that this is a true and correct copy of the  
records of this office.

  
Revenue Commissioner

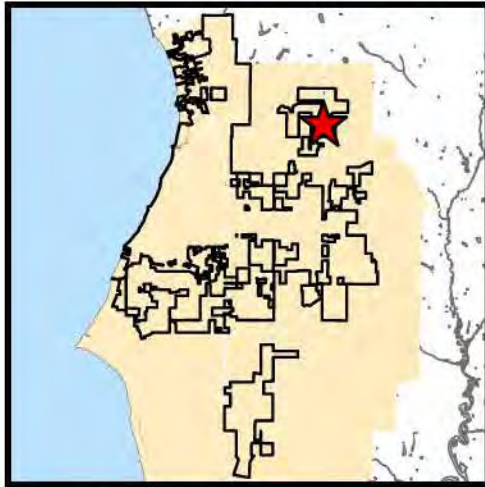
# City of Fairhope

## Planning Commission

December 2, 2024



### SR 24.06 - Express Oil Change

**Project Name:**

Express Oil Change

**Site Data:**

0.99 acres

**Project Type:**

Site Plan

**Jurisdiction:**

Fairhope Planning Jurisdiction

**Zoning District:**

B-2

**PPIN Number:**

626313

**General Location:**

Northwest corner of the intersection of  
State Hwy 181 and 104

**Surveyor of Record:**

N/A

**Engineer of Record:**

Civil Consultants Inc

**Owner / Developer:**

Corte, Cave/Mitchell 1 LLC

**School District:**

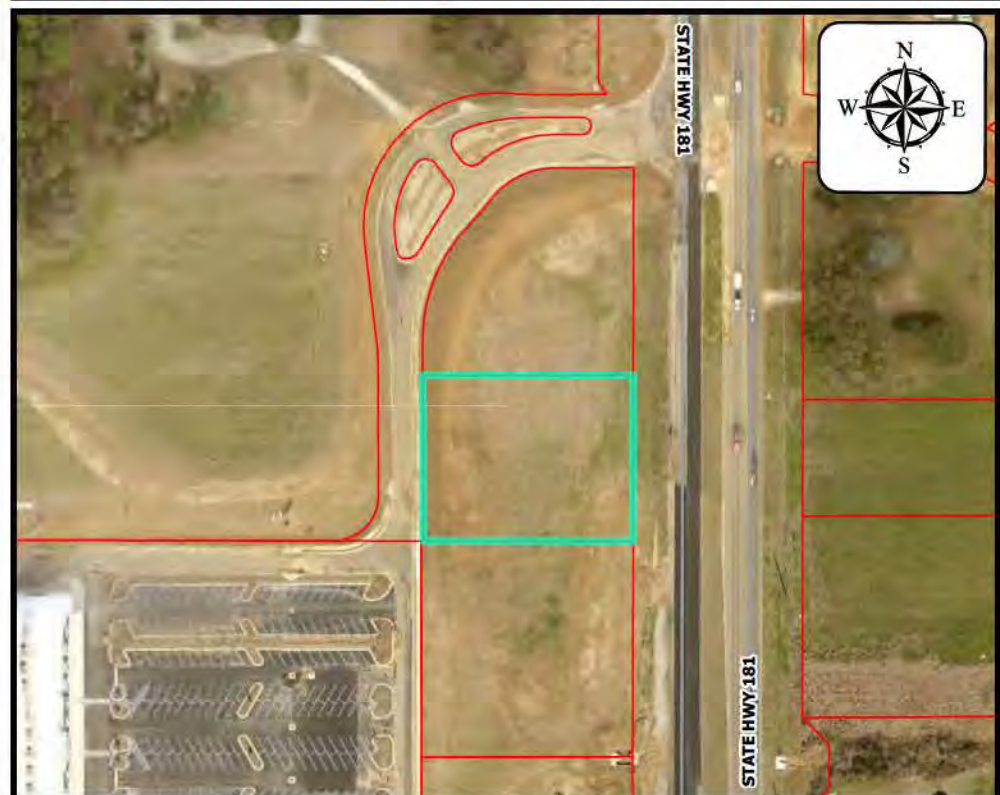
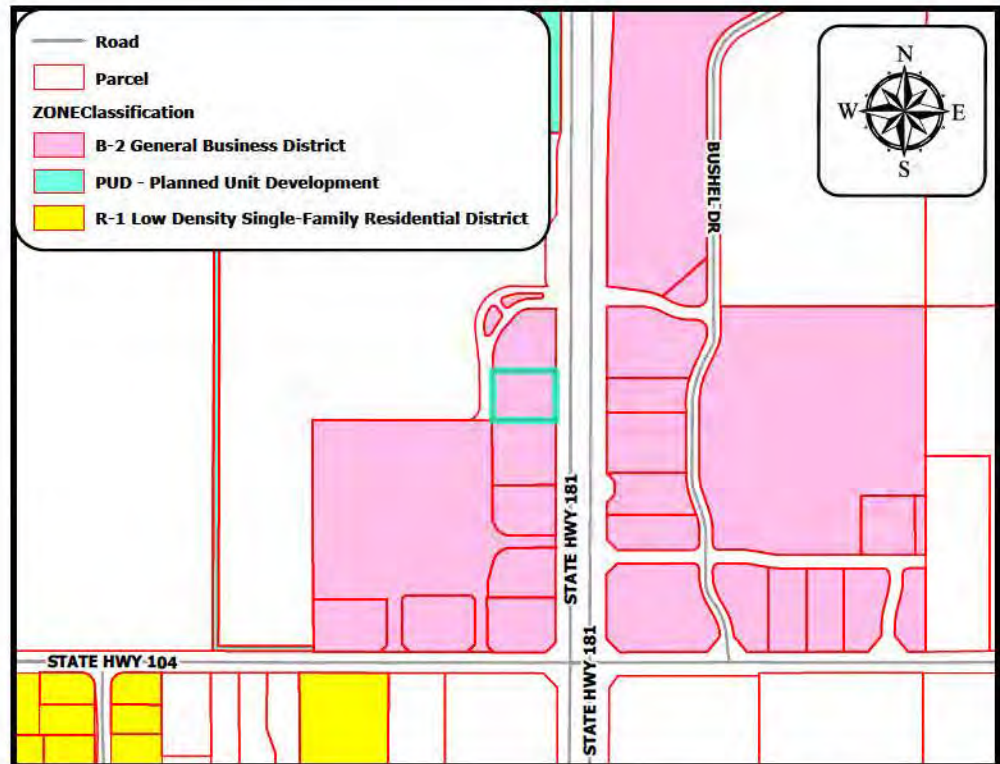
Fairhope Elementary School  
Fairhope Middle and High Schools

**Recommendation:**

Approved w/ Conditions

**Prepared by:**

Name: Michelle Melton





## APPLICATION FOR SITE PLAN APPROVAL

Application Type: ☒ Site Plan  
Attachments: ☐ Articles of Incorporation or List all associated investors

Date of Application: 10/17/2024

### Property Owner / Leaseholder Information

Name of Property Owner: Corte, Cave/Mitchell 1, LLC Phone Number: N/A  
Address of Property Owner: P.O. Box 81322  
City: Mobile State: Alabama Zip: 36689

Proposed Site Plan Name: SITE LAYOUT PLAN  
Site Acreage: 0.99 Sq. Footage: 43,676  
Parcel No: 05-46-02-03-0-000-004.244 Current Zoning: B-2 General Business

### Authorized Agent Information

Name of Authorized Agent: Justin Duck Phone Number: 205-397-1142  
Address: 1880 Southpark Drive  
City: Birmingham State: Alabama Zip: 35244  
Contact Person: Justin Duck

### Engineer/Architect Information

Name of Firm: Civil Consultants, Inc. Phone Number: 205-655-1991  
Address: 3528 Vann Road, Suite 105  
City: Birmingham State: Alabama Zip: 35235  
Contact Person: Nicholas Ostrye, P.E.

I certify that I am the property owner/leaseholder of the above described property and hereby submit this site plan to the City for review. \*If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Justin Duck  
Property Owner/Leaseholder Printed Name

  
Signature

10/17/2024  
Date

\_\_\_\_\_  
Fairhope Single Tax Corp. (If Applicable)

**Summary of Request:**

Request of Applicant, Civil Consultants, Inc., on behalf of owner, Corte, Cave/Mitchell 1, LLC, for Site Plan Approval of Express Oil Change on Lot 8 of the Planter's Pointe Shopping Center on the northwest corner of Alabama Highways 104 and 181 intersection. The engineer of record is Nicholas Ostrye. The subject property is approximately one (1) acre (0.99) and is zoned B-2. The proposed building is 5,747sf.

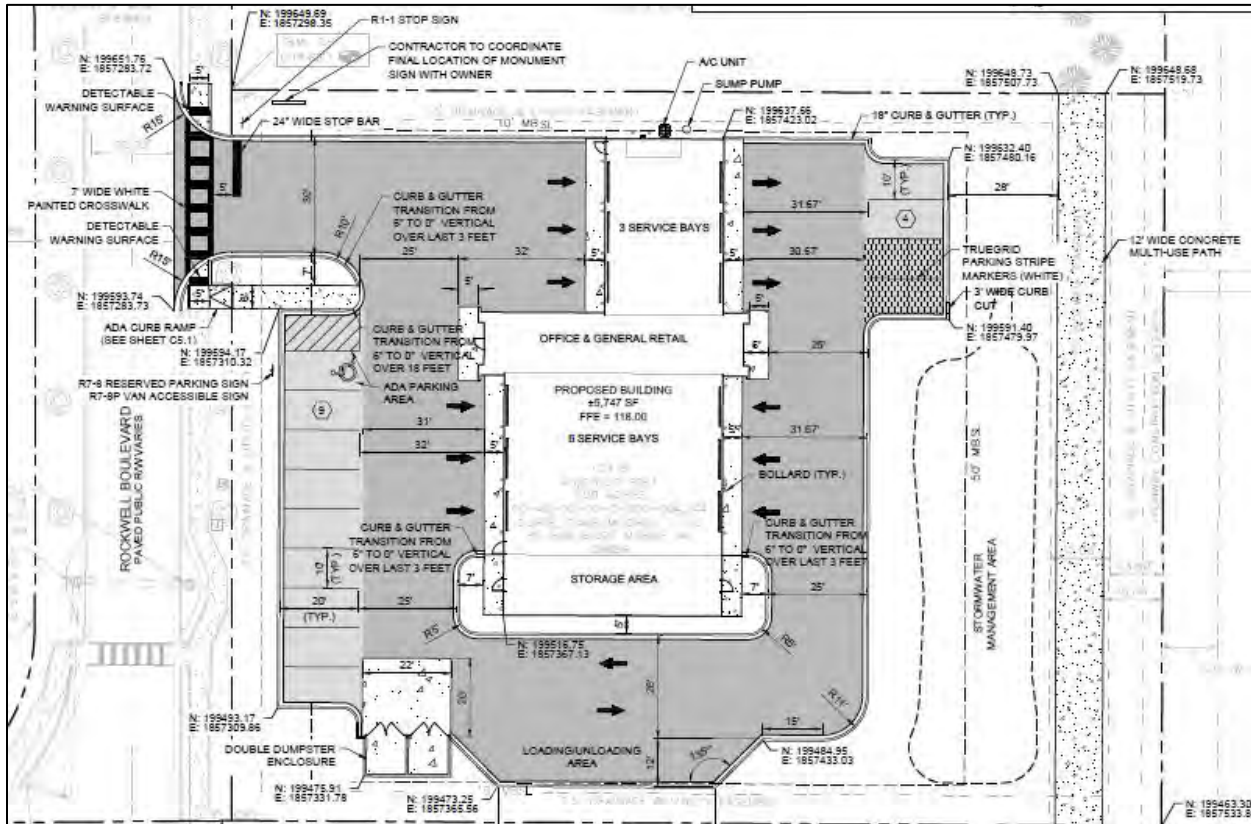


Figure 1: Snippet of Planter's Pointe Final Plat.

| SITE INFORMATION                                                                                      |       |
|-------------------------------------------------------------------------------------------------------|-------|
| ZONING: B-2 GENERAL BUSINESS                                                                          | Lot 8 |
| ADDRESS: 22179 STATE HIGHWAY 181<br>FAIRHOPE, AL 36532                                                |       |
| LOT SIZE: ± 0.99 AC                                                                                   |       |
| PROPOSED BUILDING HEIGHT: 24'                                                                         |       |
| TOTAL GROSS FLOOR AREA: 7,070 SF                                                                      |       |
| MAIN LEVEL: 5,693 SF                                                                                  |       |
| PIT LEVEL: 1,377 SF                                                                                   |       |
| PROPOSED BUILDING COVERAGE: ± 5,747 SF                                                                |       |
| PERCENTAGE OF IMPERVIOUS AREA: 47.4%<br>(EXCLUDING BUILDING)                                          |       |
| PERCENTAGE OF PROPOSED LANDSCAPING: 38.6%                                                             |       |
| REQUIRED PARKING:<br>AUTOMOTIVE SERVICE STATIONS<br>= 3 SPACES MIN. + 1 SPACE PER BAY (9) = 11 SPACES |       |
| PROVIDED PARKING = 12 STANDARD SPACES<br>1 ADA VAN SPACE<br>13 TOTAL SPACES                           |       |
| PERCENTAGE OF PROPOSED GREEN SPACE: 38.6%                                                             |       |
| BUILDING SETBACK:<br>HIGHWAY = 50' FRONT = 20'                                                        |       |

| SUBDIVISION NOTES:                                                                                                                                                                                                                                         |  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| 1. A MINIMUM 15 FOOT DRAINAGE AND UTILITY EASEMENT (AS REQUIRED BY UTILITIES) SHALL BE ALONG EACH SIDE AND/OR REAR LOT LINE.                                                                                                                               |  |
| 2. ALL DRAINAGE EASEMENTS ARE PRIVATE AND CITY OF FAIRHOPE SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF SAID DRAINAGE EASEMENTS.                                                                                                                        |  |
| 3. LOT 1 SHALL ADHERE TO THE REQUIREMENTS OF THE APPROVED CITY OF FAIRHOPE MULTI-OCCUPANCY PROJECT (MOP) FOR LOT 2, NW CORNER OF HWY 181-HWY 104 SUBDIVISION AS RECORDED ON SLIDE 0002725-E AT THE OFFICE OF THE JUDGE OF PROBATE BALDWIN COUNTY, ALABAMA. |  |
| 4. ALL LOTS SHALL BE RESPONSIBLE FOR PROVIDING NECESSARY STORM DRAINAGE IMPROVEMENTS TO CONTROL ALL POST-DEVELOPED STORMWATER RUNOFF AND SHALL BE SELF SUFFICIENT.                                                                                         |  |
| 5. ALL PRIVATE UTILITIES, DRIVES AND LANDSCAPE IMPROVEMENTS MAINTENANCE AND REPAIR ARE NOT THE RESPONSIBILITY OF THE CITY OF FAIRHOPE AND SHALL BE THE RESPONSIBILITY OF LOT 1.                                                                            |  |
| 6. A MANDATORY SITE PLAN REVIEW IS REQUIRED PRIOR TO THE DEVELOPMENT OF ANY LOT.                                                                                                                                                                           |  |
| 7. EACH DEVELOPMENT ON LOTS 2 THROUGH 9 SHALL SUPPLY A LETTER FROM A REGISTERED ENGINEER THAT PROVIDES THE CUMULATIVE TRIP GENERATION AT PEAK HOURS TO VERIFY ESTIMATES ARE NOT EXCEEDED.                                                                  |  |

## Site Plan



**Setbacks:** B-2 requires at least a 20' front setback. The entrance is from Rockwell Blvd where there is a 20' front setback. There is also a 50' highway setback (from AL Hwy 181) that was previously established in March 2020 and on Slide 2725-E.

**Building:** Building height for the one-story structure is estimated at 24ft. The proposed 5,747sf building takes up 13% of Lot 8. Proposed use is a national automotive chain. Complete build-out information and details are provided as attachments as well as the elevations. False front (East) elevations are shown in Figure 2. Materials for the building are painted concrete aluminum doors/windows.



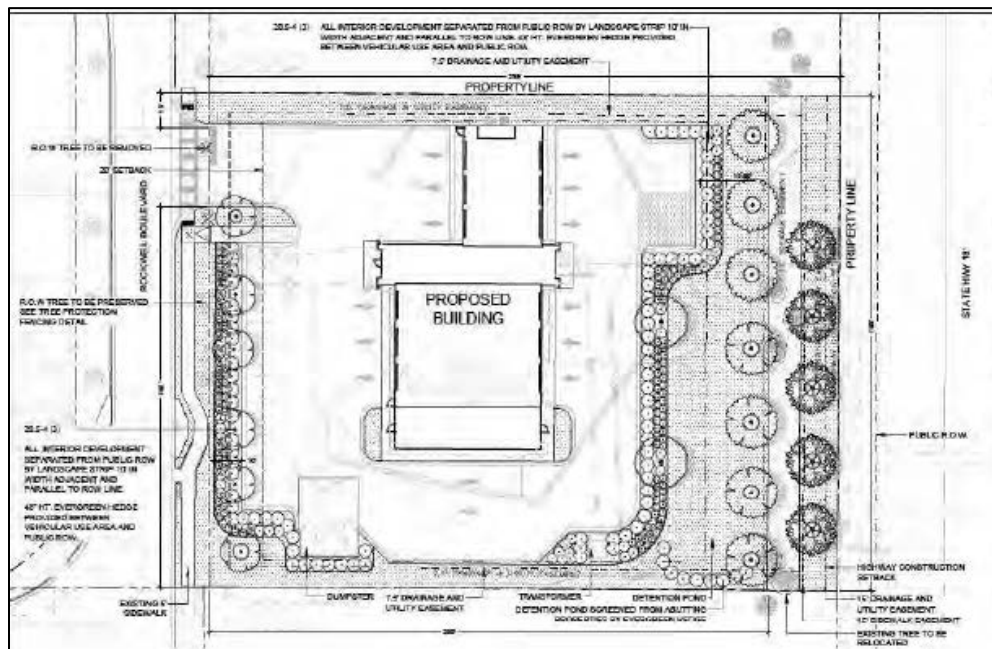
Figure 2: East "False Front" Elevations. Sheet A200 of Building and Construction Plans.



Figure 3: 3D view of Rear Entry (West) view. Sheet R100 of Building and Construction Plans. Dumpster has been relocated.

**Landscaping Plan:** The submitted landscape plan does not satisfy the Tree and Landscape Ordinance requirements.

- The retention area is not screened on the Hwy 181 side. There are two options to resolve. The Applicant can either: (a) screen the pond from Hwy 181 pursuant to Section 20-5.4, or (b) create a bio-retention pond by adding required plants from Section 20.5-17. Staff suggested bio-retention, which would allow us to waive the screening requirements. A sod covered pond is currently proposed, which does not provide the necessary plants to qualify as bio-retention.
- There are some inconsistencies with notes on Sheet LA5.00 and the actual plants on the sheet. For example, there are five (5) overstory trees required at the Rockwell Blvd property line. The notes read there are what looks like eight (8) provided when there are only six (6). The square footage of the entire site is different from what is on the Site Data Table provided on the Site Layout sheet.
- It is unclear how high the evergreen hedges will be at planting that are screening the dry detention pond pursuant to Section 20-5.4(11) of Ordinance No. 1444. The evergreen hedge must be at least 36 inches in height at time of planting.
- Notes should be added to confirm screen plantings/buffers should be 48" minimum "at time of planting".
- As part of the Planter's Pointe Subdivision, trees were required adjacent to Hwy 181 and the required pedestrian easement for a multi-modal trail. We received an as-built plan that illustrated the trees were outside the pedestrian easement. Surveys provided with this application illustrate the trees installed in the wrong location. This affects more than the Subject Property reviewed in this case and will require resolution before Staff can recommend final approval.
- In addition, the landscape area located adjacent to Rockwell Blvd is required to screen the parking area and provide overstory trees. There are many utilities within the same area, including but not limited to, a sewer main, a water main, electrical, water and irrigation meters, and "future electrical pedestal area". The landscape plans conflict with the utility plans. The electrical availability letter also states a 10' easement is required on the side property lines and a 15' easement is required along all front and rear property lines. Only a 7.5' utility easement is shown on the plans submitted. Staff is concerned about the long-term functionality of the screening and suggest the landscape area may need to be increased.



**Parking:** Table 4-3 Parking Schedule calls for at least 11 parking spaces. Twenty percent (20% ) overage is allowed, which makes 13 spaces with the two (2) spaces beyond the required amount being permeable (“Truegrid”). See below. Parking meets the requirements of the Zoning Ordinance, as well as the perimeter landscape screening requirements of the Tree Ordinance.

|                             |                                                                                                                                    |
|-----------------------------|------------------------------------------------------------------------------------------------------------------------------------|
| Automobile Service Stations | A minimum of 2 off-street parking spaces is required with an additional off-street parking space for each lubrication or wash bay. |
|                             |                                                                                                                                    |

**Locations, intensity, and heights of exterior lights:** A photometric plan was submitted and is included as an attachment. Cutsheet E700 does not have the height of the lights because the lights are wall packs without poles.

**Mechanical equipment:** Mechanical equipment has been finalized and all appear on the Site Plan.

**Dumpster location and screening:** Garbage is collected in two (2) commercial dumpsters located west of the Loading/Unloading Area. The dumpsters are partially enclosed by plantings and a screen wall.

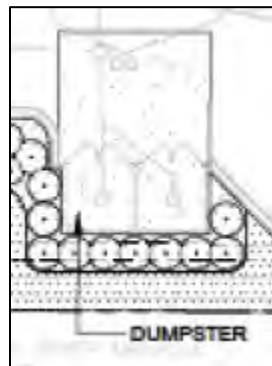


Figure 4: Sheet LA5.00.

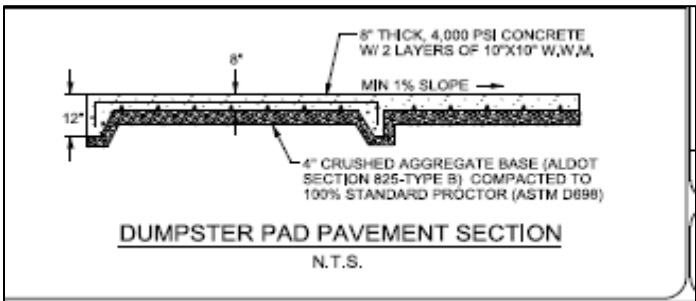
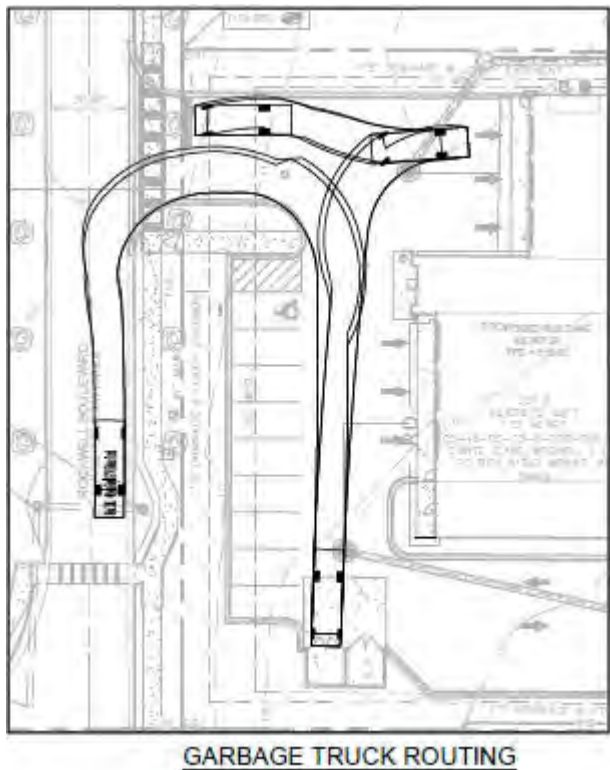


Figure 5: Sheet C5.1.

The Site Layout Plan also contains a proposed garbage truck route for pick-up. *See below.*



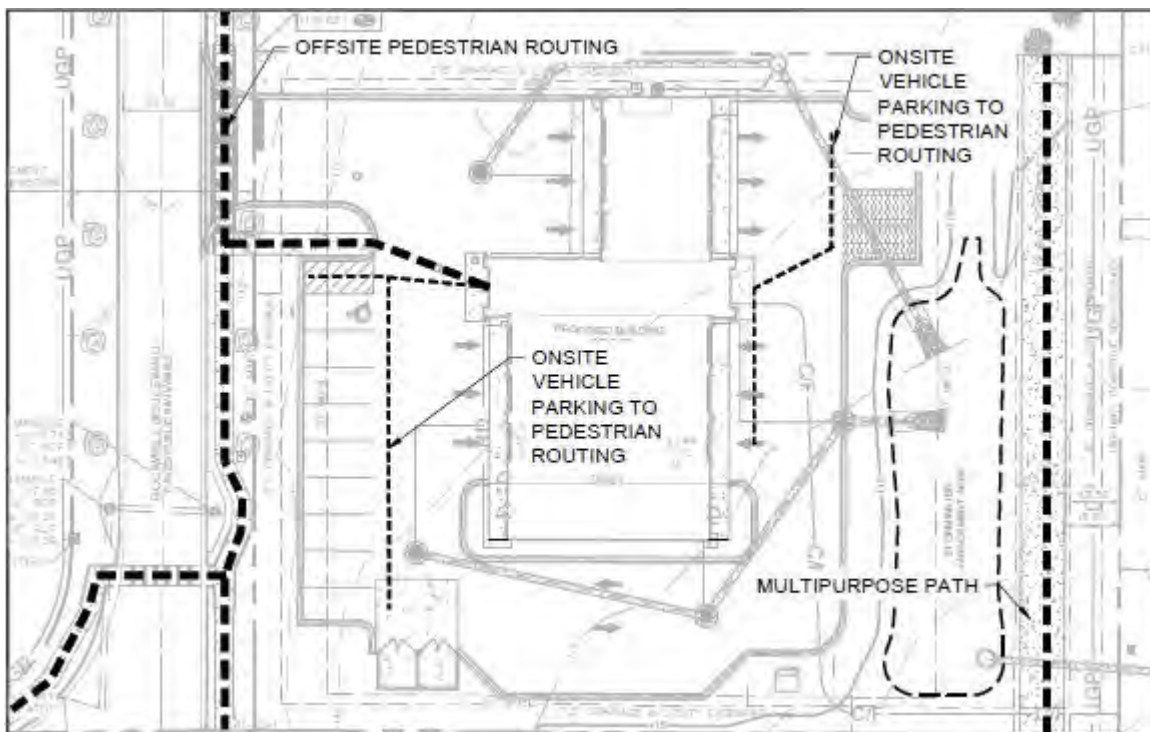
**Storm water:** Drainage is unique within the Planter's Pointe development. Publix, the anchor store, provided underground drainage for itself and the string of stores connected to the Publix. Notes on the Final Plat for Planter's Pointe Subdivision state that the lots, other than the Publix lot, must have self-sufficient drainage that does not tie into the Publix's underground drainage system. *See Note 4 on Slide 2954-B below.* The drainage narrative for Planter's Pointe Final Plat has Lots 4-9 discharging into west side of AL Hwy 181 ROW. Applicant has provided plans to ALDOT for comment. Said plans are also included in the packet. Confirmation of consent and approval from ALDOT is necessary prior to any land disturbance.

4. ALL LOTS SHALL BE RESPONSIBLE FOR PROVIDING NECESSARY STORM DRAINAGE IMPROVEMENTS TO CONTROL ALL POST-DEVELOPED STORMWATER RUNOFF AND SHALL BE SELF SUFFICIENT.

Applicant provided a Post Construction Stormwater Management Plan and Storm Drainage Analysis that has been reviewed by the City Engineer and the Engineer of Record for Planter's Point Subdivision. Lot 8 drains northwest to southeast into the roadside ditch ("ROW") off AL Hwy 181. It has been determined that an above ground dry detention pond is the best method for reducing the peak run-off from the site. Runoff is collected and sent via inlets and pipes. The pond is designed to contain the necessary storm events per city regulations and maintains one (1) foot of freeboard.

During the review process staff suggested to Applicant making more surface on the site permeable. That suggestion was declined by the corporate client as it is meeting the minimum requirements.

### **Pedestrian Circulation Plan**



**Sidewalks:** This Site Plan includes a 12' wide concrete multi-use path along AL Hwy 181. Pedestrian routing ("sidewalks") is located on-site, and an additional sidewalk is off-site along Rockwell Blvd. The internal parking area should have an ADA pedestrian connection to the multi-purpose path.

**Location and size of all signage:** A sign plan was not submitted and is the responsibility of an outside vendor. The Sign Ordinance has been sent to Applicant and all signage shall conform to current regulations.

**Erosion control:** An Erosion Control plan was submitted with the application and is acceptable.

**Utilities:** A utility plan was submitted and has been reviewed and approved by the appropriate providers. Availability letters are in the packet.

**ADA Requirements:** ADA requirements have been met.

**Traffic:** A traffic study was generated in SD 21.48 and is included in the packet. At that time there were not any determined land uses for each outparcel. The trip generation analysis produced 395 entering trips and 302 exiting trips during a weekday AM peak hour; 573 entering trips and 559 exiting trips during the PM peak hour. The EOR for Express Oil Change provided a memorandum and data pursuant to Note 7 on the Final Plat. *See below.* The memorandum and data are included in the packet.

7. EACH DEVELOPMENT ON LOTS 2 THROUGH 9 SHALL  
SUPPLY A LETTER FROM A REGISTERED ENGINEER  
THAT PROVIDES THE CUMMULATIVE TRIP GENERATION  
AT PEAK HOURS TO VERIFY ESTIMATES ARE NOT  
EXCEEDED.

According to the Applicant, historical data from Express Oil Change (“EOC”) states that an EOC averages 47 customers per day with seven (7) customers coming/going during a peak hour. The Institute of Transportation Engineers (“ITE”) estimates 120 total trips per day (60 incoming, 60 outgoing) with 16 PM Peak Hour trips (9 incoming, 7 outgoing) for a Quick Lube Vehicle Shop. The numbers provided by the Applicant do not surpass the estimated allotted number of trips from the TIS.

Article II, Section C.2.d. (Site Plan Review Criteria)

*Criteria* – The application shall be reviewed based on the following criteria:

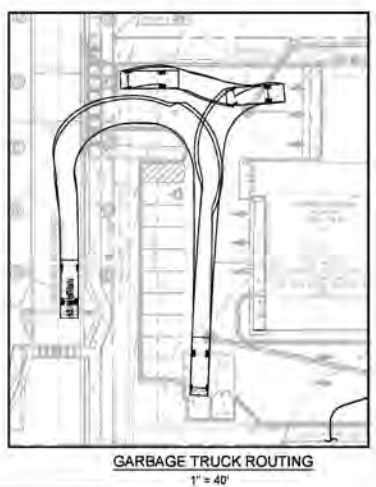
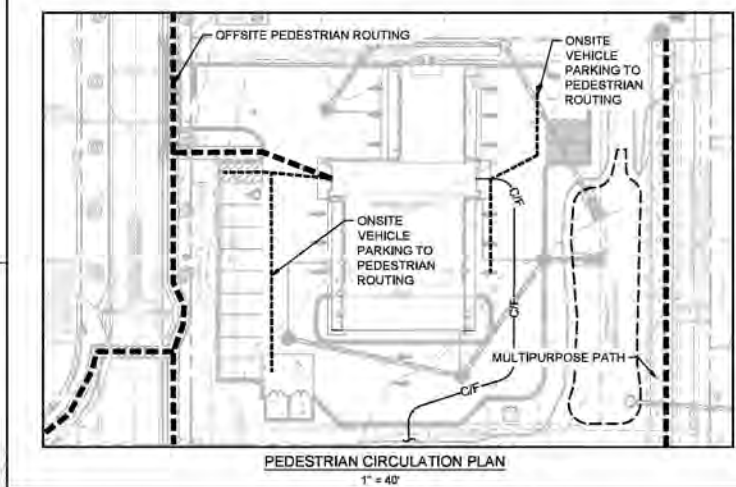
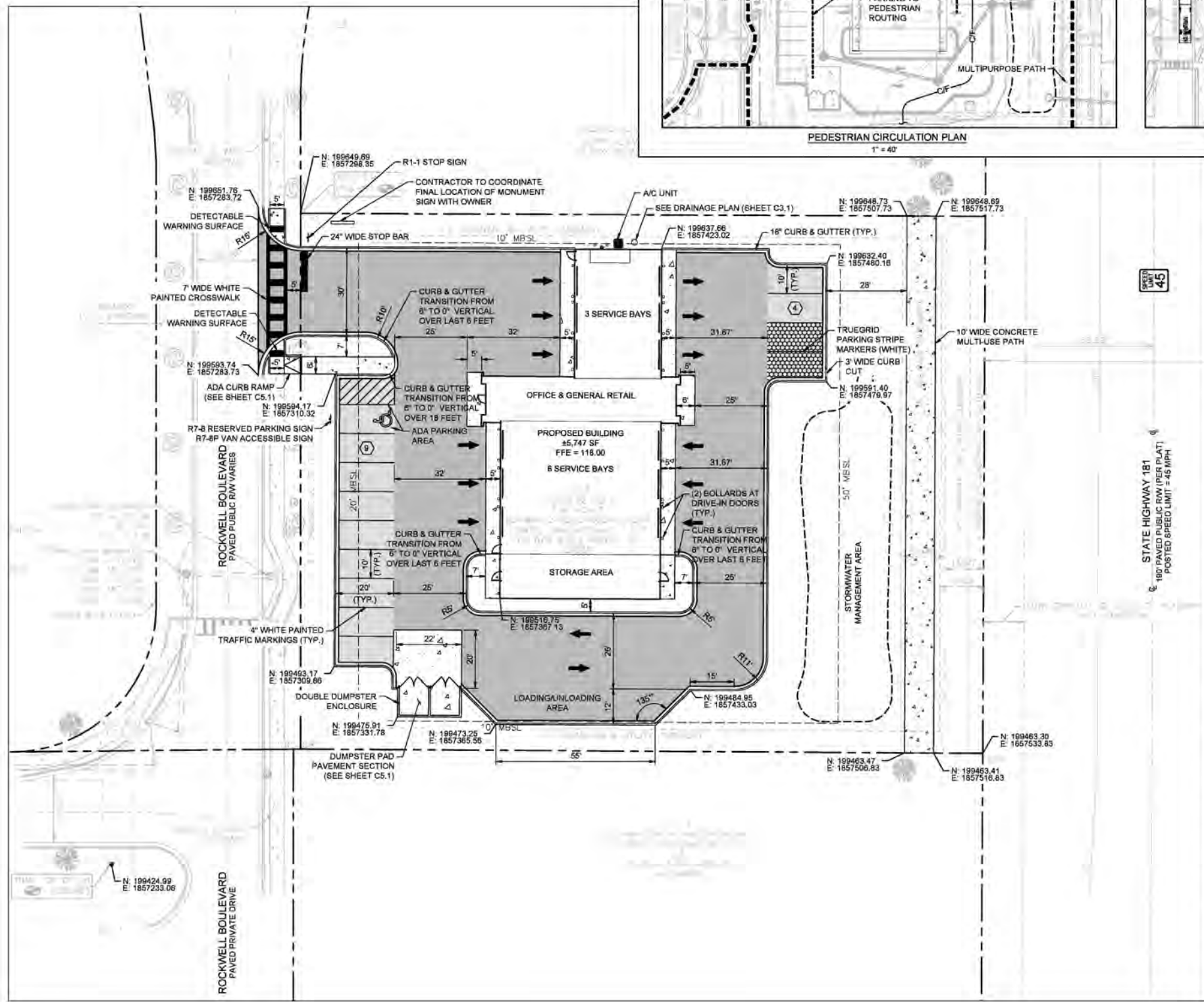
- (1) Compliance with the Comprehensive Plan; **The previous Comprehensive Plan put a Commercial Node at the AL Hwys 181 and 104 intersection. The Planter’s Pointe Shopping Center is located in a newly recognized Suburban Mixed-Use Center in the current Comprehensive Plan.**
- (2) Compliance with any other approved planning documents; **Meets (SubRegs, Tree & Landscape Ordinance, Zoning Ordinance)**
- (3) Compliance with the standards, goals, and intent of this ordinance and applicable zoning districts; **Meets**
- (4) Compliance with other laws and regulations of the City; **Meets**
- (5) Compliance with other applicable laws and regulations of other jurisdictions; **Meets**
- (6) Impacts on adjacent property including noise, traffic, visible intrusions, potential physical impacts, and property values; **Meets. All four (4) corners of the intersection are commercial and occupied. Lot 8 is between other lots in the commercial development that will have like impacts on each other.**
- (7) Impacts on the surrounding neighborhood including noise, traffic, visible intrusions, potential physical impacts, and property values; **Property is zoned B-2. TIS trip generation well within the estimates for Planter’s Pointe.**
- (8) Overall benefit to the community; **Meets. There are a lot of residential units being built in the immediate surrounding area, especially to the north. A commercial retail center with a variety of retail/restaurant/commercial units will be a benefit to the residential subdivisions.**
- (9) Compliance with sound planning principles; **Meets. The general location has been designated a commercial node in the past and current comprehensive plans. Connectivity within the shopping center has been established and this site meets its connectivity goals.**

- (10) Compliance with the terms and conditions of any zoning approval; **Meets**
- (11) Any other matter relating to the health, safety, and welfare of the community; **Nothing noted for P&Z purposes. There are other state and federal environmental regulations the site has to comply with.**
- (12) Property boundaries with dimensions and setback lines; **Meets and exceeds based on setbacks established in Planter's Pointe Final Plat.**
- (13) Location of proposed buildings and structures indicating sizes in square feet; **Meets**
- (14) Data to show percentage of lot covered with existing and proposed buildings; **Meets, but needs to be included in the Site Data Table.**
- (15) Elevations indicating exterior materials;  
**Front, side, and rear elevations were provided with the building materials.**
- (16) The locations, intensity, and height of exterior lights; **Meets**
- (17) The locations of mechanical equipment; **All relevant requirements are met.**
- (18) Outside storage and/or display; **Meets**
- (19) Drive-up window locations (must be away from residential uses/districts and not in front of building); **n/a**
- (20) Curb-cut detail and location(s);  
**Provided.**
- (21) Parking, loading, and maneuvering areas;  
**Meets.**
- (22) Landscaping plan in accordance with the City Landscape Ordinance; **Needs Revision**
- (23) Location, materials, and elevation of any and all fences and/or walls; **n/a**
- (24) Dumpster location and screening; and  
**Meets**
- (25) Location and size of all signage. **A signage plan was not submitted. Signage done by outside vendor. Sign Ordinance sent to Applicant.**

### **Recommendation:**

Staff recommends **approval** to the City Council of case SR 24.06 Express Oil Change on Lot 8 in the Planter's Pointe Shopping Center at the NW corner of the intersection of Alabama Highways 181 and 104. However, the following must be accomplished before City Council review of the Site Plan:

- 1) Update Site Data Table to reflect percentage of lot covered by building (~13%).
- 2) Signage must conform to the Sign Ordinance.
- 3) An ADA accessible pedestrian connection shall be provided from the internal parking area to the multi-purpose path along Hwy 181.
- 4) A revised landscape plan, that addresses the above concerns shall be approved by Staff prior to submission of the Site Plan to City Council for final approval.



**LEGEND**

- HEAVY-DUTY ASPHALT PAVING SECTION
- STANDARD-DUTY ASPHALT PAVING SECTION
- PERMEABLE PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- PARKING / ROADWAY SIGN
- PARKING COUNT
- PROPERTY / R.O.W. LINE
- NORTHING & EASTING
- BOLLARD

**SCALE IN FEET**  
1" = 20'

0 10 20 40

**LAYOUT NOTES**

1. SEE GENERAL NOTES.
2. COORDINATES SHOWN IN THESE PLANS ARE GIVEN IN FEET AND ARE BASED ON THE STATE PLANE COORDINATE SYSTEM.
3. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. COORDINATES AND DIMENSIONS TO HEADER CURB OR "TURN DOWN" CURB (IE. SIDEWALKS AROUND BUILDINGS) INDICATE EDGE OF PAVEMENT / FACE OF CURB.
4. COORDINATES FOR BUILDING CORNERS (OUTSIDE FACE) ARE PROVIDED FOR LOCATING BUILDING ON SITE. REFERENCE BUILDING PLANS FOR REMAINDER OF BUILDING LAYOUT.
5. COORDINATES SHOWN IN PARKING AREA ARE TO BACK OF CURB.
6. REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR FINAL BUILDING DIMENSIONS AND LOCATIONS OF ALL ENTRANCES, STEPS, PATHS, ETC.
7. TRAFFIC MARKING PAINT FOR PARKING STRIPES SHALL BE LATEX WATERBORNE EMULSION, LEAD AND CHROMATE FREE.

**GENERAL NOTES**

1. ALL WORK SHOWN SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS FOR THIS PROJECT AND SHALL CONFORM TO ALL CODES, ORDINANCES, RESTRICTIONS, AND STANDARDS OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THE SITE. CONTRACTOR WILL ONLY PERFORM CONSTRUCTION ACTIVITIES BASED ON PLANS PROPERLY ISSUED FOR CONSTRUCTION PURPOSES.
2. CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS AND APPROVALS FROM AGENCIES GOVERNING THIS WORK ARE SECURED PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND BENCHMARKS. ALL PROPERTY PINS OR BENCHMARKS ELIMINATED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR'S LICENSED SURVEYOR AT NO EXPENSE TO OWNER.
4. EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE OWNER OR THE ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY CONTACTS 48 HOURS PRIOR TO EXCAVATION IN AREAS WHERE UTILITIES MAY EXIST.
5. CONTRACTOR SHALL FIELD VERIFY (REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS) ACTUAL (FINAL) LOCATION OF ALL UTILITY ENTRANCES, TO INCLUDE SANITARY SEWER, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF TIE-INS/CONNECTIONS TO THEIR FACILITIES.
6. CONTRACTOR SHALL COORDINATE THE INSTALLATION, ADJUSTMENT OR RELOCATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (GAS, WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SLEEVES, AND ANY OTHER MISCELLANEOUS) SHALL BE IN PLACE PRIOR TO PLACEMENT OF BASE COURSE MATERIAL.
7. ALTAIRNS LAND TITLE SURVEY WAS PREPARED BY POLY SURVEYING (251) 888-2010. CIVIL CONSULTANTS, INC. WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY.
8. REFER TO LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS FOR DIMENSIONS AND LOCATIONS OF IRRIGATION LINES & METERS, ETC.
9. THE LIMITS OF DISTURBANCE SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE. ANY DAMAGE CAUSED BY CONSTRUCTION SHALL BE REPAIRED TO ITS ORIGINAL CONDITION BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
10. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES. EROSION CONTROL DEVICES SHALL BE INSPECTED DAILY AND BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTIVE DEVICES AND FOR THE IMPLEMENTATION OF ALL SAFETY MEASURES INCLUDING, BUT NOT LIMITED TO THE PROTECTION OF LIFE, PROPERTY, AND SITE IMPROVEMENTS; THE PROTECTION OF EXISTING UTILITY LINES AND STRUCTURES; AND THE PROVISION AND COORDINATION OF ALL TEMPORARY TRAFFIC CONTROL EFFORTS AND MEASURES.
12. JOB SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SMOOTH TRANSITION BETWEEN ALL NEW CONSTRUCTION AND ALL EXISTING CONDITIONS. ALL DRIVEWAY TRANSITION GRADES, CONSTRUCTION MATERIALS, AND FINISHES, ARE SUBJECT TO APPROVAL BY THE ENGINEER.
14. DO NOT SCALE CRITICAL DIMENSIONS FROM THIS DRAWING. CONTACT ENGINEER FOR SPECIFIC CLARIFICATIONS NEEDED.
15. CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION SPECIFICATIONS IN ALL CONCRETE AND ASPHALT PAVEMENT AREA.
16. IN THE EVENT THAT A CONFLICT ARISES BETWEEN THE SITE CONSTRUCTION DRAWINGS OR SPECIFICATIONS AND EXISTING STRUCTURES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SHALL NOT PROCEED WITH CONSTRUCTION OF ANY AREA WHERE A CONFLICT HAS BEEN DISCOVERED UNTIL SUCH TIME AS THE CONFLICT HAS BEEN CLEARLY RESOLVED.
17. CONTRACTOR SHALL REPAIR DAMAGE TO EXISTING PUBLIC INFRASTRUCTURE TO THE SATISFACTION OF THE CITY OF FAIRHOPE.

**CAUTION NOTICE TO CONTRACTOR:**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE 811 UNDERGROUND UTILITY LOCATE SERVICE AT LEAST 48 HOURS BEFORE ANY SITE DISTURBANCE OR EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. KEEP UTILITY LOCATE REQUEST ACTIVE UNTIL EXCAVATION IS COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**SITE INFORMATION**

ZONING: B-2 GENERAL BUSINESS

ADDRESS: 22179 STATE HIGHWAY 181  
FAIRHOPE, AL 36532

LOT SIZE: ± 0.99 AC

PROPOSED BUILDING HEIGHT: 24'

TOTAL GROSS FLOOR AREA: 7,070 SF  
MAIN LEVEL: 5,683 SF  
PIT LEVEL: 1,377 SF

PROPOSED BUILDING COVERAGE: ± 5,747 SF

PERCENTAGE OF IMPERVIOUS AREA: 47.4%  
(EXCLUDING BUILDING)

PERCENTAGE OF PROPOSED LANDSCAPING: 38.6%

REQUIRED PARKING:  
AUTOMOTIVE SERVICE STATIONS  
= 2 SPACES MIN. + 1 SPACE PER BAY (9) = 11 SPACES

PROVIDED PARKING = 12 STANDARD SPACES  
1 ADA VAN SPACE  
13 TOTAL SPACES

PERCENTAGE OF PROPOSED GREEN SPACE: 38.6%

BUILDING SETBACK:  
HIGHWAY = 50' FRONT = 20'



3528 Vann Road  
Suite 105  
Birmingham, AL 35235  
Phone: (205) 655-1991  
www.ccpa.com



**SITE LAYOUT PLAN**

**EXPRESS OIL CHANGE**  
FAIRHOPE, ALABAMA

**FOR**  
**EXPRESS OIL CHANGE & TIRE ENGINEERS**

| NO. | DESCRIPTION | REVISIONS | DATE       | BY  | APP. |
|-----|-------------|-----------|------------|-----|------|
| 0   | FOR PERMIT  |           | 11/14/2024 | NJD |      |

C1.0

EXTERIOR FINISH MATERIAL LEGEND



PAINTED SPLIT-FACE CMU

Color: SW7669 Summit Gray  
Manuf: Sherwin Williams



PAINTED SPLIT-FACE CMU

Color: SW6968 Blueblood  
Manuf: Sherwin Williams



PAINTED SPLIT-FACE CMU

Color: Safety Red  
Manuf: Sherwin Williams



PAINTED SMOOTH-FACE CMU

Color: Dover Gray  
Manuf: Sherwin Williams



PAINTED SMOOTH-FACE CMU

Color: SW7669 Summit Gray  
Manuf: Sherwin Williams



HM DOORS

Color: SW7669 Summit Gray  
Manuf: Sherwin Williams



STOREFRONT DOORS/WINDOWS

Color: Clear Anodized Aluminum  
Manuf: YKK



TINTED GLAZING

Color: Solarban 90 on Clear  
Manuf: Vitro Architectural Glass

Keynote Schedule

| Tag | Text                                                                                                                                                                                                                                                                                                            |
|-----|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1   | Wall pack. See Electrical.                                                                                                                                                                                                                                                                                      |
| 11  | Pre-finished metal canopy. See Details.                                                                                                                                                                                                                                                                         |
| 12  | Pre-finished metal conductor head with built-in overflow and downspout. Boot piped to storm drainage system unless otherwise indicated to discharge at grade. If discharging at grade, provide a pre-finished elbow and concrete splash block. See Civil for tie-in. See Specification 077100 Roof Specialties. |
| 14  | Painted smooth-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                     |
| 15  | HVAC condensing unit. See Mechanical.                                                                                                                                                                                                                                                                           |
| 16  | Painted smooth-face CMU. See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                                                                 |
| 17  | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                      |
| 18  | Painted smooth-face CMU. See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                                                                 |
| 19  | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                      |
| 20  | 4" diameter painted concrete-filled steel pipe bollard. Color as indicated on Finish Schedule. Paint embedded portion of bollard. Use primer and two finish coats. See Details. See Specification 055000 Metal Fabrications.                                                                                    |
| 21  | Cast-in-place concrete wall. See Structural. Membrane waterproofing at perimeter of foundation wall as specified. See Specification 334600 Subdrainage.                                                                                                                                                         |
| 22  | Signage (By Others). See Electrical.                                                                                                                                                                                                                                                                            |
| 23  | Wall sconce (By Others). See Electrical. Locate junction box for sconces 5'-0" a.f.f. vertically and 4" from center horizontally. Verify with sign company prior to rough-in.                                                                                                                                   |
| 24  | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                      |
| 25  | Control joint. For control joints in concrete floor slabs, coordinate location with equipment layout by others. Max. distance between control joints in slabs not to exceed 12'-0". Control joints in walls shall be 4'-0" max from wall intersection or corner and every 20'-0".                               |
| 27  | Pre-finished metal coping at exposed tops only over self-adhered membrane flashing and pressure treated wood blocking. Slope to drain. Color as indicated on Finish Schedule.                                                                                                                                   |
| 35  | Submersible foundation sump pump. Provide Zoeller M98 or comparable product. Coordinate location with Civil and tie into Civil's storm drainage system.                                                                                                                                                         |
| 47  | Provide address identification as directed by the Local Fire Marshal or AHJ.                                                                                                                                                                                                                                    |
| 53  | Conduit to be centered horizontally for lights in canopy. Verify with sign company prior to rough-in.                                                                                                                                                                                                           |
| 56  | Metal louver or vent. Color to match adjacent surface. See Mechanical.                                                                                                                                                                                                                                          |



Express Oil Change & Tire Engineers  
Single Building / Right Hand Oil Change / Rear Enter / Side Tire Storage  
Fairhope, Alabama

FINAL

| No. | Description | Date |
|-----|-------------|------|
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Exterior Elevation -  
False Front (East)

Project number 24051  
Date 10/07/2024  
Drawn by ARC  
Checked by N/A

A200

Scale 3/16" = 1'-0"

01 Exterior Elevation False Front (East)  
3/16" = 1'-0"

10/7/2024 5:13:15 PM

EXTERIOR FINISH MATERIAL LEGEND



PAINTED SPLIT-FACE CMU

Color: SW7669 Summit Gray  
Manuf: Sherwin Williams



PAINTED SPLIT-FACE CMU

Color: SW6968 Blueblood  
Manuf: Sherwin Williams



PAINTED SPLIT-FACE CMU

Color: Safety Red  
Manuf: Sherwin Williams



PAINTED SMOOTH-FACE CMU

Color: Dover Gray  
Manuf: Sherwin Williams



PAINTED SMOOTH-FACE CMU

Color: SW7669 Summit Gray  
Manuf: Sherwin Williams



HM DOORS

Color: SW7669 Summit Gray  
Manuf: Sherwin Williams



STOREFRONT DOORS/WINDOWS

Color: Clear Anodized Aluminum  
Manuf: YKK



TINTED GLAZING

Color: Solarban 90 on Clear  
Manuf: Vitro Architectural Glass

| Keynote Schedule |                                                                                                                                                                                                                                                                                   |
|------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Tag              | Text                                                                                                                                                                                                                                                                              |
| 1                | Wall pack. See Electrical.                                                                                                                                                                                                                                                        |
| 11               | Pre-finished metal canopy. See Details.                                                                                                                                                                                                                                           |
| 14               | Painted smooth-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                       |
| 15               | HVAC condensing unit. See Mechanical.                                                                                                                                                                                                                                             |
| 16               | Painted smooth-face CMU. See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                                   |
| 17               | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                        |
| 18               | Painted smooth-face CMU. See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                                   |
| 19               | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                        |
| 20               | 4" diameter painted concrete-filled steel pipe bollard. Color as indicated on Finish Schedule. Paint embedded portion of bollard. Use primer and two finish coats. See Details. See Specification 055000 Metal Fabrications.                                                      |
| 21               | Cast-in-place concrete wall. See Structural. Membrane waterproofing at perimeter of foundation wall as specified. See Specification 334600 Subdrainage.                                                                                                                           |
| 22               | Signage (By Others). See Electrical.                                                                                                                                                                                                                                              |
| 23               | Wall sconce (By Others). See Electrical. Locate junction box for sconces 5'-0" a.f.f. vertically and 4" from center horizontally. Verify with sign company prior to rough-in.                                                                                                     |
| 24               | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                        |
| 25               | Control joint. For control joints in concrete floor slabs, coordinate location with equipment layout by others. Max. distance between control joints in slabs not to exceed 12'-0". Control joints in walls shall be 4'-0" max from wall intersection or corner and every 20'-0". |
| 26               | Fire Department Lock Box. Locate as directed by the Local Fire Marshal or AHJ. See Specification 104413 Fire Department Lock Box.                                                                                                                                                 |
| 27               | Pre-finished metal coping at exposed tops only over self-adhered membrane flashing and pressure treated wood blocking. Slope to drain. Color as indicated on Finish Schedule.                                                                                                     |
| 35               | Submersible foundation sump pump. Provide Zoeller M98 or comparable product. Coordinate location with Civil and tie into Civil's storm drainage system.                                                                                                                           |
| 47               | Provide address identification as directed by the Local Fire Marshal or AHJ.                                                                                                                                                                                                      |
| 53               | Conduit to be centered horizontally for lights in canopy. Verify with sign company prior to rough-in.                                                                                                                                                                             |
| 56               | Metal louver or vent. Color to match adjacent surface. See Mechanical.                                                                                                                                                                                                            |
| 59               | Gas meter. See Plumbing.                                                                                                                                                                                                                                                          |
| 144              | Electrical meter. See Electrical.                                                                                                                                                                                                                                                 |



02 Exterior Elevation Rear Entry (West)  
3/16" = 1'-0"



Express Oil Change & Tire Engineers  
Single Building / Right Hand Oil Change / Rear Enter / Side Tire Storage  
Fairhope, Alabama

| FINAL |             |      |
|-------|-------------|------|
| No.   | Description | Date |
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Exterior Elevation -  
Rear Entry (West)

|                |            |
|----------------|------------|
| Project number | 24051      |
| Date           | 10/07/2024 |
| Drawn by       | ARC        |
| Checked by     | N/A        |

A201  
Scale 3/16" = 1'-0"

Color: SW7669 Summit Gray  
Manuf: Sherwin Williams



Color: SW6968 Blueblood  
Manuf: Sherwin Williams



Color: Safety Red  
Manuf. Sherwin Williams



Color: Dover Gray  
Manuf. Sherwin Williams



Color: SW7609 Summit Gray  
Manuf: Sherwin Williams



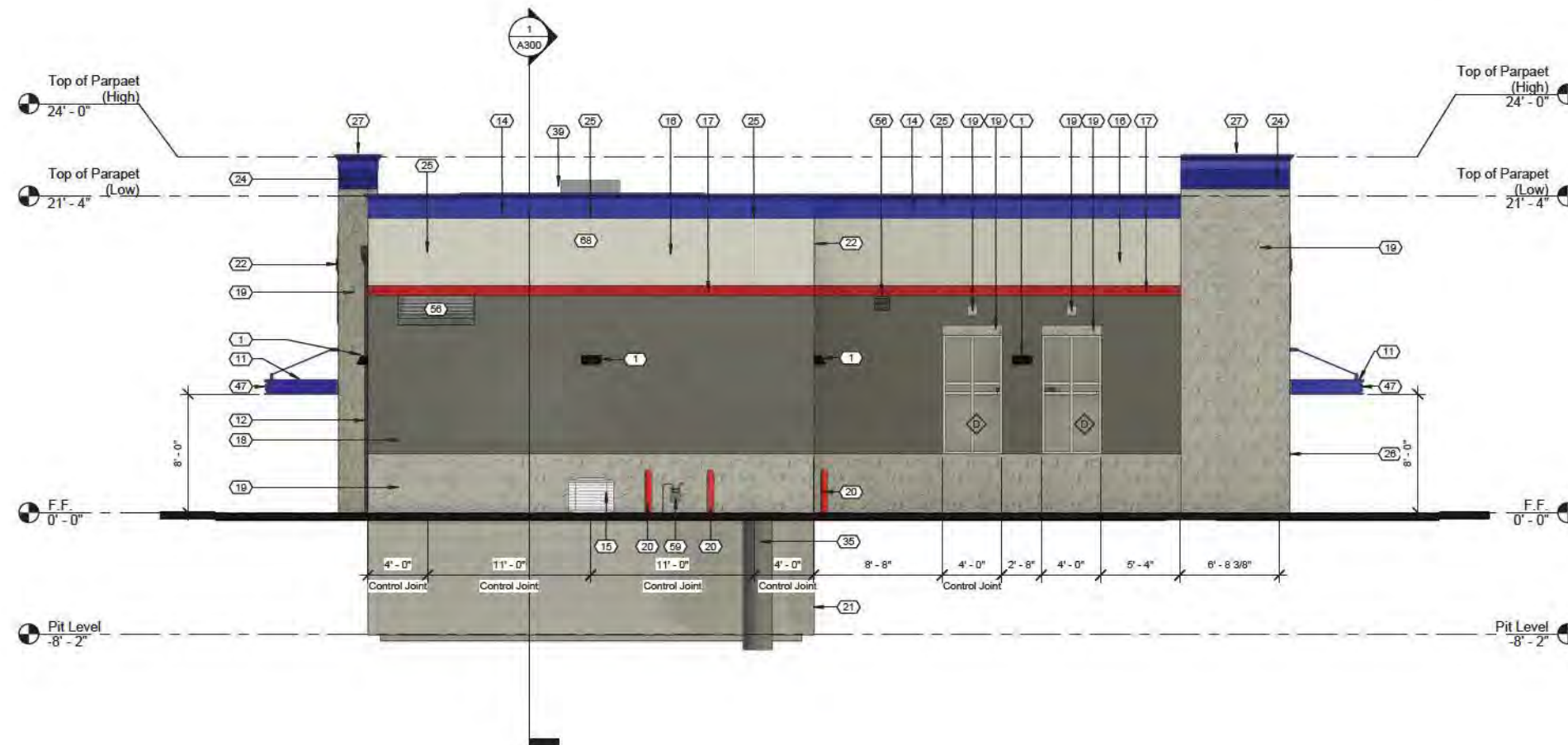
Color: SW7669 Summit Gray  
Manuf. Sherwin Williams

Color: Clear Anodized Aluminum  
Manuf: YKK



Color: Solarban 80 on Clear  
Manuf: Vitro Architectural Glass

| Keynote Schedule |                                                                                                                                                                                                                                                                                                                 |
|------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Tag              | Text                                                                                                                                                                                                                                                                                                            |
| 1                | Wall pack. See Electrical.                                                                                                                                                                                                                                                                                      |
| 11               | Pre-finished metal canopy. See Details.                                                                                                                                                                                                                                                                         |
| 12               | Pre-finished metal conductor head with built-in overflow and downspout. Boot piped to storm drainage system unless otherwise indicated to discharge at grade. If discharging at grade, provide a pre-finished elbow and concrete splash block. See Civil for tie-in. See Specification 077100 Roof Specialties. |
| 14               | Painted smooth-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                     |
| 15               | HVAC condensing unit. See Mechanical.                                                                                                                                                                                                                                                                           |
| 16               | Painted smooth-face CMU. See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                                                                 |
| 17               | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                      |
| 18               | Painted smooth-face CMU. See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                                                                 |
| 19               | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                      |
| 20               | 4" diameter painted concrete-filled steel pipe bollard. Color as indicated on Finish Schedule. Paint embedded portion of bollard. Use primer and two finish coats. See Details. See Specification 055000 Metal Fabrications.                                                                                    |
| 21               | Cast-in-place concrete wall. See Structural. Membrane waterproofing at perimeter of foundation wall as specified. See Specification 334600 Subdrainage.                                                                                                                                                         |
| 22               | Signage (By Others). See Electrical.                                                                                                                                                                                                                                                                            |
| 24               | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                      |
| 25               | Control joint. For control joints in concrete floor slabs, coordinate location with equipment layout by others. Max. distance between control joints in slabs not to exceed 12'-0". Control joints in walls shall be 4'-0" max from wall intersection or corner and every 20'-0".                               |
| 26               | Fire Department Lock Box. Locate as directed by the Local Fire Marshal or AHJ. See Specification 104413 Fire Department Lock Box.                                                                                                                                                                               |
| 27               | Pre-finished metal coping at exposed tops only over self-adhered membrane flashing and pressure treated wood blocking. Slope to drain. Color as indicated on Finish Schedule.                                                                                                                                   |
| 35               | Submersible foundation sump pump. Provide Zoeller M98 or comparable product. Coordinate location with Civil and tie into Civil's storm drainage system.                                                                                                                                                         |
| 39               | Roof top unit (if required). See Mechanical.                                                                                                                                                                                                                                                                    |
| 47               | Provide address identification as directed by the Local Fire Marshal or AHJ.                                                                                                                                                                                                                                    |
| 56               | Metal louver or vent. Color to match adjacent surface. See Mechanical.                                                                                                                                                                                                                                          |
| 59               | Gas meter. See Plumbing.                                                                                                                                                                                                                                                                                        |
| 68               | 1/2" exterior plywood sheathing.                                                                                                                                                                                                                                                                                |



① 03 Exterior Elevation Right (North)  
3/16" = 1'-0"



**Express Oil Change & Tire Engineers**  
Single Building / Right Hand Oil Change / Rear Enter / Side Tire Storage  
Fairhope, Alabama

## FINAL

[illegible]

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Exterior Elevation -  
Right (North)

|                |            |
|----------------|------------|
| Project number | 24051      |
| Date           | 10/07/2024 |
| Drawn by       | ARC        |
| Checked by     | N/A        |

A202

|       |                           |
|-------|---------------------------|
| Scale | $\frac{3}{16}'' = 1'-0''$ |
|-------|---------------------------|

EXTERIOR FINISH MATERIAL LEGEND



PAINTED SPLIT-FACE CMU

Color: SW7669 Summit Gray  
Manuf: Sherwin Williams



PAINTED SPLIT-FACE CMU

Color: SW6968 Blueblood  
Manuf: Sherwin Williams



PAINTED SPLIT-FACE CMU

Color: Safety Red  
Manuf: Sherwin Williams



PAINTED SMOOTH-FACE CMU

Color: Dover Gray  
Manuf: Sherwin Williams



PAINTED SMOOTH-FACE CMU

Color: SW7669 Summit Gray  
Manuf: Sherwin Williams



HM DOORS

Color: SW7669 Summit Gray  
Manuf: Sherwin Williams



STOREFRONT DOORS/WINDOWS

Color: Clear Anodized Aluminum  
Manuf: YKK

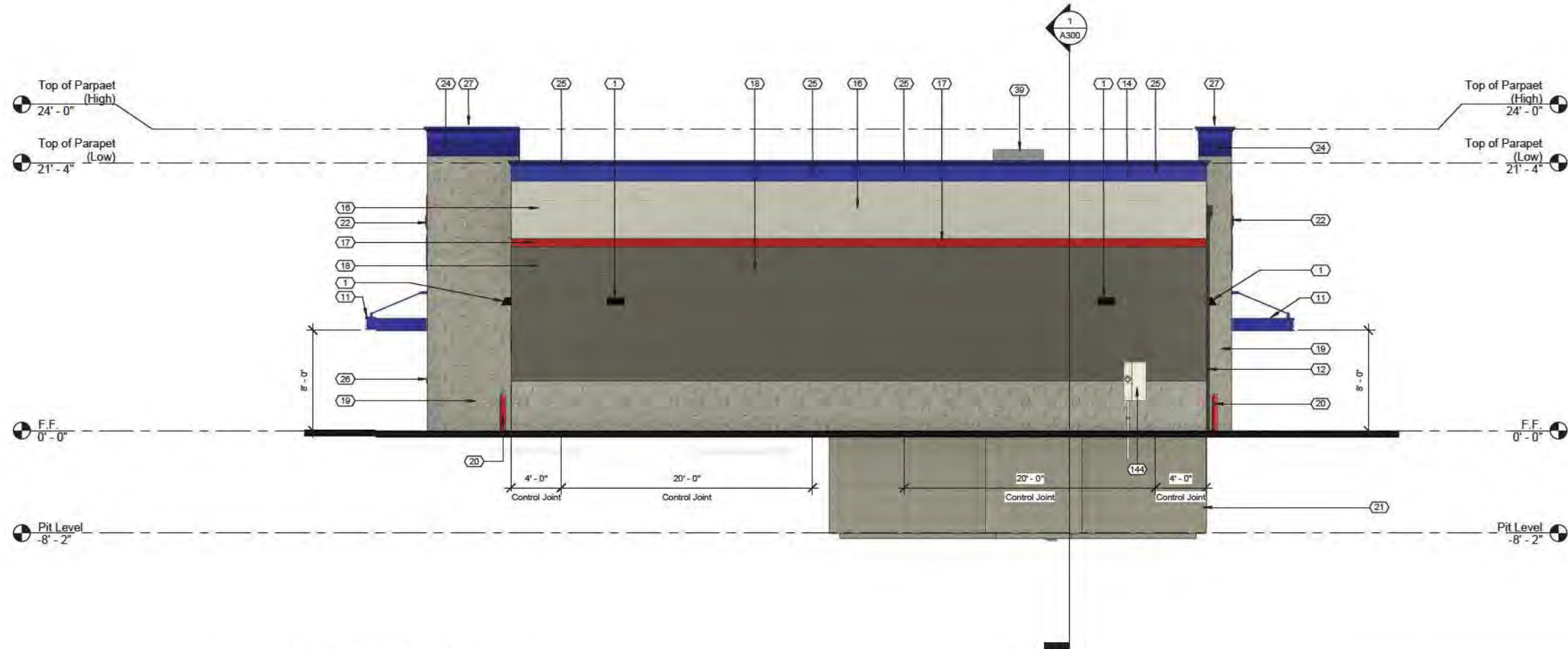


TINTED GLAZING

Color: Solarban 80 on Clear  
Manuf: Vitro Architectural Glass

Keynote Schedule

| Tag | Text                                                                                                                                                                                                                                                                                                            |
|-----|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1   | Wall pack. See Electrical.                                                                                                                                                                                                                                                                                      |
| 11  | Pre-finished metal canopy. See Details.                                                                                                                                                                                                                                                                         |
| 12  | Pre-finished metal conductor head with built-in overflow and downspout. Boot piped to storm drainage system unless otherwise indicated to discharge at grade. If discharging at grade, provide a pre-finished elbow and concrete splash block. See Civil for tie-in. See Specification 077100 Roof Specialties. |
| 14  | Painted smooth-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                     |
| 16  | Painted smooth-face CMU. See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                                                                 |
| 17  | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                      |
| 18  | Painted smooth-face CMU. See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                                                                 |
| 19  | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                      |
| 20  | 4" diameter painted concrete-filled steel pipe bollard. Color as indicated on Finish Schedule. Paint embedded portion of bollard. Use primer and two finish coats. See Details. See Specification 055000 Metal Fabrications.                                                                                    |
| 21  | Cast-in-place concrete wall. See Structural. Membrane waterproofing at perimeter of foundation wall as specified. See Specification 334600 Subdrainage.                                                                                                                                                         |
| 22  | Signage (By Others). See Electrical.                                                                                                                                                                                                                                                                            |
| 24  | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                      |
| 25  | Control joint. For control joints in concrete floor slabs, coordinate location with equipment layout by others. Max. distance between control joints in slabs not to exceed 12'-0". Control joints in walls shall be 4'-0" max from wall intersection or corner and every 20'-0".                               |
| 26  | Fire Department Lock Box. Locate as directed by the Local Fire Marshal or A.H.U. See Specification 104413 Fire Department Lock Box.                                                                                                                                                                             |
| 27  | Pre-finished metal coping at exposed tops only over self-adhered membrane flashing and pressure treated wood blocking. Slope to drain. Color as indicated on Finish Schedule.                                                                                                                                   |
| 39  | Roof top unit (if required). See Mechanical.                                                                                                                                                                                                                                                                    |
| 144 | Electrical meter. See Electrical.                                                                                                                                                                                                                                                                               |



04 Exterior Elevation Left (South)  
3/16" = 1'-0"



Express Oil Change & Tire Engineers  
Single Building / Right Hand Oil Change / Rear Enter / Side Tire Storage  
Fairhope, Alabama

FINAL

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
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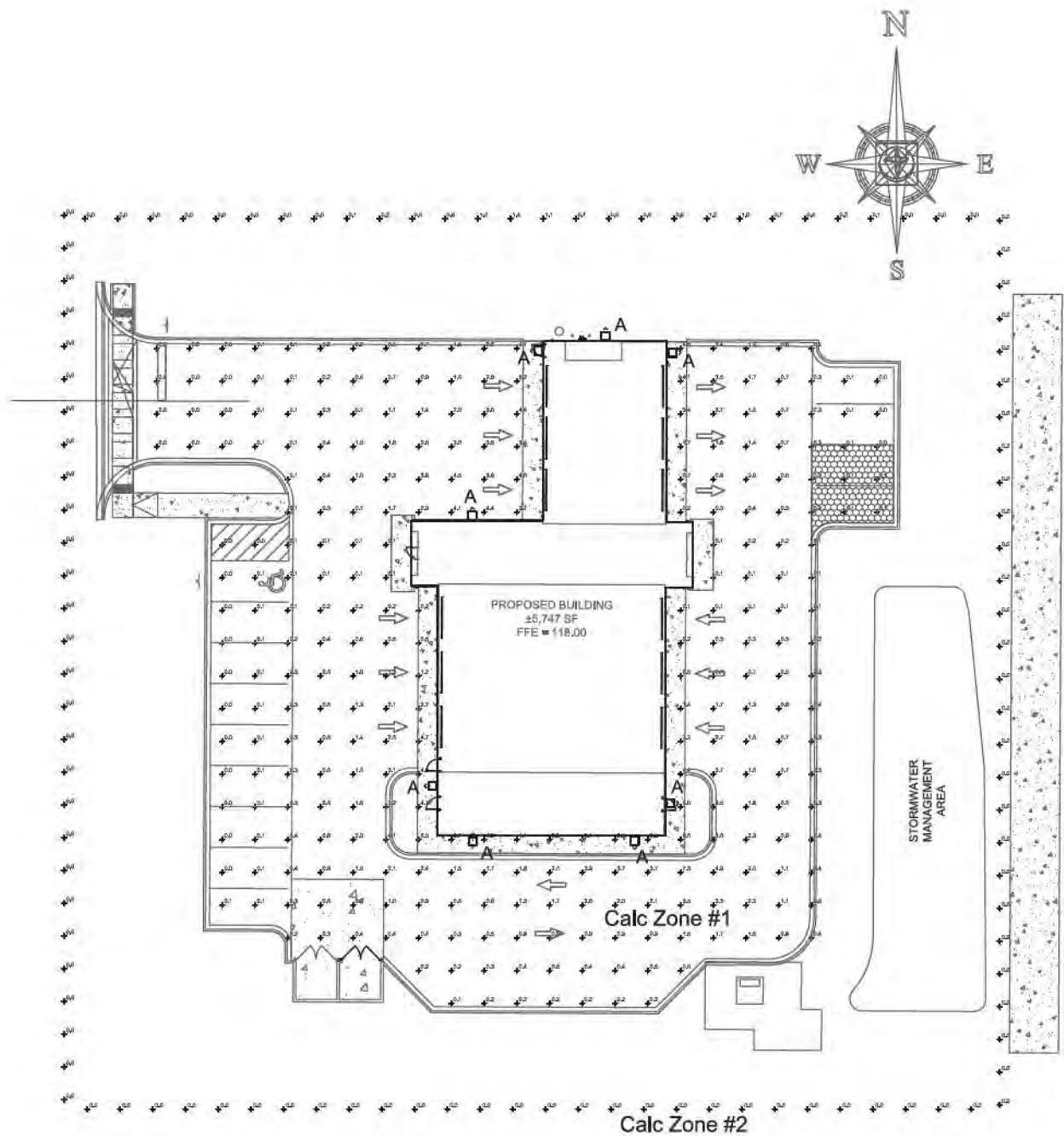
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Exterior Elevation -  
Left (South)

|                |            |
|----------------|------------|
| Project number | 24051      |
| Date           | 10/07/2024 |
| Drawn by       | ARC        |
| Checked by     | N/A        |

A203

Scale 3/16" = 1'-0"



1 Site Plan - Photometrics  
1" = 20'-0"



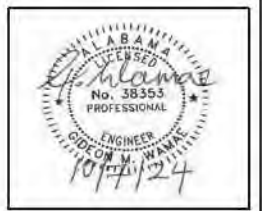
2 Light Fixture Cutsheets  
N.T.S.

| Schedule |       |       |     |              |               |                     |              |             |       |
|----------|-------|-------|-----|--------------|---------------|---------------------|--------------|-------------|-------|
| Symbol   | Label | Image | QTY | Manufacturer | Catalog       | Description         | Number Lamps | Lamp Output | LLF   |
|          | A     |       | 8   | MaxLite Inc  | M40U4W-CSBKCR | M40U4W-CSBKCR-4000K | 1            | 5128        | 0.9   |
|          |       |       |     |              |               |                     |              |             | 38.17 |

| Statistics   |        |        |        |        |         |         |
|--------------|--------|--------|--------|--------|---------|---------|
| Description  | Symbol | Avg    | Max    | Min    | Max/Min | Avg/Min |
| Calc Zone #1 | +      | 1.2 fc | 7.3 fc | 0.0 fc | N/A     | N/A     |
| Calc Zone #2 | +      | 0.1 fc | 1.4 fc | 0.0 fc | N/A     | N/A     |

GW ENGINEERING, LLC

4120 OVERLOOK CIRCLE, TRUSSVILLE, AL 35173  
GWINN@GWINNENGINEERING.COM | 205.413.4112  
THGWINN@GWINNENGINEERING.COM | 205.317.3959

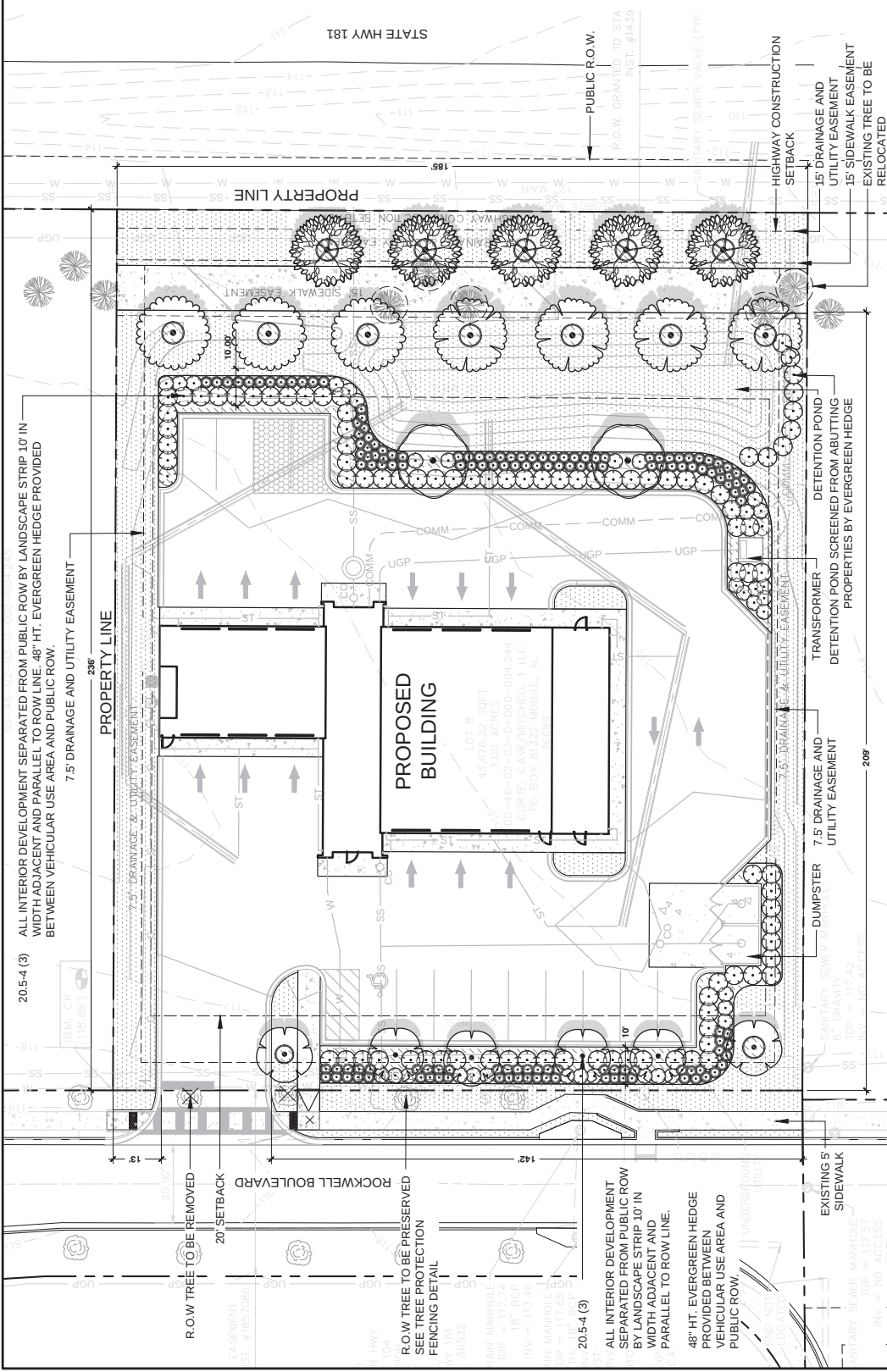


Express Oil Change & Tire Engineers  
Single Building / Left Hand Oil Change / Rear Enter / Side Tire Storage  
Fairhope, Alabama

| Project Status |             |      |
|----------------|-------------|------|
| No.            | Description | Date |
|                |             |      |
|                |             |      |
|                |             |      |
|                |             |      |
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|                |             |      |

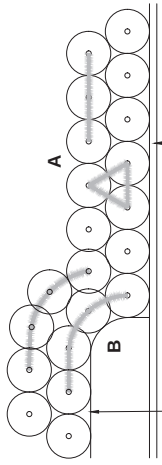
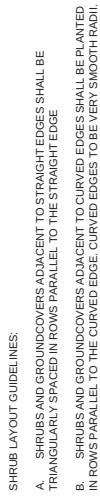
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|                          |             |
|--------------------------|-------------|
| Site Plan - Photometrics |             |
| Project number           | 24051       |
| Date                     | 10/07/2024  |
| Drawn by                 | TH          |
| Checked by               | GW          |
| E700                     |             |
| Scale                    | 1" = 20'-0" |

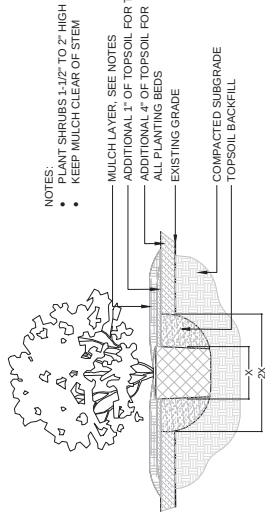


| PLANT SCHEDULE                                                                        |      |                                             |         |           |                                                            |  |
|---------------------------------------------------------------------------------------|------|---------------------------------------------|---------|-----------|------------------------------------------------------------|--|
| SYMBOL                                                                                | CODE | BOTANICAL / COMMON NAME                     | SIZE    | QTY       | REMARKS                                                    |  |
| <b>TREES</b>                                                                          |      |                                             |         |           |                                                            |  |
|  | AS   | Acer barbatum / Southern Sugar Maple        | 2' Cal. | 6         | 10' Ht., Strong Central Leader, Full and Healthy           |  |
|  | BR   | Betula nigra / River Birch                  | 2' Cal. | 4         | 10' Ht., Strong Central Leader, Full and Healthy           |  |
|  | EX   | Existing Tree / To Be Relocated             | --      | 10        | Refer to landscape notes for additional planting guidance. |  |
|  | LT   | Liriodendron tulipifera / Tulip Poplar      | 2' Cal. | 3         | 10' Ht., Strong Central Leader, Full and Healthy           |  |
|  | NS   | Nyssa sylvatica / Tupelo                    | 2' Cal. | 2         | 10' Ht., Strong Central Leader, Full and Healthy           |  |
| <b>SHRUBS</b>                                                                         |      |                                             |         |           |                                                            |  |
|  | CA   | Callicarpa americana / American Beautyberry | 3 gal.  | 35        | 24" Ht., Full and Healthy                                  |  |
|  | MC   | Morella cerifera / Wax Myrtle               | 7 gal.  | 93        | 48" Ht., Full and Healthy                                  |  |
|  | MC2  | Muhlenbergia capillaris / Pink Muhly Grass  | 1 gal.  | 143       | 18" Ht., Full and Healthy                                  |  |
| SYMBOL                                                                                | CODE | BOTANICAL / COMMON NAME                     | SIZE    | QTY       | REMARKS                                                    |  |
| <b>GROUND COVERS</b>                                                                  |      |                                             |         |           |                                                            |  |
|  | ML   | Mulch / Pinestraw                           | --      | 2,995 sf  | Pinestraw mulch, free of contaminants and debris           |  |
|  | TS   | Turf Sod / Bermuda Grass                    | sod     | 13,482 sf | Full pieces, weed free                                     |  |

20.5-4 (7) 4 OVERSTORY TREE SPECIES PROVIDED ON SITE



## TYPICAL SHRUB SPACING



|                                                  |  |
|--------------------------------------------------|--|
| 24" Ht., Full and Healthy                        |  |
| 48" Ht., Full and Healthy                        |  |
| 18" Ht., Full and Healthy                        |  |
| <u>REMARKS</u>                                   |  |
| Pinestraw mulch, free of contaminants and debris |  |
| Full pieces, weed free                           |  |

## TYPICAL CHDPIB DI ANTINC

20.5-4 (3) 20% OF SITE EXCLUDING ROW, TO BE LANDSCAPED  
TOTAL SITE AREA ( 43,676 ) \* .20 = 8,736 SF REQUIRED  
14,000 SF PROVIDED  
60% OF LANDSCAPE TO BE BETWEEN BUILDING AND ROW  
REQ. LANDSCAPE AREA ( 8,736 ) \* .60 = 5,241 SF REQUIRED  
5,876 SF PROVIDED

**2054-4 (4)**  
ALL INTERIOR DEVELOPMENT SEPARATED FROM PUBLIC ROW BY LANDSCAPE STRIP 10' IN WIDTH ADJACENT AND PARALLEL TO ROW LINE.  
48" HT. EVERGREEN HEDGE PROVIDED BETWEEN VEHICULAR USE AREA AND PUBLIC ROW.

**2054-4 (5)** 1 OVERTORY TREE PER 30' OF ROAD FRONTAGE PROVIDED. TREES LOCATED OVER 25' FROM HWY 181 DUE TO SIDEWALK EASEMENT, DRAINAGE AND UTILITY EASEMENT. AND HIGHWAY CONSTRUCTION EASEMENT.

STATE HIGHWAY 181 PROPERTY LINE (185 LF) / 30 LF = 7 OVERSTORY TREES REQUIRED  
7 OVERSTORY TREES PROVIDED

ROCKWELL BOULEVARD PROPERTY LINE (155 LF) / 30 LF = 6 OVERSTORY TREES PROVIDED

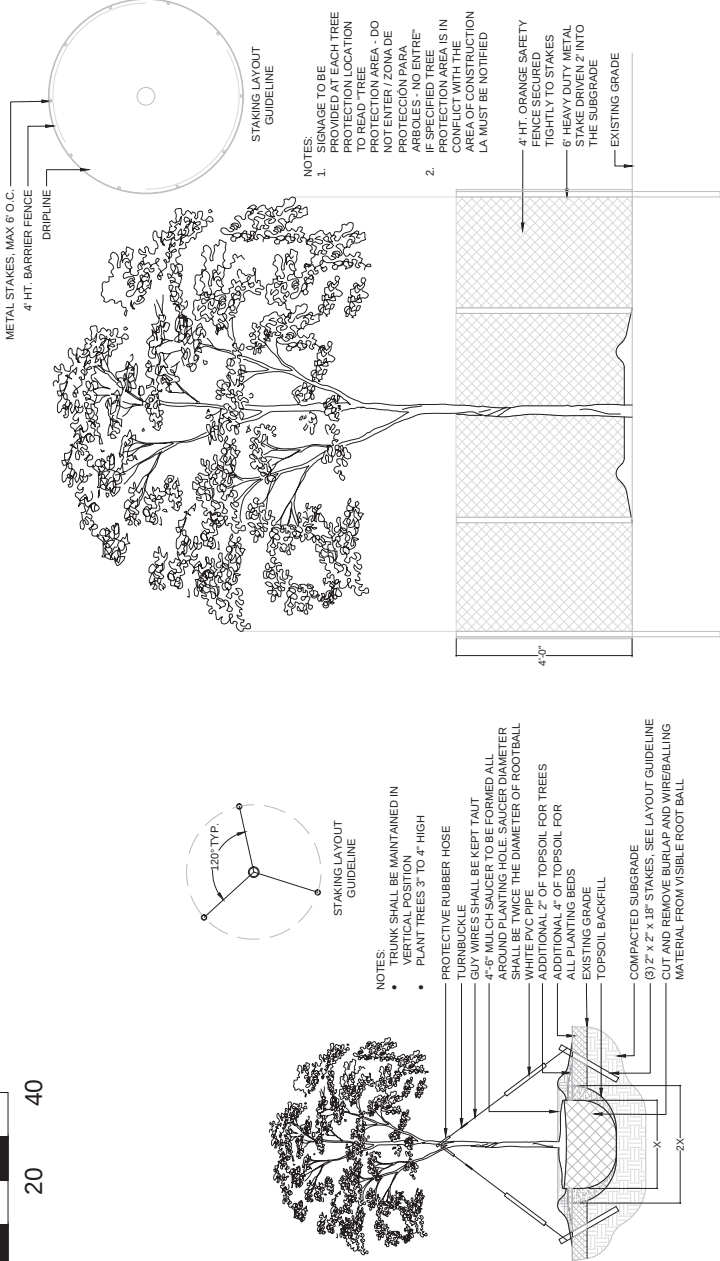
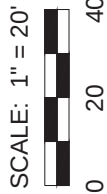
1 OVERSTORY OR UNDERSTORY TREE PROVIDED PER 12 PARKING SPACES OR PORTION THEREOF.  
13 PARKING SPACES / 12 = 2 TREES REQUIRED  
2 TREES PROVIDED

**2054 (8)** PLANT MATERIAL AND MULCH PROVIDED FOR COVERAGE OF ALL NON-PAVED AND NON-BUILT AREAS. OVER 50% OF AREA COVERED WITH LIVE PLANT MATERIAL.

\* NO HERITAGE TREES ON SITE, ALL EXISTING TREES TO BE REMOVED, RELOCATED, OR PRESERVED ARE LESS THAN 20 CALIPER INCHES

**LANDSCAPE NOTES:**

1. CONTRACTOR IS REQUIRED TO FOLLOW THESE LANDSCAPE NOTES, DETAILS AND SPECIFICATIONS.
2. ALL PLANT MATERIAL SHALL MEET ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK.
3. ALL PLANT BEDS SHALL BE DRESSED WITH 3" LAYER OF MULCH UNLESS OTHERWISE SPECIFIED ON THE PLANS.
4. CONTRACTOR SHALL VERIFY AND MARK ALL EXISTING UTILITIES PRIOR TO INSTALLATION.
5. ALL PLANTS SHALL MEET SIZE, CONTAINER, AND SPACING SPECIFICATIONS. ANY MATERIAL NOT MEETING SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
6. CONTRACTOR SHALL BE RESPONSIBLE TO RECEIVE THE LANDSCAPE ARCHITECT'S APPROVAL OF ALL PLANT BED LAYOUTS AND TREE LOCATIONS PRIOR TO INSTALLATION. IF PLANT MATERIAL IS INSTALLED PRIOR TO LANDSCAPE ARCHITECT'S APPROVAL, CONTRACTOR WILL BE SUBJECT TO RELOCATING THE MATERIAL AT THE LANDSCAPE ARCHITECT'S REQUEST AND THE CONTRACTOR'S OWN EXPENSE.
7. INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
8. ALL SHRUBS SHALL BE PLANTED 1'-1/2" AND TREES 2'-1/2" ABOVE GRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PLANT HEALTH IN ON-SITE SOILS.
9. CONTRACTOR SHALL INSTALL AND /OR AMEND TOPSOIL IN ALL PROPOSED BED AREAS TO MEET ASTM D5268 STANDARDS. PERFORM SOIL TESTING PRIOR TO CONSTRUCTION AS NEEDED TO MEET STANDARDS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING. GRADING SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
11. SOIL SHALL BE FREE FROM CONSTRUCTION DEBRIS.
12. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN TAKE OFFS AND QUANTITIES. THE QUANTITIES ON THE PLANT LIST SERVE ONLY AS A GUIDE TO THE OWNER AND L.A. THIS INCLUDES SOD AND MULCH QUANTITIES OF WHICH THE CONTRACTOR SHALL BE HELD TO BID. QUANTITIES, IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES REPRESENTED ON THE PLANS VS. QUANTITIES SHOWN ON THE PLANT LIST, THE PLAN SHALL CONTROL.
13. CONTRACTOR SHALL MAINTAIN TREES IN A STRAIGHT AND PLUMB POSITION FOR ONE YEAR. CONTRACTOR SHALL STAKE ALL TREES IF REQUIRED BY THE JURISDICTION.
14. PRIOR TO REMOVAL OF ANY TREES, THE TREES TO BE RETAINED SHALL HAVE PROTECTIVE TREE BARRIERS. SEE EXISTING TREE PROTECTION - FENCING DETAIL.
15. SUCCESSFUL BIDDER SHALL LOCK UP ALL MATERIALS IMMEDIATELY AFTER CONTRACT ASSIGNMENT. PLANTS SHALL BE HELD DURING THE PERIOD FROM CONTRACT TO INSTALLATION TO ALLOW ADDITIONAL GROWTH. ALL PLANTS WILL BE REQUIRED TO BE FULL AND HEALTHY. CONTRACTOR SHALL ARRANGE FOR PLANT APPROVAL PRIOR TO DELIVERY. EITHER BY SAMPLES, PHOTOS, OR NURSERY VISITS.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR WARRANTY OF HEALTH OF PLANTS IN ON-SITE SOILS. IF, DURING DIGGING, CONTRACTOR DISCOVERS WATER LOGGED, CLAYEY, COMPACTED OR SIMILARLY POORLY DRAINED SOILS, IT SHOULD BE BROUGHT TO THE ATTENTION OF OWNER/LANDSCAPE ARCHITECT FOR REMEDIAL ACTION.
17. CONTRACTOR SHALL ANTICIPATE THE FIRST FIVE FEET AROUND BUILDING PERIMETER WILL BE COMPACTED AND FOUNDATION BEDS SHOULD BE TILLED AND IMPROVED TO SUSTAIN VIGOROUS, HEALTHY PLANT GROWTH.
18. TREES TO BE RELOCATED SHALL BE PROTECTED (SEE EXISTING TREE PROTECTION - FENCING) PRIOR TO RELOCATION.



## EXISTING TREE PROTECTION - FENCING

204 MAIN ST, STE 125  
TRUSSVILLE, AL 35173  
205.478.5388

[illegible]

# EXPRESS OIL CHANGE

## EXPRESS OIL CHANGE & TIRE ENGINEERS

1880 SOUTHPARK DR.  
BIRMINGHAM, AL 35244

DATE: 11/14/2024  
 DRAWN BY: GH  
 REVIEWED BY: MP  
 JOB NUMBER: 24037

---

SHEET TITLE:  
 LANDSCAPE PLAN

---

LANDSCAPE CODE PLAN  
 \_\_\_\_\_  
 ISSUE FOR PERMIT



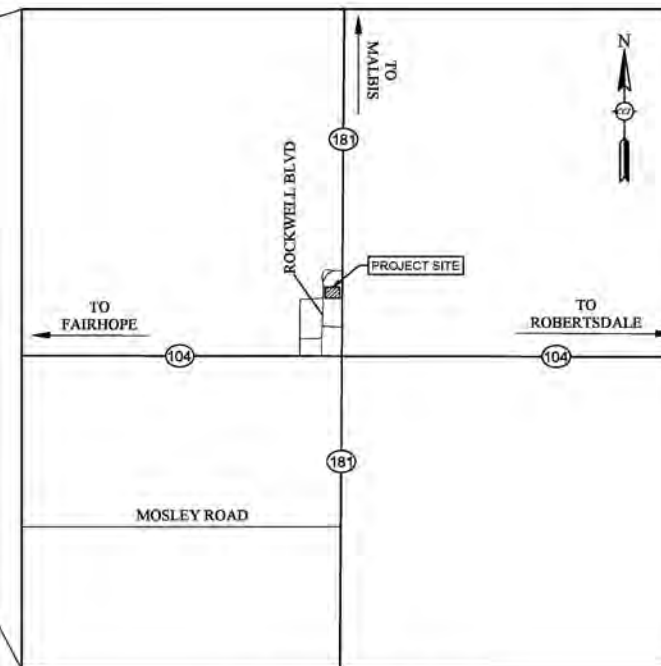
LA5.00

# SITE WORK CONSTRUCTION DOCUMENTS

FOR

## A NEW EXPRESS OIL CHANGE

22179 STATE HIGHWAY 181  
FAIRHOPE, ALABAMA



ADDRESS:  
22179 STATE HIGHWAY 181  
FAIRHOPE, AL 36532  
PPIN: 626313  
PARCEL NO.: 05-46-02-03-0-000-004.244  
ZONING DISTRICT: BG-2 GENERAL BUSINESS DISTRICT

### LIST OF CONTACTS

**OWNER**  
EXPRESS OIL CHANGE & TIRE ENGINEERS  
Phone: (205) 397-1142  
Contact: Justin Duck  
1880 Southpark Dr  
Birmingham, Alabama 35244

**ARCHITECT**  
AHO ARCHITECTS, LLC  
Phone: (205) 983-6000  
Contact: April Cain  
1855 Data Dr, Suite 150  
Hoover, Alabama 35244

**FIRE PROTECTION**  
CITY OF FAIRHOPE  
Phone: (251) 990-0123  
Contact: Damon Beck  
555 South Section Street  
Fairhope, Alabama 36532

**POWER DISTRIBUTION**  
RIVIERA UTILITIES  
Phone: (251) 943-5001  
Contact: Wes Abrams  
413 East Laurel Avenue  
Foley, Alabama 36535

**CIVIL ENGINEERING**  
CIVIL CONSULTANTS, INC.  
Phone: (205) 655-1991  
Contact: Nicholas Ostrye, P.E.  
3528 Vann Road, Suite 105  
Birmingham, Alabama 35235

**LANDSCAPE ARCHITECT**  
PLOT STUDIO  
Phone: (205) 478-5388  
Contact: Matt Phillips, PLA  
204 Main Street, Suite 125  
Trussville, Alabama 35173

**SANITARY SEWER PROVIDER**  
CORTE, CAVE MITCHELL I, LLC  
Phone: (251) 666-2443  
Contact: Frank Leatherwood III, PE  
4830 Main Street, Suite G-212  
Orange Beach, Alabama 36561

**BUILDING INSPECTOR**  
CITY OF FAIRHOPE  
Phone: (251) 990-0116  
Contact: Eddie Tucker  
161 North Section Street  
Fairhope, Alabama 36533

**COMMUNICATIONS**  
AT&T  
Phone: (251) 680-7402  
Contact: Wade Mitchell  
2155 Old Shell Road  
Mobile, Alabama 36607

**SURVEYOR**  
POLY SURVEYING  
Phone: (251) 666-2010  
Contact: J. Brett Orrell, P.L.S.  
5588 Jackson Road  
Mobile, Alabama 36619

**GEOTECHNICAL ENGINEER**  
TERRACON  
Phone: (251) 443-5374  
Contact: Benjamin G. Weinberg, P.E.  
6215 Rangeline Road, Suite 115  
Theodore, Alabama 36582

**NATURAL GAS**  
FAIRHOPE PUBLIC UTILITIES  
Phone: (251) 928-2136  
Contact: Sid Grose  
161 North Section Street  
Fairhope, Alabama 36533

**WATER PROVIDER**  
FAIRHOPE PUBLIC UTILITIES  
Phone: (251) 928-2136  
Contact: Jason Brown  
161 North Section Street  
Fairhope, Alabama 36533

### INDEX OF SHEETS

| SHEET NO. | SHEET NAME                                             |
|-----------|--------------------------------------------------------|
| C0.0      | COVER SHEET                                            |
| C0.1      | DEMOLITION AND INITIAL EROSION & SEDIMENT CONTROL PLAN |
| C1.0      | SITE LAYOUT PLAN                                       |
| C2.0      | UTILITY PLAN                                           |
| C3.0      | GRADING PLAN                                           |
| C3.1      | DRAINAGE PLAN                                          |
| C4.0      | INTERMEDIATE - FINAL EROSION & SEDIMENT CONTROL PLAN   |
| C5.0      | CONSTRUCTION DETAILS & SECTIONS I                      |
| C5.1      | CONSTRUCTION DETAILS & SECTIONS II                     |

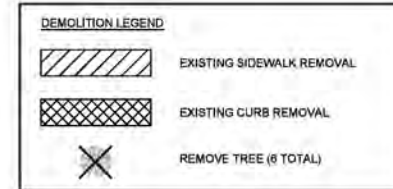
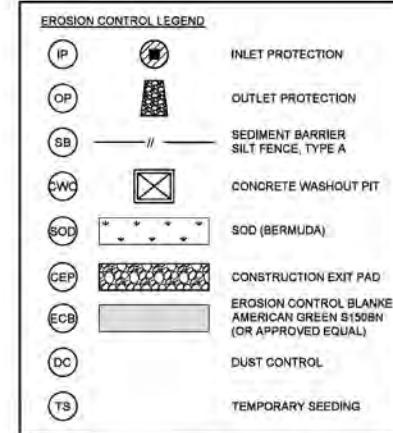
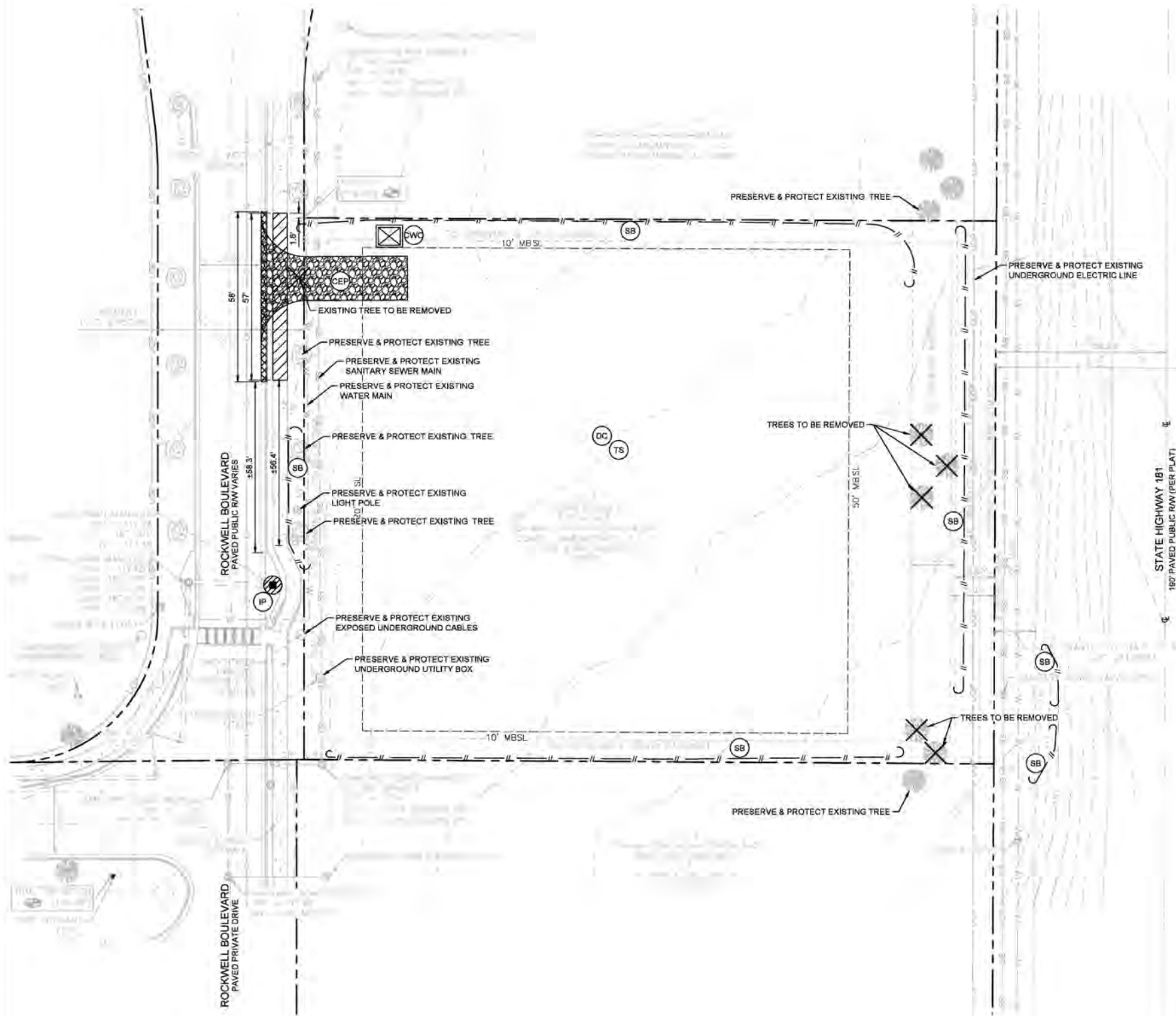
**ATTACHMENTS**  
ALTA/NSPS LAND TITLE SURVEY (2 SHEETS)  
LANDSCAPE PLAN (LA6.00)  
IRRIGATION PLAN (LA6.00 - LA6.02)



3528 Vann Road  
Suite 105  
Birmingham, AL 35235  
Phone: (205) 655-1991  
www.ccipe.com

ISSUED  
FOR PERMIT  
10/14/2024

C0.0



**INITIAL EROSION CONTROL SEQUENCE**

1. SEE GENERAL EROSION & SEDIMENT CONTROL NOTES.
2. INSTALL TEMPORARY SEDIMENT BARRIER (SILT FENCE), INLET PROTECTION, FILTER SOCK CHECK DAM, CONSTRUCTION EXIT PAD AND CONCRETE WASHOUT AREA.
3. INSPECT, MAINTAIN, MOVE AND REPAIR TEMPORARY SEDIMENT CONTROL DEVICES AS REQUIRED THROUGHOUT THE DURATION OF CONSTRUCTION.

**DEMOLITION NOTES**

1. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE ADEQUACY AND INSTALLATION OF ALL TEMPORARY SHORING & BRACING SYSTEMS USED DURING THE PERFORMANCE OF THIS WORK.
2. WORK SHALL BE PERFORMED BY SKILLED AND PROPERLY EQUIPPED PERSONNEL. PROMPTLY REPAIR DAMAGES TO EXISTING FACILITIES INTENDED TO REMAIN CAUSED BY DEMOLITION OPERATIONS.
3. REMOVE EXISTING IMPROVEMENTS AND VEGETATION TO THE EXTENT NECESSARY FOR THE PROPER INSTALLATION OF NEW CONSTRUCTION AND JUNCTION WITH EXISTING WORK. CUT BACK FINISHED SURFACES TO STRAIGHT, PLUMB, OR LEVEL LINES AS REQUIRED.
4. WHERE OPENINGS ARE CUT OVERSIZED OR AT IMPROPER LOCATIONS AS DETERMINED BY THE ENGINEER, REPLACE THE EXCESS REMOVED MATERIAL AS INSTRUCTED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
5. COORDINATE DEMOLITION WITH OTHER TRADES TO ASSURE THE PROPER SEQUENCE, LIMITS, METHODS AND TIME OF PERFORMANCE. SCHEDULE WORK SO AS TO IMPOSE A MINIMUM HARDSHIP ON THE PERFORMANCE OF WORK OF OTHER TRADES.
6. WORK NOT MENTIONED TO BE REMOVED THAT INTERFERES WITH NEW CONSTRUCTION SHALL BE CUT AND REMOVED TO PROVIDE FOR PROPER INTERFACE WITH NEW CONSTRUCTION, OR PATCHING AND REPAIR, AS REQUIRED. COORDINATE WITH ARCHITECT AND/OR ENGINEER PRIOR TO REMOVAL.
7. ALL MATERIALS SHALL BE DISPOSED OF IN AN APPROPRIATE OFF-SITE LOCATION. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR BOTH DEMOLITION WORK AND WASTE MATERIAL DISPOSAL.
8. CONTRACTOR IS RESPONSIBLE TO REPAIR DAMAGE TO THE CITY OF FAIRHOPE, ALDOT AND ADJACENT PROPERTY OWNER'S INFRASTRUCTURE TO THE SATISFACTION OF THE OWNER.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER TREATMENT AND HANDLING OF ANY HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO LEAD PAINT AND ASBESTOS.

**CAUTION NOTICE TO CONTRACTOR:**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE 811 UNDERGROUND UTILITY LOCATE SERVICE AT LEAST 48 HOURS BEFORE ANY SITE DISTURBANCE OR EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. KEEP UTILITY LOCATE REQUEST ACTIVE UNTIL EXCAVATION IS COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**SPECIAL NOTE**

TRUCKS AND EQUIPMENT SHOULD UTILIZE WASHPAD OR CONSTRUCTION EXIT PAD WHILE SOILS ARE EXPOSED. ANY SEDIMENT TRACKED INTO ADJACENT BUSINESS AREAS OR ONTO ROCKWELL BLVD ARE TO BE CLEANED PRIOR TO END OF DAY.

**GENERAL EROSION & SEDIMENT CONTROL NOTES**

1. THE SITE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SUITABLE EROSION AND SEDIMENT CONTROL DEVICES ON SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT OR SEDIMENT FROM LEAVING THE SITE. SILT OR SEDIMENT WILL NOT BE ALLOWED BEYOND CONSTRUCTION LIMITS. THE CONTRACTOR SHALL PREVENT THE ESCAPE OF SILT OR SEDIMENT FROM THE SITE BY INSTALLING EROSION CONTROL MEASURES IN ADDITION TO THOSE SHOWN ON PLANS AS NECESSARY AND CONDUCTING PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLANS DOES NOT PROVIDE SUFFICIENT EROSION AND SEDIMENT CONTROL, ADDITIONAL CONTROL MEASURES SHALL BE IMPLEMENTED IMMEDIATELY TO PREVENT SILT OR SEDIMENT FROM ESCAPING THE SITE AT NO ADDITIONAL COST TO OWNER. CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES AFTER EACH RAINFALL AND PERFORM NECESSARY REPAIRS AND MAINTENANCE. CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING EROSION AND SEDIMENT CONTROL DEVICES WHICH BECOME INEFFECTIVE. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADDITIONAL EROSION CONTROL DEVICES OR MEASURES AS DEEMED NECESSARY BY THE ENGINEER, OWNER OR REGULATORY AUTHORITIES TO COMPLY WITH CONSTRUCTION DOCUMENTS OR GOVERNING AUTHORITY.
3. CONTRACTOR SHALL REMOVE THE BUILD UP OF SILT AND SEDIMENT FROM BEHIND SILT FENCE, ROCK CHECK DAMS AND INLET FILTERS WHEN SILT AND SEDIMENT HAS REACHED 1/3 THE TOTAL HEIGHT OF THE EROSION AND SEDIMENT CONTROL DEVICE.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY FINES LEVIED AGAINST THE SITE FOR VIOLATIONS OF EROSION CONTROL REGULATIONS AND PERMITS.
5. ALL EROSION CONTROL MEASURES SHALL MEET THE GUIDELINES SET FORTH IN THE "ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS, VOLUME 1", PUBLISHED BY THE ALABAMA SOIL AND WATER CONSERVATION COMMITTEE, PUBLISHED 2018.
6. CONTRACTOR SHALL INSTALL, MAINTAIN AND INSPECT ALL EROSION AND SEDIMENT DEVICES AND MEASURES IN ACCORDANCE WITH THE "ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS VOLUME 1", PUBLISHED BY THE ALABAMA SOIL AND WATER CONSERVATION COMMITTEE, PUBLISHED 2018.
7. THE LIMITS OF DISTURBANCE SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE. ANY DAMAGE OUTSIDE THE LIMITS OF CONSTRUCTION CAUSED BY THE CONTRACTOR OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED TO ITS ORIGINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR THE CLEANUP AND REMOVAL OF ANY BUILDUP OF SEDIMENT WHICH ESCAPES FROM THE SITE.
8. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE AS REQUIRED BY THE ENGINEER, PLANS, AND THE CITY OF FAIRHOPE. SILTATION CONTROL MEASURE SHALL BE INSPECTED AT LEAST MONTHLY AND FOLLOWING MEASURABLE PRECIPITATION EVENTS. ANY DEFICIENCIES SHALL BE CORRECTED IMMEDIATELY AND NO FURTHER WORK WILL PROCEED UNTIL SAID DEFICIENCIES ARE CORRECTED TO THE CITY OF FAIRHOPE, OR ENGINEER'S APPROVAL.
9. IF SEDIMENT ESCAPES THE SITE IT SHALL BE RECOVERED, RETURNED TO THE SITE, SPREAD IN LANDSCAPE AREAS AND SEEDED.



3528 Vann Road  
Suite 105  
Birmingham, AL 35235  
Phone: (205) 655-1991  
www.ccipe.com

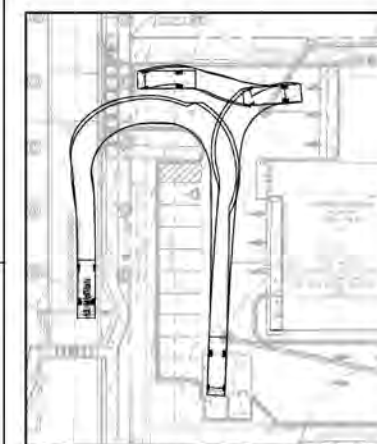
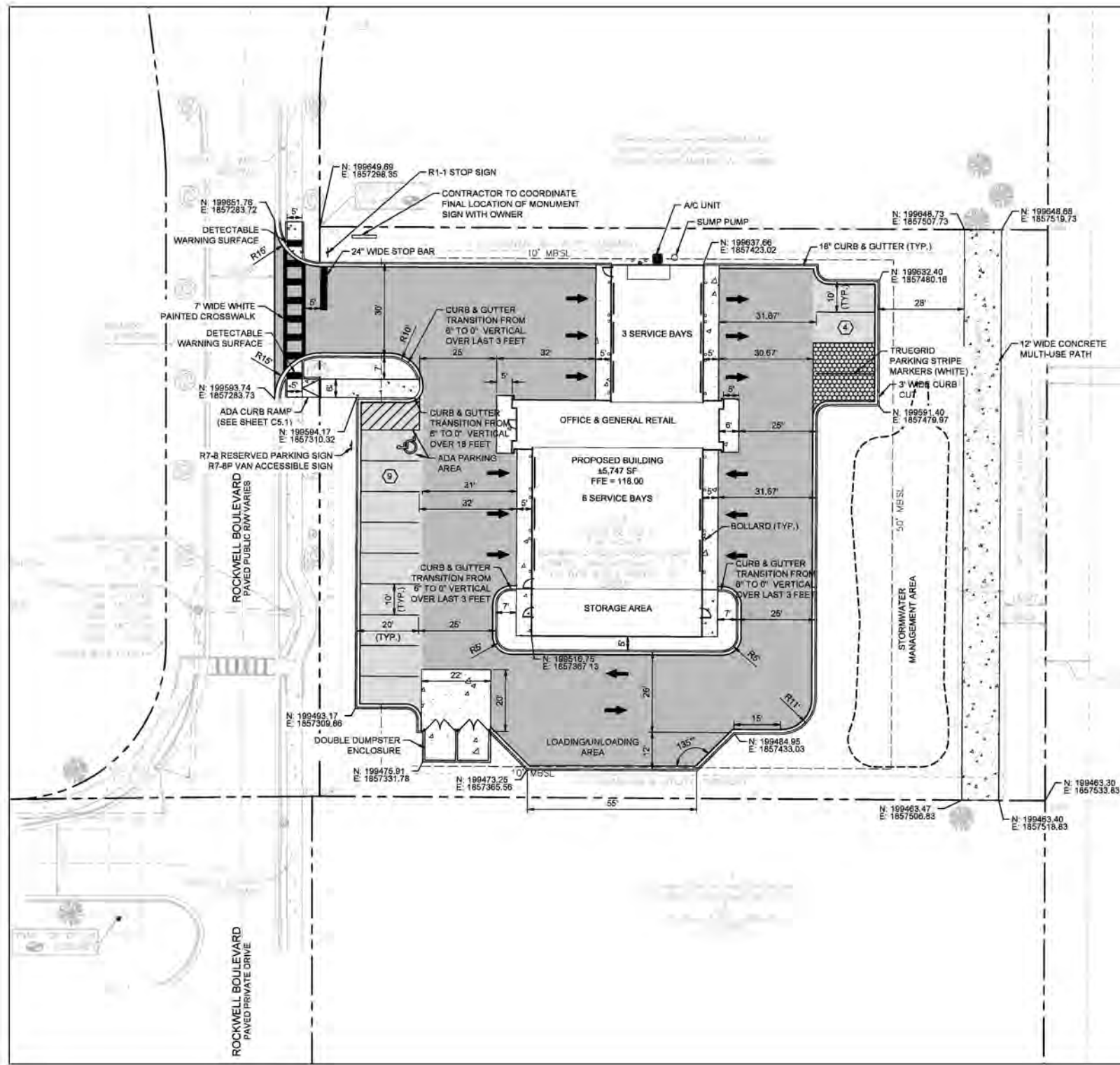


**DEMOLITION AND INITIAL EROSION & SEDIMENT CONTROL PLAN**  
**EXPRESS OIL CHANGE**  
FAIRHOPE, ALABAMA  
FOR  
**EXPRESS OIL CHANGE & TIRE ENGINEERS**

DATE: 10/14/2024  
REVISION: 10/14/2024

| NO. | DESCRIPTION | REVISIONS |
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**LEGEND**

- HEAVY-DUTY ASPHALT PAVING SECTION
- STANDARD-DUTY ASPHALT PAVING SECTION
- PERMEABLE PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- PARKING / ROADWAY SIGN
- PARKING COUNT
- PROPERTY / R.O.W. LINE
- NORTHING & EASTING

**SCALE IN FEET**  
1" = 20'

0 10 20 40

**GARBAGE TRUCK ROUTING**  
1" = 40'

**LAYOUT NOTES**

1. SEE GENERAL NOTES.
2. COORDINATES SHOWN IN THESE PLANS ARE GIVEN IN FEET AND ARE BASED ON THE STATE PLANE COORDINATE SYSTEM.
3. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. COORDINATES AND DIMENSIONS TO HEADER CURB OR "TURN DOWN" CURB (IE. SIDEWALKS AROUND BUILDINGS) INDICATE EDGE OF PAVEMENT / FACE OF CURB.
4. COORDINATES FOR BUILDING CORNERS (OUTSIDE FACE) ARE PROVIDED FOR LOCATING BUILDING ON SITE. REFERENCE BUILDING PLANS FOR REMAINDER OF BUILDING LAYOUT.
5. COORDINATES SHOWN IN PARKING AREA ARE TO BACK OF CURB.
6. REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR FINAL BUILDING DIMENSIONS AND LOCATIONS OF ALL ENTRANCES, STEPS, PADS, ETC.
7. ALL RADII SHOWN IN PARKING AREAS ARE 4.0 FT (FACE OF CURB), UNLESS OTHERWISE NOTED.
8. TRAFFIC MARKING PAINT FOR PARKING STRIPES SHALL BE LATEX WATERBORNE EMULSION, LEAD AND CHROMATE FREE.

**GENERAL NOTES**

1. ALL WORK SHOWN SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS FOR THIS PROJECT AND SHALL CONFORM TO ALL CODES, ORDINANCES, RESTRICTIONS, AND STANDARDS OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THE SITE. CONTRACTOR WILL ONLY PERFORM CONSTRUCTION ACTIVITIES BASED ON PLANS PROPERLY ISSUED FOR CONSTRUCTION PURPOSES.
2. CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS AND APPROVALS FROM AGENCIES GOVERNING THIS WORK ARE SECURED PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND BENCHMARKS. ALL PROPERTY PINS OR BENCHMARKS ELIMINATED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR'S LICENSED SURVEYOR AT NO EXPENSE TO OWNER.
4. EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE OWNER OR THE ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY CONTACTS 48 HOURS PRIOR TO EXCAVATION IN AREAS WHERE UTILITIES MAY EXIST.
5. CONTRACTOR SHALL FIELD VERIFY (REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS) ACTUAL (FINAL) LOCATION OF ALL UTILITY ENTRANCES, TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF TIE-IN/CONNECTIONS TO THEIR FACILITIES.
6. CONTRACTOR SHALL COORDINATE THE INSTALLATION, ADJUSTMENT OR RELOCATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (GAS, WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SLEEVES, AND ANY OTHER MISCELLANEOUS) SHALL BE IN PLACE PRIOR TO PLACEMENT OF BASE COURSE MATERIAL.
7. ALTA/NPS LAND TITLE SURVEY WAS PREPARED BY POLY SURVEYING (251) 866-2010. CIVIL CONSULTANTS, INC. WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY.
8. REFER TO LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS FOR DIMENSIONS AND LOCATIONS OF IRRIGATION LINES & METERS, ETC.
9. THE LIMITS OF DISTURBANCE SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE. ANY DAMAGE CAUSED BY CONSTRUCTION SHALL BE REPAIRED TO ITS ORIGINAL CONDITION BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
10. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES. EROSION CONTROL DEVICES SHALL BE INSPECTED DAILY AND BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTIVE DEVICES AND FOR THE IMPLEMENTATION OF ALL SAFETY MEASURES INCLUDING, BUT NOT LIMITED TO THE PROTECTION OF LIFE, PROPERTY, AND SITE IMPROVEMENTS, THE PROTECTION OF EXISTING UTILITY LINES AND STRUCTURES, AND THE PROVISION AND COORDINATION OF ALL TEMPORARY TRAFFIC CONTROL EFFORTS AND MEASURES.
12. JOB SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SMOOTH TRANSITION BETWEEN ALL NEW CONSTRUCTION AND ALL EXISTING CONDITIONS. ALL DRIVEWAY TRANSITION GRADES, CONSTRUCTION MATERIALS, AND FINISHES, ARE SUBJECT TO APPROVAL BY THE ENGINEER.
14. DO NOT SCALE CRITICAL DIMENSIONS FROM THIS DRAWING. CONTACT ENGINEER FOR SPECIFIC CLARIFICATIONS NEEDED.
15. CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION SPECIFICATIONS IN ALL CONCRETE AND ASPHALT PAVEMENT AREA.
16. IN THE EVENT THAT A CONFLICT ARISES BETWEEN THE SITE CONSTRUCTION DRAWINGS OR SPECIFICATIONS AND EXISTING STRUCTURES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SHALL NOT PROCEED WITH CONSTRUCTION OF ANY AREA WHERE A CONFLICT HAS BEEN DISCOVERED UNTIL SUCH TIME AS THE CONFLICT HAS BEEN CLEARLY RESOLVED.
17. CONTRACTOR SHALL REPAIR DAMAGE TO EXISTING PUBLIC INFRASTRUCTURE TO THE SATISFACTION OF THE CITY OF FAIRHOPE.

**CAUTION NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE 811 UNDERGROUND UTILITY LOCATE SERVICE AT LEAST 48 HOURS BEFORE ANY SITE DISTURBANCE OR EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. KEEP UTILITY LOCATE REQUEST ACTIVE UNTIL EXCAVATION IS COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**SITE INFORMATION**

ZONING: B-2 GENERAL BUSINESS  
ADDRESS: 22179 STATE HIGHWAY 181  
FAIRHOPE, AL 36532

LOT SIZE: ± 0.99 AC  
PROPOSED BUILDING HEIGHT: 24'  
TOTAL GROSS FLOOR AREA: 7,070 SF  
MAIN LEVEL: 5,693 SF  
FIT LEVEL: 1,377 SF  
PROPOSED BUILDING COVERAGE: ± 5,747 SF  
PERCENTAGE OF IMPERVIOUS AREA: 47.4%  
(EXCLUDING BUILDING)  
PERCENTAGE OF PROPOSED LANDSCAPING: 36.6%  
REQUIRED PARKING:  
AUTOMOTIVE SERVICE STATIONS  
= 2 SPACES MIN. + 1 SPACE PER BAY (B) = 11 SPACES  
PROVIDED PARKING = 12 STANDARD SPACES  
1 ADA VAN SPACE  
13 TOTAL SPACES  
PERCENTAGE OF PROPOSED GREEN SPACE: 36.6%  
BUILDING SETBACK:  
HIGHWAY = 40' FRONT = 40'



3528 Vann Road  
Suite 105  
Birmingham, AL 35235  
Phone: (205) 655-1991  
www.cdppe.com

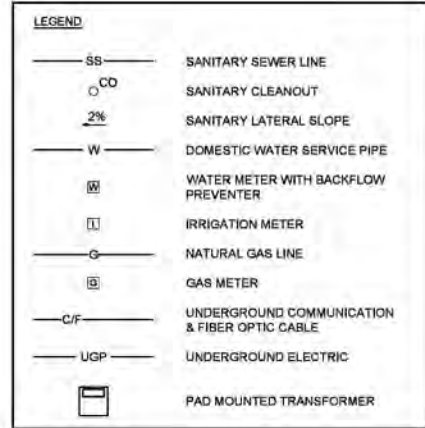
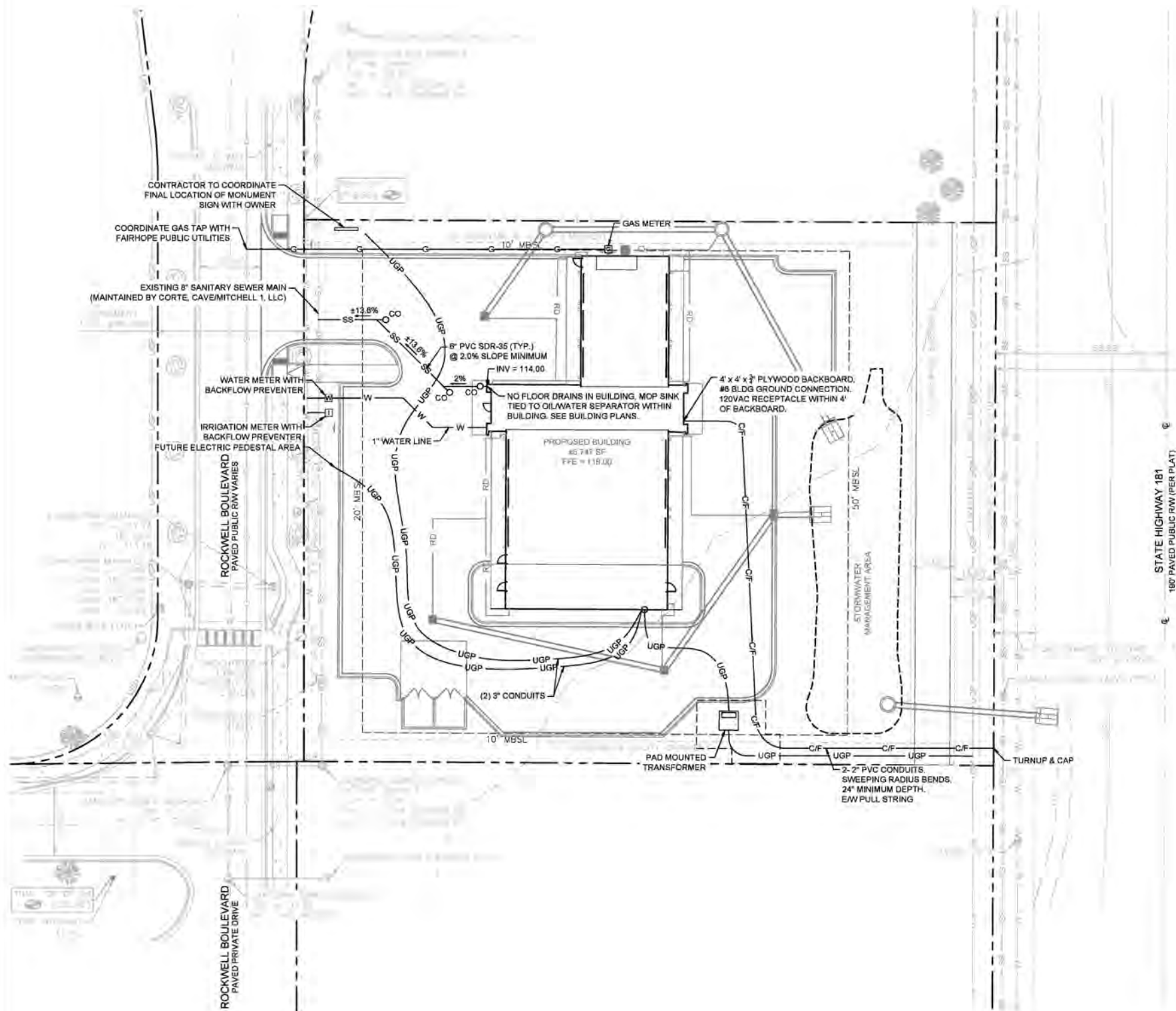
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ALABAMA  
PROFESSIONAL  
ENGINEER  
NICHOLAS J. OSTY  
101424

**SITE LAYOUT PLAN**  
EXPRESS OIL CHANGE  
FAIRHOPE, ALABAMA  
FOR  
EXPRESS OIL CHANGE & TIRE ENGINEERS

DATE: 10/14/2024  
DRAWN BY: NJO  
CHECKED BY: SAR  
EXP: 10/14/2024  
REV: 10/14/2024  
NO. DESCRIPTION  
0 FOR PERMIT

C1.0



**SPECIAL NOTE:**  
RELEASE AT&T TO PROVIDE FIBER AND COMM. CABLE TO SITE.

**GENERAL UTILITY NOTES:**

1. CONTRACTOR SHALL FIELD VERIFY (REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS) ACTUAL (FINAL) LOCATION OF ALL UTILITY ENTRANCES, TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF TIE-INS/CONNECTIONS TO THEIR FACILITIES.
2. PRIOR TO INSTALLING ANY UTILITIES OR STORM DRAINAGE, THE CONTRACTOR SHALL EVALUATE ALL UTILITY CROSSING ELEVATIONS IN ORDER TO DETERMINE THE CROSSING REQUIREMENTS. UTILITIES THAT REQUIRE LOWERING IN ORDER TO MAINTAIN MINIMUM COVERING REQUIREMENTS SHALL BE INSTALLED PRIOR TO THE SHALLOWER UTILITY BEING INSTALLED. CONTRACTOR SHALL INCLUDE ALL MATERIALS AND INSTALLATION COSTS ASSOCIATED WITH ANY AND ALL REQUIRED LOWERINGS IN THE PRICE FOR THE RESPECTIVE UTILITY.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF FAIRHOPE SPECIFICATIONS.

**WATER NOTES:**

1. REFERENCE GENERAL NOTES, SHEET C1.0.
2. ALL DOMESTIC LEADS TO BUILDING SHALL END 5 FT. OUTSIDE THE FACE OF BUILDING WALL, UNLESS NOTED, AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END (FOR OTHERS TO REMOVE AND EXTEND AS NECESSARY).
3. THE CONTRACTOR SHALL COORDINATE ALL UTILITY INSPECTIONS WITH THE GOVERNING AUTHORITIES PRIOR TO COVERING TRENCHES DURING INSTALLATION.
4. SITE CONTRACTOR SHALL COORDINATE TAPS WITH FAIRHOPE PUBLIC UTILITIES.
5. PIPE SIZES 3" AND SMALLER SHALL BE TYPE-K COPPER. FITTINGS SHALL BE BRONZE.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH FAIRHOPE PUBLIC UTILITIES.

**SANITARY SEWER NOTES:**

1. REFERENCE GENERAL NOTES AND ARCHITECTURAL/PLUMBING PLANS.
2. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH FAIRHOPE PUBLIC UTILITIES REQUIREMENTS AND SPECIFICATIONS.
3. CONTRACTOR SHALL NOTIFY CORTE, CAVE/MITCHELL 1,LLC, THE OWNER OF THE PRIVATE SANITARY SEWER MAIN, A MINIMUM OF 48 HOURS PRIOR TO COMMENCING SEWER CONSTRUCTION.
4. ALL CLEANOUTS SHALL BE FLUSH WITH PROPOSED GRADE ELEVATIONS.
5. POTABLE WATER PIPING SHALL BE LAID AT LEAST FIVE FEET HORIZONTALLY FROM SANITARY SEWER LINES. THE DISTANCE SHALL BE MEASURED FROM EDGE OF PIPE TO EDGE OF PIPE. WHERE CROSSINGS ARE NECESSARY, CASE ONE OF THE PIPES WITH A CONTINUOUS PIPE OF SUFFICIENT LENGTH, LOCATED SUCH THAT A MINIMUM FIVE (5)-FOOT SEPARATION EXISTS BETWEEN EACH END OF THE CASING PIPE AND THE UNCASED PIPE. POTABLE WATER PIPING CROSSING SANITARY SEWER LINES SHALL BE LAID TO PROVIDE MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE POTABLE WATER PIPING AND THE OUTSIDE OF THE SEWER LINE. THE 18 INCH SEPARATION SHALL APPLY WHETHER THE POTABLE WATER PIPING IS OVER OR UNDER THE SEWER LINE. LAY POTABLE WATER PIPING AT CROSSINGS OF SEWER LINES SO A FULL LENGTH OF PIPE IS CENTERED ON THE SEWER LINE WHENEVER POSSIBLE.
6. SANITARY SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH FAIRHOPE PUBLIC UTILITIES REQUIREMENTS.

**POWER NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL UNDERGROUND CONDUIT ASSOCIATED WITH POWER DISTRIBUTION AND SERVICE.
2. CONTRACTOR IS RESPONSIBLE FOR INSTALLING TRANSFORMER PAD TO THE POWER COMPANY'S STANDARD DIMENSIONS, AND ENSURING THAT THE PROPER CLEARANCES ARE PROVIDED ON ALL SIDES AND ABOVE THE TRANSFORMER.
3. ALL BENDS FOR POWER AND COMMUNICATIONS CONDUITS (HORIZONTAL AND VERTICAL) SHALL BE LONG SWEEPING ELLS.
4. POWER CONDUITS SHALL BE INSTALLED WITH A MINIMUM OF 4 FEET OF COVER FROM FINISHED GRADE TO TOP OF THE CONDUIT.
5. ALL CONDUITS SHALL BE PROVIDED WITH PULL STRING.
6. THE SITE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PULLING ALL SECONDARY CONDUCTORS AS WELL AS MAKING THE ASSOCIATED SECONDARY TERMINATIONS WITHIN THE TRANSFORMER. UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL REFER TO ELECTRICAL PLANS FOR SECONDARY SERVICE ROUTING AND CONNECTIONS.

**NATURAL GAS NOTES**

1. ALL ONSITE NATURAL GAS MAINS AND SERVICE LINES UP TO AND INCLUDING THE GAS METER SET SHALL BE DESIGNED AND INSTALLED BY FAIRHOPE PUBLIC UTILITIES.
2. CONTRACTOR SHALL STAKE CENTERLINE OF GAS MAINS OR GAS SERVICE LINE FOR GAS COMPANY CONTRACTOR.

**CAUTION NOTICE TO CONTRACTOR:**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE 811 UNDERGROUND UTILITY LOCATE SERVICE AT LEAST 48 HOURS BEFORE ANY SITE DISTURBANCE OR EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. KEEP UTILITY LOCATE REQUEST ACTIVE UNTIL EXCAVATION IS COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



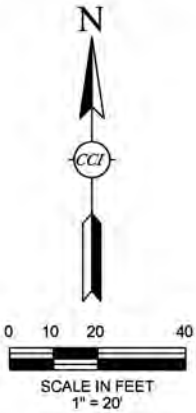
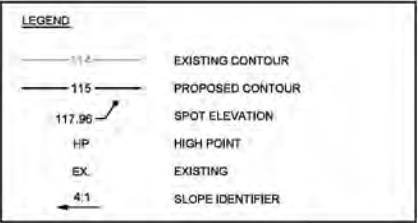
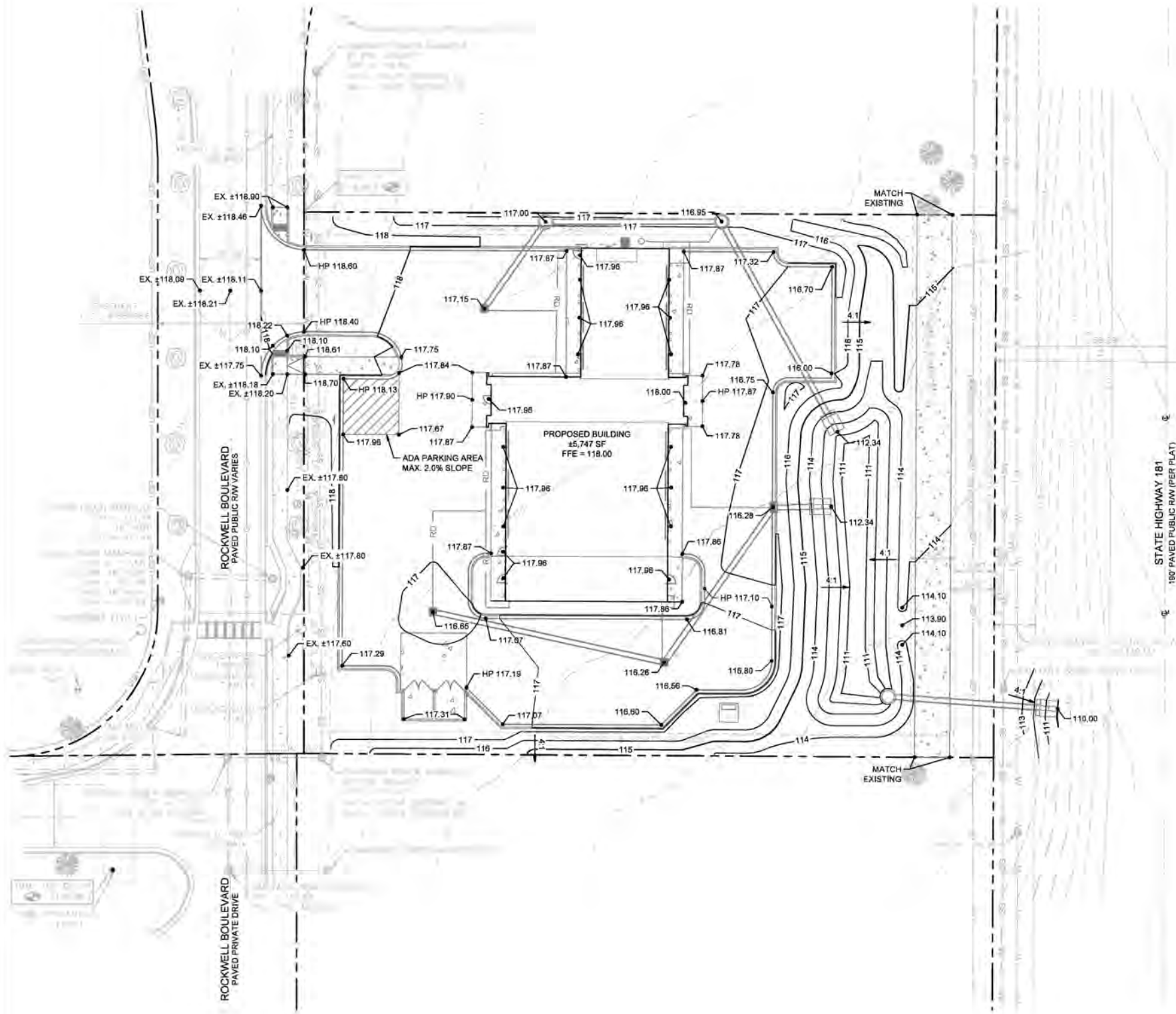
3528 Vann Road  
Suite 105  
Birmingham, AL 35235  
Phone: (205) 655-1991  
www.ccpa.com



**UTILITY PLAN**  
**EXPRESS OIL CHANGE**  
**FAIRHOPE, ALABAMA**  
**FOR**  
**EXPRESS OIL CHANGE & TIRE ENGINEERS**

| NO. | DESCRIPTION | REVISIONS |
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**C2.0**



**GRADING AND EARTHWORK NOTES**

1. REFERENCE GENERAL NOTES. (SEE SHEET C1.0)
2. EARTHWORK SHALL BE PERFORMED ON AN UNCLASSIFIED BASIS.
3. ALL PROPOSED SPOT ELEVATIONS SHOWN ADJACENT TO CURB ARE TO EDGE OF PAVEMENT ELEVATION UNLESS OTHERWISE NOTED.
4. GRADES SHOWN ARE FINISH GRADES. FOR SUBGRADE ELEVATIONS IN PAVED AREAS, REFERENCE SECTIONS AND DETAILS.
5. THE LOCATION AND ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, SHOULD NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES AND UTILITIES PRIOR TO CONSTRUCTION. ANY DEVIATIONS FROM PLAN INFORMATION SHOULD BE DISCUSSED WITH ENGINEER AND OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY CONTACTS 48 HOURS PRIOR TO EXCAVATION IN AREAS WHERE UTILITIES MAY EXIST.
6. THE SITE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SLEEVES, AND ANY OTHER MISCELLANEOUS) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL.
7. THE SUBGRADE PREPARATION SHOULD CONSIST OF STRIPPING APPROXIMATELY 6 INCHES OF TOPSOIL, VEGETATION, ROOTMAT, AND SOFT OR YIELDING MATERIALS FROM THE 10-FOOT EXPANDED BUILDING AND 5-FOOT EXPANDED PAVEMENT LIMITS, AND 5 FEET BEYOND THE TOE OF STRUCTURAL FILLS, DEEPER TOPSOIL OR ORGANIC LADEN SOILS MAY BE PRESENT IN WET, LOW-LYING, AND POORLY DRAINED AREAS. IN WOODED AREAS, THE ROOT BALLS MAY EXTEND AS DEEP AS ABOUT 2 FEET AND WILL REQUIRE ADDITIONAL LOCALIZED STRIPPING DEPTH TO COMPLETELY REMOVE THE ORGANICS.
8. FILL SLOPES SHALL BE OVERFILLED AND THEN CUT BACK TO REQUIRED GEOMETRY.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE FINISHED GRADING INCLUDING PLACEMENT OF SOILS AS NECESSARY TO ACHIEVE THE FINISHED GRADES INDICATED ON THE GRADING PLANS. ALL SURFACES SHALL BE SMOOTH WITH PROPER TRANSITIONS BETWEEN GRADIENTS. ALL FINISHED TOPSOIL ELEVATIONS SHALL BE A MINIMUM OF 1" BELOW THE FINISHED ELEVATION OF ADJACENT WALKS AND BACK OF CURB UNLESS OTHERWISE NOTED.
10. THE CONTRACTOR SHALL CAREFULLY ESTABLISH PROPER FINISHED GRADE ELEVATIONS IN THE FIELD SO AS TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND EXTERIOR MECHANICAL AND ELECTRICAL FIXTURES AND EQUIPMENT AND ANY OTHER MOISTURE SENSITIVE AREAS.
11. THE EXPANDED LIMITS OF THE PROPOSED CONSTRUCTION AREAS SHOULD BE WELL DEFINED, INCLUDING THE LIMITS OF THE FILL ZONES FOR BUILDINGS, PAVEMENTS, AND SLOPES, ETC., AT THE TIME OF FILL PLACEMENT. GRADE CONTROLS SHOULD BE MAINTAINED THROUGHOUT THE FILLING OPERATIONS.
12. AT THE END OF EACH WORK DAY, ALL FILL AREAS SHOULD BE GRADED TO FACILITATE DRAINAGE OF ANY PRECIPITATION AND THE SURFACE SHOULD BE SEALED BY USE OF A SMOOTH-DRUM ROLLER TO LIMIT INFILTRATION OF SURFACE WATER. DURING PLACEMENT AND COMPACTION OF NEW FILL AT THE BEGINNING OF EACH WORKDAY, THE CONTRACTOR MAY NEED TO SCARIFY EXISTING SUBGRADES TO A DEPTH ON THE ORDER OF 4 INCHES SO THAT A WEAK PLANE WILL NOT BE FORMED BETWEEN THE NEW FILL AND THE EXISTING SUBGRADE SOILS.
13. POSITIVE SITE DRAINAGE SHOULD BE MAINTAINED DURING EARTHWORK OPERATIONS IN AN EFFORT TO MAINTAIN THE INTEGRITY OF THE SITE SURFACE SOIL. WHEN WET, THE SITE SOILS MAY DEGRADE QUICKLY WITH DISTURBANCE FROM CONTRACTOR OPERATIONS AND WILL BE EXTREMELY DIFFICULT TO STABILIZE FOR FILL PLACEMENT. CONSEQUENTLY, THE CONTRACTOR SHOULD BE PREPARED TO IMPLEMENT AGGRESSIVE MECHANICAL OR CHEMICAL DRYING, DEPENDING UPON THE ACTUAL SITE CONDITIONS. IF POSSIBLE MASS GRADING FOR THE PROJECT SHOULD BE PERFORMED DURING THE DRIER SUMMER MONTHS TO HELP FACILITATE FAVORABLE MOISTURE CONDITIONS FOR THE SITE SOILS. IF WATER MUST BE ADDED TO RAISE THE MOISTURE CONTENT OF THE SOIL, IT SHOULD BE UNIFORMITY APPLIED AND THOROUGHLY MIXED INTO THE SOIL.
14. PRIOR TO FILL PLACEMENT OR OTHER CONSTRUCTION ON SUBGRADES, THE SUBGRADES SHOULD BE EVALUATED BY AN ON-SITE GEOTECHNICAL REPRESENTATIVE. THE EXPOSED SUBGRADE SHOULD BE THOROUGHLY PROOFROLLED WITH A FULLY LOADED TANDEM-AXLE DUMP TRUCK OR SIMILAR CONSTRUCTION EQUIPMENT WEIGHING A MINIMUM OF 40 TONS. PROOFROLLING SHOULD BE TRAVERSED IN TWO PERPENDICULAR DIRECTIONS WITH OVERLAPPING PASSES OF THE VEHICLE UNDER THE OBSERVATION OF AN ON-SITE GEOTECHNICAL REPRESENTATIVE. THIS PROCEDURE IS INTENDED TO ASSIST IN IDENTIFYING ANY LOCALIZED YIELDING MATERIALS.
15. WHERE PROOFROLLING IDENTIFIES AREAS THAT ARE YIELDING OR PUMPING SUBGRADE THOSE AREAS SHOULD BE REPAIRED PRIOR TO THE PLACEMENT OF ANY SUBSEQUENT STRUCTURAL FILL OR OTHER CONSTRUCTION MATERIALS. METHODS OF STABILIZATION INCLUDE UNDERCUTTING, MOISTURE CONDITIONING, OR CHEMICAL STABILIZATION. THE SITUATION SHOULD BE DISCUSSED WITH THE OWNER'S GEOTECHNICAL REPRESENTATIVE TO EVALUATE THE APPROPRIATE PROCEDURE. TEST PITS MAY BE EXCAVATED TO EXPLORE THE SHALLOW SUBSURFACE MATERIALS TO HELP IN DETERMINING THE CAUSE OF THE OBSERVED UNSTABLE MATERIALS, AND TO ASSIST IN THE EVALUATION OF APPROPRIATE REMEDIAL ACTIONS TO STABILIZE THE SUBGRADE.
16. THE CONTRACTOR SHALL CONSTRUCT THE POND EMBANKMENT WITH LEAN CLAY SOIL (SC5-CL) IN 8" LIFTS @ 100% STANDARD PROCTOR DENSITY WITH  $\pm 2\%$  OPTIMUM MOISTURE CONTENT. P<sub>d</sub> 7. LL < 50. THE CONTRACTOR SHALL IMPORT SOIL WITH THE SPECIFIED CLASSIFICATION ABOVE IF NOT AVAILABLE ONSITE. THE FILL USED TO CONSTRUCT THE EMBANKMENT SHALL EXTEND 1' BELOW THE POND BOTTOM ELEVATION. THE OWNER'S GEOTECHNICAL ENGINEER SHALL OBSERVE AND MONITOR EMBANKMENT CONSTRUCTION.

**CAUTION NOTICE TO CONTRACTOR:**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE 811 UNDERGROUND UTILITY LOCATE SERVICE AT LEAST 48 HOURS BEFORE ANY SITE DISTURBANCE OR EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. KEEP UTILITY LOCATE REQUEST ACTIVE UNTIL EXCAVATION IS COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



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Suite 105  
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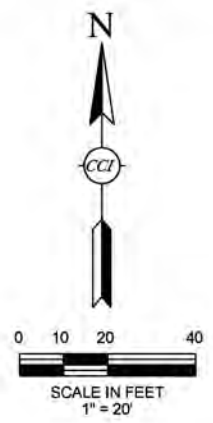
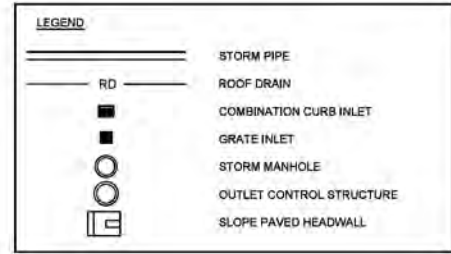
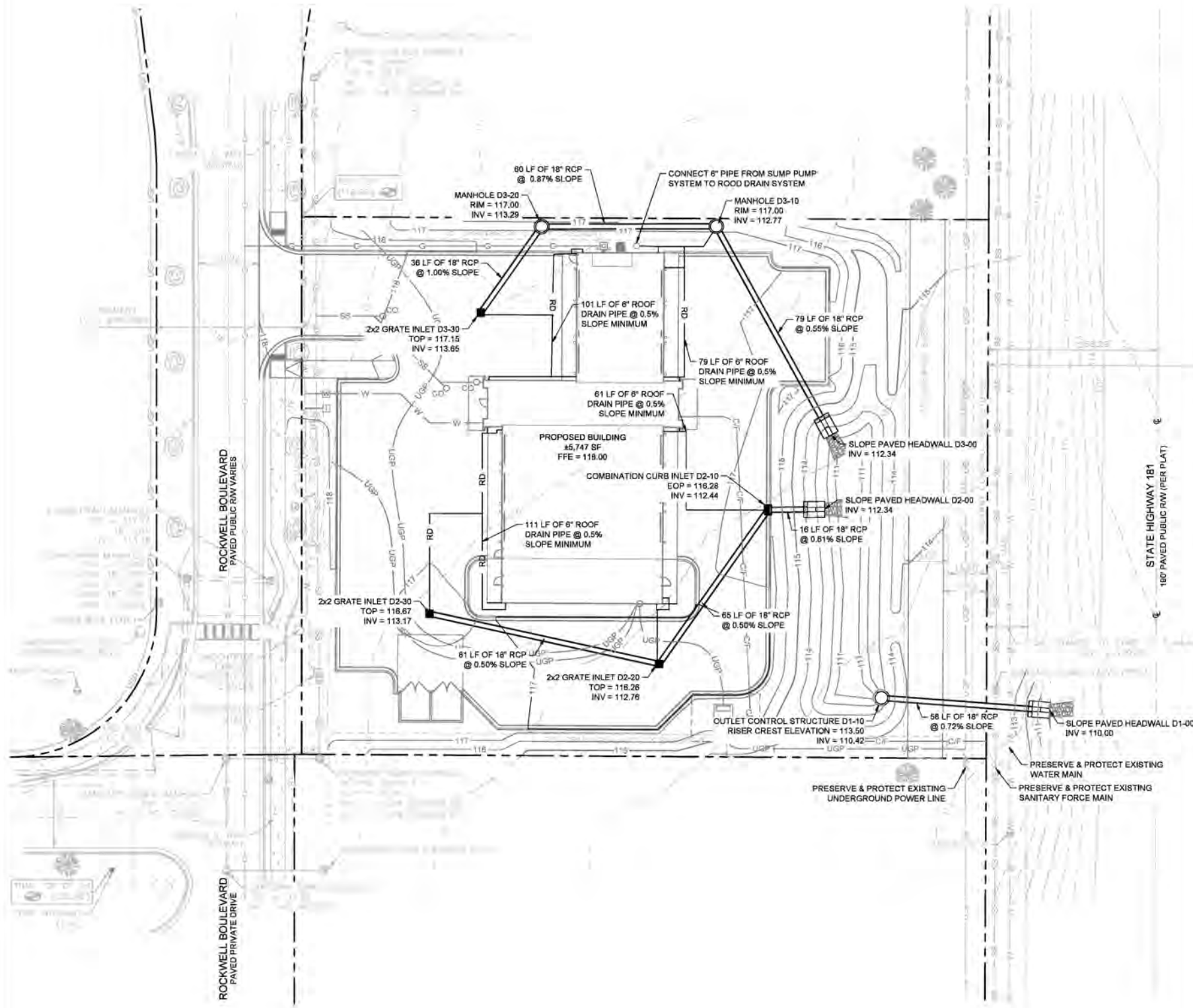


**GRADING PLAN**  
EXPRESS OIL CHANGE  
FAIRHOPE, ALABAMA  
FOR  
EXPRESS OIL CHANGE & TIRE ENGINEERS

DATE: 10/14/2024  
PROJECT NO: EXP00011  
DRAWN BY: SAR  
CHECKED BY: NJO  
SCALE: 1" = 20'

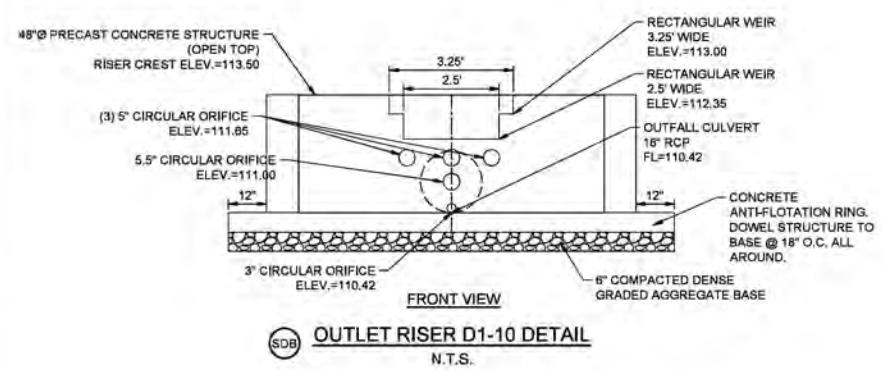
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DRAWING NO: C3.0



**STORM DRAINAGE NOTES**

1. REFERENCE GENERAL AND LAYOUT NOTES.
2. ALL STORM PIPE SHALL BE EITHER:  
A.) REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, B OR C WALL CLASS OF PIPE SHALL BE A MINIMUM OF CLASS III, CIRCULAR PIPE JOINTS SHALL BE TONGUE AND GROOVE OR BELL AND SPIGOT, WHICH MUST BE SEALED WITH WATER-TIGHT RUBBER GASKETS CONFORMING TO ASTM C443.  
B.) HIGH DENSITY POLYETHYLENE (HDPE) WITH WATERTIGHT JOINTS, AND MEET THE REQUIREMENTS OF AASHTO M294 TYPE S AND AASHTO M252 TYPE S (SMOOTH INTERIOR, CORRUGATED EXTERIOR). PIPE SHALL BE INSTALLED PER THE REQUIREMENTS OF ASTM D2321 AND AASHTO SECTION 30.
3. ALL PIPE ENTERING STORM SEWER STRUCTURES SHALL BE GROUTED TO ASSURE THE CONNECTION AT THE STRUCTURE IS WATER TIGHT.
4. ALL STORM SEWER MANHOLES AND RISERS SHALL BE PRECAST AND MEET THE SPECIFICATIONS OF ASTM C76.
5. ALL STORM SEWER MANHOLE LIDS OR GRATE INLETS IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE H-20 TRAFFIC BEARING LIDS.
6. ALL STORM SEWER MANHOLE LIDS SHALL BE LABELED "STORM SEWER".
7. ALL STORM DRAINAGE PIPE AND STRUCTURES SHALL BE CLEANED OF SILT, TRASH AND DEBRIS PRIOR TO DEMOBILIZATION FROM THE SITE. NO OBJECTS LARGER THAN 1/2 INCH OR SEDIMENT ACCUMULATION GREATER THAN 1/2 INCH SHALL BE IN ANY STORM PIPE OR STRUCTURE AT TURNOVER TO OWNER.
8. CONTRACTOR IS TO BEGIN STORM DRAINAGE CONSTRUCTION FROM THE MOST DOWN STREAM POINT OF THE SYSTEM.
9. THE TOP RING OF ALL MANHOLE SECTIONS FOR CURB INLETS, YARD INLETS OR GRATE INLETS SHALL HAVE # 57 STONE, FILTER FABRIC, AND WEEP HOLES.
10. GRATE INLET SHALL BE EJ V5022-80 OR EQUIVALENT UNLESS OTHERWISE NOTED.
11. COMBINATION CURB INLETS SHALL BE EJ 703021 | 7030T1 | 7030M2 ASSEMBLY OR APPROVED EQUAL.



**CAUTION NOTICE TO CONTRACTOR:**  
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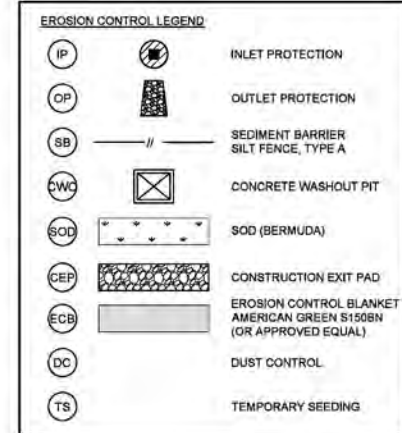
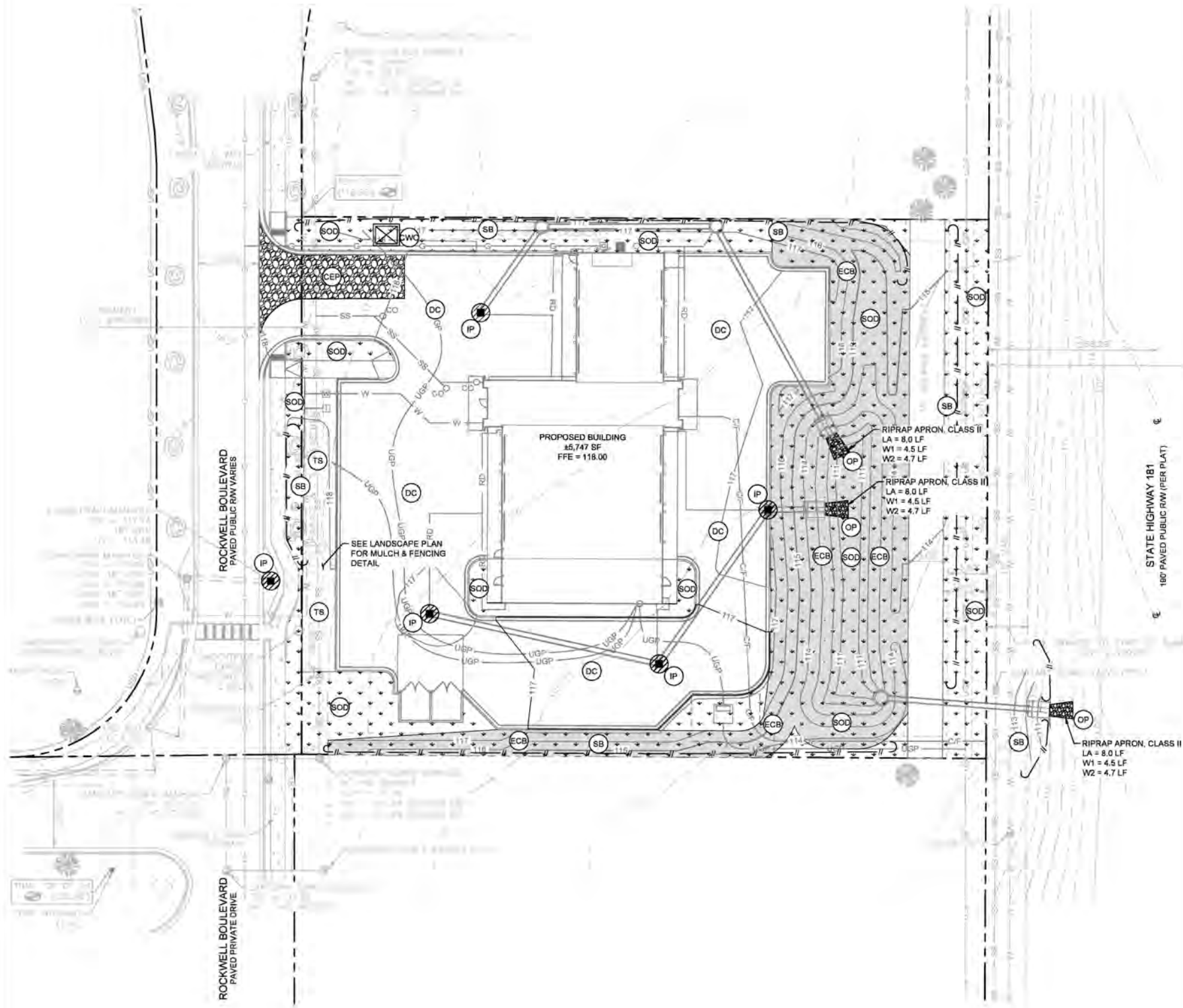
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**DRAINAGE PLAN**  
EXPRESS OIL CHANGE  
FAIRHOPE, ALABAMA  
FOR  
EXPRESS OIL CHANGE & TIRE ENGINEERS

| NO. | DESCRIPTION | REVISIONS |
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**C3.1**



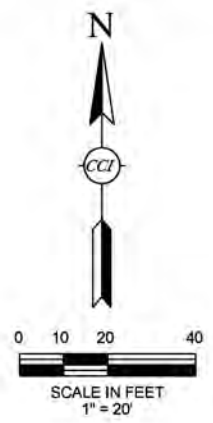
**SPECIAL NOTE**

TRUCKS AND EQUIPMENT SHOULD UTILIZE WASHPAD OR CONSTRUCTION EXIT PAD WHILE SOILS ARE EXPOSED. ANY SEDIMENT TRACKED INTO ADJACENT BUSINESS AREAS OR ONTO ROCKWELL BLVD ARE TO BE CLEANED PRIOR TO END OF DAY.

- INTERMEDIATE EROSION CONTROL SEQUENCE**
1. REMOVE SOFT, YIELDING OR UNSUITABLE MATERIAL.
  2. BEGIN GRADING FOR ROADWAYS AND PADS, MAINTAIN POSITIVE DRAINAGE AT ALL TIMES.
  3. PROVIDE INLET PROTECTION IMMEDIATELY FOLLOWING INLET INSTALLATION AND MAINTAIN WHILE SOIL SUBGRADE IS EXPOSED.

- FINAL EROSION CONTROL SEQUENCE**
1. PROVIDE SODDING OF NON PAVED DISTURBED AREAS.
  2. AFTER ALL AREAS ARE STABILIZED, REMOVE CONSTRUCTION ENTRANCES, SILT BARRIERS, AND OTHER TEMPORARY SEDIMENT CONTROL DEVICES.

**CAUTION NOTICE TO CONTRACTOR:**  
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**GENERAL EROSION & SEDIMENT CONTROL NOTES**

SEE SHEET C0.1 FOR GENERAL EROSION & SEDIMENT CONTROL NOTES.

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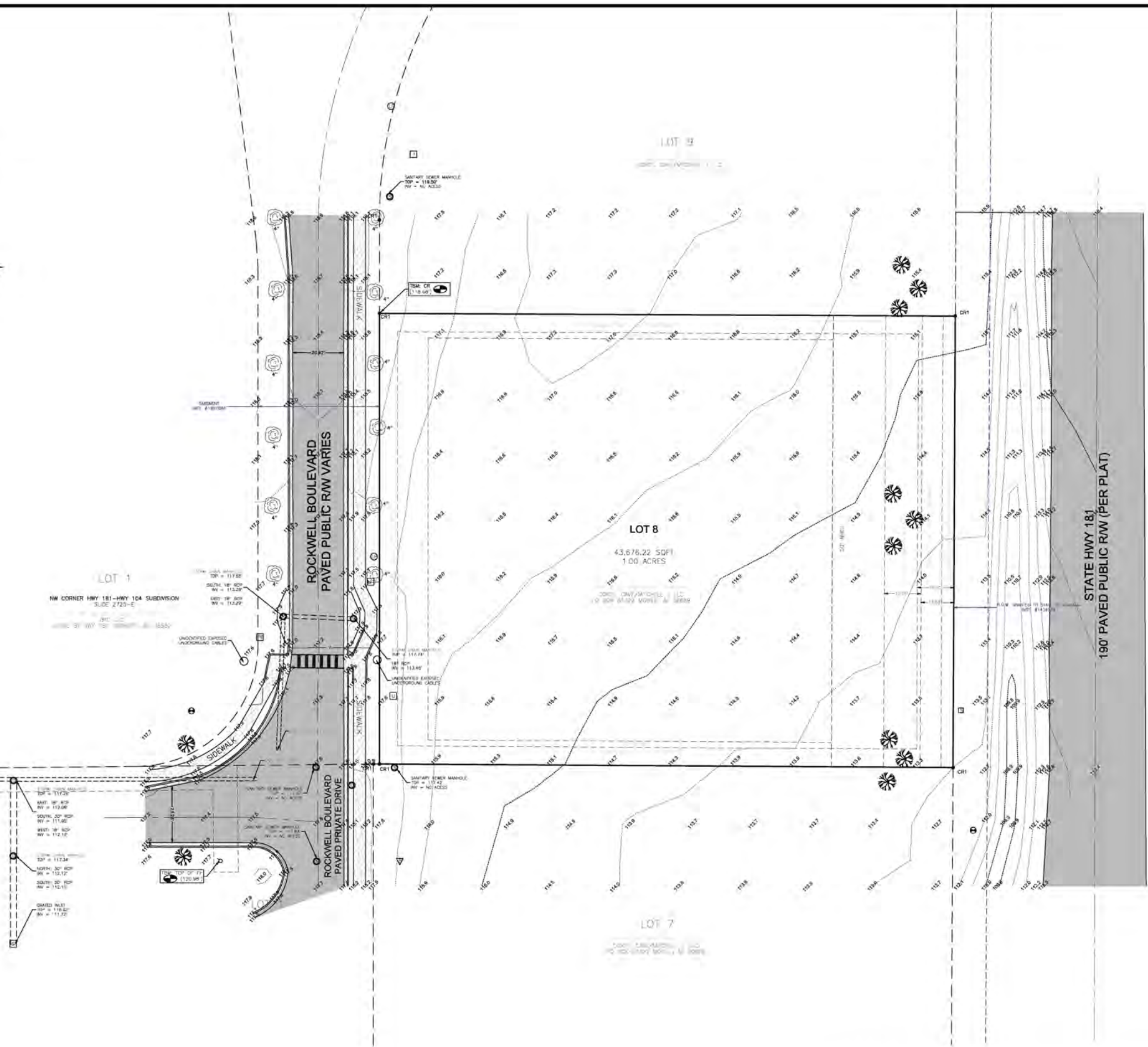
**INTERMEDIATE - FINAL EROSION & SEDIMENT CONTROL PLAN**

EXPRESS OIL CHANGE  
FAIRHOPE, ALABAMA  
FOR  
EXPRESS OIL CHANGE & TIRE ENGINEERS

DATE: 10/14/2024 PROJECT NO: EXP000111 DRAWN BY: SAR CHECKED BY: NJO SCALE: 1" = 20'

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DRAWING NO. C4.0



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|                                                                                                                |                                                 |                                                                |  |                            |
|----------------------------------------------------------------------------------------------------------------|-------------------------------------------------|----------------------------------------------------------------|--|----------------------------|
| <b>PREPARED FOR: CIVIL CONSULTANTS</b><br>LOT 8, PLANTERS POINT SHOPPING<br><b>ALTA/NSPS LAND TITLE SURVEY</b> |                                                 |                                                                |  | SHEET NO:<br><b>2 OF 2</b> |
| DRAWN BY: BLS<br>CHECKED BY: JBD                                                                               | SURVEY DATE: 7/25/2024<br>FIELD DATE: 7/21/2024 | SCALE: 1"=20' 24" x 36" (TRIM)<br>FILE NAME: 2407-0401 S-(411) |  |                            |

# EXPRESS OIL CHANGE & TIRE ENGINEERS

## SINGLE BUILDING / RIGHT HAND OIL CHANGE/ REAR ENTER / SIDE TIRE STORAGE

22179 STATE HIGHWAY 181  
FAIRHOPE, ALABAMA 36532

ATTENTION AUTHORITY HAVING JURISDICTION

Notice is hereby given that Aho Architects, LLC, the Architect of Record on the above referenced project, will be providing construction administration services on a limited basis, supplemented by a third-party independent engineering consulting service as described below.

This project has been designed by the Architect and Engineers ("Design Team") for its specific location, or adapted from prototypical designs, to comply with the following codes, ordinances, and similar requirements adopted by the Authority Having Jurisdiction ("AHJ"):

- See codes listed on Sheet LS100.

During the Construction Administration Phase of the Project:

- General: The Design Team will respond to inquiries or requests from the Owner or Contractor, specifically related to documents prepared by the Design Team. As is standard in Construction Law and Professional Service Agreements, the Design Team shall not have control over, charge of, or responsibility for the construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Project(s), nor shall the Architect be responsible for the Owner's or Contractor's failure to perform the work in accordance with the requirements of the Permit Set Documents. The Architect shall be responsible for the Architect's negligent acts or omissions, but shall not have control over or charge of, and shall not be responsible for, acts or omissions of the Owner, Contractor, or of any other persons or entities performing portions of the work.
- Experienced Contractor: The Owner will use experienced and licensed Contractors familiar with the construction of Projects of this type and in similar locations, and experienced with the applicable building codes, selection of materials and systems, and methods of installation and construction; and able to implement the Permit Set Documents through completion of the Project(s).
- Submittals: The Design Team's Basic Construction Administration Services include review of critical submittals (e.g. shop drawings) by engineering disciplines (Structural). The Design Team shall also review, approve or take other appropriate action on any submittal for which the AHJ requires approval by the Architect/Engineer, as Additional Services.
- Site Visits: The Architect and Design Engineers typically will not be making any site visits unless specifically required to do so.
  - The Owner has been advised and acknowledges that some States and AHJs require the Architect to perform at least some site visits or provide a notice such as this statement.
  - In consideration of this, the Owner will provide site visits, observation, testing, and related work by a third party independent engineering consulting service:
    - The Owner has an agreement with Terracon, a provider of geotechnical, environmental, construction materials and facilities engineering.
    - Experienced Professional Engineers or field technicians under the responsible control of a Professional Engineer will perform site observation, construction materials testing, and required Special Inspections (per IBC Chapter 17; see Schedule of Special Inspections on structural drawings provided) including review of construction for conformance with the permit drawings, supplemental drawings, shop drawings/submittals, and similar relevant documents. Written reports shall be provided, with the Design Team included on the distribution list and involved in resolving any deficiencies noted or other items requiring the Design Team's input.
  - If the above provisions are not acceptable to the AHJ and the AHJ gives notice requiring the Architect to make site visit(s), the Owner has agreed to authorize the Architect's Additional Services and Reimbursable Expenses to comply with the AHJ's requirements.

If you have any questions, or if there is anything else we can do for you, please do not hesitate to contact April Cain, the project manager or Tim Aho, Architect at the address/phone listed below, or by email at HYPERLINK "mailto:acain@ahoarch.com" acain@ahoarch.com or HYPERLINK "mailto:taho@ahoarch.com" taho@ahoarch.com. Thank you very much, and we appreciate the opportunity to be involved in this project in your jurisdiction.



\*Signage has been omitted  
for this Permit Issue Set

\*Image above is generic. See  
Civil for actual site conditions

ARCHITECT

AHO ARCHITECTS, LLC  
1855 DATA DRIVE, SUITE 150  
HOOVER, ALABAMA 35244  
205-983-6000

CIVIL ENGINEER

CCI PLANNING & ENGINEERING  
3528 VANN ROAD, SUITE 105  
BIRMINGHAM, ALABAMA 35235  
205-655-1991

STRUCTURAL ENGINEER

BARNETT-JONES-WILSON, LLC  
125 18TH STREET NORTH  
PELL CITY, ALABAMA 35125  
205-884-5334

MECHANICAL / PLUMBING ENGINEER

PINNACLE ENGINEERING, INC.  
2111 PARKWAY OFFICE CIRCLE, SUITE 125  
BIRMINGHAM, ALABAMA 35244  
205-733-6912

ELECTRICAL ENGINEER

GW ENGINEERING, LLC  
4120 OVERLOOK CIRCLE  
TRUSSVILLE, ALABAMA 35173  
205-413-4112

FINAL



Express Oil Change & Tire Engineers  
Single Building / Right Hand Oil Change / Rear Enter / Side Tire Storage  
Fairhope, Alabama

FINAL

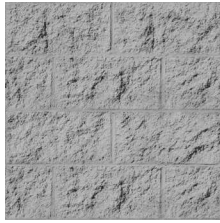
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Title Sheet

|                |             |
|----------------|-------------|
| Project number | 24051       |
| Date           | 10/07/2024  |
| Drawn by       | ARC         |
| Checked by     | N/A         |
| T100           |             |
| Scale          | 12" = 1'-0" |

EXTERIOR FINISH MATERIAL LEGEND



PAINTED SPLIT-FACE CMU

Color: SW7669 Summit Gray  
Manuf: Sherwin Williams



PAINTED SPLIT-FACE CMU

Color: SW6966 Blueblood  
Manuf: Sherwin Williams



PAINTED SPLIT-FACE CMU

Color: Safety Red  
Manuf: Sherwin Williams



PAINTED SMOOTH-FACE CMU

Color: Dover Gray  
Manuf: Sherwin Williams



PAINTED SMOOTH-FACE CMU

Color: SW7669 Summit Gray  
Manuf: Sherwin Williams



HM DOORS

Color: SW7669 Summit Gray  
Manuf: Sherwin Williams



STOREFRONT DOORS/WINDOWS

Color: Clear Anodized Aluminum  
Manuf: YKK



TINTED GLAZING

Color: Solarban 90 on Clear  
Manuf: Vitro Architectural Glass

| Keynote Schedule |                                                                                                                                                                                                                                                                                                                 |
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| Tag              | Text                                                                                                                                                                                                                                                                                                            |
| 1                | Wall pack. See Electrical.                                                                                                                                                                                                                                                                                      |
| 11               | Pre-finished metal canopy. See Details.                                                                                                                                                                                                                                                                         |
| 12               | Pre-finished metal conductor head with built-in overflow and downspout. Boot piped to storm drainage system unless otherwise indicated to discharge at grade. If discharging at grade, provide a pre-finished elbow and concrete splash block. See Civil for tie-in. See Specification 077100 Roof Specialties. |
| 14               | Painted smooth-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                     |
| 15               | HVAC condensing unit. See Mechanical.                                                                                                                                                                                                                                                                           |
| 16               | Painted smooth-face CMU. See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                                                                 |
| 17               | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                      |
| 18               | Painted smooth-face CMU. See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                                                                 |
| 19               | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                      |
| 20               | 4" diameter painted concrete-filled steel pipe bollard. Color as indicated on Finish Schedule. Paint embedded portion of bollard. Use primer and two finish coats. See Details. See Specification 055000 Metal Fabrications.                                                                                    |
| 21               | Cast-in-place concrete wall. See Structural. Membrane waterproofing at perimeter of foundation wall as specified. See Specification 334600 Subdrainage.                                                                                                                                                         |
| 23               | Wall sconce (By Others). See Electrical. Locate junction box for sconces 5'-0" a.f.f. vertically and 4" from center horizontally. Verify with sign company prior to rough-in.                                                                                                                                   |
| 24               | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                      |
| 25               | Control joint. For control joints in concrete floor slabs, coordinate location with equipment layout by others. Max. distance between control joints in slabs not to exceed 12'-0". Control joints in walls shall be 4'-0" max from wall intersection or corner and every 20'-0".                               |
| 27               | Pre-finished metal coping at exposed tops only over self-adhered membrane flashing and pressure treated wood blocking. Slope to drain. Color as indicated on Finish Schedule.                                                                                                                                   |
| 35               | Submersible foundation sump pump. Provide Zoeller M98 or comparable product. Coordinate location with Civil and tie into Civil's storm drainage system.                                                                                                                                                         |
| 47               | Provide address identification as directed by the Local Fire Marshal or AHJ.                                                                                                                                                                                                                                    |
| 53               | Conduit to be centered horizontally for lights in canopy. Verify with sign company prior to rough-in.                                                                                                                                                                                                           |
| 56               | Metal louver or vent. Color to match adjacent surface. See Mechanical.                                                                                                                                                                                                                                          |



01 Exterior Elevation False Front (East)  
3/16" = 1'-0"



Express Oil Change & Tire Engineers  
Single Building / Right Hand Oil Change / Rear Enter / Side Tire Storage  
Fairhope, Alabama

| FINAL |             |            |
|-------|-------------|------------|
| No.   | Description | Date       |
| 1     | ASI #1      | 11/13/2024 |
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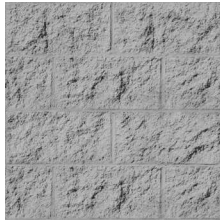
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Exterior Elevation -  
False Front (East)

|                |            |
|----------------|------------|
| Project number | 24051      |
| Date           | 10/07/2024 |
| Drawn by       | ARC        |
| Checked by     | N/A        |

A200  
Scale 3/16" = 1'-0"

EXTERIOR FINISH MATERIAL LEGEND



PAINTED SPLIT-FACE CMU

Color: SW7669 Summit Gray  
Manuf: Sherwin Williams



PAINTED SPLIT-FACE CMU

Color: SW6966 Blueblood  
Manuf: Sherwin Williams



PAINTED SPLIT-FACE CMU

Color: Safety Red  
Manuf: Sherwin Williams



PAINTED SMOOTH-FACE CMU

Color: Dover Gray  
Manuf: Sherwin Williams



PAINTED SMOOTH-FACE CMU

Color: SW7669 Summit Gray  
Manuf: Sherwin Williams



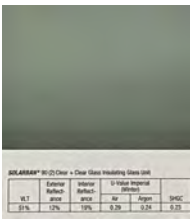
HM DOORS

Color: SW7669 Summit Gray  
Manuf: Sherwin Williams



STOREFRONT DOORS/WINDOWS

Color: Clear Anodized Aluminum  
Manuf: YKK



TINTED GLAZING

Color: Solarban 90 on Clear  
Manuf: Vitro Architectural Glass

| Keynote Schedule |                                                                                                                                                                                                                                                                                   |
|------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Tag              | Text                                                                                                                                                                                                                                                                              |
| 1                | Wall pack. See Electrical.                                                                                                                                                                                                                                                        |
| 11               | Pre-finished metal canopy. See Details.                                                                                                                                                                                                                                           |
| 14               | Painted smooth-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                       |
| 15               | HVAC condensing unit. See Mechanical.                                                                                                                                                                                                                                             |
| 16               | Painted smooth-face CMU. See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                                   |
| 17               | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                        |
| 18               | Painted smooth-face CMU. See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                                                                   |
| 19               | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                        |
| 20               | 4" diameter painted concrete-filled steel pipe bollard. Color as indicated on Finish Schedule. Paint embedded portion of bollard. Use primer and two finish coats. See Details. See Specification 055000 Metal Fabrications.                                                      |
| 21               | Cast-in-place concrete wall. See Structural. Membrane waterproofing at perimeter of foundation wall as specified. See Specification 334600 Subdrainage.                                                                                                                           |
| 23               | Wall sconce (By Others). See Electrical. Locate junction box for sconces 5'-0" a.f.f. vertically and 4" from center horizontally. Verify with sign company prior to rough-in.                                                                                                     |
| 24               | Painted split-face CMU (bond beam where indicated; see Structural). See Specification 042200 Concrete Unit Masonry. Color as indicated on Finish Schedule.                                                                                                                        |
| 25               | Control joint. For control joints in concrete floor slabs, coordinate location with equipment layout by others. Max. distance between control joints in slabs not to exceed 12'-0". Control joints in walls shall be 4'-0" max from wall intersection or corner and every 20'-0". |
| 26               | Fire Department Lock Box. Locate as directed by the Local Fire Marshal or AHJ. See Specification 104413 Fire Department Lock Box.                                                                                                                                                 |
| 27               | Pre-finished metal coping at exposed tops only over self-adhered membrane flashing and pressure treated wood blocking. Slope to drain. Color as indicated on Finish Schedule.                                                                                                     |
| 35               | Submersible foundation sump pump. Provide Zoeller M98 or comparable product. Coordinate location with Civil and tie into Civil's storm drainage system.                                                                                                                           |
| 47               | Provide address identification as directed by the Local Fire Marshal or AHJ.                                                                                                                                                                                                      |
| 53               | Conduit to be centered horizontally for lights in canopy. Verify with sign company prior to rough-in.                                                                                                                                                                             |
| 56               | Metal louver or vent. Color to match adjacent surface. See Mechanical.                                                                                                                                                                                                            |
| 59               | Gas meter. See Plumbing.                                                                                                                                                                                                                                                          |
| 144              | Electrical meter. See Electrical.                                                                                                                                                                                                                                                 |



① 02 Exterior Elevation Rear Entry (West)  
3/16" = 1'-0"



Express Oil Change & Tire Engineers  
Single Building / Right Hand Oil Change / Rear Enter / Side Tire Storage  
Fairhope, Alabama

FINAL

| No. | Description | Date       |
|-----|-------------|------------|
| 1   | ASI #1      | 11/13/2024 |
|     |             |            |
|     |             |            |
|     |             |            |
|     |             |            |
|     |             |            |
|     |             |            |

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Exterior Elevation -  
Rear Entry (West)

|                |            |
|----------------|------------|
| Project number | 24051      |
| Date           | 10/07/2024 |
| Drawn by       | ARC        |
| Checked by     | N/A        |

A201

Scale 3/16" = 1'-0"

11/13/2024 2:28:20 PM



\*Signage has been omitted  
for this Permit Issue Set

① 02 3D View False Front (East)

\*See Civil for actual site conditions, including dumpster enclosure location.



\*Signage has been omitted  
for this Permit Issue Set

② 03 3D View Rear Entry (West)

\*See Civil for actual site conditions, including dumpster enclosure location.

**Express Oil Change & Tire Engineers**  
Single Building / Right Hand Oil Change / Rear Enter / Side Tire Storage  
Fairhope, Alabama

FINAL

| No. | Description | Date       |
|-----|-------------|------------|
| 1   | ASI #1      | 11/13/2024 |
|     |             |            |
|     |             |            |
|     |             |            |
|     |             |            |
|     |             |            |

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**3D Views**

|                |            |
|----------------|------------|
| Project number | 24051      |
| Date           | 10/07/2024 |
| Drawn by       | ARC        |
| Checked by     | N/A        |

**R100**

Scale

# Post Construction Storm Water Management Plan & Storm Drainage Analysis

for

## A New Express Oil Change

in

Fairhope, AL

**Owner:** Express Oil Change & Tire Engineers  
1880 Southpark Drive  
Birmingham, AL 35244  
(o) 205-397-1142

**Civil Engineer:** Civil Consultants, Inc.  
3528 Vann Road, Suite 105  
Birmingham, AL 35235  
(o) 205-655-1991



## **Project Overview**

The proposed Express Oil Change development is a new 5,747-square-foot car maintenance facility, associated parking, and drive. The site is located at 22179 State Highway 181 with access off of Rockwell Blvd in Fairhope, Alabama. The site is bound to the West by Rockwell Blvd, to the East by Hwy 181, to the North by an undeveloped 1-acre outparcel, and to the South by an undeveloped 1-acre outparcel.

The existing site is 0.99 acres and drains northwest to southeast, where it collects in a roadside ditch of Hwy 181. An above ground detention pond was determined to be the best method for reducing the peak runoff from the site.

## **Post-Developed Runoff Attenuation and Pond Routing**

The Soil Conservation Service (SCS) unit hydrograph method was used to determine the pre- and post-development runoff rates and volumes for the detention design. The soil type for the site is identified as Carnegie very fine sandy loam as described by the web soil survey published in the NRCS Soil Survey. This soil type is rated as a Hydrologic Soil Group C. Rainfall data was obtained from the Precipitation Frequency Data Server (PFDS) provided by NOAA. Times of concentration ( $T_c$ ) for the pre- and post-developed conditions were determined using the lag method. Hydrology Studio v 3.0.0.28 Hydrographs software was used to model the detention ponds and determine peak discharge rates and accompanying stage /storage volume hydrographs. The NRCS Hydrograph design storm – SCS Type III. Using the aforementioned method and data the peak flow rates for the 2, 5, 10, 25, 50, and 100-yr 24-hour storm events were determined, as required by The City of Fairhope.

The post-developed runoff is directed to the stormwater management facility, an above ground dry detention pond, via inlets and pipes. The sum point used for comparison of pre- and post-development peak flows is in roadside ditch of Hwy 181. The dry detention pond was designed to contain 2, 5, 10, 25, 50, and 100-year 24-hour storm events, maintain one-foot of freeboard and have no flow go over the emergency spillway during these design storms.

Table 1 shows a summary of pre-development compared to post-development for the site's sum point for the 2, 5, 10, 25, 50, and 100-year 24-hour storm events.

Table 2 shows a summary of pre-development compared to post-development for the greater basin's sum point for the 2, 5, 10, 25, 50, and 100-year 24-hour storm events. This greater basin is an analysis utilizing the "ten percent" rule as required by the City of Fairhope. This rule is based on the premise that at a point downstream of a development site where the drainage area above the development is 10 percent or less than the total drainage area at a point downstream of the development; then impacts related to storm water runoff from the development are minimal from this point downstream.

**Table 1—Pre-developed vs. Post-developed Peak Runoff Rates for Site**

| <b>Storm Event</b> | <b>Pre-Developed Peak<br/>Flow Rate<br/>(cfs)</b> | <b>Post-Developed Peak<br/>Flow Rate<br/>(cfs)</b> | <b>Flow Difference<br/>(cfs)</b> |
|--------------------|---------------------------------------------------|----------------------------------------------------|----------------------------------|
| 2-year/24-hour     | 2.38                                              | 2.25                                               | -0.13                            |
| 5-year/24-hour     | 3.24                                              | 2.90                                               | -0.34                            |
| 10-year/24-hour    | 4.08                                              | 3.81                                               | -0.27                            |
| 25-year/24-hour    | 5.40                                              | 5.19                                               | -0.21                            |
| 50-year/24-hour    | 6.56                                              | 6.33                                               | -0.23                            |
| 100-year/24-hour   | 7.81                                              | 7.51                                               | -0.30                            |

**Table 2—Pre-developed vs. Post-developed Peak Runoff Rates for Greater Basin (10% Rule)**

| <b>Storm Event</b> | <b>Pre-Developed Peak<br/>Flow Rate<br/>(cfs)</b> | <b>Post-Developed Peak<br/>Flow Rate<br/>(cfs)</b> | <b>Flow Difference<br/>(cfs)</b> |
|--------------------|---------------------------------------------------|----------------------------------------------------|----------------------------------|
| 2-year/24-hour     | 13.25                                             | 13.12                                              | -0.13                            |
| 5-year/24-hour     | 18.05                                             | 18.07                                              | +0.02                            |
| 10-year/24-hour    | 22.77                                             | 22.61                                              | -0.16                            |
| 25-year/24-hour    | 30.20                                             | 29.60                                              | -0.60                            |
| 50-year/24-hour    | 36.70                                             | 35.67                                              | -1.03                            |
| 100-year/24-hour   | 43.80                                             | 42.29                                              | -1.51                            |

## **Conveyance System Analysis and Design**

The Rational Method was used to determine peak flows for sizing storm pipes. The HEC-22 method was applied at junctions to determine minor losses through structures. The FHWA HEC-22 methodology was used to calculate inlet capacities. NOAA Atlas 14 Precipitation and IDF curve data was used to determine rainfall intensities. The 25-year, 24-hour storm event was used to design the storm pipes and inlets. The pipe system and inlets were sized using Stormwater Studio 2023 Version 3.0.0.32 software by Hydrology Studio. All calculations are based on the Storm Plans as prepared by Civil Consultants, Inc.

November 14, 2024

Express Oil Change & Tire Engineers  
1880 Southpark Drive  
Birmingham, AL 35244

RE: SR24.06 Express Oil Change at Planter's Pointe

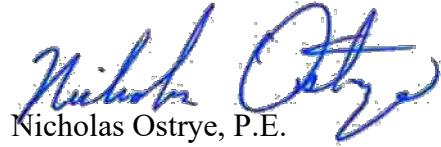
Dear Michelle Melton,

This submittal package is in response to the letter we received from you on November 7<sup>th</sup>, 2024. We have reviewed your letter and list of outstanding items along with feedback received at the external DRC meeting on Wednesday November 6<sup>th</sup>, 2024. We believed we have addressed all items of concern and are providing an updated plan set along with any documentation we received from outside agencies.

1. ***Signage shall conform to the Sign Ordinance.*** We have attached the revised building sheets showing the updated signage to conform to the Sign Ordinance.
2. ***Do not remove trees facing AL Hwy 181.*** We have designated the existing trees to be moved out of the sidewalk easement and placed generally where they were intended to be. This correction can be seen on Sheet LA5.00. We have also attached Frank Leatherwood's, the engineer of record for Planter's Pointe, provided landscape plan that we used as guidance ("Pages from 20240214\_Landscape Plan\_Record Drawing\_Revised")
3. ***Dry pond may need to be relocated.*** We had conversations with Frank Leatherwood and the City of Fairhope Engineer, Richard Johnson, about the current drainage patterns for the site. The original design dictated that we send our site drainage towards AL 181's roadside ditch which is further reinforced by Subdivision Note 4 on the Planters Pointe Plat, "all lots shall be responsible for providing necessary storm drainage improvements to control all post-developed stormwater runoff and shall be self-sufficient." Said plat is attached "Final Plat\_Planter's Pointe Subdivision\_07-02-2024."
4. ***Drainage is a major concern.*** See #3.
5. ***Land Disturbance permit prior to building permit (already submitted).***
6. ***Confirmation from ALDOT regarding drainage to ROW.*** Conversations were had with ALDOT and Frank Leatherwood regarding the discharge of stormwater to the ROW. ALDOT agreed that for the site to discharge anywhere else, we would need to encumber neighboring lots. We have attached our original ALDOT submittal that is currently being reviewed.
7. ***Please consider adding more permeable surface to the site.*** Due to ongoing maintenance required to maintain permeable pavement, the owner has decided not to install more permeable surface than is required by code.

8. *Please refer to the tree and Landscape Ordinance (#1444) previously sent, for landscaping and screening of vehicular areas, et al.* Revised landscape plans are attached and can be seen on Sheets LA5.00, LA6.00, LA6.01, LA6.02.

Regards,



Nicholas Ostrye, P.E.

Senior Project Engineer

Civil Consultants, Inc.

Contacts:

ALDOT Southwest Regional Permit Office

Adam Campbell & Michael Smith - (251) 470-8206

Thompson Engineering, Planter's Pointe Designer

Frank Leatherwood, Senior Engineer III – (251) 378-6117

fleatherwood@thompsonengineering.com

City of Fairhope

Richard Johnson, Public Works Director – (251) 928-8003

richard.johnson@fairhopeal.gov

## MEMORANDUM

**To:** Michelle Melton, The City of Fairhope

**From:** Nicholas Ostrye, P.E., Senior Project Engineer

**Date:** November 20, 2024

**Subject:** Trip Generation at Peak Hours

---

I am writing to provide an overview of the trip generation data presented in the attached document, which focuses on the vehicular trips during peak hours. This historical data was generated by Express Oil Change using trip generation data at various sites they own and operate. There is also data provided from the Institute of Transportation Engineers (ITE) to reinforce the historical data recorded by Express Oil Change.



## Historical data from Express Oil Change:

- EOC averages ~47 customers per day overall for their facilities
- Their highest peak hour % comes on Saturdays with 13.2% of all oil changes for Saturdays happening in the 11 AM hour.
- 13.2% of 47 total customers would be a max of ~7 customers during the peak hour
- For the 3 proposed oil change bays with 15-minute oil changes, you could accommodate 12 customers per hour
- 12 customer capacity > 7 customers in peak hour per historical EOC data

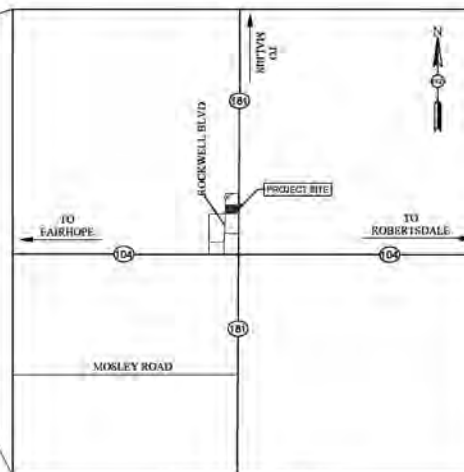
## Using the ITE Trip Generation Handbook - #941 Quick Lube Vehicle Shop for 3 bays of oil change service:

- ITE estimates 120 total trips per day (60 incoming, 60 outgoing)
- ITE estimates 16 PM Peak Hour trips (9 incoming, 7 outgoing)
- For the peak hour, ITE estimates 9 incoming customers.
- For the 3 proposed oil change bays with 15-minute oil changes, you could accommodate 12 customers per hour.
- 12 customer capacity > 9 customers in peak hour per ITE Trip Generation Handbook

| Description/ITE Code        | Units        | ITE Vehicle Trip Generation Rates                                            |      |      |         |       |        |       |        | Expected Units | Total Generated Trips |         |         | Total Distribution of Generated Trips |        |         |       |        |         |
|-----------------------------|--------------|------------------------------------------------------------------------------|------|------|---------|-------|--------|-------|--------|----------------|-----------------------|---------|---------|---------------------------------------|--------|---------|-------|--------|---------|
|                             |              | (peak hours are for peak hour of adjacent street traffic unless highlighted) |      |      |         |       |        |       |        |                |                       |         |         |                                       |        |         |       |        |         |
|                             |              | Weekday                                                                      | AM   | PM   | Pass-By | AM In | AM Out | PM In | PM Out |                | Daily                 | AM Hour | PM Hour | AM In                                 | AM Out | Pass-By | PM In | PM Out | Pass-By |
| Quick Lube Vehicle Shop 941 | Service Bays | 40.00                                                                        | 3.00 | 5.19 |         | 67%   | 33%    | 55%   | 45%    | 3.0            | 120                   | 9       | 16      | 6                                     | 3      | 0       | 9     | 7      | 0       |
| Automobile Care Center 942  | Service Bays | 12.48                                                                        | 1.52 | 2.17 |         | 68%   | 32%    | NA    | NA     | 5.0            | 62                    | 8       | 11      | 5                                     | 2      | 0       | NA    | NA     | 0       |

# SR-181 GRADING & DRAINAGE IMPROVEMENT PLAN

FOR EXPRESS OIL CHANGE  
MILE POST 9.37 TO MILE POST 9.38  
IN BALDWIN COUNTY



## VICINITY MAP

ADDRESS  
22179 STATE HIGHWAY 181  
FAIRHOPE, AL 36532  
PPIN: 626313  
PARCEL NO.: 05-46-02-03-0-000-004 244  
ZONING DISTRICT: BG-2 GENERAL BUSINESS DISTRICT

## LIST OF CONTACTS

**OWNER**  
**EXPRESS OIL CHANGE & TIRE ENGINEERS**  
Phone: (205) 397-1142  
Contact: Justin Duck  
1880 Southpark Dr  
Birmingham, Alabama 35244

**ARCHITECT**  
**AHO ARCHITECTS, LLC**  
Phone: (205) 983-6000  
Contact: April Cain  
1855 Data Dr, Suite 150  
Hoover, Alabama 35244

**FIRE PROTECTION**  
**CITY OF FAIRHOPE**  
Phone: (251) 990-0123  
Contact: Damon Beck  
555 South Section Street  
Fairhope, Alabama 36532

**POWER DISTRIBUTION**  
**RIVIERA UTILITIES**  
Phone: (251) 943-5001  
Contact: Wes Ahrams  
413 East Laurel Avenue  
Foley, Alabama 36535

**CIVIL ENGINEERING**  
**CIVIL CONSULTANTS, INC.**  
Phone: (205) 655-1991  
Contact: Nicholas Ostro, P.E.  
3528 Vann Road, Suite 105  
Birmingham, Alabama 35235

**LANDSCAPE ARCHITECT**  
**PLOT STUDIO**  
Phone: (205) 478-5388  
Contact: Matt Phillips, P.L.A.  
204 Main Street, Suite 125  
Trussville, Alabama 35173

**SANITARY SEWER PROVIDER**  
**CORTE, CAVE MITCHELL I, LLC**  
Phone: (251) 666-2443  
Contact: Frank Leatherwood III, PE  
4830 Main Street, Suite G-212  
Orange Beach, Alabama 36561

**BUILDING INSPECTOR**  
**CITY OF FAIRHOPE**  
Phone: (251) 990-0116  
Contact: Eddie Tucker  
161 North Section Street  
Fairhope, Alabama 36533

**COMMUNICATIONS**  
**HIGHSTREAM FIBER, INC.**  
Phone: (251) 752-7138  
Contact: Russ Reynolds

**SURVEYOR**  
**POLY SURVEYING**  
Phone: (251) 666-2010  
Contact: J. Brett Orrell, P.L.S.  
5588 Jackson Road  
Mobile, Alabama 36619

**GEOTECHNICAL ENGINEER**  
**TERRACON**  
Phone: (251) 443-5374  
Contact: Benjamin G. Weinberg, P.E.  
6215 Rangeline Road, Suite 115  
Theodore, Alabama 36582

**NATURAL GAS**  
**FAIRHOPE PUBLIC UTILITIES**  
Phone: (251) 928-2136  
Contact: Sid Grose  
161 North Section Street  
Fairhope, Alabama 36533

**WATER PROVIDER**  
**FAIRHOPE PUBLIC UTILITIES**  
Phone: (251) 928-2136  
Contact: Jason Brown  
161 North Section Street  
Fairhope, Alabama 36533



3528 Vann Road  
Suite 105  
Birmingham, AL 35235  
Phone: (205) 655-1991  
www.ccipe.com

ISSUED  
FOR PERMIT  
10/14/2024  
C0.0

## INDEX OF SHEETS

### SHEET NO. SHEET NAME

|      |                                               |
|------|-----------------------------------------------|
| R0.0 | COVER SHEET                                   |
| R1.0 | INDEX TO SHEETS AND NOTES                     |
| R1.0 | HIGHWAY 181 GRADING & DRAINAGE PLAN & PROFILE |
| R2.0 | HIGHWAY 181 EROSION & SEDIMENT CONTROL PLAN   |
| R3.0 | PROJECT DETAILS                               |

## APPLICABLE STANDARD AND SPECIAL DRAWINGS

THE FOLLOWING ARE SPECIAL OR STANDARD DRAWINGS CONTAINED IN THE ALABAMA DEPARTMENT OF TRANSPORTATION SPECIAL AND STANDARD HIGHWAY DRAWINGS BOOK (U.S. CUSTOMARY UNITS OF MEASUREMENT) DATED 2024 WHICH APPLY TO THIS PROJECT

| INDEX NO | DRAWING NO | DESCRIPTION                                                |
|----------|------------|------------------------------------------------------------|
| 81913    | HW414-SF   | CONCRETE SLOPE PAVED HEADWALL AND GRATE FOR SIDEDRAIN PIPE |

### ALDOT NOTES

1. ALL STRIPING WITHIN ALDOT ROW SHALL BE CLASS II THERMOPLASTIC AND COMPLY WITH THE LATEST EDITION OF ALDOT SPECIFICATIONS. STRIPING REMOVAL TO BE SUBSIDIARY OBLIGATION TO NEW STRIPING.
2. DRAINAGE FROM OFF PUBLIC ROW IMPROVEMENTS WILL NOT BE DIRECTED ONTO STATE ROW.
3. ALL WORK SHOWN OFF R.O.W. NOT PART OF THIS APPROVAL.
4. CONTRACTOR TO COORDINATE ALL NEW CONSTRUCTION W/ ALDOT, AND CITY OF FAIRHOPE.
5. NO ADVERSE EFFECTS ON DRAINAGE IN EITHER THE UPSTREAM OR DOWNSTREAM DIRECTIONS WILL BE CREATED BY THIS DEVELOPMENT.
6. NEW ROAD ACCESS NOT TO BE OPENED UNTIL INTERSECTION IMPROVEMENTS ARE COMPLETED OR UNTIL ALDOT APPROVES.
7. UTILITY WORK NOT A PART OF THIS ALDOT PERMIT APPROVAL.

### ALDOT STANDARD PERMIT NOTES

1. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH PART 6 OF THE 2009 EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. WORK SHALL ONLY TAKE PLACE BETWEEN 8:00AM AND 3:30PM MONDAY THROUGH FRIDAY UNLESS OTHERWISE NOTED.
3. ALL WORK ON ALDOT ROW SHALL MEET OR EXCEED THE LATEST ALDOT STANDARDS AND SPECIFICATIONS.
4. RIGHT OF WAY MARKERS OR MONUMENTS SHALL NOT BE DISTURBED.
5. ALL CONTRACTORS MUST MEET OR EXCEED OSHA STANDARDS.
6. DURING NON-WORKING HOURS NO EQUIPMENT OR MATERIALS SHALL BE PARKED OR STORED CLOSER THAN 30 FEET TO THE EDGE OF ANY ROADWAY CARRYING TRAFFIC.
7. DAMAGE TO ANY EXISTING SIDEWALKS OR RAMPS AND NEW SIDEWALKS OR RAMPS MUST MEET ADA STANDARDS.
8. A COPY OF THE APPROVED PERMIT, PLANS, TCP, AND EROSION CONTROL MUST BE ON SITE ANY TIME WORK IS BEING PERFORMED.
9. CONTACT ALDOT DISTRICT OFFICE 48 HRS BEFORE STARTING WORK.
10. THE CONTRACTOR MUST NOTIFY ALDOT DAILY 30 MINUTES BEFORE WORK IS SCHEDULED FOR ANY LANE CLOSURES AND ROLLING ROAD BLOCKS. THE CONTRACTOR MUST NOTIFY ALDOT DAILY UPON COMPLETION OF SCHEDULED CLOSURES.

### ALDOT CONDITION SPECIFIC NOTES

1. LANE CLOSURES AND ALL UTILITY WORK WITHIN 2FT OF TRAVEL LANES
1. LANE CLOSURES WILL ONLY BE IMPLEMENTED DURING THE HOURS OF 8:30 AM TO 3:30 PM, MONDAY - FRIDAY.
2. GROUND DISTURBANCES (INCLUDING NEW POLE INSTALLATION)
2. ALL DISTURBED AREAS SHALL BE RESEDED OR SEEDED IN ACCORDANCE WITH THE LATEST ALDOT SPECIFICATIONS FOR GRASSING OR AS DIRECTED BY THE ALDOT DISTRICT ADMINISTRATOR.
3. BEST MANAGEMENT PRACTICES SHALL BE UTILIZED ON THE PROJECT.
3. THE AMOUNT OF AREA TO BE DISTURBED DURING CONSTRUCTION OF THIS PERMIT IS 0.21 ACRES.
4. UNDERGROUND OR OPEN CUT EXCAVATION
4. ALL EXISTING UTILITIES, APPURTENANCES, DRAINAGE STRUCTURES, AND ACCESSORIES WITH DIMENSIONS FROM EDGE OF PAVEMENT AND RIGHT OF WAY ARE SHOWN ON THE PLANS.
5. NO TRENCH OR EXCAVATION SHALL BE LEFT OPEN OVERNIGHT OR UNATTENDED ON ROW UNLESS PROPERLY PROTECTED. TRENCHES OR EXCAVATIONS MUST BE FILLED, FENCED, COVERED, OR BARRICADED WHEN UNATTENDED.
6. ALL PROPOSED UTILITIES SHALL MAINTAINED MINIMUM 24" VERTICAL AND HORIZONTAL CLEARANCE FROM ALL EXISTING UTILITIES.

### GENERAL NOTES

1. ALL WORK SHOWN SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS FOR THIS PROJECT AND SHALL CONFORM TO ALL CODES, ORDINANCES, RESTRICTIONS, AND STANDARDS OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THE SITE. CONTRACTOR WILL ONLY PERFORM CONSTRUCTION ACTIVITIES BASED ON PLANS PROPERLY ISSUED FOR CONSTRUCTION PURPOSES.
2. CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS AND APPROVALS FROM AGENCIES GOVERNING THIS WORK ARE SECURED PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND BENCHMARKS. ALL PROPERTY PINS OR BENCHMARKS ELIMINATED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR'S LICENSED SURVEYOR AT HIS OWN EXPENSE TO OWNER.
4. EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE OWNER OR THE ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY CONTACTS 48 HOURS PRIOR TO EXCAVATION IN AREAS WHERE UTILITIES MAY EXIST.
5. CONTRACTOR SHALL FIELD VERIFY (REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS) ACTUAL (FIELD) LOCATION OF ALL UTILITY EXCHANGERS TO INCLUDE SANITARY SEWER, LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF TIE-IN CONNECTIONS TO THEIR FACILITIES.
6. CONTRACTOR SHALL COORDINATE THE INSTALLATION, ADJUSTMENT OR RELOCATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (GAS, WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL, COAXIAL, IRIGATION SLEEVES, AND ANY OTHER MISCELLANEOUS) SHALL BE IN PLACE PRIOR TO PLACEMENT OF BASE COURSE MATERIAL.
7. ALTAIR/BLAND TITLE SURVEY WAS PREPARED BY POLY SURVEYING (251) 669-2010. CIVIL CONSULTANTS, INC. WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY.
8. REFER TO LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS FOR DIMENSIONS AND LOCATIONS OF IRRIGATION LINES & METERS, ETC.
9. THE LIMITS OF DISTURBANCE SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE. ANY DAMAGE CAUSED BY CONSTRUCTION SHALL BE REPAIRED TO ITS ORIGINAL CONDITION BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
10. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES. EROSION CONTROL DEVICES SHALL BE INSPECTED DAILY AND BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY PROTECTIVE DEVICES AND FOR THE IMPLEMENTATION OF ALL SAFETY MEASURES INCLUDING, BUT NOT LIMITED TO THE PROTECTION OF LIFE, PROPERTY, AND SITE IMPROVEMENTS, THE PROTECTION OF EXISTING UTILITY LINES AND STRUCTURES, AND THE PROVISION AND COORDINATION OF ALL TEMPORARY TRAFFIC CONTROL, EFFORTS AND MEASURES.
12. JOB SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.

### STORM DRAINAGE NOTES

1. REFERENCE GENERAL AND LAYOUT NOTES
2. ALL STORM PIPE SHALL BE EITHER:
  - a. 1. REINFORCED CONCRETE PIPE CONFORMING TO ASTM C77, 18 OR C- WALL, CLASS OF PIPE SHALL BE A MINIMUM OF CLASS III, CIRCULAR PIPE. JOINTS SHALL BE TONGUE AND GROOVE OR BELL AND SPIGOT, WHICH MUST BE SEALED WITH WATER-TIGHT RUBBER GASKETS CONFORMING TO ASTM C443.
  - b. 2. HIGH DENSITY POLYETHYLENE (HDPE) WITH WATER TIGHT JOINTS, AND MEET THE REQUIREMENTS OF AASHTO M241 TYPE B AND AASHTO M252 TYPE B (SMOOTH INTERIOR, CORRUGATED EXTERIOR). PIPE SHALL BE INSTALLED PER THE REQUIREMENTS OF ASTM D3321 AND AASHTO SECTION 3E.
3. ALL PIPE ENTERING STORM SEWER STRUCTURES SHALL BE ROUTED TO ASSURE THE CONNECTION AT THE STRUCTURE IS WATER TIGHT.
4. ALL STORM SEWER MANHOLES AND RISERS SHALL BE PRECAST AND MEET THE SPECIFICATIONS OF ASTM C75.
5. ALL STORM SEWER MANHOLE LIDS OR GRATE INLETS IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE H-20 TRAFFIC BEARING LBS.
6. ALL STORM SEWER MANHOLE LIDS SHALL BE LABELED "STORM SEWER".
7. ALL STORM DRAINAGE PIPE AND STRUCTURE SHALL BE CLEANED OF ALL TRASH AND DEBRIS PRIOR TO DEMONSTRATION FROM THE SITE. NO OBJECTS LARGER THAN 1/2 INCH OR SEDIMENT ACCUMULATION GREATER THAN 1/2 INCH SHALL BE IN ANY STORM PIPE OR STRUCTURE AT TURNOVER TO OWNER.
8. CONTRACTOR IS TO BEGIN STORM DRAINAGE CONSTRUCTION FROM THE MOST DOWN STREAM POINT OF THE SYSTEM.
9. THE TOP RING OF ALL MANHOLE SECTIONS FOR CURB INLETS, YARD INLETS OR GRATE INLETS SHALL HAVE # 57 STONE, 1/2 INCH FABRIC AND WEEP HOLES.
10. GRATE INLET SHALL BE 1519822-AD OR EQUIVALENT UNLESS OTHERWISE NOTED.
11. COMBINATION CURB INLETS SHALL BE 15170321 (703071) 703071 ASSEMBLY OR APPROVED EQUAL.

### GRADING AND EARTHWORK NOTES

1. REFERENCE GENERAL NOTES
2. EARTHWORK SHALL BE PERFORMED ON AN UNCLASSIFIED BANK.
3. ALL PROPOSED SPOT ELEVATIONS SHOWN ADJACENT TO CURB ARE TO EDGE OF PAVEMENT ELEVATION UNLESS OTHERWISE NOTED.
4. GRADES SHOWN ARE FINISH GRADES. FOR SUBGRADE ELEVATIONS IN PAVED AREAS, REFER TO SECTIONS AND DETAILS.
5. THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS, SHOULD NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES AND UTILITIES PRIOR TO CONSTRUCTION. ANY DEVIATIONS FROM PLAN INFORMATION SHOULD BE DISCUSSED WITH ENGINEER AND OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY CONTACTS 48 HOURS PRIOR TO EXCAVATION IN AREAS WHERE UTILITIES MAY EXIST.
6. THE SITE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL, COAXIAL, IRRIGATION SLEEVES, AND ANY OTHER MISCELLANEOUS) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL.
7. THE SUBGRADE PREPARATION SHOULD CONSIST OF STRIPPING APPROXIMATELY 5 INCHES OF TOPSOIL, VEGETATION, FOOTING, AND SOFT OR YIELDING MATERIALS FROM THE 10-FOOT EXPANDED BUILDING AND 5-FOOT EXPANDED PAVEMENT UNITS AND 5 FEET BEYOND THE TOE OF STRUCTURAL FILLS, DEEPER TOPSOIL OR ORGANIC LAYER SOILS MAY BE PRESENT IN HILL, LOW-LYING, AND POORLY DRAINED AREAS. IN WOODED AREAS, THE ROOT BALLS MAY EXTEND AS DEEP AS ABOUT 2 FEET AND WILL REQUIRE ADDITIONAL LOCALIZED STRIPPING DEPTH TO COMPLETELY REMOVE THE ORGANICS.
8. FILL SLOPES SHALL BE OVERLAPPED AND THEN CUT BACK TO REQUIRED GEOMETRY.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE FINISHED GRADING INCLUDING PLACEMENT OF SOILS AS NECESSARY TO ACHIEVE THE FINISHED GRADES INDICATED ON THE DRAINAGE PLANS. ALL SURFACES SHALL BE RACQUITH WITH PROPER TRANSITIONS BETWEEN GRADIENTS. ALL FINISHED TOPSOIL ELEVATIONS SHALL BE A MINIMUM OF 1" BELOW THE FINISHED ELEVATION OF ADJACENT VALDES AND BACK OF CURB UNLESS OTHERWISE NOTED.
10. THE CONTRACTOR SHALL CAREFULLY ESTABLISH PROPER FINISHED GRADE ELEVATIONS IN THE FIELD AND TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND EXISTING MECHANICAL AND ELECTRICAL FIXTURES AND EQUIPMENT AND ANY OTHER MOISTURE SENSITIVE AREAS.
11. THE EXPANDED LIMITS OF THE PROPOSED CONSTRUCTION AREAS SHOULD BE WELL DEFINED, INCLUDING THE LIMITS OF THE FILL ZONES FOR BUILDINGS, PAVEMENTS, AND SLOPES, ETC., AT THE TIME OF FILL PLACEMENT. GRADE CONTROLS SHOULD BE MAINTAINED THROUGHOUT THE FILLING OPERATIONS.
12. AT THE END OF EACH WORK DAY, ALL FILL AREAS SHOULD BE GRADED TO FACILITATE DRAINAGE OF ANY PRECIPITATION AND THE SURFACE SHOULD BE SEALED BY USE OF A SMOOTH-DRUM ROLLER TO LIMIT INFILTRATION OF SURFACE WATER. DURING PLACEMENT AND COMPACTION OF NEW FILL AT THE BEGINNING OF EACH WORK DAY, THE CONTRACTOR MAY NEED TO SCOUR EXISTING SUBGRADE TO A DEPTH ON THE ORDER OF 4 INCHES SO THAT A WEAK PLANE WILL NOT BE FORMED BETWEEN THE NEW FILL AND THE EXISTING SUBGRADE SOILS.
13. POSITIVE SITE DRAINAGE SHOULD BE MAINTAINED DURING EARTHWORK OPERATIONS IN AN EFFORT TO MAINTAIN THE INTEGRITY OF THE SITE SURFACE SOIL. WHEN WET, THE SITE SOILS MAY DEGRADE QUICKLY WITH DISTURBANCE FROM CONTRACTOR OPERATIONS AND WILL BE EXTREMELY DIFFICULT TO STABILIZE FOR FILL PLACEMENT. CONSEQUENTLY, THE CONTRACTOR SHOULD BE PREPARED TO IMPLEMENT AGGRESSIVE MECHANICAL OR CHEMICAL DRYING, DEPENDING UPON THE ACTUAL SITE CONDITIONS. IF POSSIBLE MASS GRADING FOR THE PROJECT SHOULD BE PERFORMED DURING THE DRIER SUMMER MONTHS TO HELP FACILITATE A FAVORABLE MOISTURE CONDITIONS FOR THE SITE SOILS. IF WATER MUST BE ADDED TO RAISE THE MOISTURE CONTENT OF THE SOIL, IT SHOULD BE UNIFORMITY APPLIED AND THOROUGHLY MIXED INTO THE SOIL.
14. PRIOR TO FILL PLACEMENT OR OTHER CONSTRUCTION ON SUBGRADE, THE SUBGRADE SHOULD BE EVALUATED BY AN ON-SITE GEOTECHNICAL REPRESENTATIVE. THE EXPOSED SUBGRADE SHOULD BE THOROUGHLY PROPPROLLED WITH A FULLY LOADED TANDERABLE CLUMP TRUCK OR SIMILAR CONSTRUCTION EQUIPMENT WEIGHING A MINIMUM OF 40 TONS. PROPPROLLING SHOULD BE TRAVELED IN TWO PERPENDICULAR DIRECTIONS WITH OVERLAPPING PASSES OF THE VEHICLE UNDER THE OBSERVATION OF AN ON-SITE GEOTECHNICAL REPRESENTATIVE. THIS PROCEDURE IS INTENDED TO ASSIST IN IDENTIFYING ANY LOCALIZED YIELDING MATERIALS.
15. WHERE PROPPROLLING IDENTIFIES AREAS THAT ARE YIELDING OR PLUMPING SUBGRADE THOSE AREAS SHOULD BE REPAIRED PRIOR TO THE PLACEMENT OF ANY SUBSEQUENT STRUCTURAL FILL OR OTHER CONSTRUCTION MATERIALS. METHODS OF STABILIZATION INCLUDE UNDERCUTTING, MOISTURE CONDITIONING, OR CHEMICAL STABILIZATION. THE SITUATION SHOULD BE DISCUSSED WITH THE OWNER'S GEOTECHNICAL REPRESENTATIVE TO EVALUATE THE APPROPRIATE PROCEDURE. TEST PIT'S MAY BE EXCAVATED TO EXPLORE THE SHALLOW SUBSURFACE MATERIALS TO HELP IN DETERMINING THE CAUSE OF THE OBSERVED UNSTABLE MATERIALS AND TO ASSIST IN THE EVALUATION OF APPROPRIATE REMEDIAL ACTIONS TO STABILIZE THE SUBGRADE.
16. THE CONTRACTOR SHALL CONSTRUCT THE POND EMBANKMENT WITH LEAN CLAY SOIL (SCSD-CL) IN 8" LIFTS @ 100% STANDARD PROCTOR DENSITY WITH 22% OPTIMUM MOISTURE CONTENT. (PI-1, LL-60). THE CONTRACTOR SHALL IMPORT SOIL WITH THE SPECIFIED CLASSIFICATION ABOVE IF NOT AVAILABLE ON-SITE. THE FILL USED TO CONSTRUCT THE EMBANKMENT SHALL EXTEND 1' BELOW THE POND BOTTOM ELEVATION. THE OWNER'S GEOTECHNICAL ENGINEER SHALL OBSERVE AND MONITOR EMBANKMENT CONSTRUCTION.

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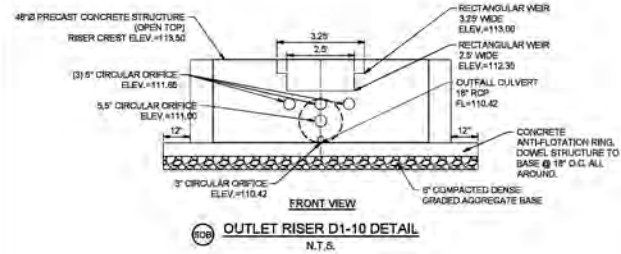
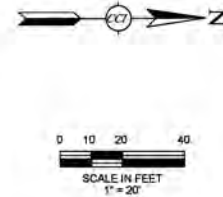
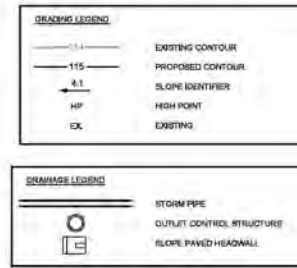
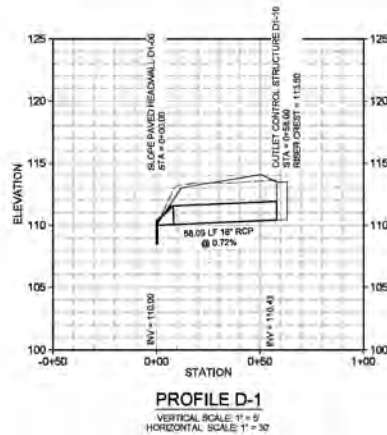
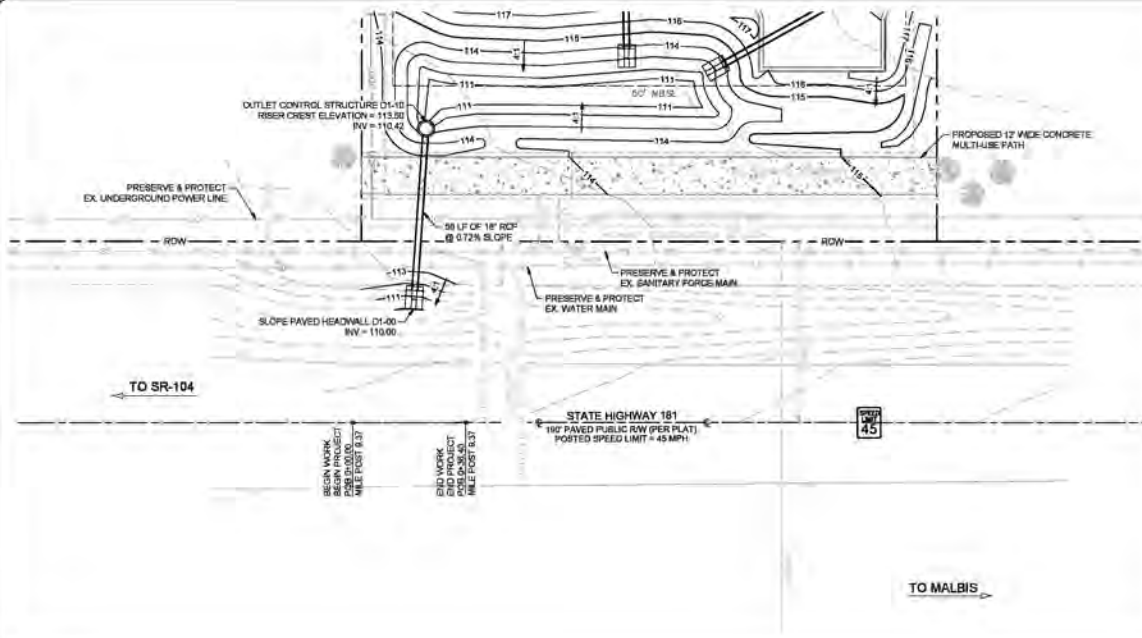
INDEX TO SHEETS AND NOTES

EXPRESS OIL CHANGE  
FOR  
FAIRHOPE, ALABAMA  
EXPRESS OIL CHANGE & TIRE ENGINEERS

REVISIONS

NO. FOR REVISION

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**CAUTION NOTE TO CONTRACTOR:**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE 811 UNDERGROUND UTILITY LOCATE SERVICE AT LEAST 48 HOURS BEFORE ANY SITE DISTURBANCE OR EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. KEEP UTILITY LOCATE REQUEST ACTIVE UNTIL EXCAVATION IS COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



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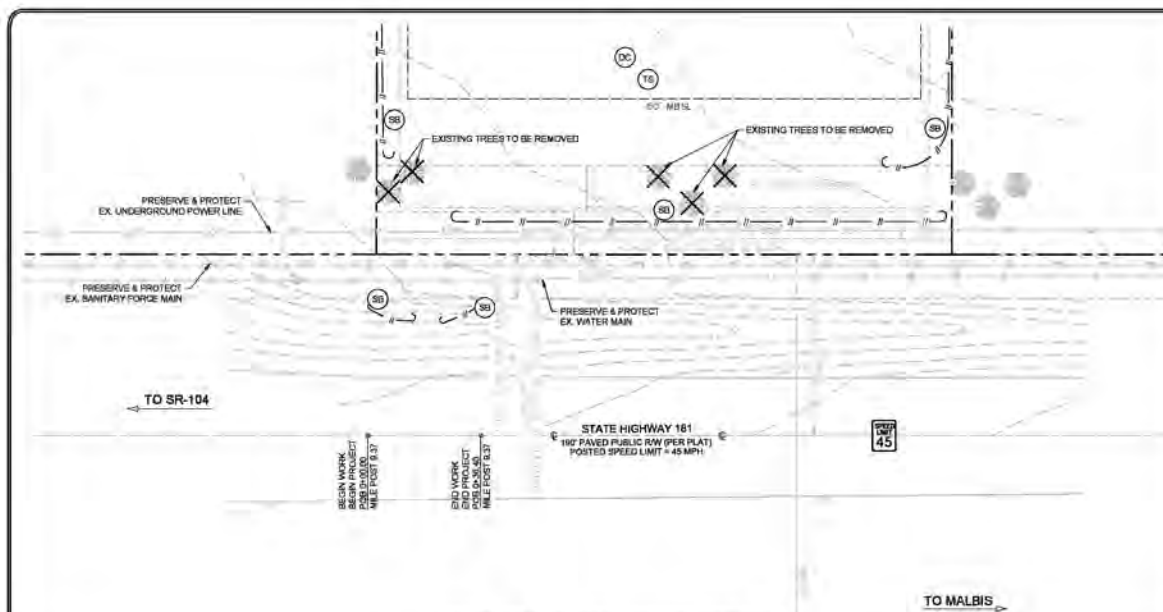
ALABAMA  
 PROFESSIONAL ENGINEER  
 1014124  
 J. O'NEAL

HIGHWAY 181 GRADING & DRAINAGE PLAN & PROFILE  
 EXPRESS OIL CHANGE  
 FAIRHOPE, ALABAMA  
 FOR  
 EXPRESS OIL CHANGE & TIRE ENGINEERS

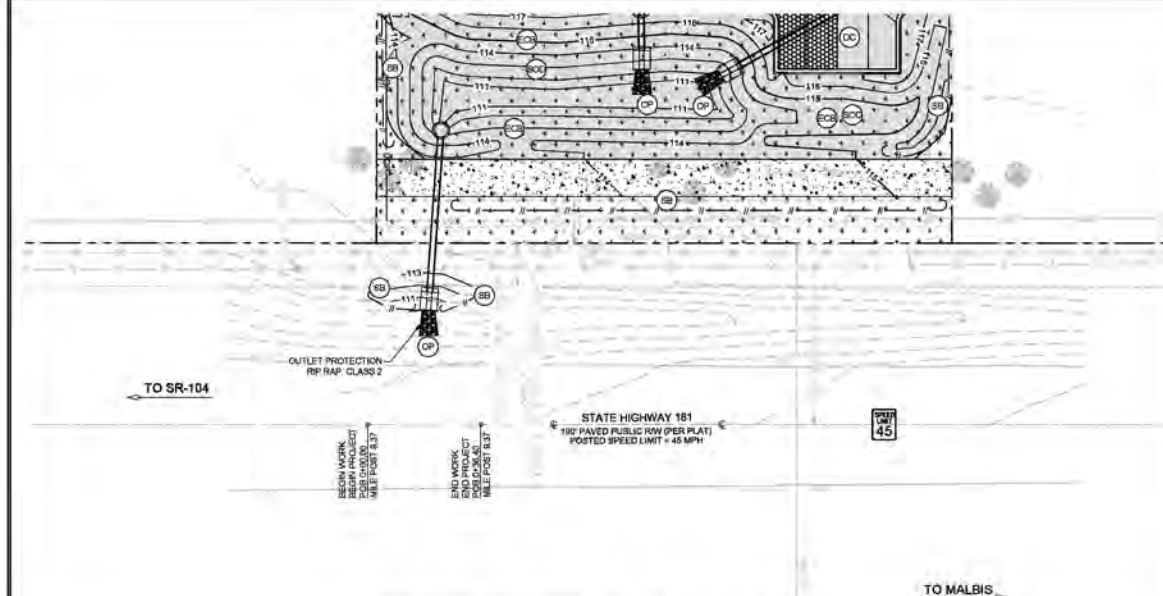
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SCALE: 1" = 20'

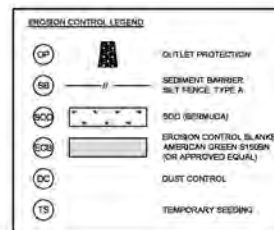
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INITIAL EROSION & SEDIMENT CONTROL SEQUENCE



INTERMEDIATE - FINAL EROSION & SEDIMENT CONTROL SEQUENCE



### SPECIAL NOTE

TRUCKS AND EQUIPMENT SHOULD UTILIZE WASH-PAD OR CONSTRUCTION EXIT PAD WHILE SOILS ARE EXPOSED. ANY SEDIMENT TRACKED INTO ADJACENT BUSINESS AREAS OR ONTO ROCKWELL BLVD ARE TO BE CLEANED PRIOR TO END OF DAY.

### INITIAL EROSION CONTROL SEQUENCE

1. SEE GENERAL EROSION & SEDIMENT CONTROL NOTES.
2. INSTALL TEMPORARY SEDIMENT BARRIER (SILT FENCE), INLET PROTECTION, CONSTRUCTION EXIT PAD AND CONCRETE WASH-OUT AREA.
3. INSPECT, MAINTAIN, MOVE AND REPAIR TEMPORARY SEDIMENT CONTROL DEVICES AS REQUIRED THROUGHOUT THE DURATION OF CONSTRUCTION.

### INTERMEDIATE EROSION CONTROL SEQUENCE

1. REMOVE SOFT, YIELDING OR UNSUITABLE MATERIAL.
2. BEGIN GRADING FOR ROADWAYS AND PAVES, MAINTAIN POSITIVE DRAINAGE AT ALL TIMES.
3. PROVIDE INLET PROTECTION IMMEDIATELY FOLLOWING INLET INSTALLATION AND MAINTAIN WHILE SOIL SUBGRADE IS EXPOSED.

### FINAL EROSION CONTROL SEQUENCE

1. PROVIDE SEEDING OF NON PAVED DISTURBED AREAS.
2. AFTER ALL AREAS ARE STABILIZED, REMOVE CONSTRUCTION ENTRANCES, SILT BARRIERS, AND OTHER TEMPORARY SEDIMENT CONTROL DEVICES.

### GENERAL EROSION & SEDIMENT CONTROL NOTES

1. THE SITE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SUITABLE EROSION AND SEDIMENT CONTROL DEVICES ON SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT OR SEDIMENT FROM LEAVING THE SITE. SILT OR SEDIMENT WILL NOT BE ALLOWED BEYOND CONSTRUCTION LIMITS. THE CONTRACTOR SHALL PREVENT THE ESCAPE OF SILT OR SEDIMENT FROM THE SITE BY INSTALLING EROSION CONTROL MEASURES IN ADDITION TO THOSE SHOWN ON PLANS AS NECESSARY AND CONDUCTING PRACTICES PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLANS DOES NOT PROVIDE SUFFICIENT EROSION AND SEDIMENT CONTROL, ADDITIONAL CONTROL MEASURES SHALL BE IMPLEMENTED IMMEDIATELY TO PREVENT SILT OR SEDIMENT FROM ESCAPING THE SITE AT NO ADDITIONAL COST TO OWNER. CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES AFTER EACH RAINFALL AND PERFORM NECESSARY REPAIRS AND MAINTENANCE. CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING EROSION AND SEDIMENT CONTROL DEVICES WHICH BECOME INEFFECTIVE. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADDITIONAL EROSION CONTROL DEVICES OR MEASURES AS DEEMED NECESSARY BY THE ENGINEER, OWNER OR REGULATORY AUTHORITIES TO COMPLY WITH CONSTRUCTION DOCUMENTS OR GOVERNING AUTHORITY.
3. CONTRACTOR SHALL REMOVE THE BUILD UP OF SILT AND SEDIMENT FROM BEHIND SILT FENCE, ROCK CHECK DAMS AND INLET FILTERS WHEN SILT AND SEDIMENT HAS REACHED TO THE TOTAL HEIGHT OF THE EROSION AND SEDIMENT CONTROL DEVICE.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY FINES LEVIED AGAINST THE SITE FOR VIOLATIONS OF EROSION CONTROL REGULATIONS AND PERMITS.
5. ALL EROSION CONTROL MEASURES SHALL MEET THE GUIDELINES SET FORTH IN THE "ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS VOLUME 1", PUBLISHED BY THE ALABAMA SOIL AND WATER CONSERVATION COMMITTEE, PUBLISHED 2016.
6. CONTRACTOR SHALL INSTALL, MAINTAIN AND INSPECT ALL EROSION AND SEDIMENT DEVICES AND MEASURES IN ACCORDANCE WITH THE "ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS VOLUME 1", PUBLISHED BY THE ALABAMA SOIL AND WATER CONSERVATION COMMITTEE, PUBLISHED 2016.
7. THE LIMITS OF DISTURBANCE SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE. ANY DAMAGE OUTSIDE THE LIMITS OF CONSTRUCTION CAUSED BY THE CONTRACTOR OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED TO ITS ORIGINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR THE CLEANUP AND REMOVAL OF ANY BUILDUP OF SEDIMENT WHICH ESCAPES FROM THE SITE.
8. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE AS REQUIRED BY THE ENGINEER, PLANS, AND THE CITY OF FAIRHOPE. SATURATION CONTROL MEASURE SHALL BE INSPECTED AT LEAST MONTHLY AND FOLLOWING MEASURABLE PRECIPITATION EVENTS. ANY DEFICIENCIES SHALL BE CORRECTED IMMEDIATELY AND NO FURTHER WORK WILL PROCEED UNTIL SAID DEFICIENCIES ARE CORRECTED TO THE CITY OF FAIRHOPE OR ENGINEER'S APPROVAL.
9. IF SEDIMENT ESCAPES THE SITE IT SHALL BE RECOVERED, RETURNED TO THE SITE, SPREAD IN LANDSCAPE AREAS AND SEED.

### CAUTION NOTE TO CONTRACTOR

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HIGHWAY 161 EROSION & SEDIMENT CONTROL PLAN

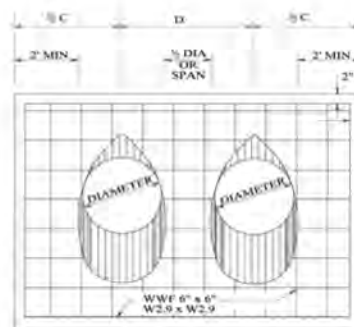
EXPRESS OIL CHANGE

FAIRHOPE, ALABAMA

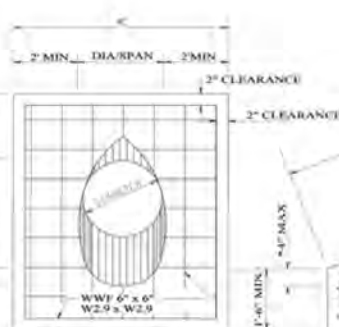
EXPRESS OIL CHANGE & TIRE ENGINEERS

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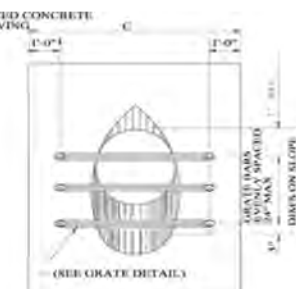
END ELEVATION DOUBLE BARREL



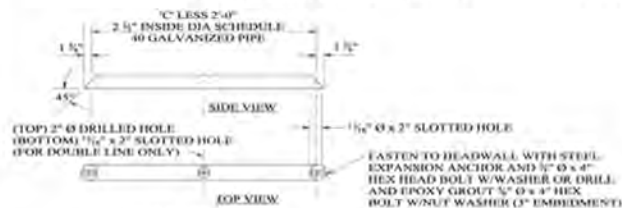
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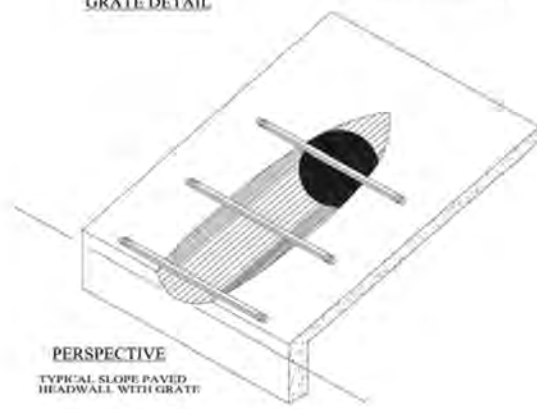
LONGITUDINAL SECTION



END ELEVATION WITH GRATE



GRATE DETAIL



PERSPECTIVE  
TYPICAL SLOPE PAVED  
HEADWALL WITH GRATE

| DIMENSIONS AND QUANTITIES |                 |       |        |       |        |                                |
|---------------------------|-----------------|-------|--------|-------|--------|--------------------------------|
| PIPE SIZE                 | AREA<br>SQ. FT. | SLOPE | B      | C     | D      | CU YDS<br>ADDITIONAL<br>BARREL |
| 15" Ø                     | 1.2             | 4:1   | 2'-3"  | 5'-3" | 1'-11" | 0.92                           |
| 18" Ø                     | 1.8             | 4:1   | 3'-6"  | 5'-6" | 2'-3"  | 1.06                           |
| 24" Ø                     | 3.1             | 4:1   | 5'-6"  | 6'-0" | 3'-0"  | 1.32                           |
| 30" Ø                     | 4.9             | 4:1   | 7'-3"  | 6'-6" | 3'-9"  | 1.60                           |
| 36" Ø                     | 7.1             | 4:1   | 9'-3"  | 7'-0" | 4'-6"  | 1.86                           |
| 42" Ø                     | 9.6             | 4:1   | 11'-0" | 7'-6" | 5'-3"  | 2.20                           |
| 48" Ø                     | 12.6            | 4:1   | 13'-0" | 8'-0" | 6'-0"  | 2.40                           |
| 54" Ø                     | 15.9            | 4:1   | 15'-0" | 8'-6" | 6'-9"  | 2.60                           |
| 15" Ø                     | 1.2             | 6:1   | 3'-7"  | 5'-3" | 1'-11" | 1.04                           |
| 18" Ø                     | 1.8             | 6:1   | 5'-1"  | 5'-6" | 2'-3"  | 1.22                           |
| 24" Ø                     | 3.1             | 6:1   | 8'-1"  | 6'-0" | 3'-0"  | 1.58                           |
| 30" Ø                     | 4.9             | 6:1   | 11'-2" | 6'-6" | 3'-9"  | 1.94                           |
| 36" Ø                     | 7.1             | 6:1   | 14'-2" | 7'-0" | 4'-6"  | 2.30                           |
| 42" Ø                     | 9.6             | 6:1   | 17'-3" | 7'-6" | 5'-3"  | 2.68                           |
| 48" Ø                     | 12.6            | 6:1   | 20'-3" | 8'-0" | 6'-0"  | 3.04                           |
| 54" Ø                     | 15.9            | 6:1   | 23'-4" | 8'-6" | 6'-9"  | 3.40                           |
| 15" Ø                     | 1.2             | 10:1  | 5'-10" | 5'-3" | 1'-11" | 1.24                           |
| 18" Ø                     | 1.8             | 10:1  | 8'-4"  | 5'-6" | 2'-3"  | 1.54                           |
| 24" Ø                     | 3.1             | 10:1  | 13'-5" | 6'-0" | 3'-0"  | 2.08                           |
| 30" Ø                     | 4.9             | 10:1  | 18'-5" | 6'-6" | 3'-9"  | 2.66                           |
| 36" Ø                     | 7.1             | 10:1  | 23'-5" | 7'-0" | 4'-6"  | 3.20                           |
| 42" Ø                     | 9.6             | 10:1  | 28'-6" | 7'-6" | 5'-3"  | 3.78                           |
| 48" Ø                     | 12.6            | 10:1  | 33'-6" | 8'-0" | 6'-0"  | 4.32                           |
| 54" Ø                     | 15.9            | 10:1  | 38'-6" | 8'-6" | 6'-9"  | 4.88                           |
| 15" Ø                     | 1.2             | 20:1  | 11'-9" | 5'-3" | 1'-11" | 1.84                           |
| 18" Ø                     | 1.8             | 20:1  | 16'-8" | 5'-6" | 2'-3"  | 2.40                           |
| 24" Ø                     | 3.1             | 20:1  | 26'-8" | 6'-0" | 3'-0"  | 3.18                           |

SLOPE PAVED HEADWALL DETAIL  
N.T.S.

GENERAL NOTES

- THE FILL IS TO BE PLACED AND ALL SHORING REMOVED BEFORE THE SLOPE PAVING IS PLACED.
- QUANTITIES SHOWN INCLUDE TWO (2) SLOPE PAVED HEADWALLS WITH TOE WALLS.
- DIMENSIONS AND QUANTITIES SHOWN APPLIES TO CONCRETE, CORRUGATED METAL PIPE, AND CORRUGATED HDPE PIPE. CONCRETE QUANTITIES ARE SUFFICIENT WHEN HEADWALLS FOR ARCH PIPE IS DESIRABLE.
- CONCRETE PIPE SHALL BE REVELED BY SAWING AFTER SLOPE PAVING HAS BEEN PLACED AND SUFFICIENTLY CURED (SOME HAND FINISHING MAY BE NECESSARY). METAL PIPE SHALL BE SHOP CUT. CORRUGATED HDPE PIPE MAY BE FIELD BEVELED PRIOR TO PAVING OR SHOP CUT.
- CONTRACTOR SHALL INSURE THROUGH MECHANICAL MEANS OR OTHER APPROVED DEVICES THAT CONNECTION BETWEEN REVELED PIPE END AND CONCRETE WILL NOT BE DETACHED. CORRUGATED HDPE PIPE SHALL HAVE 1/2" Ø x 6" GALVANIZED HOOK BOLTS WITH WASHERS LOCATED AT 30" OC FOR THE TOE AND 1/2" Ø x 6" GALVANIZED THREADED HEX HEAD BOLTS WITH WASHERS LOCATED ON 2'-0" CENTERS FOR SIDES. ANCHOR BOLTS INTO CONCRETE.
- SLOPE PAVED HEADWALL WITHOUT GRATE SHALL BE CLASS 1; SLOPE PAVED HEADWALL WITH GRATE SHALL BE CLASS 2.
- A 24" PIPE WITH GREATER THAN A 30° SKEW AND 30° OR GREATER IN DIAMETER SHALL HAVE A CLASS 2 END TREATMENT WHEN TERMINATED WITHIN THE CLEAR ZONE.
- PIPE FOR GRATE SHALL BE SCHEDULE 40, GALVANIZED (ASTM A53). HARDWARE SHALL BE GALVANIZED ACCORDING TO SPECIFICATIONS.
- RAW METAL EXPOSED BY CUTTING AND DRILLING OF PIPE FOR GRATE ASSEMBLY WILL REQUIRE A GALVANIZING REPAIR PAINT IN ACCORDANCE WITH SECTION 855.31 OF A.DOT SPECIFICATIONS.

SPECIAL DRAWING NO.: HW-614-SP

INDEX NO.: 61913

3528 Vann Road  
Suite 105  
Birmingham, AL 35235  
Phone: (205) 655-1991  
www.cdpe.com



PROJECT DETAILS  
EXPRESS OIL CHANGE  
FAIRHOPE, ALABAMA  
EXPRESS OIL CHANGE & TIRE ENGINEERS

| NO. | REVISIONS | DATE | BY | CHKD | APP'D |
|-----|-----------|------|----|------|-------|
| 1   |           |      |    |      |       |
| 2   |           |      |    |      |       |
| 3   |           |      |    |      |       |
| 4   |           |      |    |      |       |
| 5   |           |      |    |      |       |
| 6   |           |      |    |      |       |
| 7   |           |      |    |      |       |
| 8   |           |      |    |      |       |
| 9   |           |      |    |      |       |
| 10  |           |      |    |      |       |

R3.0



# RIVIERA UTILITIES

413 East Laurel Avenue - Foley, AL 36535  
Phone (251) 943-5001

9/5/2024

Sam Reid  
Civil Consultants, Inc.  
3528 Vann Road, Suite 105  
Birmingham, AL 35235

RE: PIN 626313 – Express Oil Change

This letter is to confirm based on the site plan received; Riviera Utilities is willing and able to provide electric service to above referenced property.

Riviera Utilities requires a 10' easement along all side property lines and a 15' easement along all front and rear property lines. Please ensure all property plats reflect the easements.

Upon final design, Riviera Utilities will provide estimates for service fees and system installation requirements to meet all Riviera specifications. Please contact the following Riviera employees concerning costs and requirements.

| Name       | Department | Email                                                                          |
|------------|------------|--------------------------------------------------------------------------------|
| Wes Abrams | Electric   | <a href="mailto:wabrams@rivierautilities.com">wabrams@rivierautilities.com</a> |

If you have any questions or comments, contact Riviera Utilities at 251-943-5001.

Thank you,

James Wallace



September 13, 2024

Sam Reid  
Civil Consultants, Inc.

RE: Service Availability – Express Oil Change – 22179 State Hwy 181 – PPIN 626313

Dear Mr. Reid,

This letter is in response to your request for information on the availability of service at the above location by AT&T.

This letter acknowledges that the above referenced property is located in an area served by AT&T. Any service arrangements for this location will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to this location.

Please contact me at the phone number included in this letter with any questions.

Thank you for contacting AT&T.

Sincerely,

A handwritten signature in black ink, appearing to read "Wade Mitchell".

Wade Mitchell  
Senior – OSP Design Engineer  
AT&T Alabama  
2155 Old Shell Rd  
Mobile, Alabama 36607  
Gulf District/ Mobile Office



September 5, 2024

Sherry Sullivan  
*Mayor*

**Re:** Commercial, Parcel ID: 05-46-02-03-0-000-004.244, PPIN 626313,

*Council Members:*

Kevin G. Boone  
Jay Robinson  
Jack Burrell, ACOMO  
Jimmy Conyers  
Corey Martin

**Gas:** Gas is available on the east side of Rockwell Blvd. The gas meter will need to be on the west side of the building facing Publix. New gas service fees and deposits will need to be paid.

Lisa A. Hanks, MMC  
*City Clerk*

Sincerely,



---

Sid Grose  
Gas Construction Supervisor

Kimberly Creech  
*Treasurer*

161 North Section St.  
PO Drawer 429  
Fairhope, AL 36533

251-928-2136 (p)  
251-928-6776 (f)  
[www.fairhopeal.gov](http://www.fairhopeal.gov)



September 5, 2024

Sherry Sullivan  
*Mayor*

**Re:** Commercial, Parcel ID: 05-46-02-03-0-000-004.244, PPIN 626313,

*Council Members:*

Kevin G. Boone  
Jay Robinson  
Jack Burrell, ACO  
Jimmy Conyers  
Corey Martin

**Water & Sewer:** Water and sewer service by Fairhope Public Utilities is currently available pending site plan approval.

Lisa A. Hanks, MMC  
*City Clerk*

Sincerely,

  
Jason Brown  
Project Coordinator

Kimberly Creech  
*Treasurer*

161 North Section St.  
PO Drawer 429  
Fairhope, AL 36533

251-928-2136 (p)  
251-928-6776 (f)  
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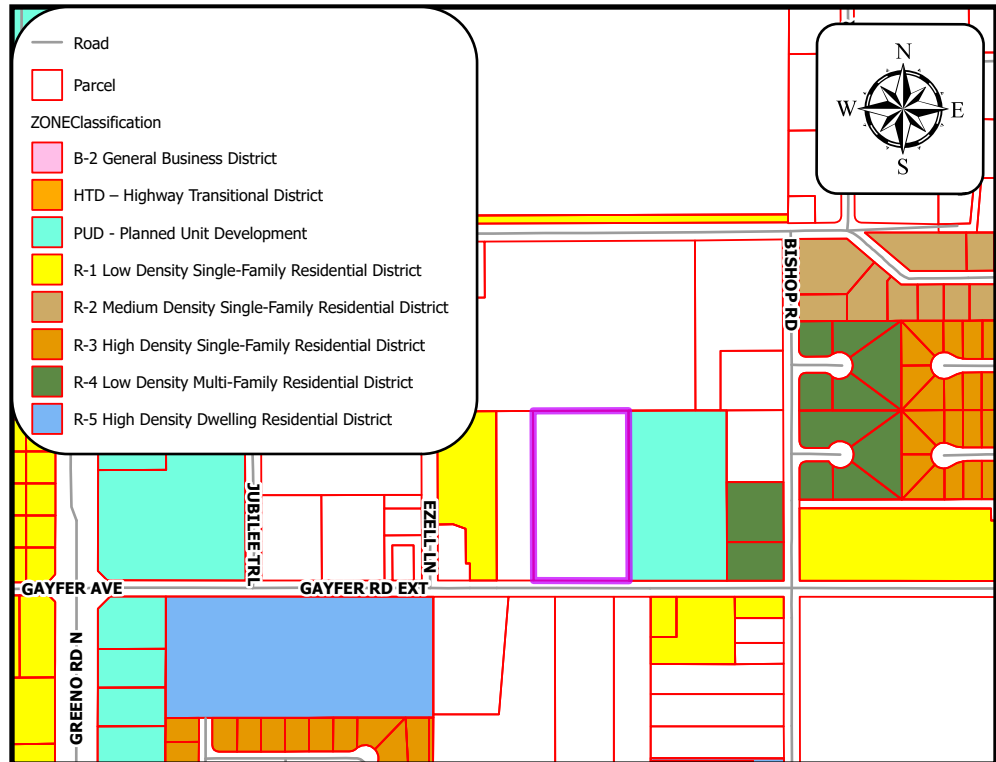
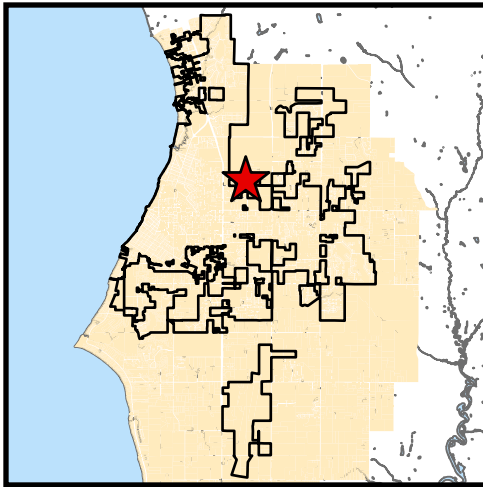
# City of Fairhope

## Planning Commission

December 2, 2024



### ZC 24.09 - Tallawampa Single Family Subdivision

**Project Name:**

Tallawampa Single Family Subdivision

**Site Data:**

5.20 acres

**Project Type:**

Conditional Annexation to R-2

**Jurisdiction:**

Fairhope Planning Jurisdiction

**Zoning District:**

N/A

**PPIN Number:**

13818

**General Location:**

West of Bishop Road  
North side of Gayfer Road Ext

**Surveyor of Record:**

N/A

**Engineer of Record:**

Jay Broughton

**Owner / Developer:**

Tallawampa Properties LLC

**School District:**

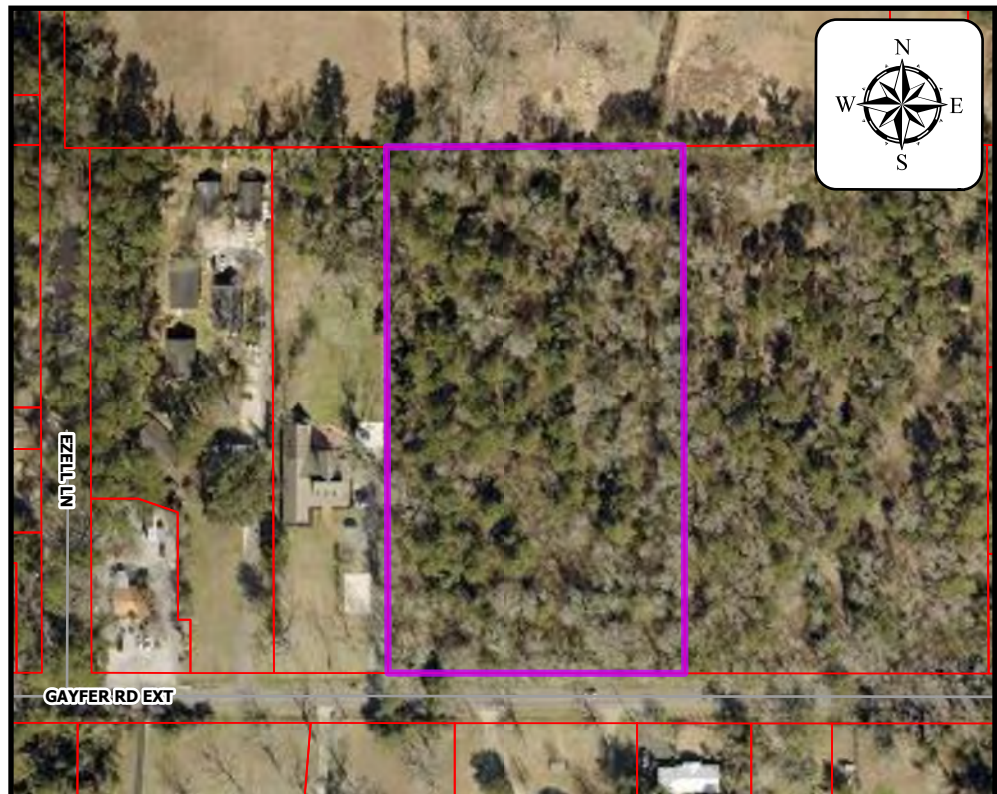
Fairhope Elementary School  
Fairhope Middle and High Schools

**Recommendation:**

DENIAL

**Prepared by:**

Mike Jeffries





## APPLICATION FOR ZONING DISTRICT CHANGE

### Property Owner / Leaseholder Information

Name: TALLAWAMPA PROPERTIES LLC Phone Number: (251) 605-8316  
 Street Address: 16559 COUNTY RD 3  
 City: FAIRHOPE State: AL Zip: 36532

### Applicant / Agent Information

If different from above.

Notarized letter from property owner is required if an agent is used for representation.

Name: JAY BROUGHTON Phone Number: (251) 610-8966  
 Street Address: 20460 BISHOP RD  
 City: FAIRHOPE State: AL Zip: 36532

Current Zoning of Property: UNZONED  
 Proposed Zoning/Use of the Property: R2 - SINGLE FAMILY SUBDIVISION  
 Property Address: 0 GAYFER RD EXT, FAIRHOPE, AL 36532  
 Parcel Number: 05-46-02-09-0-000-013.000  
 Property Legal Description: SEE EXHIBIT INCLUDED WITH THIS APPLICATION  
 Reason for Zoning Change: ANNEXATION AND TO PROVIDE APPROPRIATE LAND USE FOR A SINGLE FAMILY SUBDIVISION MEETING OR EXCEEDING THE MINIMUM REQUIREMENTS OF THE R2 ZONING DISTRICT.

Property Map Attached ☒ YES ☐ NO  
 Metes and Bounds Description Attached ☒ YES ☐ NO  
 Names and Address of all Real Property Owners within 300 Feet of Above Described Property Attached. ☒ YES ☐ NO

Character of Improvements to the Property and Approximate Construction Date: GRADE, DRAIN, BASE, PAVE, LANDSCAPING, UTILITY INSTALLATION, AND STORMWATER IMPROVEMENTS ASSOCIATED WITH THE CONSTRUCTION OF SINGLE-FAMILY SUBDIVISION. APPROX. CONSTRUCTION DATE 03/2025

Zoning Fee Calculation:

Reference: Ordinance 1269

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. \*If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Property Owner/Leaseholder Printed Name

Signature

Date

Fairhope Single Tax Corp. (If Applicable)

*[Handwritten Signature]*  
Tallawampa Properties LLC

10/21/24

**Summary of Request:**

Applicant, Jay Broughton, acting on behalf of the Owner, Tallawampa Properties LLC, is requesting conditional annexation to R-2, Medium Density Single-Family Residential District to be known as the Tallawampa Subdivision. The property is approximately 5.20 acres and is located at 0 Gayfer Road Ext. The property is currently zoned RSF-E by Baldwin County.

|                                                                                                                                                                                                                                                                                                                            |                                     |                    |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|--------------------|
| <b>Section 4.1 RSF-E, Residential Single Family Estate District</b><br><br>4.1.1 <i>Generally.</i> This zoning district is provided to afford the opportunity for the choice of a very low density residential environment consisting of single family homes on estate size lots.<br><br>(Baldwin County Zoning Ordinance) | Maximum Height of Structure         | 35-Feet            |
|                                                                                                                                                                                                                                                                                                                            | Maximum Height in Habitable Stories | 2 ½                |
|                                                                                                                                                                                                                                                                                                                            | Minimum Front Yard                  | 40-Feet            |
|                                                                                                                                                                                                                                                                                                                            | Minimum Rear Yard                   | 40-Feet            |
|                                                                                                                                                                                                                                                                                                                            | Minimum Side Yards                  | 15-Feet            |
|                                                                                                                                                                                                                                                                                                                            | Minimum Lot Area                    | 80,000 Square Feet |
|                                                                                                                                                                                                                                                                                                                            | Minimum Lot Width at Building Line  | 165-Feet           |
|                                                                                                                                                                                                                                                                                                                            | Minimum Lot Width at Street Line    | 165-Feet           |
|                                                                                                                                                                                                                                                                                                                            | Maximum Ground Coverage Ratio       | .35                |
|                                                                                                                                                                                                                                                                                                                            |                                     |                    |

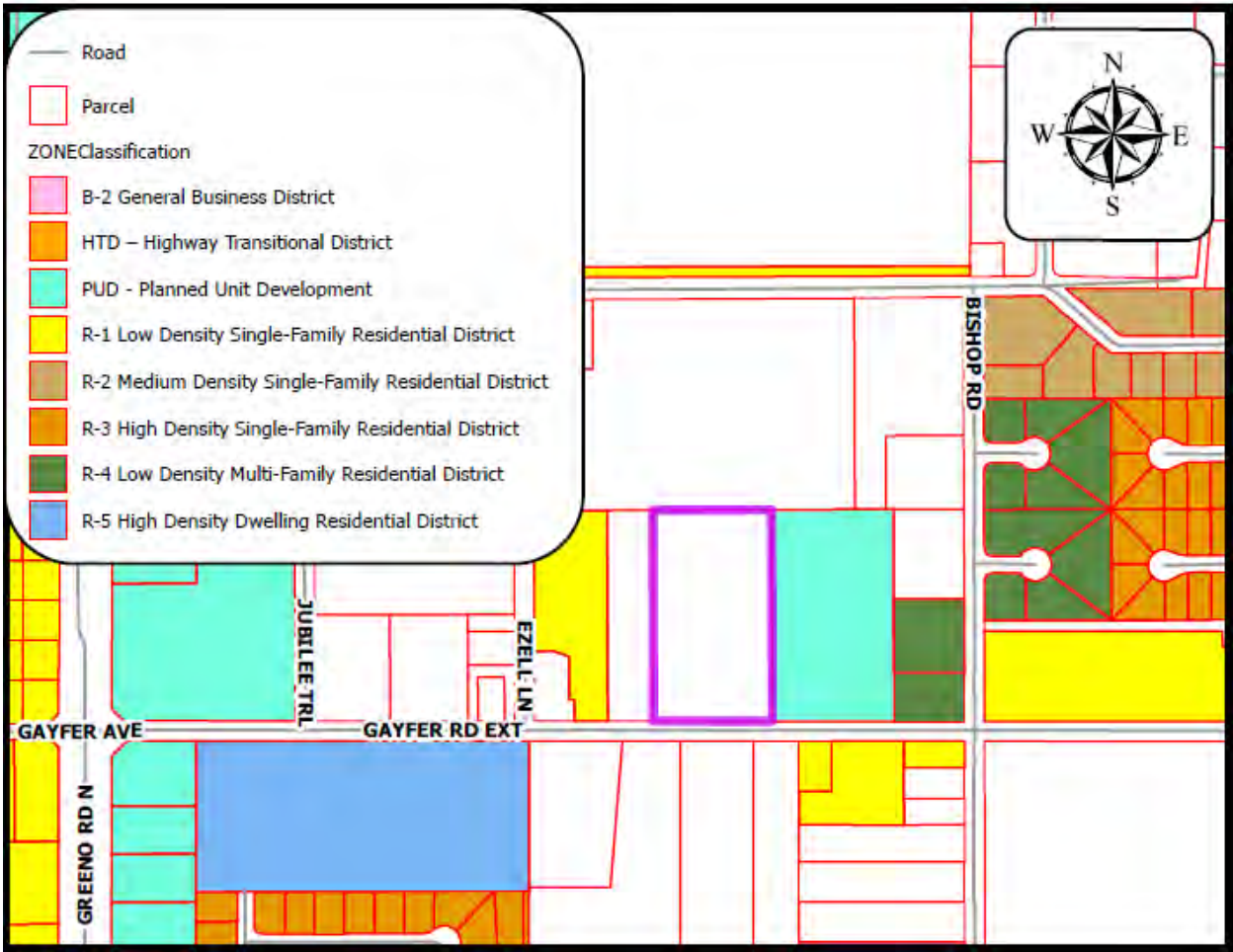


Figure 1: Map of subject and adjacent properties.

## County Zoning Map



## Comments:

The subject property currently is vacant. The subject property is bordered to the East by a Fairhope PUD "Tin Tops at Gayfer" Ordinance #1789, to the north by County zoned RA, the west by County zoned B1, and south across Gayfer Rd. Ext. by County zoned RSF-E and County zoned B2.

As with any request for a zoning map amendment, we must consider the initial desire, as well as how the property may be utilized in the future. The surrounding area zoned by Baldwin County is recent. The surrounding properties were developed while the properties were unzoned. Thus giving a mixture of uses in the area. Staff does not believe this area supports the density of R-2. R-2 has a lot size minimum requirement of 75' wide and 10,500sf minimum lot area. Annexing into the City as R-1 would be a more

appropriate zoning. The current RSF-E County zoning requires 165' minimum wide lot frontage and 80,000sf minimum lot area.

A Re-Zoning Request is considered a Zoning Map Amendment, and the application is reviewed pursuant to the Criteria in Art. II, Section B(1)(e).

***(1) Compliance with the Comprehensive Plan;***

**Response:** The 2024 Comprehensive Plan has this area categorized as Suburban Residential areas which includes some of the largest lot sizes within single-family detached neighborhoods in Fairhope.

***(2) Compliance with the standards, goals, and intent of this ordinance;***

**Response:** Does not meet. The property is currently zoned RSF-E by Baldwin County and the most similar district is R-1.

***(3) The character of the surrounding property, including any pending development activity;***

**Response:** Does not meet. The surrounding properties area comprised of larger lots with the buildings pushed away from the street.

***(4) Adequacy of public infrastructure to support the proposed development;***

**Response:** Meets. A subdivision would require improvements to the existing infrastructure.

***(5) Impacts on natural resources, including existing conditions and ongoing post-development conditions;***

**Response:** Meets. This zoning change will not negatively impact natural resources or current/future conditions. The Zoning Ordinance and Tree Ordinance already provide protections and buffers.

***(5) Compliance with other laws and regulations of the City;***

**Response:** Meets. Any future development is subject to all applicable laws of the City.

***(6) Compliance with other applicable laws and regulations of other jurisdictions;***

**Response:** Meets. Any future development is subject to all applicable laws.

***(7) Impacts on adjacent property including noise, traffic, visible intrusions, potential physical impacts, and property values; and***

**Response:** Adjacent properties would be impacted less by a less dense zoning.

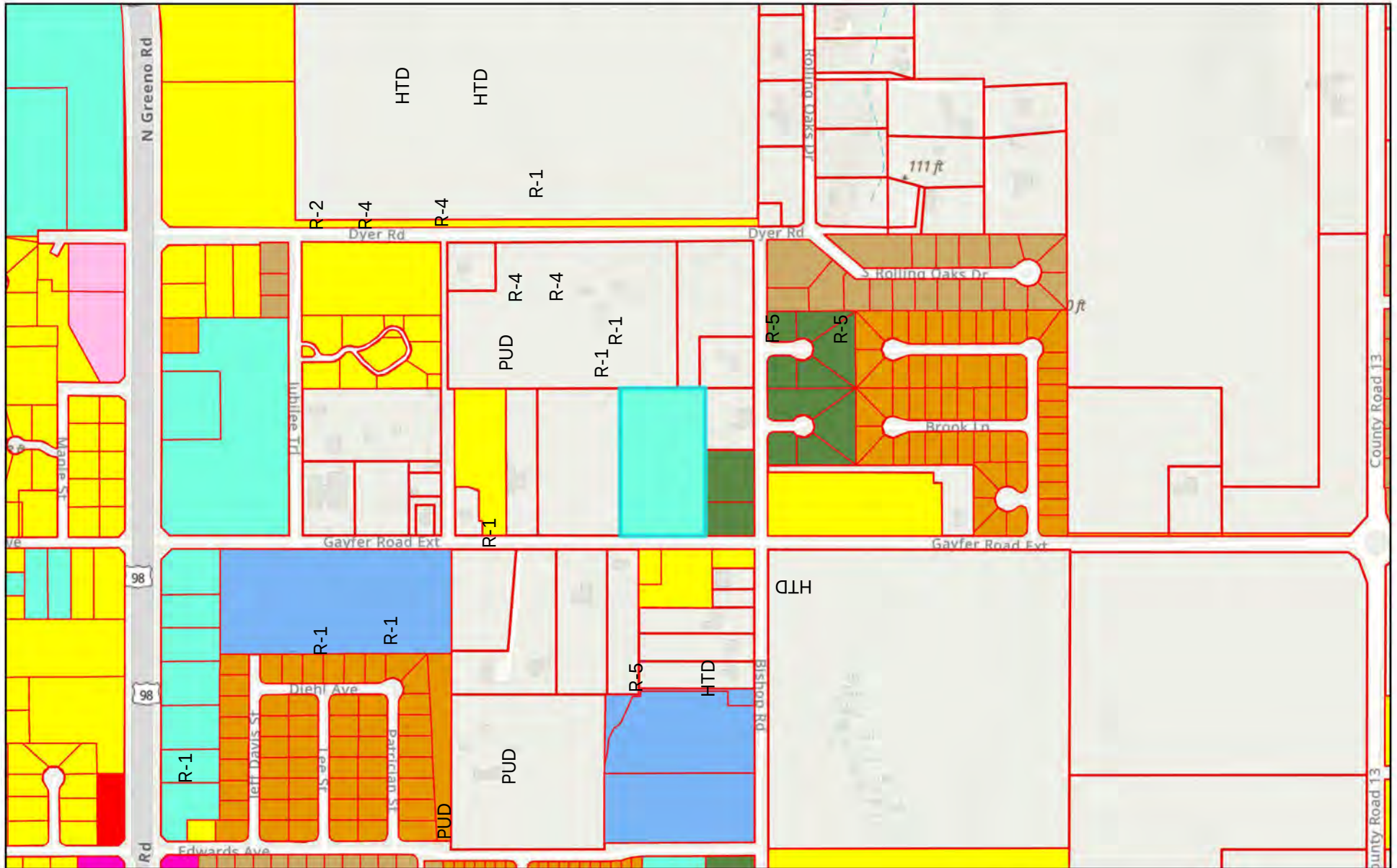
***(8) Impacts on the surrounding neighborhood including noise, traffic, visible intrusions, potential physical impacts, and property values.***

**Response:** Adjacent neighborhoods would be impacted less by a less dense zoning.

**Recommendation:**

Staff recommends **DENIAL** of ZC 24.09, Conditional Annexation to R-2, Gayfer Rd Ext, Tallawampa Properties.

# Fairhope Web Map



10/15/2024, 11:14:18 AM

## Zoning District

- B-1 Local Shopping District
- B-2 General Business District
- B-4 Business and Professional District

■ HTD – Highway Transitional District

■ PUD - Planned Unit Development

■ R-1 Low Density Single-Family Residential District

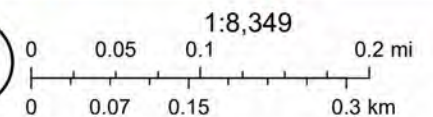
■ R-2 Medium Density Single-Family Residential District

■ R-3 High Density Single-Family Residential District

■ R-4 Low Density Multi-Family Residential District

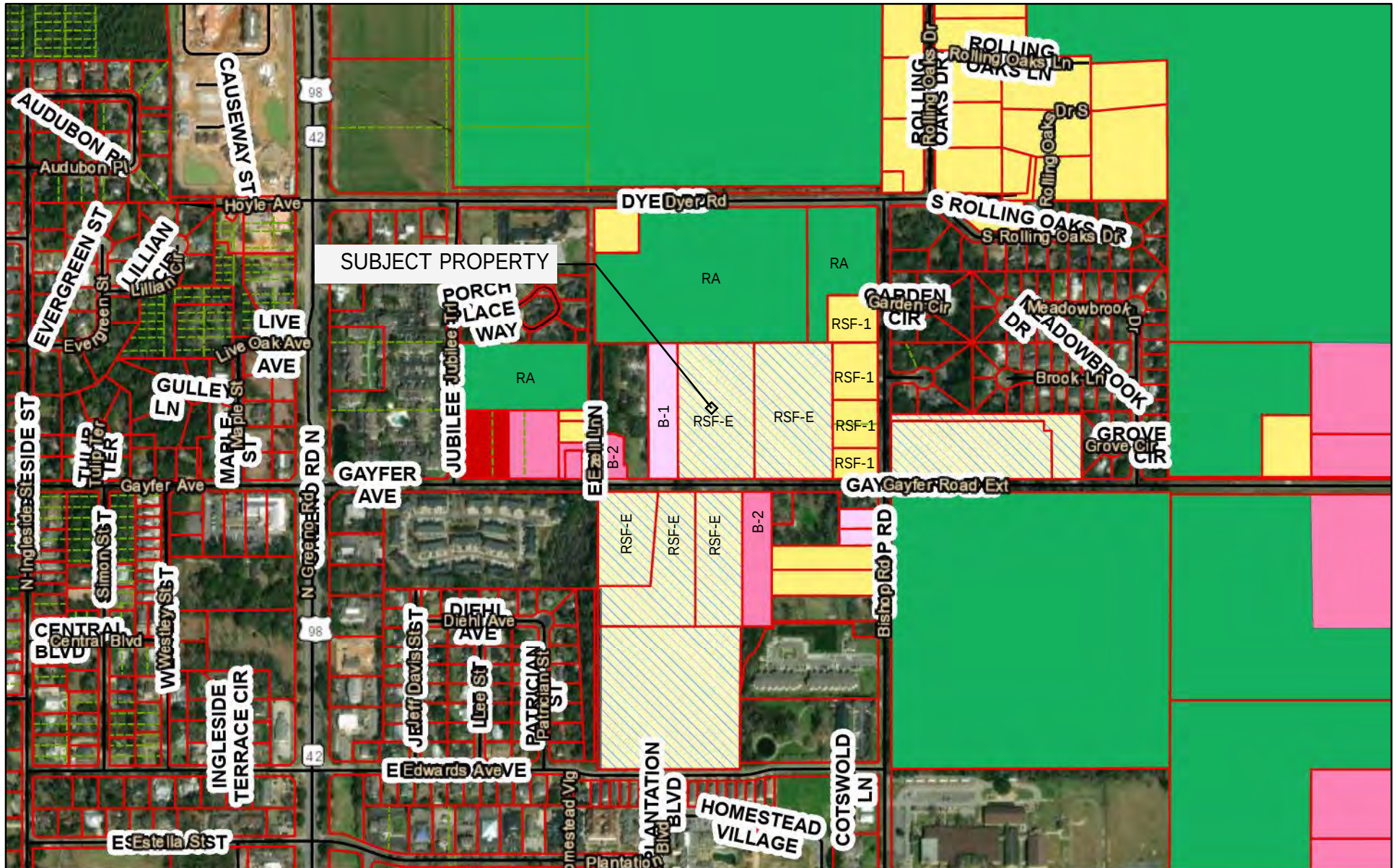
■ R-5 High Density Dwelling Residential District

□ Public Parcel



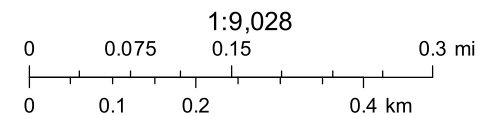
Esri, NASA, NGA, USGS, FEMA, Esri Community Maps Contributors, © OpenStreetMap, Microsoft, CONANP, Esri, TomTom, Garmin, SafeGraph,

# BALDWIN COUNTY, AL ZONING MAP Viewer Map



October 15, 2024

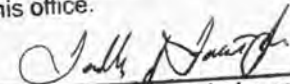
- Parcels
- Lot Lines
- Centerlines
- Conflicts
- Coastal Control Line
- County Boundary



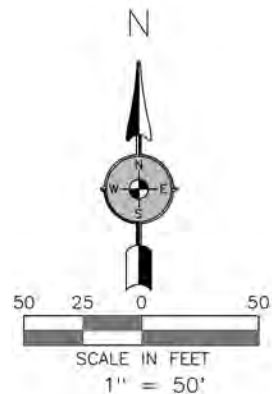
Esri, HERE, Garmin, (c) OpenStreetMap contributors  
Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user

| Parcel Number             | Pin    | Owner Name                      | Address            | City     | State | Zip   | Property Street Number | Property Street Name |
|---------------------------|--------|---------------------------------|--------------------|----------|-------|-------|------------------------|----------------------|
| 05-46-02-09-0-000-012.001 | 5826   | SPLIT ROCK LLC                  | P O BOX 529        | FAIRHOPE | AL    | 36532 | 8335                   | GAYFER RD EXT        |
| 05-46-02-09-0-000-013.000 | 13818  | TALLAWAMPA PROPERTIES L L C     | 16559 COUNTY RD 3  | FAIRHOPE | AL    | 36532 | 0                      | GAYFER RD EXT        |
| 05-46-02-09-0-000-011.002 | 271784 | 68V BTR HOLDINGS L L C          | 707 BELROSE AVE    | DAPHNE   | AL    | 36526 | 0                      | BISHOP RD            |
| 05-46-02-09-0-000-012.000 | 33770  | LADNIER PROPERTIES L L C        | 601 MAGNOLIA AVE   | DAPHNE   | AL    | 36526 | 8281                   | GAYFER RD EXT        |
| 05-46-05-16-0-000-009.001 | 110552 | FAIRHOPE, ALABAMA CONGREGAT     | P O BOX 663        | FAIRHOPE | AL    | 36532 | 8370                   | GAYFER RD EXT        |
| 05-46-02-09-0-000-011.000 | 24268  | 68V BTR HOLDINGS L L C          | 707 BELROSE AVE    | DAPHNE   | AL    | 36526 | 8400                   | DYER RD              |
| 05-46-02-09-0-000-014.000 | 77258  | CREEL RYAN                      | PO BOX 175         | MONTROSE | AL    | 36559 | 8437                   | GAYFER RD EXT        |
| 05-46-05-16-0-000-003.002 | 72152  | TAYLOR, FRANKLIN T & LINDA KAY  | P O BOX 677        | FAIRHOPE | AL    | 36533 | 0                      | CO RD 30             |
| 05-46-05-16-0-000-004.000 | 648    | TAYLOR, FRANKLIN THOMAS & LINDA | P O BOX 677        | FAIRHOPE | AL    | 36533 | 0                      | CO RD 30             |
| 05-46-05-16-0-000-009.000 | 30614  | MCCAIN, KAREN KLEIN             | 8282 GAYFER RD EXT | FAIRHOPE | AL    | 36532 | 8356                   | GAYFER RD EXT        |
| 05-46-05-16-0-000-009.004 | 399077 | KLEIN, ROBERT HALL              | 8356 GAYFER RD EXT | FAIRHOPE | AL    | 36532 | 8356                   | GAYFER RD EXT        |
| 05-46-05-16-0-000-008.000 | 26021  | AJ4 PROJECT L L C               | P O BOX 1247       | FAIRHOPE | AL    | 36533 | 8390                   | GAYFER RD EXT        |
| 05-46-02-09-0-000-012.002 | 226945 | SCOTT WHITNEY PROPERTIES L L C  | 15460 CO RD 3      | FAIRHOPE | AL    | 36532 | 8263                   | GAYFER RD EXT        |

STATE OF ALABAMA  
BALDWIN COUNTY  
I, TEDDY J. FAUST, JR., Revenue Commissioner  
in and for said State and County, do hereby  
certify that this is a true and correct copy of the  
records of this office.

  
Revenue Commissioner

05-46-02-09-0-000-011.000  
BBV BTR HOLDINGS L.L.C.  
39591 WOODROW LN SPANISH FORK, AL 36527



#### LEGEND

- OT = OPEN TOP IRON FOUND
- (R) = RECORD
- (A) = ACTUAL
- TBM = TEMPORARY BENCH MARK
- POC = POINT OF COMMENCEMENT
- POB = POINT OF BEGINNING
- = FENCE LINE
- ⊗ = WATER METER
- ⊙ = SEWER METER
- ⊕ = WATER VALVE
- ⊘ = FIRE HYDRANT
- ⊞ = TELEPHONE PEDISTAL
- ⊡ = POWERLINE POLE
- P— = UNDERGROUND POWERLINE
- F— = UNDERGROUND AT&T FIBER LINE
- G— = UNDERGROUND GAS LINE
- OE— = OVERHEAD POWER LINE
- ▽ = FIBER OPTIC LINE MARKER
- ⊞ = POWER BOX
- ⊡ = AT&T HATCH
- ▨ = ASPHALT
- ▩ = CONCRETE
- = WATER
- = SPOT ELEVATION
- ~ = CONTOUR ELEVATION
- ☼ = PECAN
- ☼ = HARDWOOD(OAK)
- ☼ = PINE

#### SURVEYOR'S NOTES

1. TYPE OF SURVEY: BOUNDARY/TOPOGRAPHIC SURVEY
2. BEARING BASED ON RTK GPS DATUM; NO SETBACKS NOTED.
3. PROPERTY IS LOCATED IN FLOOD ZONE "X" UNSHADED AS SCALED FROM FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP 01003C PANEL NO. 0644 & 0642 SUFFIX M, DATED APRIL 19, 2019
4. ELEVATIONS BASED ON NAVD 88 DATUM PROJECTED FROM RTK GPS DATUM.
5. THIS FIRM DOES NOT SPECIALIZE IN UNDERGROUND UTILITY LOCATION, ALL UNDERGROUND UTILITIES SHOWN IS BASED ON INFORMATION PROVIDED TO THIS FIRM BY 811 OR THE VISIBLE MARKINGS AT TIME OF SURVEY.
6. 811 TICKET #242262046.

STATE OF ALABAMA  
COUNTY OF BALDWIN

I, J. BRETT ORRELL, A REGISTERED LAND SURVEYOR IN THE STATE OF ALABAMA, HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

FROM THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 6 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA, RUN THENCE EAST ALONG THE SOUTH BOUNDARY OF SAID SECTION 9 AND BEING THE CENTERLINE OF GAYFER STREET EXTENSION 30 FEET TO THE EAST LINE OF A DEDICATED 60-FOOT NORTH-SOUTH STREET; RUN THENCE NORTH 30 FEET TO AN IRON PIPE FOR THE POINT OF BEGINNING; RUN THENCE NORTH 631 FEET, MORE OR LESS, TO AN EAST-WEST FENCELINE; RUN THENCE EAST AND PARALLEL TO THE SOUTH BOUNDARY OF SAID SECTION 9, A DISTANCE OF 357.76 FEET, MORE OR LESS, TO AN IRON PIPE; RUN THENCE SOUTH 632 FEET, MORE OR LESS, TO THE NORTH RIGHT-OF-WAY OF GAYFER AVENUE EXTENSION; THENCE RUN WEST 357.76 FEET, MORE OR LESS, ALONG THE RIGHT-OF-WAY OF SAID GAYFER AVENUE EXTENSION TO THE POINT OF BEGINNING, SAID PARCEL CONTAINING 5.17 ACRES, MORE OR LESS, AND LYING IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 6 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA.

I FURTHER STATE THAT THE BUILDINGS NOW ERECTED ON SAID LOT ARE WITHIN THE BOUNDARIES OF SAME; THERE ARE NO ENCROACHMENTS BY ADJOINING PROPERTY, EXCEPT AS SHOWN; THERE ARE NO RIGHTS OF WAY EASEMENTS OR JOINT DRIVEWAYS OVER OR ACROSS SAID LAND VISIBLE ON THE SURFACE, EXCEPT AS SHOWN, THERE ARE NO ELECTRIC OR TELEPHONE WIRES (EXCLUDING WIRES WHICH SERVE THE PREMISES ONLY) OR STRUCTURES OR SUPPORTS THEREOF INCLUDING POLES, ANCHORS AND GUY WIRES ON OR OVER SAID PREMISES, EXCEPT AS SHOWN; THIS DRAWING ALSO DOES NOT REFLECT ANY TITLE OR EASEMENT RESEARCH OTHER THAN WHAT IS VISIBLE ON THE GROUND OR PROVIDED BY THE CLIENTS CONVEYANCE; AND THAT THE SCALE OF DRIVES, WALKS, FENCES AND ETC. ARE IN SOME INSTANCE EXAGGERATED FOR THE PURPOSE OF DETAIL.

ACCORDING TO MY SURVEY THIS THE 22ND DAY OF AUGUST, 2024.

J. BRETT ORRELL, P.L.S. ALA. LICENSE NO: 31836-S

EAST  
S 89°59'50" E

357.76± (R)  
358.41" (A)

631± (R)  
631.92' (A)

632.94' (A)  
632± (R)

226,493.13 SQFT  
5.20 ACRES

05-46-02-09-0-000-013.000  
TALLAWAMPA PROPERTIES L.L.C.  
16559 COUNTY RD 3 FAIRHOPE, AL 36532

05-46-02-09-0-000-014.000  
CREEL RYAN  
PO BOX 175 MINOTROSE, AL 36568

05-46-02-09-0-000-012.000  
LADNER PROPERTIES L.L.C.  
881 MAGNOLIA AVE DAPHNE, AL 36506

05-46-02-09-0-000-012.001  
SPLIT ROCK LLC  
PO BOX 529 FAIRHOPE, AL 36532

NORTH  
N 0°12'38" E

S 0°15'40" W  
SOUTH

POB

POC

SW CORNER OF THE SE 1/4  
OF SW 1/4 SECTION 9  
T-6-S, R-2-E

GAYFER RD EXT  
(ALSO KNOW AS GAYFER STREET EXTENSION)  
50' R/W



**POLY**  
SURVEYING

SERVING  
ALABAMA, FLORIDA  
MISSISSIPPI & GEORGIA  
CORPORATE OFFICE  
3508 JACKSON RD  
MOBILE, AL 36619  
P. (251) 686-2010  
WWW.POLYSURVEYING.COM

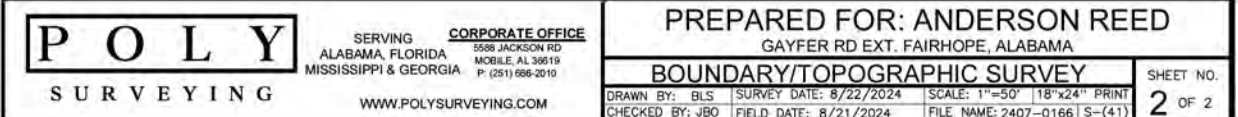
PREPARED FOR: ANDERSON REED

GAYFER RD EXT. FAIRHOPE, ALABAMA

BOUNDARY/TOPOGRAPHIC SURVEY

DRAWN BY: BLS SURVEY DATE: 8/22/2024 SCALE: 1"=50' 18"x24" PRINT  
CHECKED BY: JBO FIELD DATE: 8/21/2024 FILE NAME: 2407-01661 S-(41)

SHEET NO.  
1 OF 2



**DATE:** 10/15/2024

**TO:** The City of Fairhope Planning and Zoning Department

**Cc:**

**Re:** Parcel No. 05-46-02-09-0-000-013.000 – Tallawampa Properties LLC

To whom it may concern,

I/We authorize and permit JAY BROUGHTON, P.E. to act as my/our representative and agent in any manner regarding the issuance of this application which relates to my property described as the tax parcel ID listed below.

I/We understand that the agent representation may include, but is not limited to, decisions relating to the submittals, status, or conditions of this application. In understanding this, I/We release

THE CITY OF FAIRHOPE from any liability resulting from actions made on my/our behalf by the authorized agent and representative. I hereby certify that the information stated on and submitted with this application is true and correct. I also understand that the submittal of incorrect information will result in the revocation of this application and any work performed will be at the risk of the property owner/applicant.

Parcel ID #: 05-46-02-09-0-000-013.000

911 Property Address (include City): 0 GAYFER RD EXT, FAIRHOPE, AL 36532

| <u>Authorized Agent</u> |                                                                                                                                                                                                                      | <u>Property Owner</u> |                                         |
|-------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|-----------------------------------------|
| Printed Name:           | JAY BROUGHTON, P.E.                                                                                                                                                                                                  | Printed Name:         | TALLAWAMPA PROPERTIES, LLC              |
| Mailing Address:        | 20460 BISHOP RD<br>FAIRHOPE, AL 36532                                                                                                                                                                                | Mailing Address:      | 16559 COUNTY RD 3<br>FAIRHOPE, AL 36532 |
| Telephone Number:       | (251) 610-8966                                                                                                                                                                                                       | Telephone Number:     | 251-463-8775                            |
| Email:                  | JAY@BROUGHTONLLC.COM                                                                                                                                                                                                 | Email:                | daniel.ford@spireenergy.com             |
| Signature and Date:     | JAY S BROUGHTON<br><small>Digitally signed by JAY S BROUGHTON<br/>DN: cn=JAY S BROUGHTON, email=JAY@BROUGHTONLLC.COM, o=BROUGHTON AND ASSOCIATES LLC, ou=JAY S BROUGHTON<br/>Date: 2024.10.15 11:51:49 -0500</small> | Signature and Date:   | <i>[Signature]</i> 10/17/24             |

Personally appeared before Me Daniel Ford. *Jerry Kenny* My Commission Expires November 15, 2025

JERRI KENNY  
Notary Public  
Alabama State at Large

**DATE:** 10/15/2024

**TO:** The City of Fairhope Planning and Zoning Department

**Cc:**

**Re:** Parcel No. 05-46-02-09-0-000-013.000 – Tallawampa Properties LLC

To whom it may concern,

I/We authorize and permit ACRE INVESTMENTS LLC to act as my/our representative and agent in any manner regarding the issuance of this application which relates to my property described as the tax parcel ID listed below.

I/We understand that the agent representation may include, but is not limited to, decisions relating to the submittals, status, or conditions of this application. In understanding this, I/We release

THE CITY OF FAIRHOPE from any liability resulting from actions made on my/our behalf by the authorized agent and representative. I hereby certify that the information stated on and submitted with this application is true and correct. I also understand that the submittal of incorrect information will result in the revocation of this application and any work performed will be at the risk of the property owner/applicant.

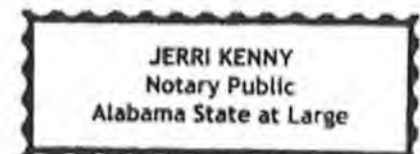
Parcel ID #: 05-46-02-09-0-000-013.000

911 Property Address (include City): 0 GAYFER RD EXT, FAIRHOPE, AL 36532

| <u>Authorized Agent</u> |                                         | <u>Property Owner</u> |                                         |
|-------------------------|-----------------------------------------|-----------------------|-----------------------------------------|
| Printed Name:           | ACRE INVESTMENTS, LLC                   | Printed Name:         | TALLAWAMPA PROPERTIES, LLC              |
| Mailing Address:        | 504 CONGRESS STREET<br>MOBILE, AL 36603 | Mailing Address:      | 16559 COUNTY RD 3<br>FAIRHOPE, AL 36532 |
| Telephone Number:       | (251) 605-8316                          | Telephone Number:     | 251-463-8775                            |
| Email:                  | ANDERSONREED919@GMAIL.COM               | Email:                | daniel.ford@spiraeenergy.com            |
| Signature and Date:     |                                         | Signature and Date:   | <i>[Signature]</i> 10/17/24             |

*Jerrin Kenny*

My Commission Expires  
November 15, 2025



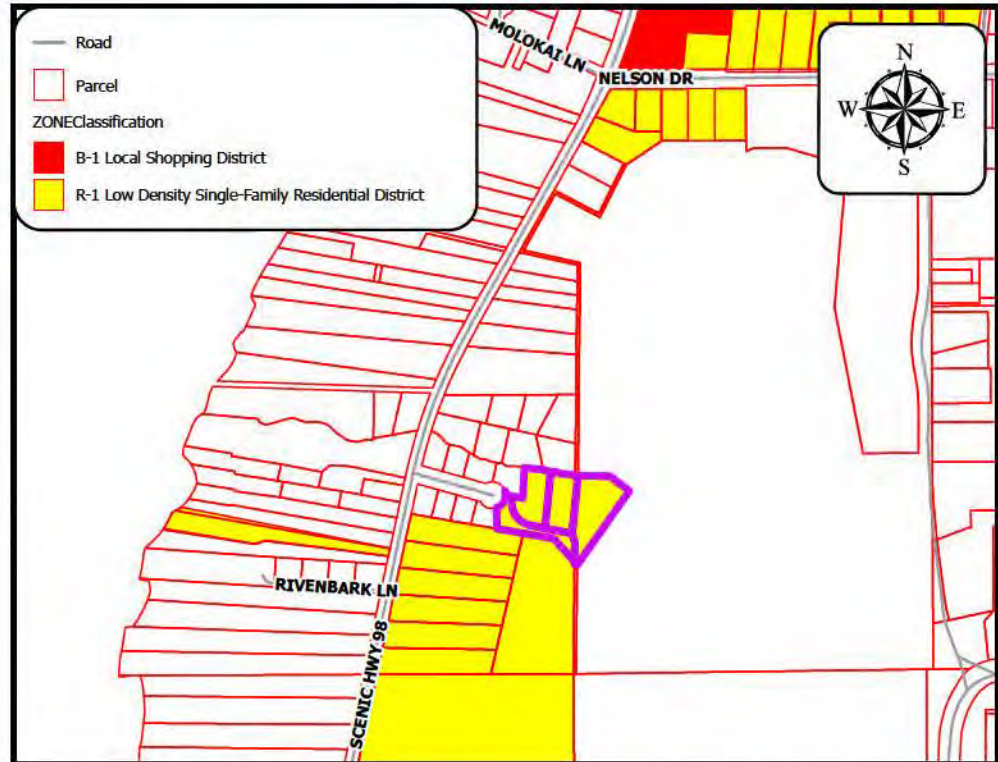
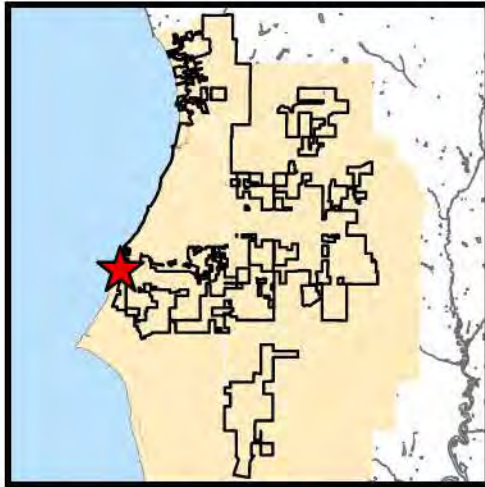
# City of Fairhope

## Planning Commission

December 2, 2024



### ZC 24.10 - The Preserve at Sweetwater

**Project Name:**

The Preserve at Sweetwater

**Site Data:**

5.20 acres

**Project Type:**

Rezone from R-1 to B-1

**Jurisdiction:**

Fairhope Planning Jurisdiction

**Zoning District:**

R-1

**PPIN Number:**

243332, 281752, 281750, 57219

**General Location:**

East side of Scenic HWY 98 and Sweet Water Circle

**Surveyor of Record:**

Dewberry

**Engineer of Record:**

Dewberry

**Owner / Developer:**

Brian Metcalf

**School District:**

Fairhope Elementary School  
Fairhope Middle and High Schools

**Recommendation:**

Approved w/ Conditions

**Prepared by:**

Name : Michelle Melton





### APPLICATION FOR ZONING DISTRICT CHANGE

| Property Owner / Leaseholder Information             |                                   |                   |  |
|------------------------------------------------------|-----------------------------------|-------------------|--|
| Name: <u>Brian Metcalf</u>                           | Phone Number: <u>251-432-2600</u> |                   |  |
| Street Address: <u>P.O. Box 2903 Mobile AL 36601</u> |                                   |                   |  |
| City: <u>Mobile</u>                                  | State: <u>AL</u>                  | Zip: <u>36601</u> |  |

| Applicant / Agent Information <u>cbarnette@dewberry.com</u>                                             |                                   |                   |  |
|---------------------------------------------------------------------------------------------------------|-----------------------------------|-------------------|--|
| <small>If different from above.</small>                                                                 |                                   |                   |  |
| <small>Notarized letter from property owner is required if an agent is used for representation.</small> |                                   |                   |  |
| Name: <u>Cathy Barnette/Dewberry</u>                                                                    | Phone Number: <u>251-990-9950</u> |                   |  |
| Street Address: <u>25353 Friendship Road</u>                                                            |                                   |                   |  |
| City: <u>Daphne</u>                                                                                     | State: <u>AL</u>                  | Zip: <u>36526</u> |  |

|                                                                                              |
|----------------------------------------------------------------------------------------------|
| Current Zoning of Property: <u>R-1</u>                                                       |
| Proposed Zoning/Use of the Property: <u>B-1 Restaurant</u>                                   |
| Property Address: <u>Lots 1, 2 &amp; 3 at The Preserve at Sweetwater</u>                     |
| Parcel Number: <u>46-04-19-3-000-017.001, 45-06-24-4-000-037.010, 45-06-24-4-000-037.009</u> |
| Property Legal Description: <u>Lots 1, 2 &amp; 3, The Preserve at Sweetwater</u>             |
| Reason for Zoning Change: <u>To build a Restaurant</u>                                       |

Property Map Attached ☒ YES ☐ NO

Metes and Bounds Description Attached ☒ YES ☐ NO

Names and Address of all Real Property Owners within 300 Feet of Above Described Property Attached. ☒ YES ☐ NO

Character of Improvements to the Property and Approximate Construction Date: \_\_\_\_\_

Development of a restaurant to begin upon completion of approvals. \_\_\_\_\_

Zoning Fee Calculation:

Reference: Ordinance 1269

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. \*If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Tail Greenback Inc LLC  
Property Owner/Leaseholder Printed Name

10/22/2024  
Date

Brian Metcalf Member  
Signature

Fairhope Single Tax Corp. (If Applicable)



## **CERTIFICATION OF PROPERTY OWNER NOTIFICATION LIST**

As Required by the City of Fairhope

---

Hearings on Zoning Change applications require notification to all property owners within 300 feet of the property under consideration for the change. This list must be the most current property owners' records available from the Baldwin County Revenue Office.

By signing below, I Brian Metcalfe, (applicant) do hereby certify that the property owner list attached to this application was obtained from the Baldwin County Revenue Office and is a complete list of all real property owners/lessees within 300 feet of the parcel submitted for consideration by the Planning & Zoning Commission.

Tarce LLC  
Signature of Applicant or Authorized Agent  
Brian Metcalfe

10/22/2024

Date of Application

### **Summary of Request:**

Authorized agent, Cathy Barnett of Dewberry, on behalf of owner, Tanglewood Investments, LLC, requests the subject property be rezoned from R-1, Low Density Single Family Residential District to B-1, Local Shopping District. The property is located at the terminus of Sweetwater Circle off South Mobile Steet and consists of four (4) parcels totaling approximately two (2) acres. Applicant desires to eventually utilize all parcels to rebuild the Sweetwater Supper Club that was formerly located on Scenic Highway 98. The parcels will require a re-plat into one (1) large parcel.

### **Comments:**

The definition of B-1 Local Shopping District is listed below. The desired use (restaurant) is allowed in B-1 only on appeal to the Board of Adjustments and subject to special conditions. Therefore, if this rezoning case is granted a BOA case would be required that reviews site plan specific details. Site plans shown herein are preliminary and included for reference. This zoning case should focus only on the request to rezone the property.

Article III, Section A(10):

10. *B-1 Local Shopping District:* This district is intended to provide for limited retail convenience goods and personal service establishments in residential neighborhoods and to encourage the concentration of these uses in one (1) location for each residential neighborhood rather than in scattered sites occupied by individual shops throughout a neighborhood. Restaurants in the B-1 zoning district may be permitted only on appeal to the Board of Adjustments and may be subject to special conditions. Drive thru restaurants shall not be permitted in the B-1 zoning district.

Surrounding Zoning: The Subject Property is located near properties zoned by both Fairhope and Baldwin County. Neighboring properties within the City of Fairhope are zoned R-1 as shown in Figure 1.

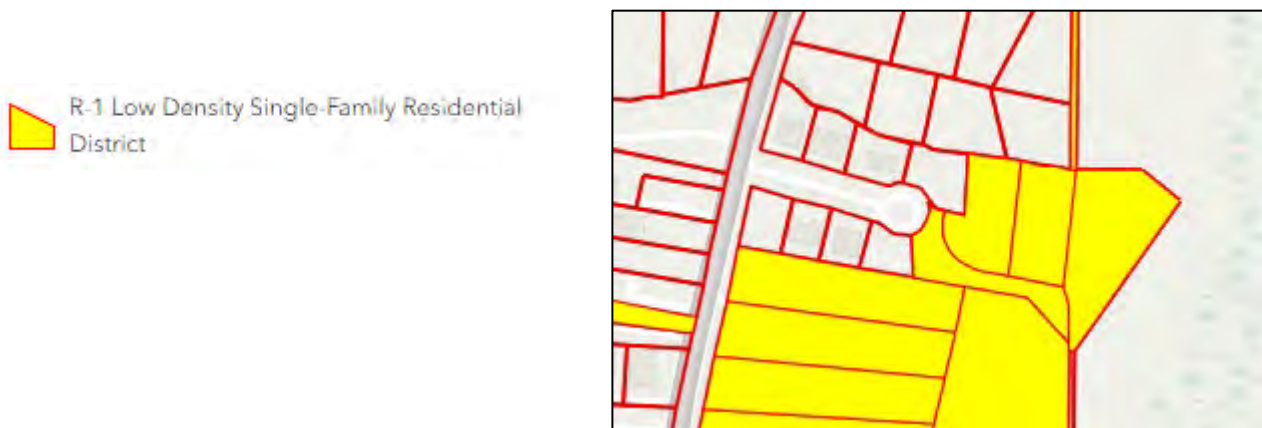


Figure 1: City Zoning

Adjacent properties to the west, north and east are zoned by Baldwin County as shown in Figure 2.

-  Conservation Resource District (CR)
-  Residential Single Family District (RSF-1)
-  Neighborhood Business District (B-2)

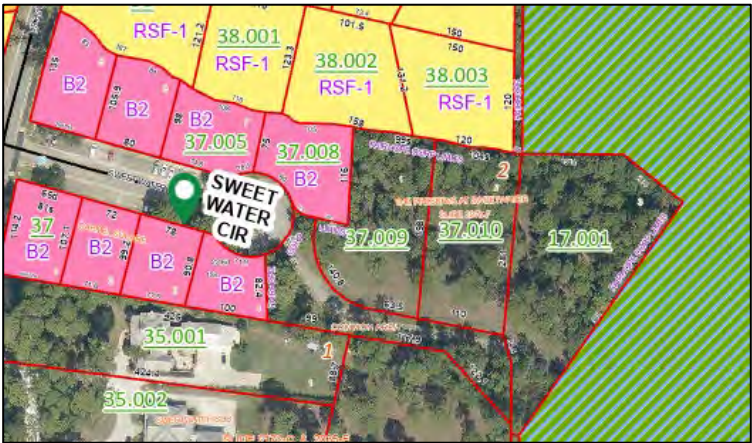
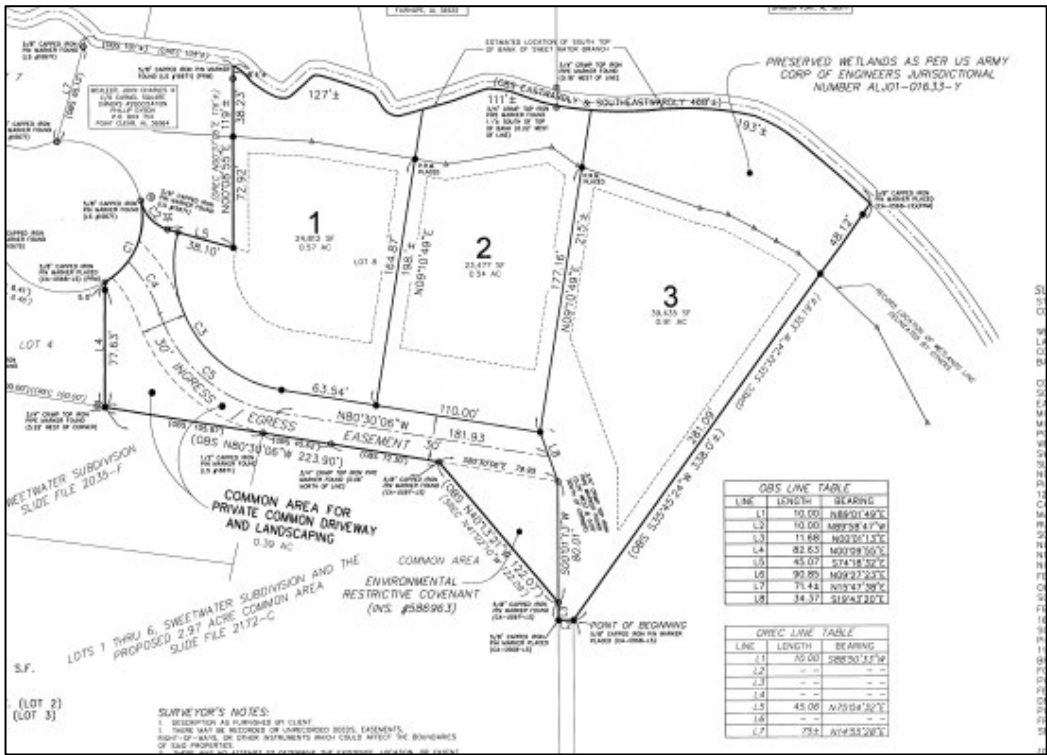


Figure 2: Subject parcels and adjacent Baldwin County zoned parcels

The Subject Property was annexed into the City on April 24, 2006, via Ordinance No. 1299 (in the packet). A subdivision case followed that created a three (3) lot subdivision with a common area shown below on Slide 2276-F called The Preserve at Sweetwater. Each of the three lots were zoned R-1, Low Density Single-Family Residential.



The subject property is currently vacant. Sweetwater Branch flows on the northern side of the property. There are jurisdictional wetlands present adjacent to Sweetwater Branch as well. The proper environmental buffers are in place for the stream and wetlands. B-1 zoning, if approved, will require additional landscape buffers when abutting residentially zone property

Although shown as a public right-of-way on the Baldwin County Parcel Viewer, Sweetwater Circle is a private road. The properties along Sweetwater Cir. are zoned B-2 by the County. City zoned B-1 is the closest comparable zoning to the B-2 districts of the County; thus, B-1 zoning makes sense in this area.

There are incompatible land uses adjacent to the subject property (Baldwin County RSF-1, and City R-1). If B-1 zoning is granted, the Applicant shall provide the necessary landscape buffers for incompatible land uses in subsequent plans following the re-zoning case. Parking and other required attributes will be reviewed in another application as they are not necessary for re-zoning cases. Preliminary sketches of a proposed restaurant are provided below.





**Recommendation:**

Staff recommends **approval** of ZC 24.10, rezoning parcels from R-1 to B-1 with the following condition:

- 1) A re-plat shall be recorded with Baldwin County Probate to combine the four lots within the Subject Property into one lot and shall memorialize easements and required buffers.

A Re-Zoning Request is considered a Zoning Map Amendment and the application is reviewed pursuant to the Criteria in Art. II, Section B(1)(e).

***(1) Compliance with the Comprehensive Plan;***

**Response:** The 2024 Comprehensive Plan identifies this area as an existing Suburban Mixed-Use Node, which it is because it is adjacent to city and county residential zoned areas and Sweetwater Circle is a Neighborhood Business District in the County.

***(2) Compliance with the standards, goals, and intent of this ordinance;***

**Response:** Meets. Some allowable uses are not ideal for this location and use changes will be vetted accordingly.

***(3) The character of the surrounding property, including any pending development activity;***

**Response:** Meets. The only development activity currently is the proposed restaurant. Required buffers and twenty (20) foot setbacks will provide protection from adjacent residential and conservation property. Future changes in use should be carefully reviewed for impacts on the character of the surrounding property.

***(4) Adequacy of public infrastructure to support the proposed development;***

**Response:** Meets. Already an existing subdivision with utilities. Applicant will need to get proper consent from Baldwin County Highway Department regarding expanding and/or improving Sweetwater Circle.

***(5) Impacts on natural resources, including existing conditions and ongoing post-development conditions;***

**Response:** Meets. This zoning change will not negatively impact natural resources or current/future conditions. There are mandated buffers already on the plat that shall remain. B-1 zoning is more protective than the R-1 zoning because the Tree Ordinance is enforceable. The Zoning Ordinance and Tree Ordinance already provide protections to adjacent residential and conservation (county) property by way of setbacks and landscape buffers.

***(5) Compliance with other laws and regulations of the City;***

**Response:** Meets. Any future development is subject to all applicable laws of the City.

***(6) Compliance with other applicable laws and regulations of other jurisdictions;***

**Response:** Meets. Any future development is subject to all applicable laws.

***(7) Impacts on adjacent property including noise, traffic, visible intrusions, potential physical impacts, and property values; and***

**Response:** None anticipated. The potential restaurant use will not have the same business hours of the businesses. Parking will be reviewed in the future and shall meet the requirements of the Fairhope Zoning Ordinance..

***(8) Impacts on the surrounding neighborhood including noise, traffic, visible intrusions, potential physical impacts, and property values.***

**Response:** Staff do not anticipate any significant issues relating to this criterion currently. However, changes in use should be considered carefully.

**Uses allowed in B-1 from Table 3-1 of the Zoning Ordinance are summarized below.**

|                                                                                        |
|----------------------------------------------------------------------------------------|
| <b>Dwelling</b>                                                                        |
| Single-Family ('By-right')                                                             |
| Two-family ('By-right')                                                                |
| Townhouse ('Permitted subject to special conditions listed in the ordinance')          |
| Mixed-Use ('By-right')                                                                 |
| Accessory Dwelling ('Permitted subject to special conditions listed in the ordinance') |
| <b>Civic</b>                                                                           |
| Elementary School ('By-right')                                                         |
| Secondary School ('By-right')                                                          |
| Education Facility ('By-right')                                                        |
| Library ('By-right')                                                                   |
| Cemetery ('Permitted on Appeal and subject to special conditions')                     |
| Hospital ('Permitted on Appeal and subject to special conditions')                     |
| Public Open Space ('By-right')                                                         |
| Common Open Space ('By-right')                                                         |
| Public Utility ('Permitted on Appeal and subject to special conditions')               |
| Community Center or Club ('Permitted on Appeal and subject to special conditions')     |
| <b>Office</b>                                                                          |
| General ('By-right')                                                                   |
| Professional ('By-right')                                                              |
| Home Occupation ('Permitted subject to special conditions listed in the ordinance')    |
| <b>Retail</b>                                                                          |
| Grocery ('By-right')                                                                   |
| Convenience Store ('Permitted subject to special conditions listed in the ordinance')  |
| General Merchandise ('By-right')                                                       |
| Automobile Service Station ('Permitted on Appeal and subject to special conditions')   |
| <b>Service</b>                                                                         |
| Convalescent or Nursing Home ('Permitted on Appeal and subject to special conditions') |
| Clinic ('Permitted on Appeal and subject to special conditions')                       |
| Day Care ('Permitted on Appeal and subject to special conditions')                     |
| General Personal Services ('By-right')                                                 |
| Dry Cleaner/Laundry ('By-right')                                                       |
| Restaurant ('Permitted on Appeal and subject to special conditions')                   |



Dewberry Engineers Inc. | 251.990.9950  
25353 Friendship Road | 251.990.9910 fax  
Daphne, AL 36526 | www.dewberry.com

November 13, 2024

Michelle Melton  
City Planner  
City of Fairhope  
451 Pecan Ave Ste. 200  
Fairhope, AL 36532

**RE: ZC 24.10 The Preserve at Sweetwater  
Disposition of Comments**

Dear Ms. Melton,

This letter is in response to comments we received on 011/07/2024 for the above-referenced application. Below are the comments we received and our response to each.

1. All parking shall be pervious and not limestone
  - **Response:** Understood
2. A BOA case is necessary for B-1 use, a tree removal and landscape plan are needed as well as site plan.
  - **Response:** It is our understanding an application will be accepted on 12/9 for BOA after Planning Commission approval – however will not be authorized on agenda until re-zoning is complete.
3. ADEM permit
  - **Response:** Will be pulled during plan review
4. ROW permit
  - **Response:** Applicant will correspond with County
5. Administrative replat will be required.
  - **Response:** Replat will be submitted with BOA application for staff review.

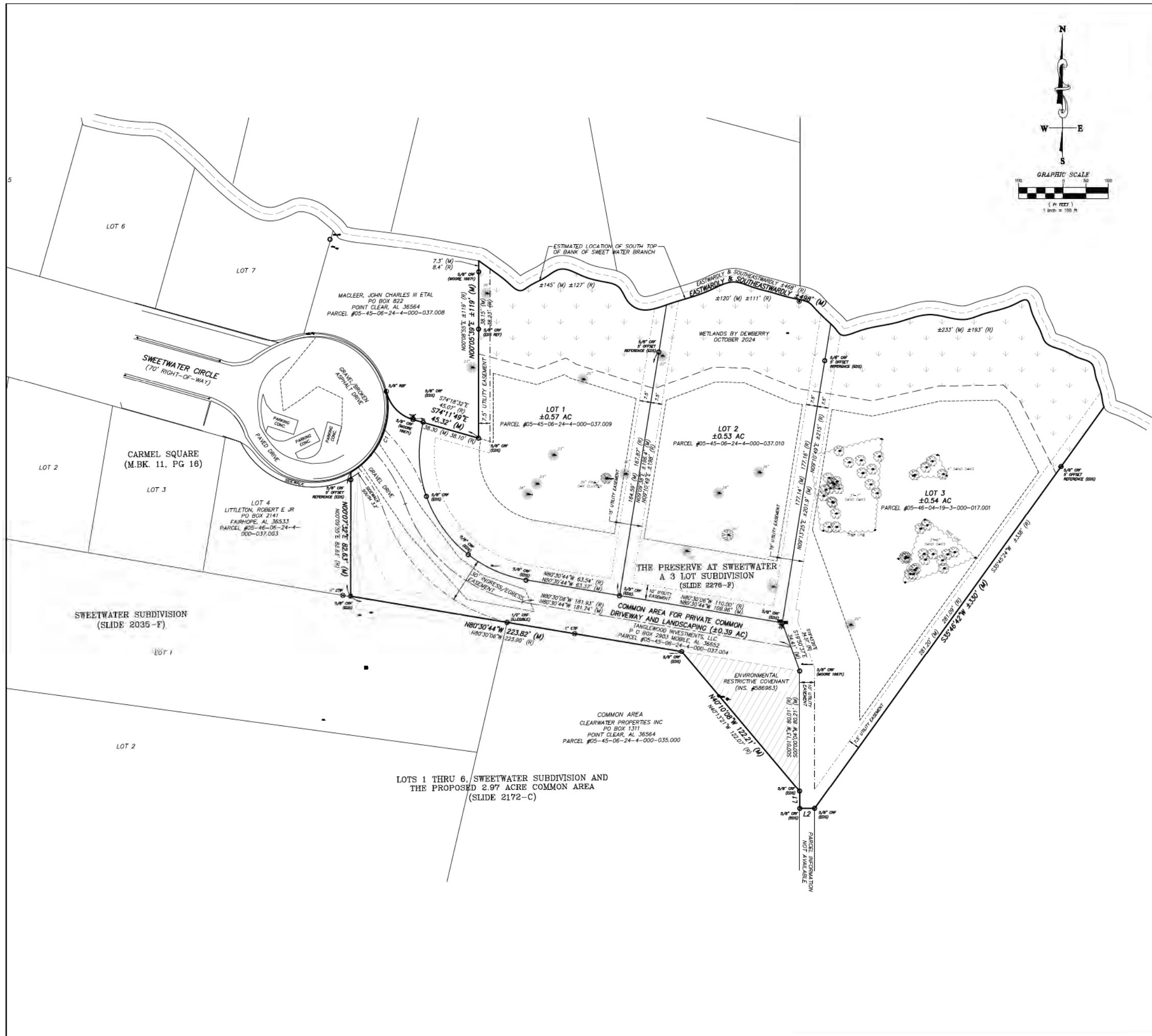
Your assistance is greatly appreciated. Should you require anything further, please advise.

Respectfully,  
**Dewberry Engineers Inc.**

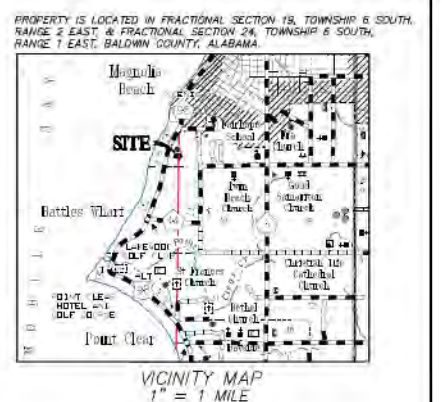
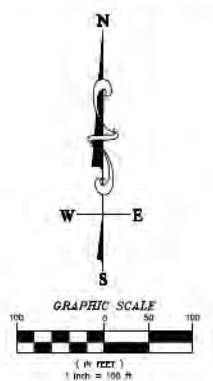
A handwritten signature in blue ink, appearing to read "Cathy S. Barnette".

Cathy S. Barnette  
Associate

cc: File 50184311



- LEGEND:
- CMF = CONCRETE MONUMENT FOUND
  - CRF = CAPPED REBAR FOUND
  - RBF = REBAR FOUND
  - MNF = MAG NAIL FOUND
  - CPS = 3/8" CAPPED REBAR SET (CA-1109-LS)
  - (M) = MEASURED BEARING AND DISTANCE
  - (R) = RECORDED BEARING AND DISTANCE
  - (C) = CALCULATED BEARING AND DISTANCE
  - RPMK = REAL PROPERTY BOOK
  - DB = DEED BOOK
  - PG = PAGE
  - INS = INSTRUMENT
  - EL = ELEVATION
  - INV = INVERT
  - OPP = CORRUGATED PLASTIC PIPE
  - RCP = REINFORCED CONCRETE PIPE
  - CMP = CORRUGATED METAL PIPE
  - = GUY WIRE
  - TP = POWER POLE
  - DB = TELEPHONE PEDESTAL
  - = SIGN
  - MB = MAIL BOX
  - WM = WATER METER



| LINE TABLE (MEASURED) |             |          |
|-----------------------|-------------|----------|
| LINE                  | BEARING     | DISTANCE |
| L1                    | N00°00'04"E | 11.50'   |
| L2                    | N89°55'07"W | 9.55'    |

| LINE TABLE (RECORDED) |             |          |
|-----------------------|-------------|----------|
| LINE                  | BEARING     | DISTANCE |
| L1                    | N00°00'04"E | 11.50'   |
| L2                    | N89°55'07"W | 10.00'   |

PROPERTY OWNER:  
TANGLEWOOD INVESTMENTS, LLC  
PO BOX 2903  
MOBILE, AL 36652  
INSTRUMENT #751945

FLOOD ZONE INFORMATION:  
THIS PROPERTY LIES WITHIN ZONE "X" (UNSHADED) AS SCALED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF BALDWIN COUNTY, ALABAMA, COMMUNITY NUMBER 015000, PANEL NUMBER 0643, SUFFIX M, MAP EFFECTIVE DATE APRIL 19, 2019.

- SURVEYOR'S NOTES:
- ALL MEASUREMENTS WERE MADE IN ACCORDANCE WITH ALABAMA STANDARDS.
  - THERE MAY BE RECORDED OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
  - THE LINES REPRESENTING THE CENTERLINE AND RIGHT-OF-WAYS OF THE STREETS ARE SHOWN FOR VISUAL PURPOSES ONLY AND WERE NOT SURVEYED UNLESS RIGHT-OF-WAY MONUMENTATION IS ALSO SHOWN.
  - SURVEY WAS CONDUCTED IN OCTOBER 21, 2024, AND IS RECORDED IN FIELD BOOK 339 PAGE 28 AND IN AN ELECTRONIC DATA FILE.
  - BEARINGS AND DISTANCES SHOWN HEREON WERE "COMPUTED" FROM ACTUAL FIELD TRAVERSES.
  - BEARINGS SHOWN HEREON ARE REFERENCED TO STATE PLANE GRID COORDINATES, ALABAMA WEST ZONE 0102, NAD83 (2011).
  - ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD 88.
  - ALL GPS OBSERVATIONS WERE TAKEN USING REAL TIME KINEMATIC GPS.
  - THIS SURVEY IS BASED UPON MONUMENTATION FOUND IN PLACE AND DOES NOT PURPORT TO BE A RETRACEMENT AND PROPORTIONING OF THE ORIGINAL GOVERNMENT SURVEY.
  - BOUNDARY SURVEY SUBJECT TO BE REVISED.

LEGAL DESCRIPTION:  
LOTS 1, 2 & 3 TOGETHER WITH COMMON AREA FOR PRIVATE COMMON DRIVEWAY AND LANDSCAPING AS SHOWN ON PLAT OF THE PRESERVE AT SWEETWATER SUBDIVISION AS RECORDED IN SLIDE 2276-F IN THE RECORDS IN THE OFFICE OF JUDGE PROBATE BALDWIN COUNTY ALABAMA.  
(DESCRIPTION COPIED FROM INSTRUMENT #751945, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA)

SURVEYOR'S CERTIFICATE:  
STATE OF ALABAMA  
COUNTY OF BALDWIN

WE, DEWBERRY, A FIRM OF LICENSED ENGINEERS AND LAND SURVEYORS OF DAPHNE, ALABAMA, HEREBY STATE THAT THE ABOVE IS A CORRECT MAP OR PLAT OF THE DESCRIBED PROPERTY SITUATED IN BALDWIN COUNTY, ALABAMA.

I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

PRELIMINARY  
VICTOR L. GERMAIN, AL P.L.S. NO. 38473  
DEWBERRY  
DATE  
SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.

|                                                                         |  |                                 |
|-------------------------------------------------------------------------|--|---------------------------------|
| BOUNDARY AND TOPOGRAPHIC SURVEY                                         |  | DATE: 10/22/2024                |
| PRESERVE AT SWEETWATER                                                  |  | SCALE: 1" = 30'                 |
| DRAWN BY: VLG                                                           |  | CHECKED BY: VLG                 |
| SEC. 15, T-6-S, R-2-E AND SEC. 14, T-6-S, R-1-E BALDWIN COUNTY, ALABAMA |  | PROJECT: 50184311               |
| REF: 051116                                                             |  | DWG: PRESERVE AT SWEETWATER.DWG |
| SHEET NO. 1 OF 1                                                        |  |                                 |

25333 Friendship Road Daphne, AL 36526  
251-490-9950 Fax 251-928-9815