



**City of Fairhope
Planning Commission Agenda
5:00 PM
Council Chambers
January 6, 2025**

Sherry Sullivan
Mayor

Council Members

Kevin G. Boone

Jack Burrell, ACMO

Jimmy Conyers

Corey Martin

Jay Robinson

Lisa A. Hanks, MMC

City Clerk

Kimberly Creech

City Treasurer

1. Call to Order
2. Consent Agenda

Approval of Minutes - December 2, 2024

UR 25.01 Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of approximately 4,573 LF of buried fiber cable at 7549 Assunta Court.

UR 25.02 Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of approximately 3,929 LF of buried fiber cable at 20485 Lowry Drive.

UR 25.03 Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of approximately 3,9534 LF of buried fiber cable at 200 Spring Lake Drive.

UR 25.04 Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of approximately 3,676 LF of buried fiber cable at 19755 Greeno Road.

UR 25.05 Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of approximately 9,058 LF of buried fiber cable at 811 Morphy Avenue.

3. Regular Agenda

Old Business

None

New Business

A. SR 25.01 Request of the Applicant, Erik Haeffs, on behalf of the Owner, FST and Encounter Development LLC, for Site Plan Approval of Waffle House. The property is approximately 1.05 acres and is zoned B-2 – General Business District. The property is located on the northeast corner of State Highway 181 and State Highway 104, Lot #10. **PPIN #: 627500**

161 North Section Street

P.O. Drawer 429

Fairhope, Alabama 36533

251-928-2136

251-928-6776 Fax

www.fairhopeal.gov

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B. SD 24.21 Public hearing to consider the request of the City of Fairhope's Planning and Zoning Department to accept Resolution 2025-01 for various proposed amendments to Article VI of the City of Fairhope's Subdivision Regulations.

C. SD 25.03 Public hearing to accept Resolution 2025-02 for the proposed revisions to the City of Fairhope Water and Sewer Specifications.

4. Adjourn

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The Planning Commission met Monday, December 2, 2024, at 5:00 PM at the City Municipal Complex, 161 N. Section Street in the Council Chambers.

Present: Lee Turner; Kevin Boone; John Worsham; Harry Kohler; Rebecca Bryant; Hollie MacKellar; Hunter Simmons, Planning and Zoning Director; Mike Jeffries, Development Services Manager; Michelle Melton, Planner; Chris Williams, City Attorney, and Cindy Beaudreau, Planning Clerk.

Absent: Paul Fontenot and Erik Cortinas

Chairman Turner called the meeting to order at 5:00 PM.

Consent Agenda

- Approval of the Minutes November 4, 2024
- **UR 24.16** Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 11,988 LF of buried fiber cable at 100 Vivian Loop.

Hunter Simmons, Planning and Zoning Director, shared the information for the Utility Review which has the following conditions:

1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
 - a. An additional right-of-way permit may be required for the potholing procedures.
4. Follow-up activities below required by staff and the applicant:
 - a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS Supervisor for inclusion in GIS utility maps as needed.
5. Provide draft door hanger for approval at time of pre-construction.
6. Approved door hangers shall be in place no later than **7 days** prior to construction.
7. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
8. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
9. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).
10. Utilities boxes shall be concentrated near existing boxes.
11. For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

John Worsham made a motion to approve the items on the consent agenda with staff recommendations.

Rebecca Bryant seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Kevin Boone; John Worsham; Harry Kohler; Rebecca Bryant; Hollie MacKellar
NAY: None.

Old Business

- No old business

New Business

A. SD 24.20 Public hearing to consider the request of the Applicant, The Woodlands Group, on behalf of the Owner, Mary Crumpton, for preliminary and final plat approval of Magnolia Beach Estates, a 2-lot minor subdivision. The property is zoned R-2, Medium Density Single-Family Residential District. The property is approximately 2.4 acres and is located at 104 Laurel Avenue. **PPIN #36014**

Mike Jeffries, Development Services Manager, presented the request of the Applicant, The Woodlands Group, on behalf of the Owner, Mary Crumpton, for preliminary and final plat approval of Magnolia Beach Estates, a 2-lot minor subdivision. The property is zoned R-2, Medium Density Single-Family Residential District. Mr. Jeffries shared the zoning and aerial maps.

Staff recommends approval of SD 24.20 with the following conditions:

1. Installation of the sidewalk along Laurel Avenue the length of the property.
2. Provide a new name for the subdivision to be approved by the Planning Director.
3. Wetland buffer signs are reflected on the plat and installed prior to the final signature of the plat.
4. Provide a signature block for Fairhope Gas on the plat.
5. Adjust the site data table to reflect the minimum lot size at 10,500 sf.

Chairman Turner opened the public hearing at 5:06pm.

Justin Palmer, The Woodlands Group, requested that no sidewalks be required.

Michael White, 109 Laurel, supports requiring no sidewalks.

Mr. Jeffries stated that Fairhope Utilities supports sidewalks on the south side.

The public hearing was closed at 5:12pm.

John Worsham made a motion to approve SD 24.20 with staff recommendations.

Harry Kohler seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Kevin Boone; John Worsham; Harry Kohler; Rebecca Bryant; Hollie MacKellar
NAY: None.

B. SR 24.06 Request of the Applicant, Civil Consultants, Inc., on behalf of the Owner, Corte, Cave/Mitchell 1, LLC, for Site Plan Approval of Express Oil Change. The property is approximately 0.99 acres and is zoned B-2 – General Business District. The property is located at 22179 State Highway 181. **PPIN #: 626313**

Hunter Simmons, Planning and Zoning Director, presented the request of the Applicant, Civil Consultants, Inc., on behalf of the Owner, Corte, Cave/Mitchell 1, LLC, for Site Plan Approval of

Express Oil Change. The property is approximately 0.99 acres and is zoned B-2 – General Business District. The property is located at 22179 State Highway 181. Mr. Simmons shared the zoning and aerial maps.

Staff recommends approval of SR 24.06 to the City Council with the following conditions:

1. Update site data table to reflect percentage of lot covered by building (~13%).
2. Signage must conform to the Sign Ordinance.
3. Revised Landscape Plan will be required that addresses all concerns mentioned in the staff report and during the meeting and shall be approved by staff prior to submission of the site plan to the City Council for final approval.
4. ALDOT consent/confirmation to use ROW off AL Hwy 181.

Discussion was held regarding:

- Pervious parking spaces and bioretention
- Screening will be required to be replaced if any should die

J.T. Murphy, CCI, stated that the client has declined to change the parking but will consider bioretention.

John Worsham made a motion to recommend SR 24.06 to City Council with staff recommendations:

Rebecca Bryant seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Kevin Boone; John Worsham; Harry Kohler; Rebecca Bryant; Hollie MacKellar

NAY: None.

C. ZC 24.09 Public hearing to consider the request of the Applicant, Jay Broughton, on behalf of the Owner, Tallawampa Properties LLC, for conditional annexation to R-2, Medium Density Single-Family Residential District, to be known as the Tallawampa Subdivision. The property is approximately 5.20 acres and is located at 0 Gayfer Road Extension. **PPIN #: 13818**

Mike Jeffries, Development Services Manager, presented the request of the Applicant, Jay Broughton, on behalf of the Owner, Tallawampa Properties LLC, for conditional annexation to R-2, Medium Density Single-Family Residential District, to be known as the Tallawampa Subdivision. The property is approximately 5.20 acres and is located at 0 Gayfer Road Extension. Mr. Jeffries shared the zoning and aerial maps.

Staff recommends denial of ZC 24.09.

Anderson Reed, Applicant, shared a presentation and requested that the Planning Commission consider rezoning the property to R-2 along with the conditional annexation, due to the areas surrounding this property.

Mr. Jeffries explained that the duplex property to the east of Tallawampa was in the County and annexed in as a PUD.

Mr. Simmons shared an explanation of the development pattern for that area.

Chairman Turner opened the public hearing at 5:45pm. Having no one present to speak, the public hearing was closed at 5:46.

John Worsham made a motion to recommend denial of ZC 24.09 to City Council.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Kevin Boone; John Worsham; Harry Kohler; Rebecca Bryant; Hollie MacKellar
NAY: None.

D. ZC 24.10 Public hearing to consider the request of the Applicant, Dewberry, on behalf of the Owner, Brian Metcalf, to rezone property from R-1, Low Density Single-Family Residential District, to B-1, Local Shopping District. The property is approximately 2.06 acres and is located to the east of the terminus at Sweetwater Circle. **PPINS #: 243332, 281752, 281750, 57219**

Michelle Melton, City Planner, presented the request of the Applicant, Dewberry, on behalf of the Owner, Brian Metcalf, to rezone property from R-1, Low Density Single-Family Residential District, to B-1, Local Shopping District. The property is approximately 2.06 acres and is located to the east of the terminus at Sweetwater Circle. Ms. Melton shared the zoning and aerial maps.

Staff recommends approval of ZC 24.10 to City Council with the following staff recommendations:

1. A re-plat shall be recorded with the Baldwin County Probate to combine the four lots within the subject property into one lot and shall memorialize easements and required buffers.
2. Subject property shall be restricted to restaurant use only subject to approval by the Board of Adjustments.

Discussion was held regarding:

- Why rezone property to B-1 rather than B3a or B3b? B-1 matched closest with surrounding area.

Cathy Barnette, Dewberry, stated that wetlands have been added, the integrity of the area has been kept, re-platting to 1 lot will protect the use and they would condition the use on approval by the Board of Adjustments.

Chairman Turner opened the public hearing at 5:59pm. Having no one present to speak, the public hearing was closed at 5:59.

John Worsham made a motion to recommend approval of ZC 24.09 to City Council with staff recommendations.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Kevin Boone; John Worsham; Harry Kohler; Rebecca Bryant; Hollie MacKellar
NAY: None.

Adjournment

Rebecca Bryant made a motion to adjourn.

AYE: Lee Turner; Kevin Boone; John Worsham; Harry Kohler; Rebecca Bryant; Hollie MacKellar

NAY: None.

Adjourned at 6:14pm.

Lee Turner, Chairman

Cindy Beaudreau, Secretary



This digital package has been condensed for size and some documents may not contain all the original pages. All submittals were reviewed in full by staff in preparation for the reports prepared for the Planning Commission.

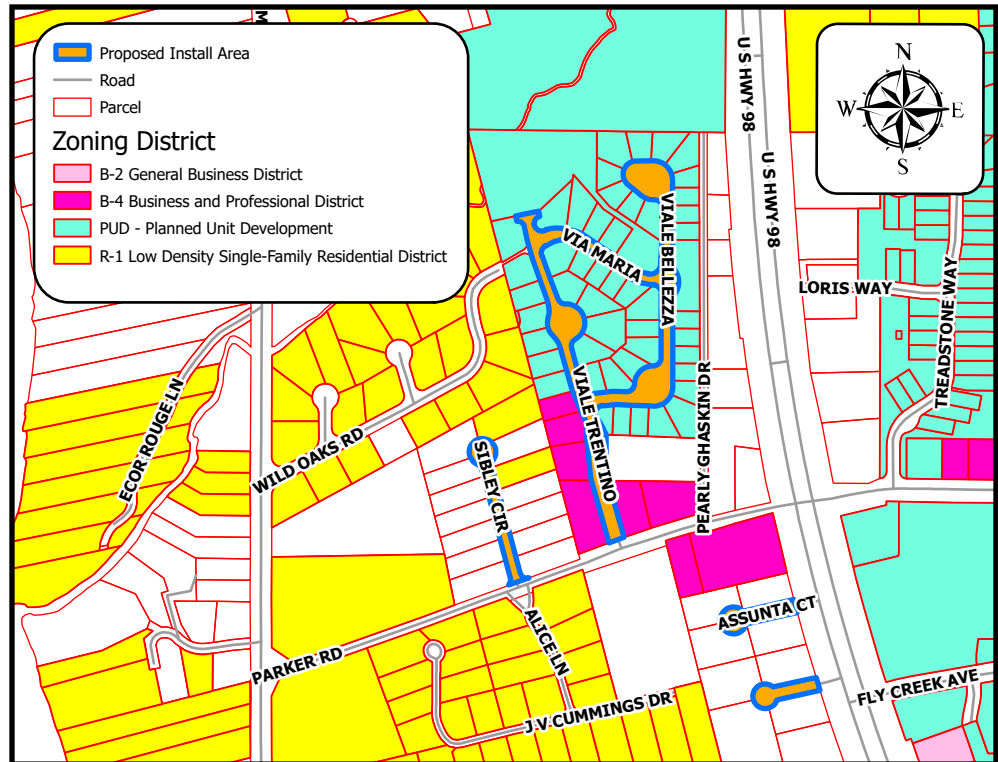
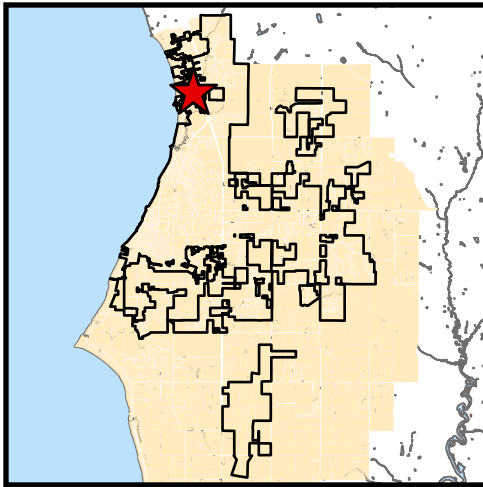
City of Fairhope

Planning Commission

January 6, 2025



UR 25.01 - 7549 Assunta Court, AT&T



Project Name:

7549 Assunta Court, AT&T

Site Data:

4,573 Linear Footage

Project Type:

Installation of Buried Fiber Cable

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

PUD

PPIN Number:

N/A

General Location:

North side of Parker Road, East of U.S. HWY 98

Surveyor of Record:

AT&T

Engineer of Record:

AT&T

Owner / Developer:

AT&T

School District:

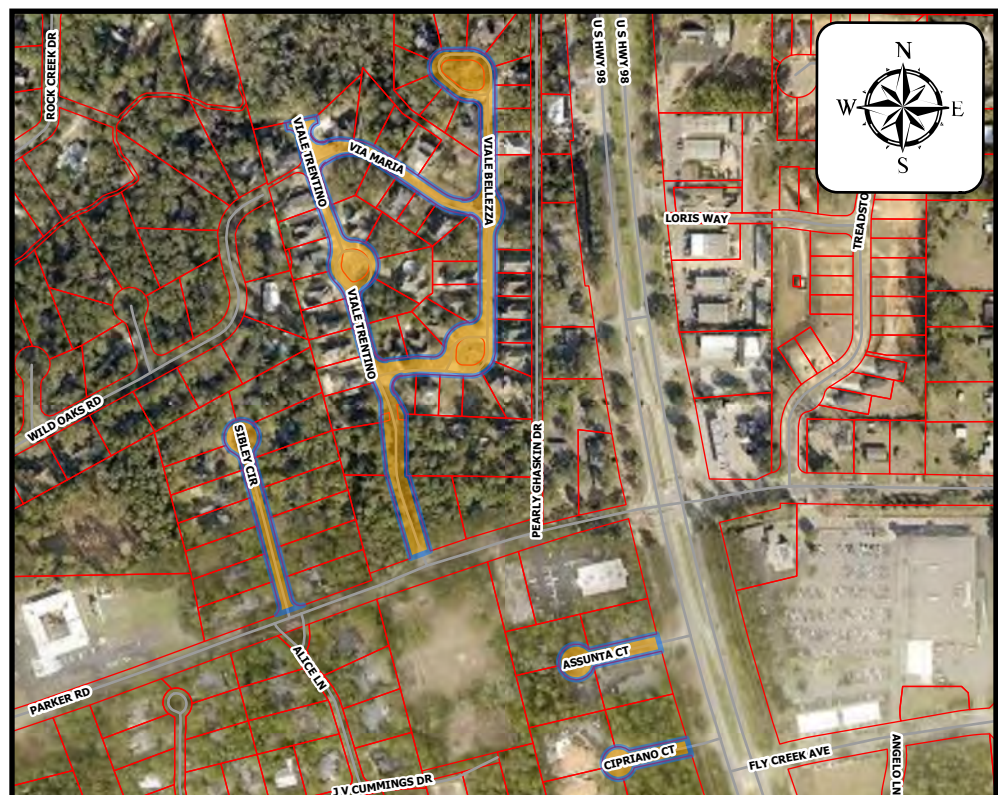
Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

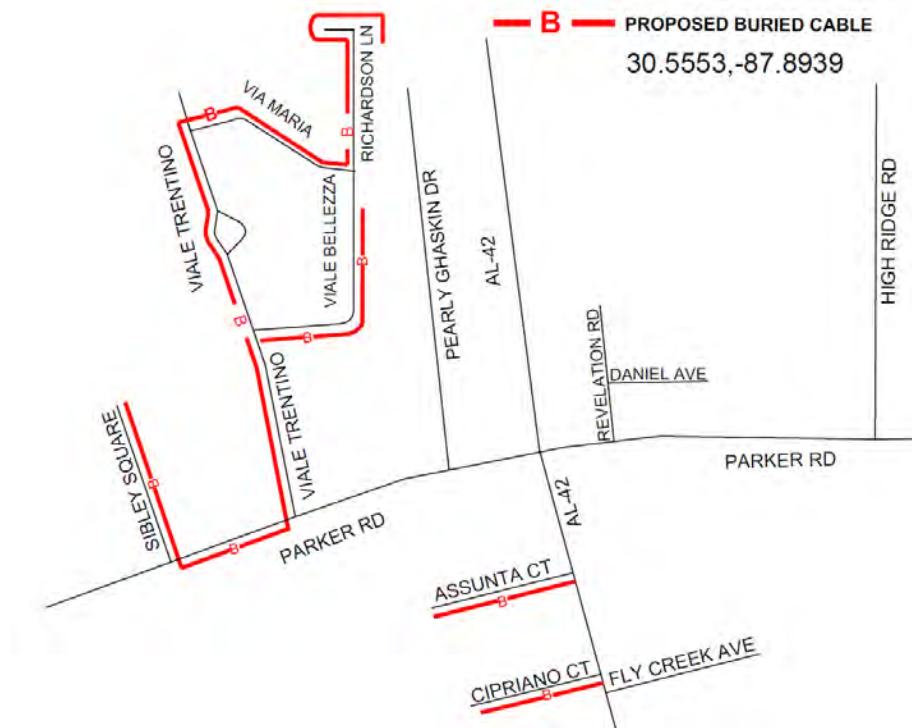
Approved w/ Conditions

Prepared by:

Chris Ambron



Summary of Request: Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of approximately **4,573 ft directional bore buried fiber** along routes outlined on the below location map.



1. Citizen Communication & Notification

- Provide Door Hangers at pre-construction meetings which shall be approved prior to distribution and work.
- Use of portable A-frame style signage at the entrance and exit of work sites.
- Applicant shall dedicate a Point of Contact to answer citizens questions.

2. Permitting, Locating & Phasing

- Subsurface Utility Engineering may be required for sensitive locations within the city as required by the ROW supervisor.
- An additional right-of-way permit may be required for the potholing procedures needed for SUE.
- A traffic control plan shall be submitted with all permits that affect the flow of traffic.
- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department. Permit not valid until approved and paid for on Citizen Serve online portal.
- The City's ROW inspector is to be notified 24 hours prior to any activity within the ROW. The prior notice applied to all activity within the ROW including but not limited to trenching, boring, concrete placement.
- Hand holes/boxes shall not be allowed to be installed in sidewalks. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate with the ROW inspector to resolve any conflicts.
- The applicant shall contact Alabama One Call 811 to locate all existing utilities in the ROW (750 LF maximum daily allocation for COF utility locates per day).
- A phasing plan must be submitted with the permit to alleviate confusion for locating.
- A pre-construction meeting shall be held with the City prior to issuance of any permits.

3. Construction

- A minimum horizontal clearance (separation) of 36" must be maintained from water, sewer, gas, stormwater, and other city utility infrastructure.
- A minimum depth for all telecommunication lines shall be 30".
- Conduit shall match the 811-color code for communication, electric, gas etc. No blue/blue striped conduit is to be used for telecommunications.
- The contractor responsible for *excavating inside right of way will be required to provide video documentation of the integrity of any sanitary sewer line (including laterals) within 3 feet of work being performed. This can be videoed prior to work being performed if locations, including depths, are clearly established by contractor, and said work is not within 3 ft of sewer mains or laterals within right of way. This does not apply to laterals on private property not "publicly maintained" (Private infrastructure).
- Water, sewer, and gas mains/services must be potholed prior to bore/missile crossings. If street cuts are necessary please contact Right of Way inspector for restoration.
- If sidewalk panels need to be removed, the subgrade must be compacted to the satisfaction of the ROW inspector. Cold patch asphalt shall be used as a temporary walking surface until the permanent repair can be done.
- Sidewalk panels shall be a minimum of 4000 psi and be inspected within 24 hours of pouring concrete. Anything over one sidewalk panel shall be poured via concrete truck (no bag mix allowed).

4. Horticultural

- Handholes shall not be located within driplines of trees within City property, to include the right of ways, without explicit written permission from the City Horticulturalist.
- Any proposed trenching shall not be within the dripline of trees.
- If within tree dripline, consult the City of Fairhope Horticulturist prior to earth work.
- Trees shall not be negatively impacted.
- Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. The contractor is responsible for any damaged trees.
- Any work done within the critical root zone shall be done to meet or exceed Internal Society Arboriculture (ISA) standards.
- All roots to be removed shall be severed cleanly at the perimeter of the protected radius.
- Protective barriers shall be used for all trees, barricades shall be erected a minimum of 20' from the trunk.

5. Erosion Control

- Any ROW cuts shall be stabilized (covered) at the end of each day & disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project. Sod shall be watered to ensure survival.
- Any excess soil shall be removed and disposed of properly. Dumping on private property without approval will not be tolerated.
- Mulch / seed shall only be acceptable as temporary cover.
- Inlets shall be protected. BMPs shall be placed at all affected storm inlets.
- If the site is within 100' of a critical area (wetland, etc.), red soil/clay shall not be allowed as fill material, per the City's Red Clay/Soil Ordinance.
- BMPs shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.

6. Project Completion, Punch List Walk, & As Built

- The applicant shall provide as-built drawings of all installed lines depicting depths.
- Damage to any City's infrastructure (storm, sewer, water, ditches etc. shall be the responsibility of the permittee to repair to city standards at no cost to the city.
- Any damage that occurs needs to be reported to the city as soon as possible.
- Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency.

7. Staff Recommendation

- The proposed utility construction falls within the corporate limits of the City of Fairhope. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the respective agency.
 - This site shall comply with all State, Federal and local requirements, including, but not limited to the following City of Fairhope Ordinances:
 - i. City of Fairhope Wetland Ordinance (#1370), which regulates activity within 20' of wetlands.
 - ii. City of Fairhope Red Soil & Clay Ordinance (#1423), which prohibits the use of red soil / clay within 100' of critical areas.
 - iii. City of Fairhope Erosion and Sediment Control Ordinance (#1398).
 - iv. Chapter 19 Article VI: ROW Construction and Administration, Ordinance (1754)
 - v. City of Fairhope Tree and Landscape Ordinance (#1444)
 - Staff Recommendation: **Approval with Conditions of UR 25.01**
1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
 2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
 3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
 - a. An additional right-of-way permit may be required for the potholing procedures.
 4. Follow-up activities below required by staff and the applicant:
 - a. **Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS technician for inclusion in GIS utility maps.**
 5. Provide draft door hanger for approval at time of pre-construction.
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 9. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).
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For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

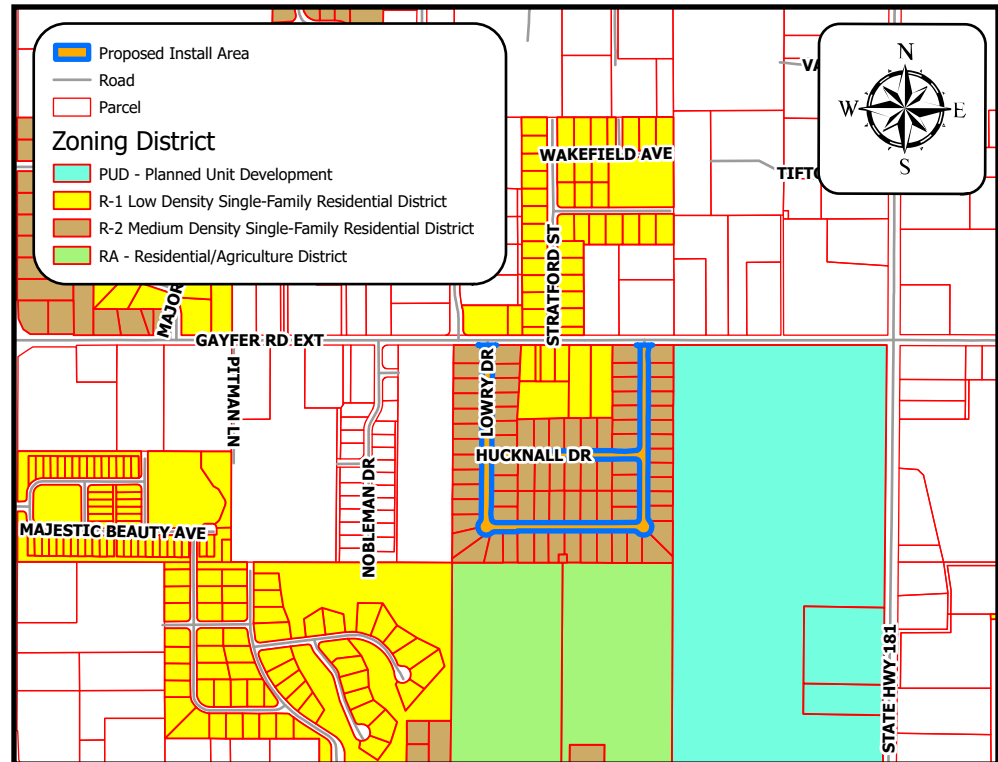
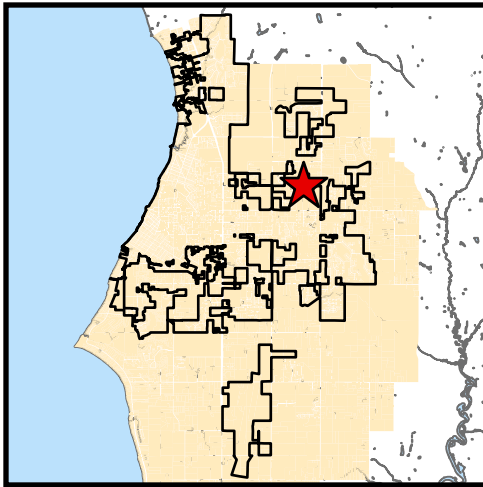
City of Fairhope

Planning Commission

January 6, 2025



UR 25.02 - 20485 Lowry Drive, AT&T



Project Name:

20485 Lowry Drive, AT&T

Site Data:

3,929 Linear Footage

Project Type:

Installation of Buried Fiber Cable

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

R-2

PPIN Number:

N/A

General Location:

South side of Gayfer Road Ext, West side of State HWY 181

Surveyor of Record:

AT&T

Engineer of Record:

AT&T

Owner / Developer:

AT&T

School District:

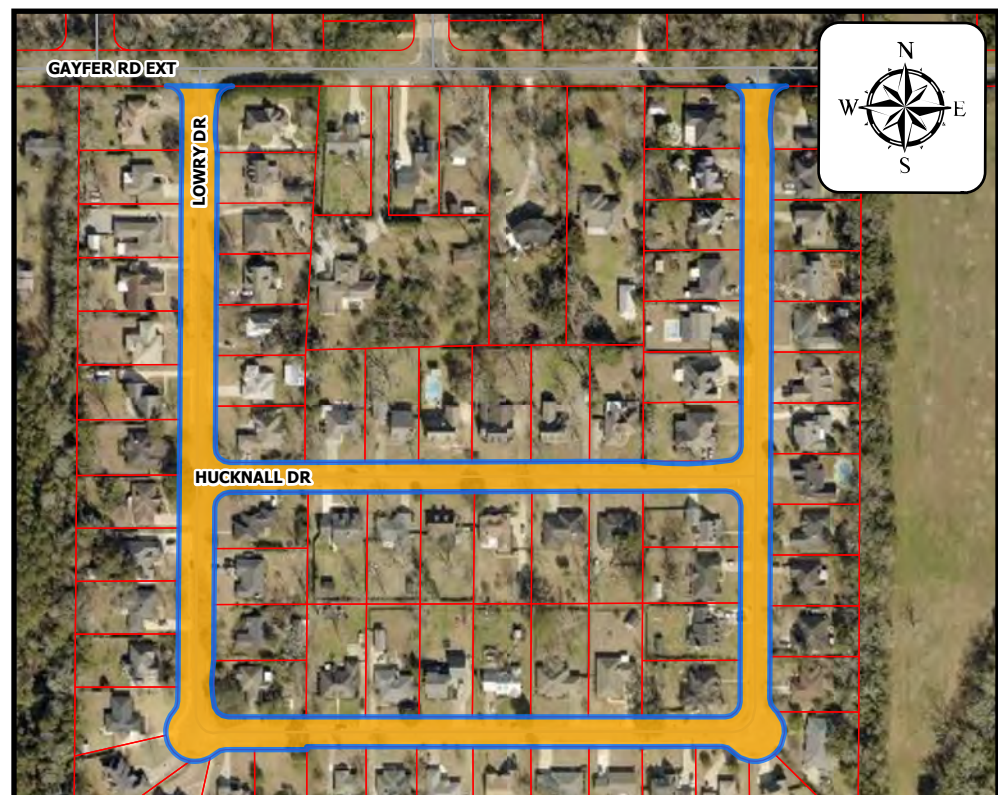
Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

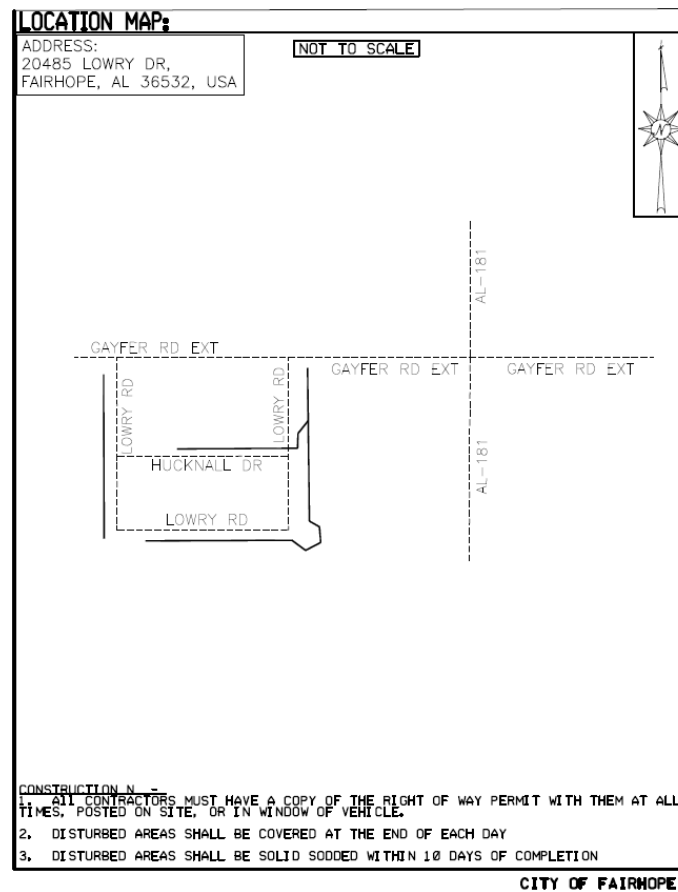
Approved w/ Conditions

Prepared by:

Chris Ambron



Summary of Request: Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of approximately **3,929 ft directional bore buried fiber** along routes outlined on the below location map.



1. Citizen Communication & Notification

- Provide Door Hangers at pre-construction meetings which shall be approved prior to distribution and work.
- Use of portable A-frame style signage at the entrance and exit of work sites.
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2. Permitting, Locating & Phasing

- Subsurface Utility Engineering may be required for sensitive locations within the city as required by the ROW supervisor.
- An additional right-of-way permit may be required for the potholing procedures needed for SUE.
- A traffic control plan shall be submitted with all permits that affect the flow of traffic.
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- The applicant shall contact Alabama One Call 811 to locate all existing utilities in the ROW (750 LF maximum daily allocation for COF utility locates per day).
- A phasing plan must be submitted with the permit to alleviate confusion for locating.
- A pre-construction meeting shall be held with the City prior to issuance of any permits.

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- A minimum horizontal clearance (separation) of 36" must be maintained from water, sewer, gas, stormwater, and other city utility infrastructure.
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- Water, sewer, and gas mains/services must be potholed prior to bore/missile crossings. If street cuts are necessary please contact Right of Way inspector for restoration.
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- All roots to be removed shall be severed cleanly at the perimeter of the protected radius.
- Protective barriers shall be used for all trees, barricades shall be erected a minimum of 20' from the trunk.

5. Erosion Control

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- Any excess soil shall be removed and disposed of properly. Dumping on private property without approval will not be tolerated.
- Mulch / seed shall only be acceptable as temporary cover.
- Inlets shall be protected. BMPs shall be placed at all affected storm inlets.
- If the site is within 100' of a critical area (wetland, etc.), red soil/clay shall not be allowed as fill material, per the City's Red Clay/Soil Ordinance.
- BMPs shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
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7. Staff Recommendation

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 - v. City of Fairhope Tree and Landscape Ordinance (#1444)
 - Staff Recommendation: **Approval with Conditions of UR 25.02**
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 6. **Approved door hangers shall be in place no later than 7 days prior to construction.**
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For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

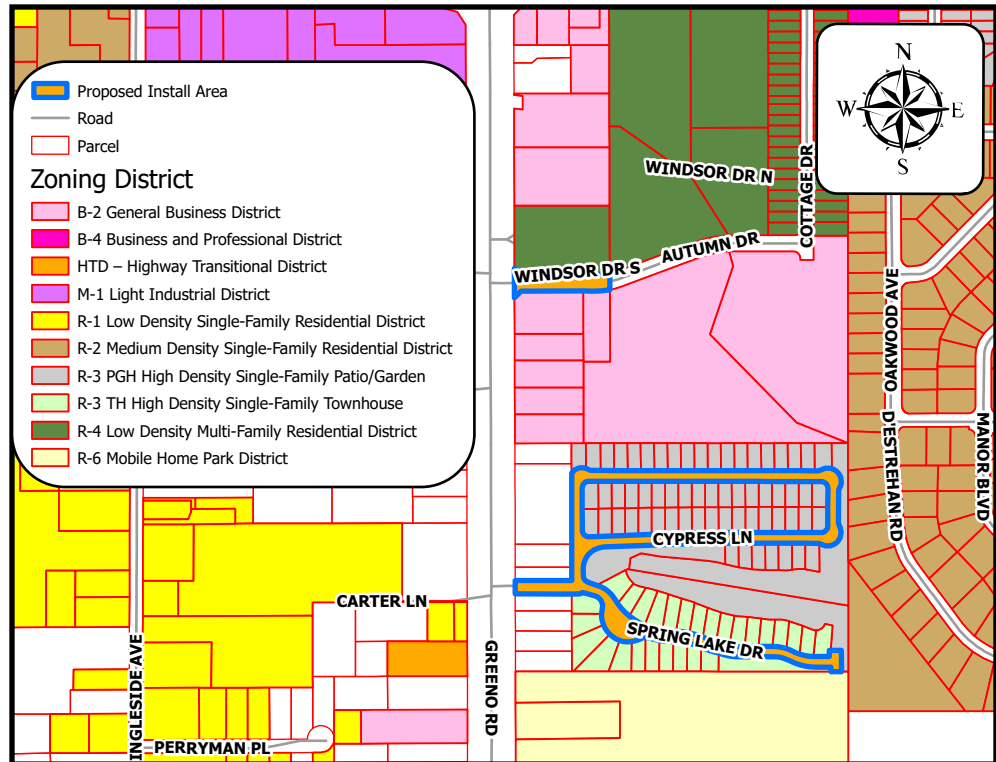
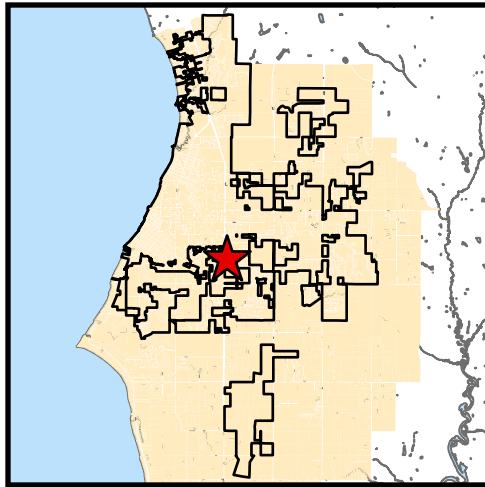
City of Fairhope

Planning Commission

January 6, 2025



UR 25.03 - 200 Spring Lake Drive, AT&T



Project Name:

200 Spring Lake Drive, AT&T

Site Data:

3,953 Linear Footage

Project Type:

Installation of Buried Fiber Cable

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

R-3 PGH

PPIN Number:

N/A

General Location:

East side of Greeno Road, South of Autumn Drive

Surveyor of Record:

AT&T

Engineer of Record:

AT&T

Owner / Developer:

AT&T

School District:

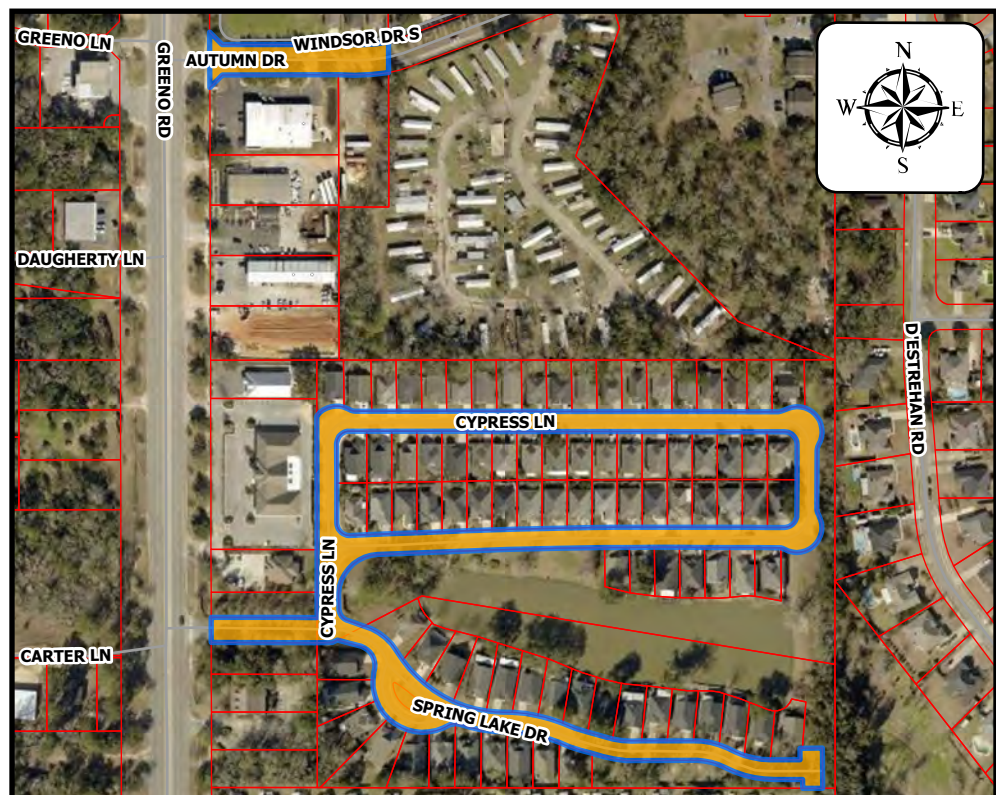
Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

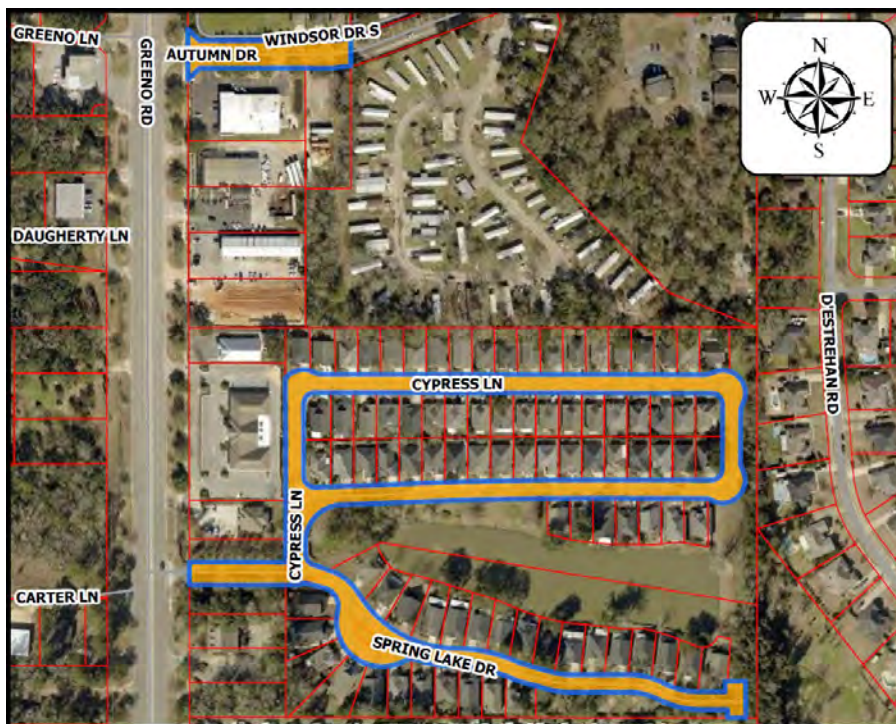
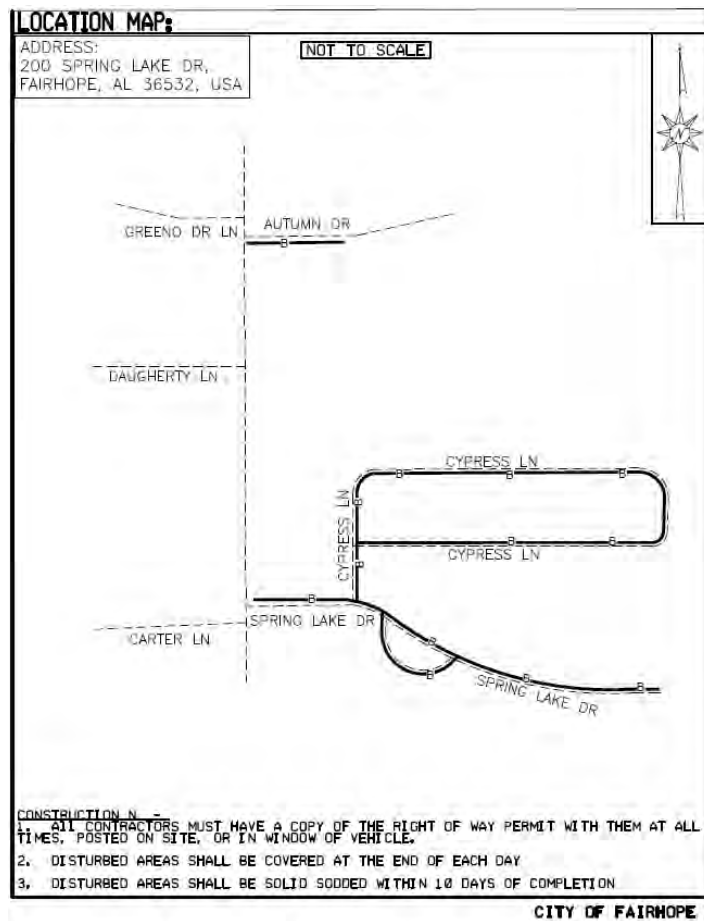
Approved w/ Conditions

Prepared by:

Chris Ambron



Summary of Request: Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of approximately **3,953 ft directional bore buried fiber** along routes outlined on the below location map.



1. Citizen Communication & Notification

- Provide Door Hangers at pre-construction meetings which shall be approved prior to distribution and work.
- Use of portable A-frame style signage at the entrance and exit of work sites.
- Applicant shall dedicate a Point of Contact to answer citizens questions.

2. Permitting, Locating & Phasing

- Subsurface Utility Engineering may be required for sensitive locations within the city as required by the ROW supervisor.
- An additional right-of-way permit may be required for the potholing procedures needed for SUE.
- A traffic control plan shall be submitted with all permits that affect the flow of traffic.
- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department. Permit not valid until approved and paid for on Citizen Serve online portal.
- The City's ROW inspector is to be notified 24 hours prior to any activity within the ROW. The prior notice applied to all activity within the ROW including but not limited to trenching, boring, concrete placement.
- Hand holes/boxes shall not be allowed to be installed in sidewalks. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate with the ROW inspector to resolve any conflicts.
- The applicant shall contact Alabama One Call 811 to locate all existing utilities in the ROW (750 LF maximum daily allocation for COF utility locates per day).
- A phasing plan must be submitted with the permit to alleviate confusion for locating.
- A pre-construction meeting shall be held with the City prior to issuance of any permits.

3. Construction

- A minimum horizontal clearance (separation) of 36" must be maintained from water, sewer, gas, stormwater, and other city utility infrastructure.
- A minimum depth for all telecommunication lines shall be 30".
- Conduit shall match the 811-color code for communication, electric, gas etc. No blue/blue striped conduit is to be used for telecommunications.
- The contractor responsible for *excavating inside right of way will be required to provide video documentation of the integrity of any sanitary sewer line (including laterals) within 3 feet of work being performed. This can be videoed prior to work being performed if locations, including depths, are clearly established by contractor, and said work is not within 3 ft of sewer mains or laterals within right of way. This does not apply to laterals on private property not "publicly maintained" (Private infrastructure).
- Water, sewer, and gas mains/services must be potholed prior to bore/missile crossings. If street cuts are necessary please contact Right of Way inspector for restoration.
- If sidewalk panels need to be removed, the subgrade must be compacted to the satisfaction of the ROW inspector. Cold patch asphalt shall be used as a temporary walking surface until the permanent repair can be done.
- Sidewalk panels shall be a minimum of 4000 psi and be inspected within 24 hours of pouring concrete. Anything over one sidewalk panel shall be poured via concrete truck (no bag mix allowed).

4. Horticultural

- Handholes shall not be located within driplines of trees within City property, to include the right of ways, without explicit written permission from the City Horticulturalist.
- Any proposed trenching shall not be within the dripline of trees.
- If within tree dripline, consult the City of Fairhope Horticulturist prior to earth work.
- Trees shall not be negatively impacted.
- Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. The contractor is responsible for any damaged trees.
- Any work done within the critical root zone shall be done to meet or exceed Internal Society Arboriculture (ISA) standards.
- All roots to be removed shall be severed cleanly at the perimeter of the protected radius.
- Protective barriers shall be used for all trees, barricades shall be erected a minimum of 20' from the trunk.

5. Erosion Control

- Any ROW cuts shall be stabilized (covered) at the end of each day & disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project. Sod shall be watered to ensure survival.
- Any excess soil shall be removed and disposed of properly. Dumping on private property without approval will not be tolerated.
- Mulch / seed shall only be acceptable as temporary cover.
- Inlets shall be protected. BMPs shall be placed at all affected storm inlets.
- If the site is within 100' of a critical area (wetland, etc.), red soil/clay shall not be allowed as fill material, per the City's Red Clay/Soil Ordinance.
- BMPs shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.

6. Project Completion, Punch List Walk, & As Built

- The applicant shall provide as-built drawings of all installed lines depicting depths.
- Damage to any City's infrastructure (storm, sewer, water, ditches etc. shall be the responsibility of the permittee to repair to city standards at no cost to the city.
- Any damage that occurs needs to be reported to the city as soon as possible.
- Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency.

7. Staff Recommendation

- The proposed utility construction falls within the corporate limits of the City of Fairhope. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the respective agency.
 - This site shall comply with all State, Federal and local requirements, including, but not limited to the following City of Fairhope Ordinances:
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 - iii. City of Fairhope Erosion and Sediment Control Ordinance (#1398).
 - iv. Chapter 19 Article VI: ROW Construction and Administration, Ordinance (1754)
 - v. City of Fairhope Tree and Landscape Ordinance (#1444)
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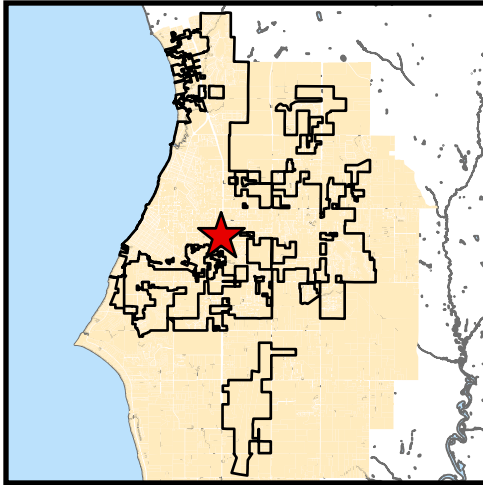
City of Fairhope

Planning Commission

January 6, 2025



UR 25.04 - 19755 Greeno Road, AT&T



Project Name:

19755 Greeno Road, AT&T

Site Data:

3,676 Linear Footage

Project Type:

Installation of Buried Fiber Cable

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

M-1, B-2

PPIN Number:

N/A

General Location:

Nichols Avenue, Commercial Park Drive,
and Spring Run Drive

Surveyor of Record:

AT&T

Engineer of Record:

AT&T

Owner / Developer:

AT&T

School District:

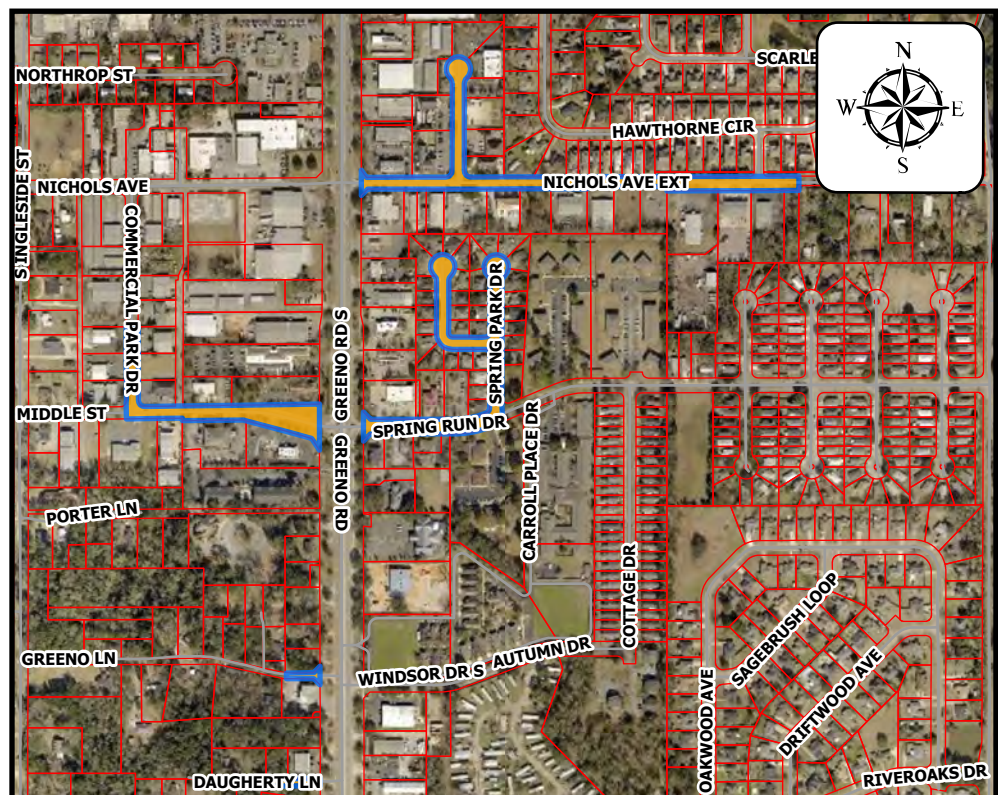
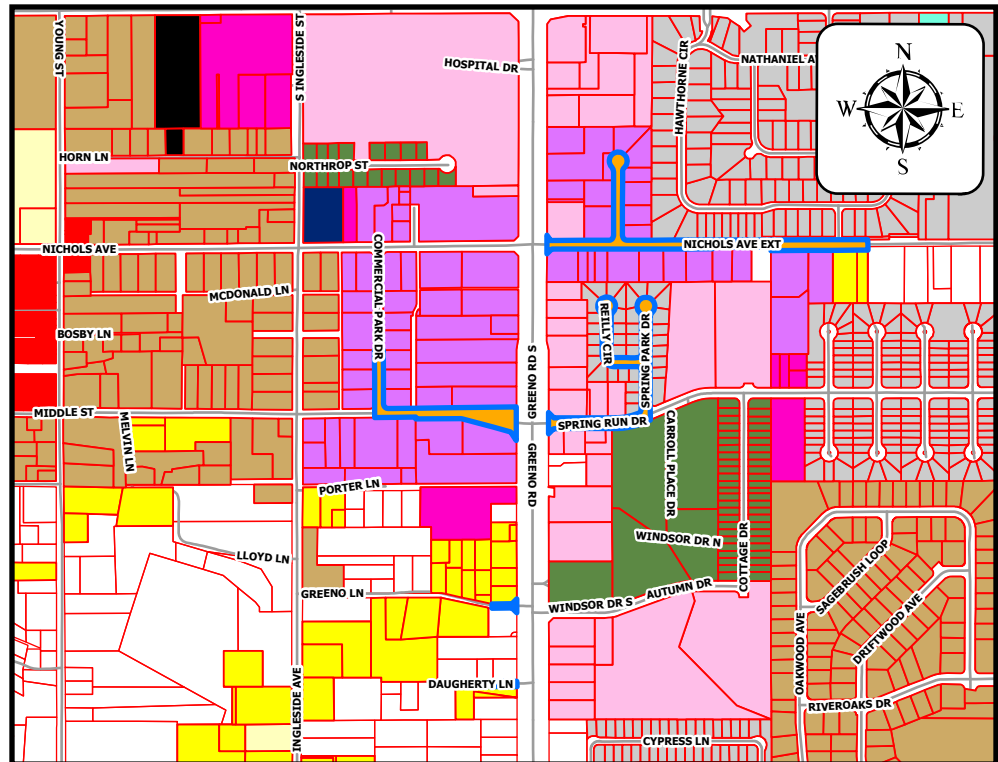
Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

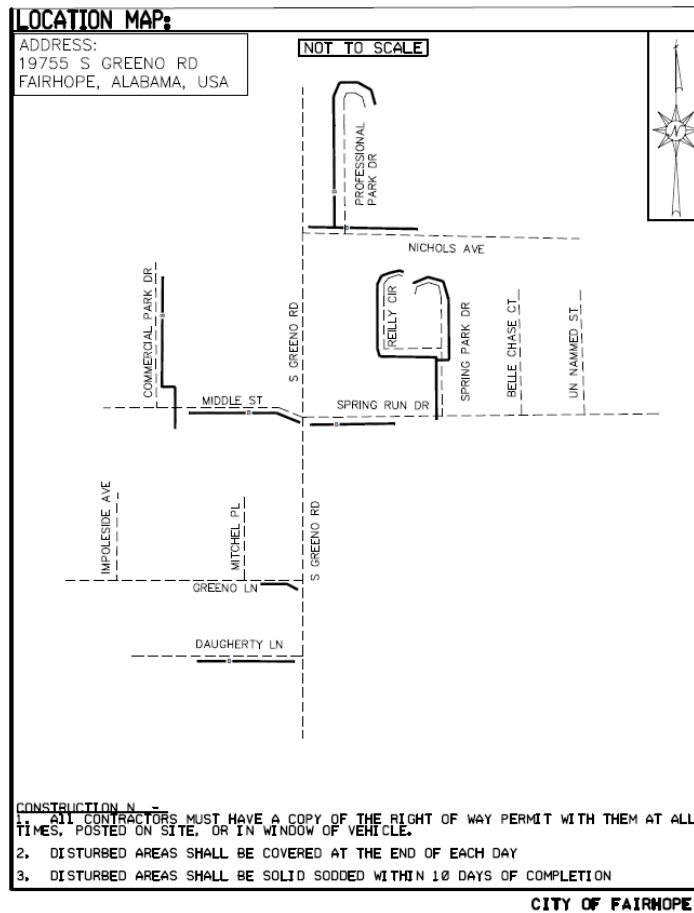
Approved w/ Conditions

Prepared by:

Chris Ambron



Summary of Request: Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of approximately **3,676 ft directional bore buried fiber** along routes outlined on the below location map.



1. Citizen Communication & Notification

- Provide Door Hangers at pre-construction meetings which shall be approved prior to distribution and work.
- Use of portable A-frame style signage at the entrance and exit of work sites.
- Applicant shall dedicate a Point of Contact to answer citizens questions.

2. Permitting, Locating & Phasing

- Subsurface Utility Engineering may be required for sensitive locations within the city as required by the ROW supervisor.
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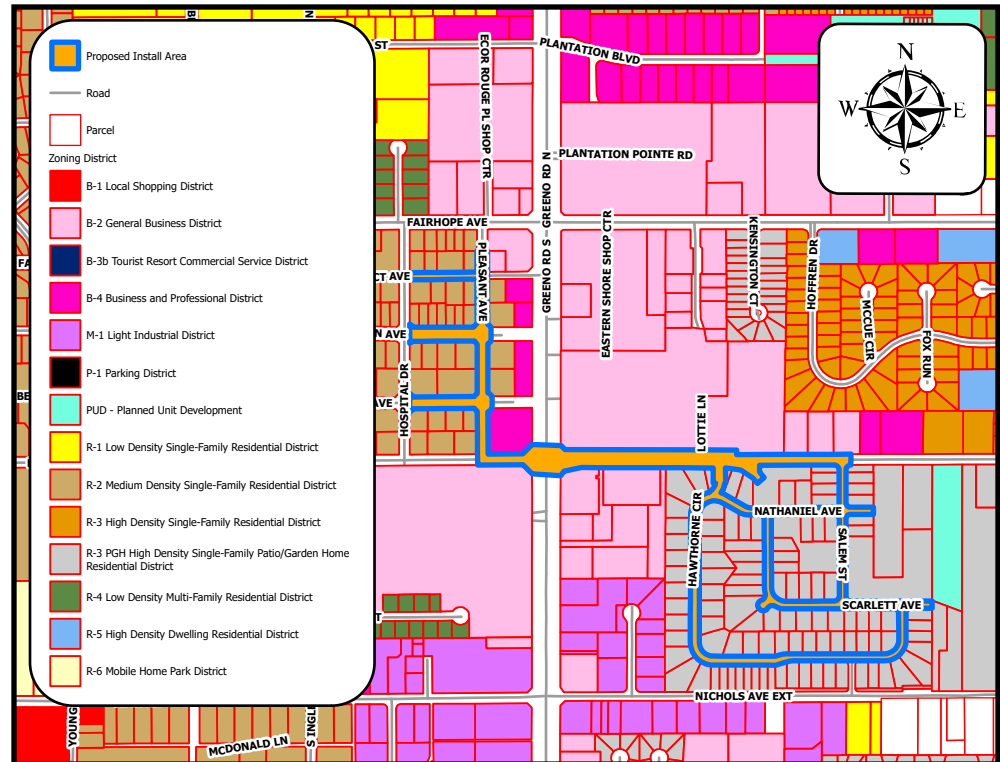
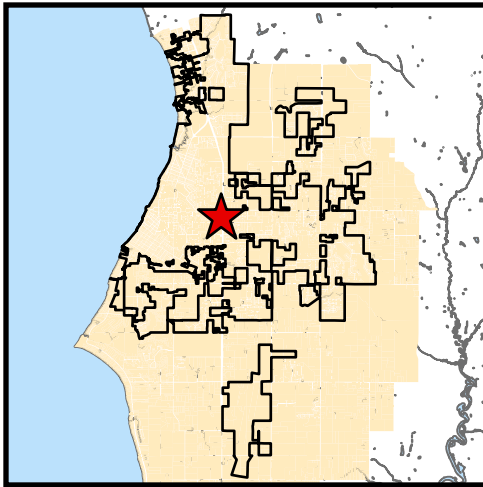
City of Fairhope

Planning Commission

January 6, 2025



UR 25.05 - 811 Morphy Avenue, AT&T



Project Name:

811 Morphy Avenue, AT&T

Site Data:

9,058 Linear Footage

Project Type:

Installation of Buried Fiber Cable

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

R-2, R-3 PGH

PPIN Number:

N/A

General Location:

Morphy Avenue, Pleasant Avenue, and Hawthorne Circle

Surveyor of Record:

AT&T

Engineer of Record:

AT&T

Owner / Developer:

AT&T

School District:

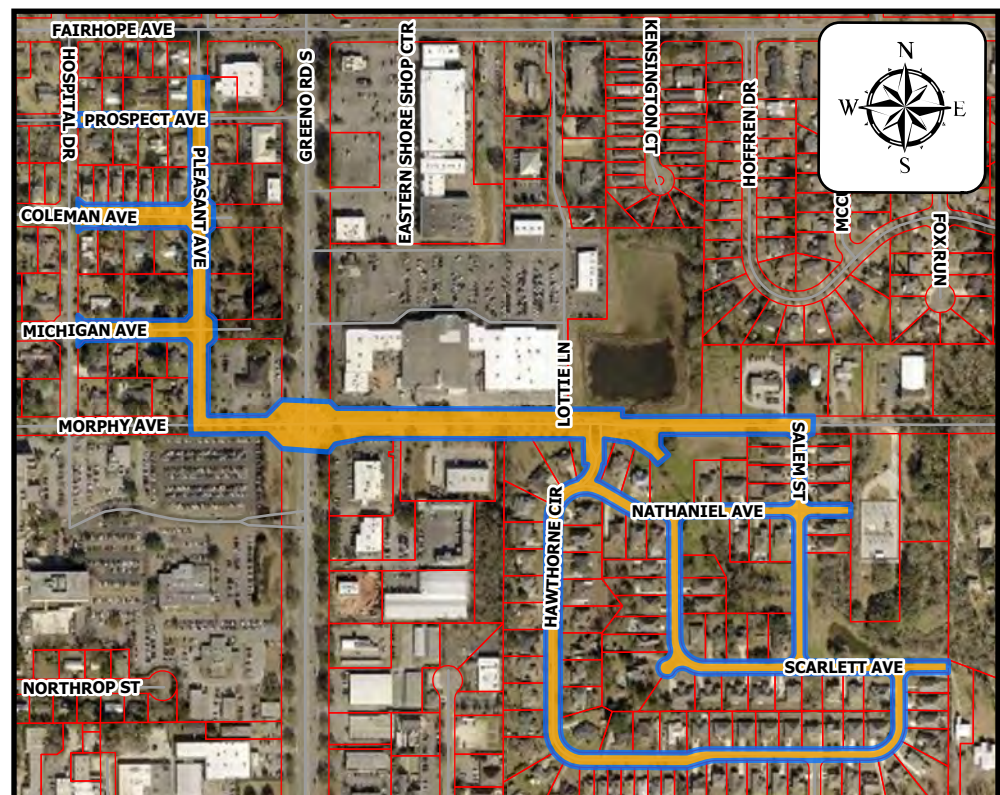
Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

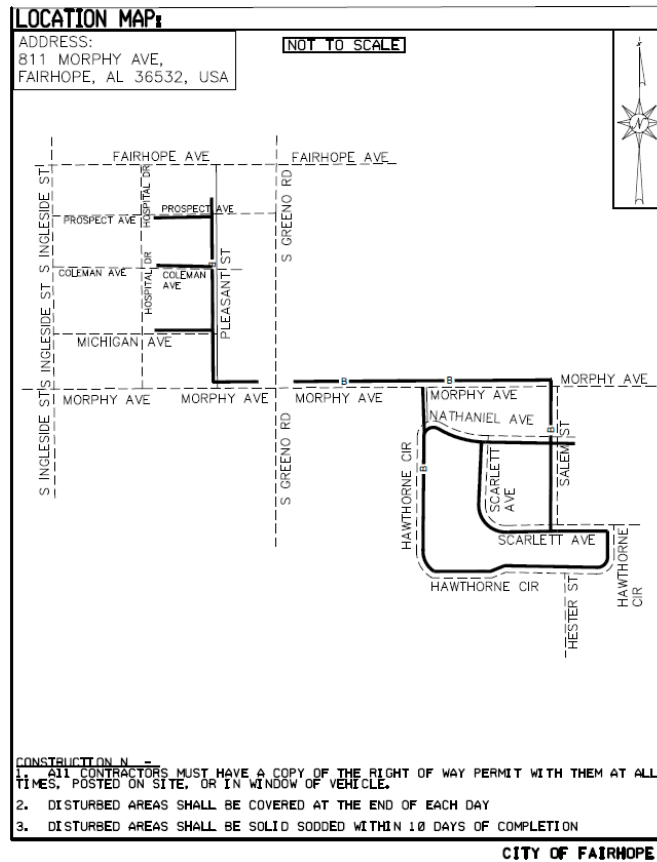
Approved w/ Conditions

Prepared by:

Chris Ambron



Summary of Request: Request of AT&T for an 11.52.11 Utility Review and approval of the proposed installation of approximately **9,058 ft directional bore buried fiber** along routes outlined on the below location map.



1. Citizen Communication & Notification

- Provide Door Hangers at pre-construction meetings which shall be approved prior to distribution and work.
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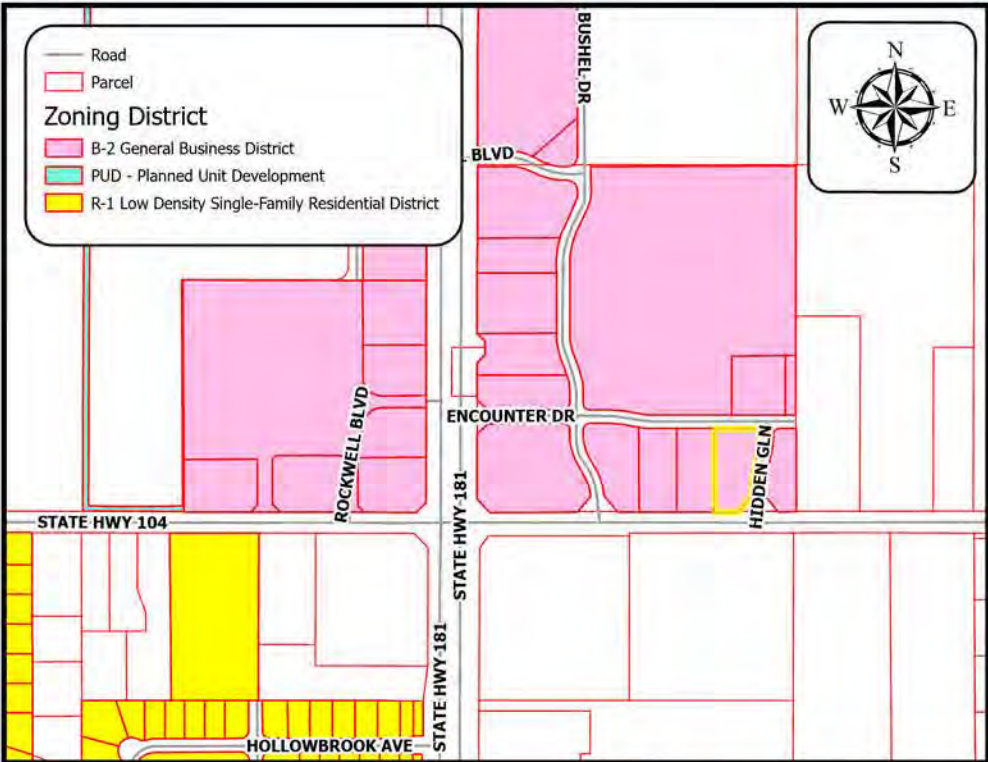
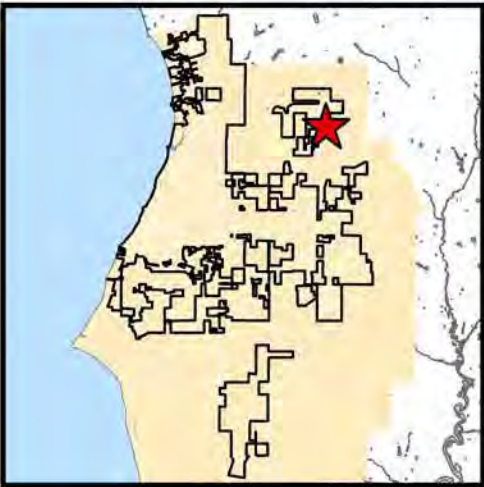
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City of Fairhope
Planning Commission
January 6, 2025



SR 25.01 - Waffle House



<u>Project Name:</u>
Waffle House
<u>Site Data:</u>
1.05 acres
<u>Project Type:</u>
Site Plan
<u>Jurisdiction:</u>
Fairhope Planning Jurisdiction
<u>Zoning District:</u>
B-2
<u>PPIN Number:</u>
627500
<u>General Location:</u>
North side of State HWY 104, East of State HWY 181
<u>Surveyor of Record:</u>
Erik Haeffs
<u>Engineer of Record:</u>
Erik Haeffs
<u>Owner / Developer:</u>
FST & Encounter Development LLC
<u>School District:</u>
Fairhope Elementary School Fairhope Middle and High Schools
<u>Recommendation:</u>
Approved w/ Conditions
<u>Prepared by:</u>
Name



APPLICATION FOR SITE PLAN APPROVAL

Application Type: ☒ Site Plan
 Attachments: ☒ Articles of Incorporation or List all associated investors

Date of Application: 11/21/2024

Property Owner / Leaseholder Information

Name of Property Owner: FST and Encounter Development LLC Phone Number: _____
 Address of Property Owner: 1189 Post Road, Suite 3B
 City: Fairfield State: CT Zip: 06824

Proposed Site Plan Name: Waffle House - John Franklin
 Site Acreage: ± 1.05ac Sq. Footage: 1,913 sf
 Parcel No: _____ Current Zoning: B-2

Authorized Agent Information

Name of Authorized Agent: Erik Haeffs Phone Number: 770-729-5806
 Address: 5986 Financial Dr.
 City: Norcross State: GA Zip: 30071
 Contact Person: Erik Haeffs

Engineer/Architect Information

Name of Firm: The Continea Group Phone Number: 770-335-9403
 Address: 755 Commerce Dr., Suite 800
 City: Decatur State: GA Zip: 30030
 Contact Person: Juan Del Rio

I certify that I am the property owner/leaseholder of the above described property and hereby submit this site plan to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Ken Kleban
 Encounter Development, LLC FST

Property Owner/Leaseholder Printed Name

11/21/2024

Date

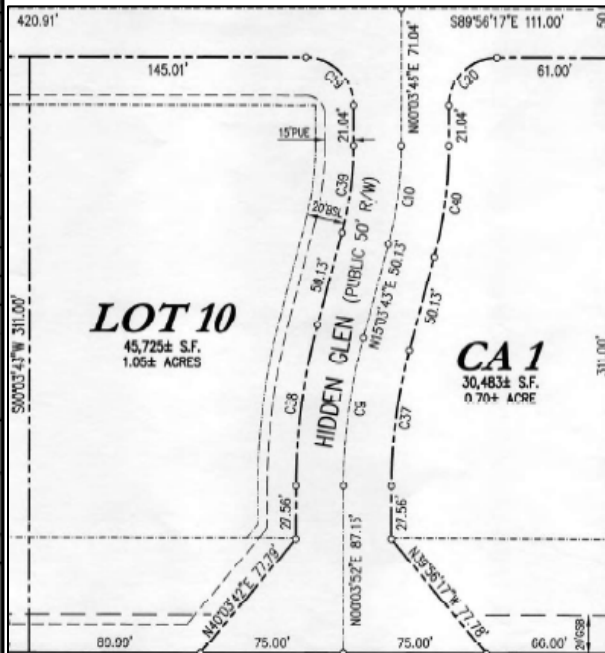
Ken Kleban
 Signature

Fairhope Single Tax Corp. (If Applicable)

Summary of Request:

Request of Applicant, Waffle House, Inc., for Site Plan Approval of new Waffle House location on Lot 10 of the Encounter Commercial Retail Center on the northeast corner of Alabama Highways 104 and 181 intersections. Erik Haeffs is the authorized agent. The Contineo Group is the engineer for the project. The subject property is a little more than an acre (1.1) and is zoned B-2. The proposed building is 1,913sf.

<i>SITE SUMMARY</i>	
ZONING DISTRICT	B-2 GENERAL BUSINESS
JURISDICTION	CITY OF FAIRHOPE
PROPOSED USE	RESTAURANT
PROPOSED LOT AREA	1.050 AC (45,725 SF)
PROPOSED BUILDING	1913 SF
FRONT YARD SETBACK	100'
INTERIOR SIDE YARD SETBACK	20'
REAR YARD SETBACK	25'
PARKING STALL DIMENSIONS	10'X20'
MINIMUM PARKING SPACES REQUIRED	22
PROPOSED PARKING SPACES	26
BUILDING HEIGHT	16'-2"
BUILDING COVERAGE	4.2%
PERCENTAGE OF IMPERVIOUS AREA, EXCLUDING BUILDING (INCLUDES PVIOUS PARKING)	35.1%
PERCENTAGE OF PROPOSED GREENSPACE (10% REQUIRED)	60.7% (PROVIDED)
LANDSCAPE BETWEEN BUILDING AND R.O.W.	5,489SF REQUIRED 22,567SF PROVIDED
DEDICATED GREENSPACE	0.0%
PARKING REQUIREMENT: 1 SPACE PER 4 SEATS = 88/4 = 22 MIN 10% OF MIN. PARKING + MIN. PARKING = 24 MAX. 24 PARKING STALLS PROPOSED	



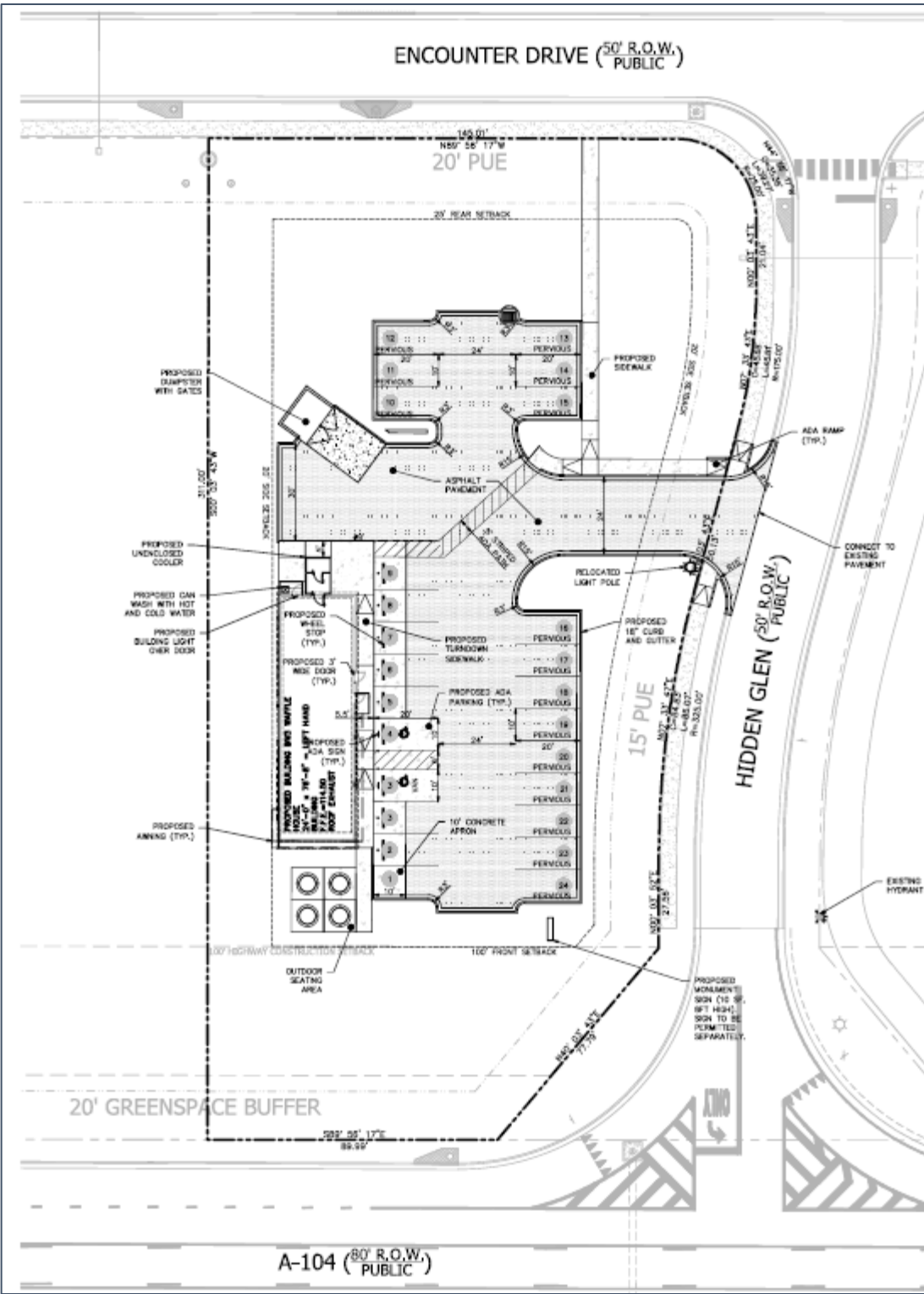
Setbacks: Setbacks for this development vary. B-2 requires only a 20ft front setback according to Table 3-2. Lot 10 fronts AL Hwy 104, which has a 100ft highway construction setback. The other setbacks are 25ft rear and 20ft side setbacks.

Building: The building itself faces Hidden Glen. Building height is approximately 16ft. The building takes up 4.2% of Lot 10. Proposed use is national chain restaurant. All elevations are included in the packet. Materials for the building are brick with a metal awning.

Sidewalks: This Site Plan includes a proposed interior sidewalk and proposed ADA path in the parking lot. There will be sidewalks along Hidden Glen and Encounter Drive. The Pedestrian Circulation Plan can be found on Sheet C2.1 in the Complete Plans.

ADA Requirements: Other ADA requirements have been met.

Site Plan



Mechanical equipment: Mechanical equipment has been finalized and all appear on the Site Plan.

Location and size of all signage: A sign plan was submitted separately and has been approved.

Storm water: Drainage has been accounted for the entire Encounter Commercial Retail Center in SD 24.13; thus, there are not retention/detention facilities on individual lots. There is a large retention pond within Lot 12 of the Encounter development where most of the drainage is directed.

Landscaping Plan: An updated landscape plan was submitted per concerns about height of shrubs at time of planting and the shrub species was replaced with *Maki Podocarpus*. Plans include the relocation of a live oak tree that was planted by the developer as part of the Encounter development. There is concern regarding the survival of the transplanted tree amongst a working commercial development. It shall be a condition of approval that at the final inspection the City Horticulturist assess the health of the transplanted tree. If the tree is determined to be in poor health, then Applicant shall replace the tree with a healthy version of the same variety and size.

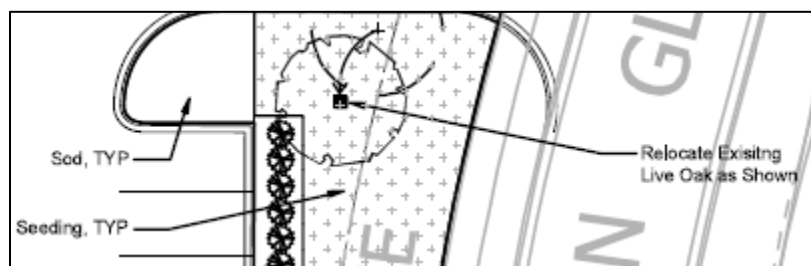


Figure 1: Landscape Plan detail of relocation of tree.

Parking: The plan has surplus parking with 24 spaces. Twenty (20) spaces are required per Table 4-3 Parking Schedule. Twenty percent (20%) overage is allowed and shall be pervious. Fifteen (15) of the 24 parking spots are pervious. Parking meets the requirements of Zoning Ordinance, as well as the perimeter landscape screening requirements of the Tree Ordinance.

Locations, intensity, and heights of exterior lights: A photometric plan was submitted within the Complete Plans. The first draft had light poles that were too high at 23ft; whereas parking lots with 50 or fewer spaces shall have light poles that do not exceed 10ft overall height pursuant to Article IV, Section B(3) of the Zoning Ordinance. Applicant has adjusted the height to conform to the Ordinance.

Erosion control: An Erosion Control plan was submitted with the application and is acceptable.

Utilities: A utility plan was submitted and has been reviewed and approved by the appropriate providers.

Greenspace: Ten percent (10%) of the site is required to be greenspace. There is a “green” type of civic greenspace on site that meets the requirements of Article V, Section C, of the Subdivision Regulations.

Dumpster location and screening: The dumpster enclosure is in the northwest quadrant of the site. The grease container is also within the gated enclosure. Shrubs will be around the parts of the enclosure that are not part of the vehicular use area.

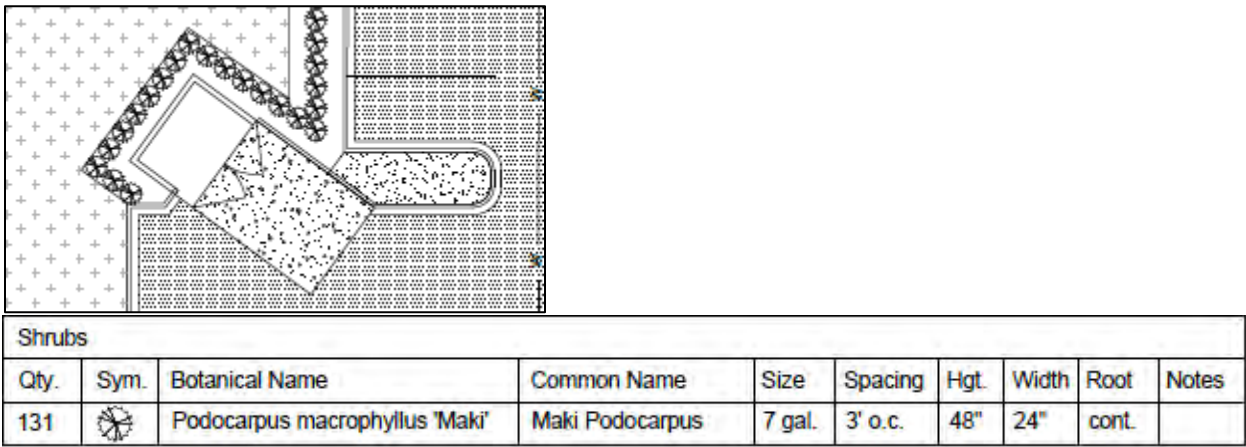


Figure 2: Landscaping Detail for Dumpster and Grease Container Enclosure.

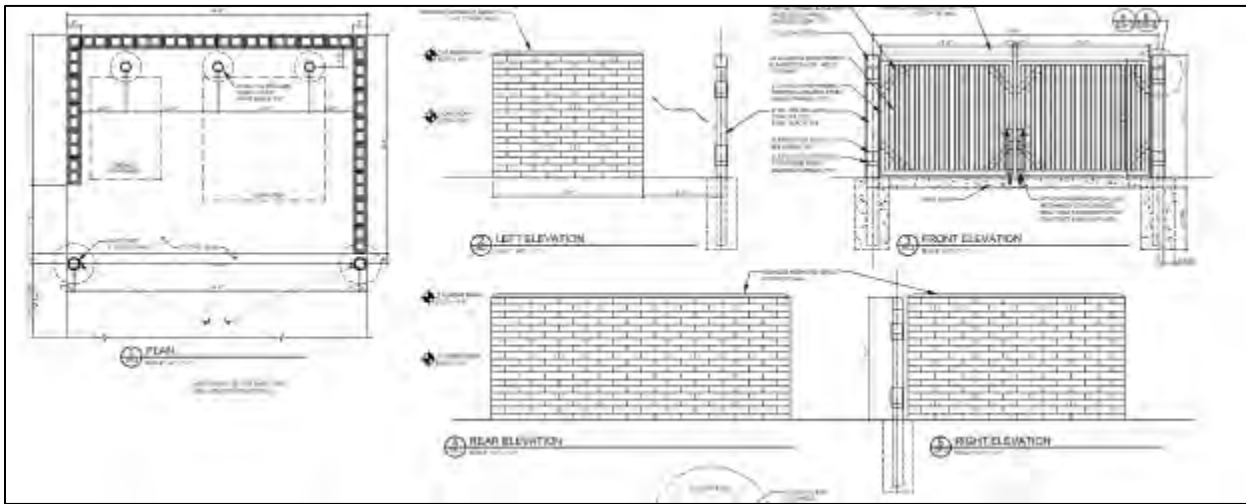


Figure 3: Elevations of Dumpster and Grease Container Enclosure.

Traffic: A thorough traffic study was conducted for the entire Encounter development and the road infrastructure was designed in accordance with the recommendations from the traffic study. A trip generation report for the site is in the packet.

Article II, Section C.2.d. (Site Plan Review Criteria)

Criteria – The application shall be reviewed based on the following criteria:

- (1) Compliance with the Comprehensive Plan; **The previous Comprehensive Plan put a Commercial Node at the AL Hwys 181 and 104 intersections. The Encounter Commercial Retail Center is in a newly recognized Suburban Mixed-Use Center in the proposed Comprehensive Plan.**
- (2) Compliance with any other approved planning documents; **Meets**
- (3) Compliance with the standards, goals, and intent of this ordinance and applicable zoning districts; **Meets**

- (4) Compliance with other laws and regulations of the City; **Meets**
- (5) Compliance with other applicable laws and regulations of other jurisdictions; **Meets**
- (6) Impacts on adjacent property including noise, traffic, visible intrusions, potential physical impacts, and property values; **Meets.**
- (7) Impacts on the surrounding neighborhood including noise, traffic, visible intrusions, potential physical impacts, and property values; **Property is zoned B-2. The larger development site does abut to conflicting uses. The previous subdivision provided required buffers.**
- (8) Overall benefit to the community; **Meets. There are a lot of residential units being built in the immediate surrounding area, especially to the north. A commercial retail center with a variety of retail/restaurant/office/commercial units will be a benefit to the residential subdivisions.**
- (9) Compliance with sound planning principles; **Meets. The general location has been designated a commercial node in the past and current comprehensive plans. Connectivity with other developments has been included.**
- (10) Compliance with the terms and conditions of any zoning approval; **Meets**
- (11) Any other matter relating to the health, safety, and welfare of the community; **Nothing noted**
- (12) Property boundaries with dimensions and setback lines; **Meets**
- (13) Location of proposed buildings and structures indicating sizes in square feet; **Meets**
- (14) Data to show percentage of lot covered with existing and proposed buildings; **Meets**
- (15) Elevations indicating exterior materials;
Front, side, and rear elevations were provided with the building materials.
- (16) The locations, intensity, and height of exterior lights; **Meets**
- (17) The locations of mechanical equipment; **All relevant requirements are met.**
- (18) Outside storage and/or display; **Meets**
- (19) Drive-up window locations (must be away from residential uses/districts and not in front of building);
n/a
- (20) Curb-cut detail and location(s);
Provided
- (21) Parking, loading, and maneuvering areas;
Meets
- (22) Landscaping plan in accordance with the City Landscape Ordinance; **Meets**
- (23) Location, materials, and elevation of any and all fences and/or walls; **n/a**
- (24) Dumpster location and screening; and
Meets
- (25) Location and size of all signage. **Meets**

Recommendation:

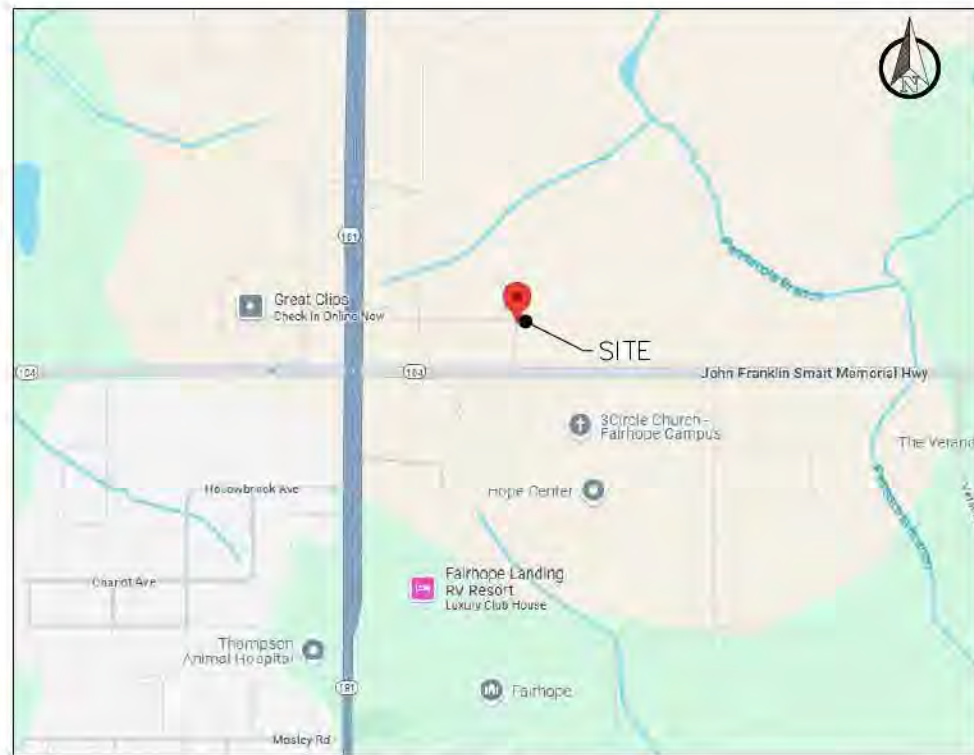
Staff recommends to Planning Commission to recommend to City Council **conditional approval** of case SR 25.01 Waffle House on Lot 10 in the Encounter Commercial Retail Center with the following condition(s):

1. City Horticulturist shall assess the transplanted live oak by the entrance on Bushel Drive at final inspection. If the tree is determined to not be in good health/condition, then the Applicant shall replace said tree with a healthy version the same size and species.

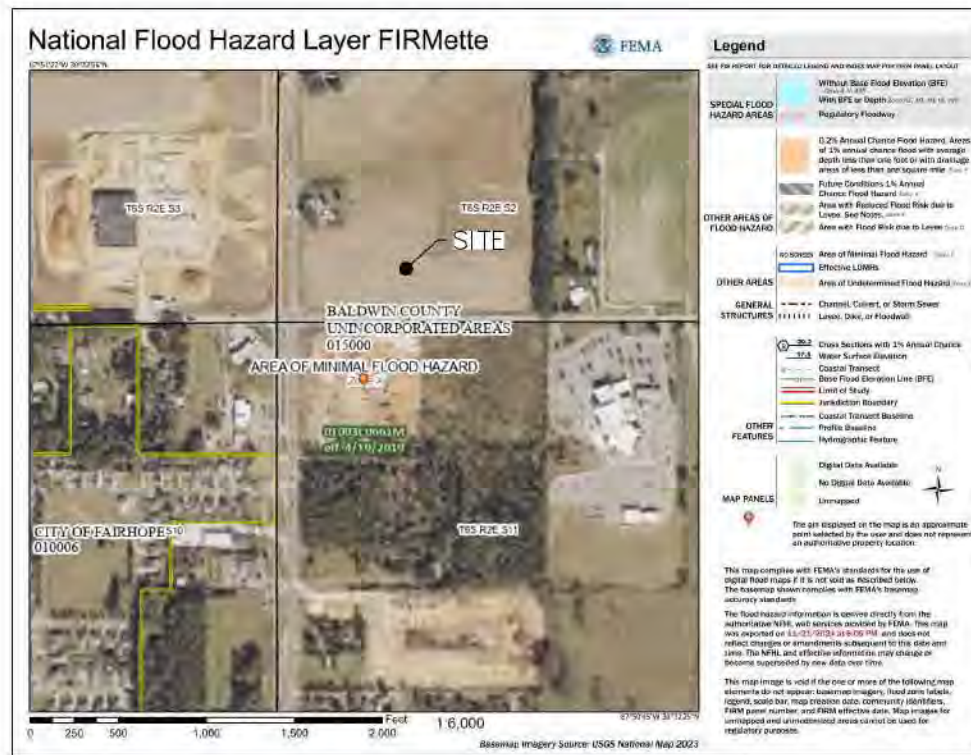
WAFFLE HOUSE

FAIRHOPE, ALABAMA

SOUTHWEST CORNER OF ENCOUNTER DRIVE AND HIDDEN GLEN
FAIRHOPE, AL 36532



VICINITY MAP
N.T.S.



FEMA MAP
N.T.S.

THE PROPERTY SHOWN HEREIN LIES WITHIN FLOOD HAZARD ZONE 'X' AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAP PANEL NUMBER 01003C00661M FOR FLOOD BOUNDARY AND FLOODWAY FOR THE CITY OF FAIRHOPE, ALABAMA.

SITE NOTES:

- COMPLETION OF ALL WORK SHALL BE IN ACCORDANCE THESE PLANS, SPECIFICATIONS, AS WELL AS, WITH FEDERAL, STATE AND LOCAL REGULATIONS. DEVIATION FROM THESE MAY CAUSE THE PROJECT TO BE UNACCEPTABLE.
- PROJECT TO BE DELIVERED IN ACCORDANCE WITH AMERICANS WITH DISABILITY ACT (ADA) PER FEDERAL, STATE AND LOCAL CODES.
- PROJECT TO BE DELIVERED IN ACCORDANCE WITH THE UNIFORM TRAFFIC CONTROL MANUAL (UTCD), ASHTO, AS WELL AS STATE AND LOCAL REGULATIONS.
- ARCHITECTURAL PLANS ARE TO GOVERN IN THE AREA WITHIN 5' OF THE BUILDING ENVELOPE. THIS IS TO INCLUDE BUT NOT LIMITED TO, STEPS, STOOPS, SIDEWALKS, RAMPS, HANDRAILS, ETC. SITE CONTRACTOR IS RESPONSIBLE FOR ALL WORK OUTSIDE OF THIS ENVELOPE.
- THE FACE OF CURB AND OUTSIDE FACE OF BUILDING SHALL BE THE DIMENSIONAL REFERENCE FOR ALL SITE MEASUREMENTS AND RADII, UNLESS OTHERWISE NOTED. ALL RADII SHALL BE ASSUMED TO BE 2, WHERE NO DIMENSION IS GIVEN.
- CURB AND GUTTER SHALL BE 18" IN SIZE UNLESS SPECIFIED OTHERWISE.
- EXISTING AND REMAINING FACILITIES, WHETHER ON THE PROPERTY OR ON ADJACENT PROPERTIES, SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITIONS. IF DISTURBED, THESE STRUCTURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- CONTRACTOR IS RESPONSIBLE TO PROVIDING ALL AS-BUILTS AND OTHER CERTIFICATIONS IN ORDER TO CAUSE THE ACCEPTANCE OF THE PROJECT BY THE CLIENT AND RELEASE OF A CERTIFICATE OF OCCUPANCY.
- CONTRACTOR TO VERIFY THE EXISTING CONDITIONS ON WHICH THE PROJECT DESIGNS (ALL PHASES) ARE BASED AND BECOME FAMILIAR WITH ALL NECESSARY INFORMATION, WHETHER ON THE SUBJECT TRACT OR ADJACENT PROPERTIES. IF UNKNOWN CONDITIONS ARE DISCOVERED WHICH JEOPARDIZES THE SCOPE AND DELIVERY OF THE PROJECT, THE CONTRACTOR IS TO PROVIDE IMMEDIATE WRITTEN NOTIFICATION TO THE ENGINEER.
- THE CONTRACTOR SHALL DELIVER THE CURB AND GUTTER AT A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
- THE CONTRACTOR SHALL DELIVER THE PARKING LOT PAINTING AND STRIPING WITH A MINIMUM OF TWO COATS OF PAINT PER PROJECT SPECIFICATIONS.
- ALL EASEMENTS REQUIRED TO COMPLETE THE WORK, BUT NOT PROVIDED BY THE CLIENT, ARE THE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL NOTES:

- CONTRACTOR'S RESPONSIBILITY TO INCLUDE, BUT NOT LIMITED TO:
- CAUSE THE WORK TO BE COMPLETED PER FEDERAL, STATE AND LOCAL CODES DURING ALL PHASES OF THE PROJECT.
 - VERIFY THE EXISTING CONDITIONS ON WHICH THE PROJECT DESIGNS (ALL PHASES) ARE BASED AND BECOME FAMILIAR WITH ALL NECESSARY INFORMATION, WHETHER ON THE SUBJECT TRACT OR ADJACENT PROPERTIES. IF UNKNOWN CONDITIONS ARE DISCOVERED WHICH JEOPARDIZES THE SCOPE AND DELIVERY OF THE PROJECT, THE CONTRACTOR IS TO PROVIDE IMMEDIATE WRITTEN NOTIFICATION TO THE ENGINEER.
 - COORDINATE WITH UTILITY PROVIDERS TO CONFIRM THE LOCATION OF EXISTING AND PROPOSED SERVICES WILL BE ADEQUATE FOR THE DEVELOPMENT. THE ENGINEER DOES NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF THE EXISTING UTILITY LOCATIONS AND PROPOSED LOCATIONS ARE APPROXIMATE IN NATURE.
 - CONSTRUCTION LIMITS SHALL BE PROPERLY MARKED AND BARRIERS CREATED AS NECESSARY TO PROTECT CONSTRUCTION PERSONNEL AS WELL AS THE PUBLIC, OSHA AND ALL OTHER GOVERNING STANDARDS.
 - PROVISION OF ALL NECESSARY WORK IN ORDER TO CAUSE THE PROJECT TO BE COMPLETED WHETHER OR NOT THE WORK IS SPECIFICALLY DESCRIBED WITHIN THE PROJECT DESIGNS OR REQUIRED BY REGULATION IN THE COURSE OF WORK.
 - EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES DURING ALL PHASES OF THE PROJECT.
 - DEMOLITION RESPONSIBILITIES:
 - CONSTRUCTION DEBRIS AND REFUSE RESULTING FROM DEMOLITION SHALL BE REMOVED FROM THE CONSTRUCTION LOCATION UNDER MEANS THAT ADHERE TO FEDERAL, STATE AND LOCAL REGULATIONS. UNDER NO CIRCUMSTANCES SHALL REFUSE MANAGEMENT COMPROMISE THE DELIVERY SCHEDULE OR QUALITY OF THE PROJECT.
 - FEDERAL, STATE AND LOCAL REGULATIONS SHALL BE ADHERED TO AT ALL TIMES DURING DEMOLITION.
 - PRIOR TO DEMOLITION COMMENCEMENT, CONTACT LOCAL "CALL DIG" SERVICES.
 - PROPER SHIELDING AND BRACING SYSTEMS SHALL BE UTILIZED FOR ALL EXCAVATIONS AT ALL TIMES. COMPLETELY FILL ALL EXCAVATIONS AT THE END OF EACH DAY.
 - BURNING OF MATERIALS IS PROHIBITED EXCEPT BY PROPER PERMIT FROM GOVERNING AGENCY.
 - EXISTING AND REMAINING FACILITIES, WHETHER ON THE PROPERTY OR ON ADJACENT PROPERTIES, SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITIONS. IF DISTURBED, THESE STRUCTURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
 - EROSION CONTROL MEASURES DURING DEMOLITION PHASE SHALL BE MAINTAINED AT ALL TIMES DURING ALL PHASES OF THE PROJECT, PER FEDERAL, STATE AND LOCAL CODES. NO EARTHMOVING OR DISTURBANCE SHALL BE CAUSED TO HAPPEN UNTIL ALL APPROPRIATE MEASURES HAVE BEEN PUT INTO PLACE.

24-HOUR EMERGENCY CONTACT:

NORMAN BEAL
CELL: (336) 528-0528
EMAIL: NORMANBEAL@WAFFLEHOUSE.COM

OWNER / DEVELOPER

NAME: WAFFLE HOUSE
ADDRESS: 5986 FINANCIAL DRIVE, NORCROSS, GA 30071
PHONE: 770-729-5700
CONTACT: ERIC HAEFTS
EMAIL: ERICHAFTS@WAFFLEHOUSE.COM

ENGINEER

NAME: CONTINEO GROUP, LLC
ADDRESS: 755 COMMERCE DRIVE, SUITE 800,
DECATUR, GA 30030
JUAN DEL RIO
PHONE: 404-399-5192
EMAIL: JUANO@THECONTINEOGROUP.COM

PROJECT NARRATIVE:

THE PROPOSED DEVELOPMENT CONSISTS IN THE CONSTRUCTION OF A NEW WAFFLE HOUSE BUILDING WITH PARKING AREAS AND ASSOCIATED UTILITIES TO SERVE THE RESTAURANT.

SHEET INDEX

C01	COVER SHEET
C02	SITE PLAN
C2.1	PEDESTRIAN CIRCULATION PLAN
C03	GRADING PLAN
C03	DRAINAGE MAP AND STORMWATER NARRATIVE
C04	UTILITY PLAN
C05	EROSION CONTROL PLANS
C06	EROSION CONTROL DETAILS
C07	EROSION CONTROL DETAILS
C08	DETAILS
C09	DETAILS
L100	LANDSCAPE PLAN (BY OTHERS)
PH-1	PHOTOMETRIC PLAN (BY OTHERS)
	PLAT (BY OTHERS)

CONTINEO GROUP
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WAFFLE HOUSE
FAIRHOPE, AL

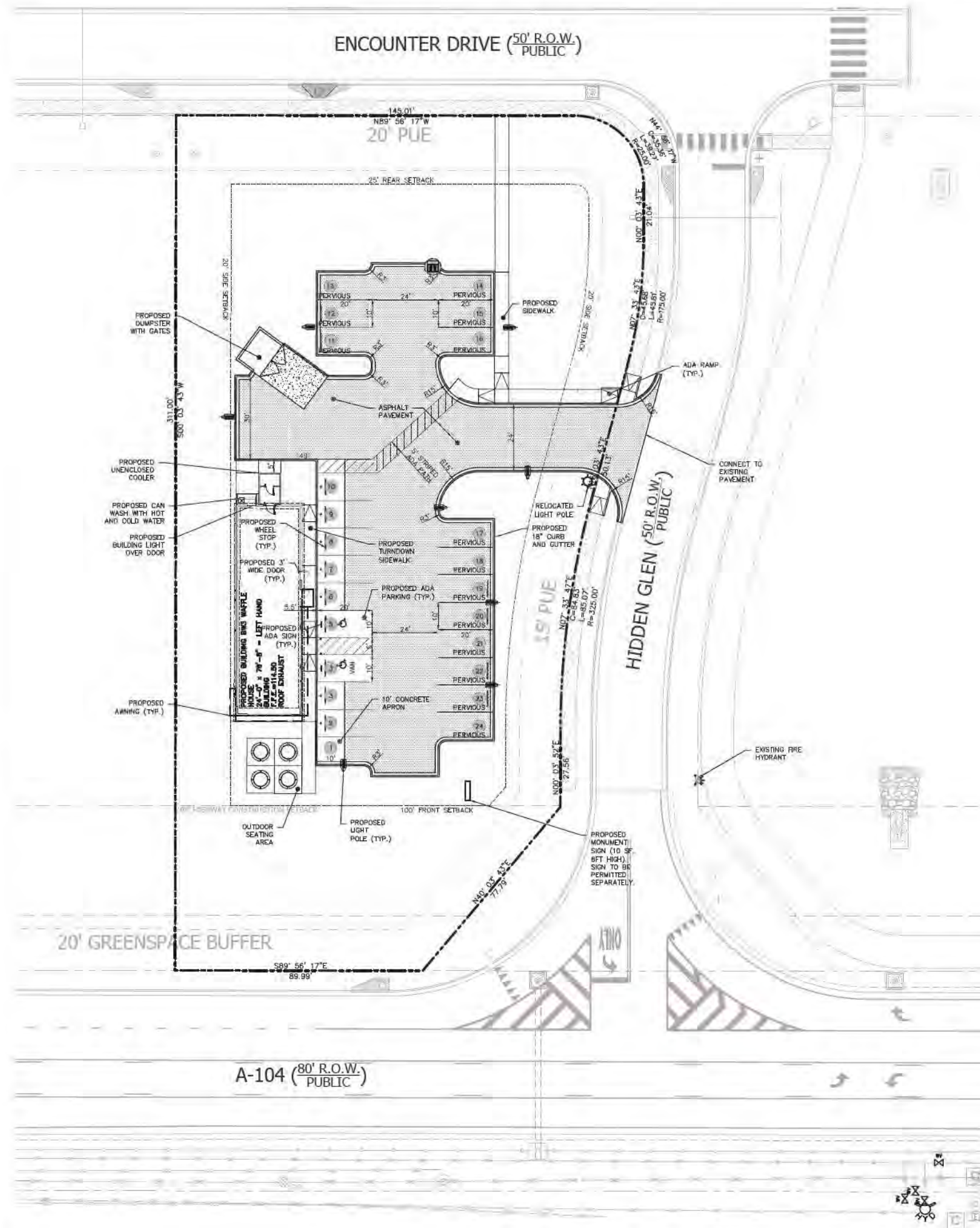
ISSUED FOR: PERMITTING
JURISDICTION: CITY OF FAIRHOPE
LOCATION: SOUTHWEST CORNER OF ENCOUNTER
DRIVE AND HIDDEN GLEN

#	DATE	REVISIONS	ADDRESSING COMMENTS
1	12.17.24	ADDRESSING COMMENTS	
2	12.27.24	ADDRESSING COMMENTS	

DRAWN: KYS	CHECK: JPD
JOB NO: 24-366	DATE: 11/26/24

COVER
SHEET
SHEET
C01

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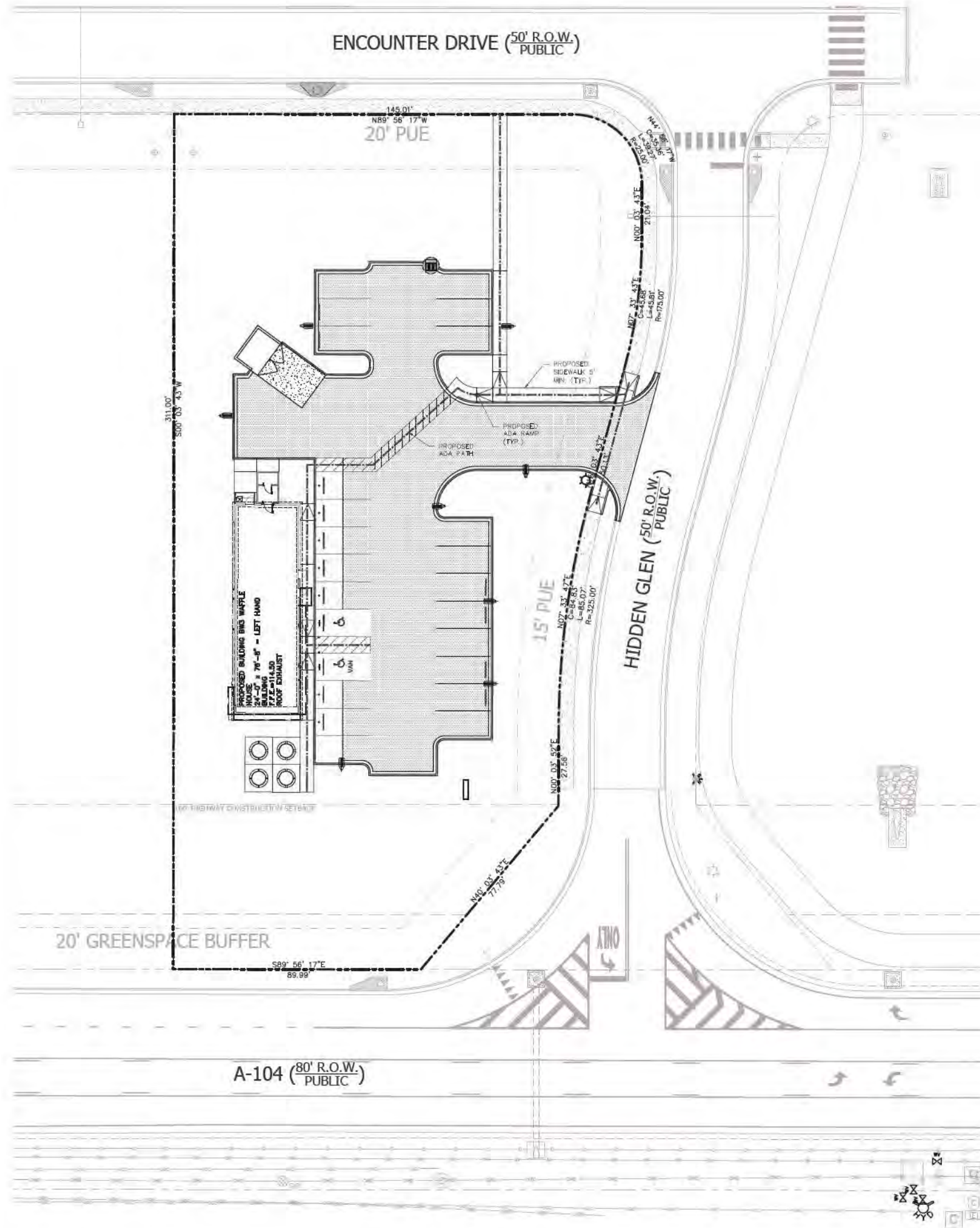
#	DATE	REVISIONS
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2	12.27.24	ADDRESSING COMMENTS

This drawing is the final approved plan for the building project. It is to be used for the construction of the building. No other drawings should be used for the construction of the building. The contractor is responsible for the construction of the building.

DRAWN: KYS
JOB NO: 24-366
CHECK: JPD
DATE: 11/26/24

SITE PLAN
SHEET
C02

C:\USERS\CONTINEO\CONTINEO-MASTER\BRYAN RUSSELL\CONTINEO-MASTER\DRIVE PROJECTS\2024\24-366-1\W1 - FAIRHOPE ALDING



LEGEND

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- 6" HEADER CURB
- ADA DESIGNATED STALL
- PARKING SPACE COUNT

0 20' 40'

SCALE: 1"=20'

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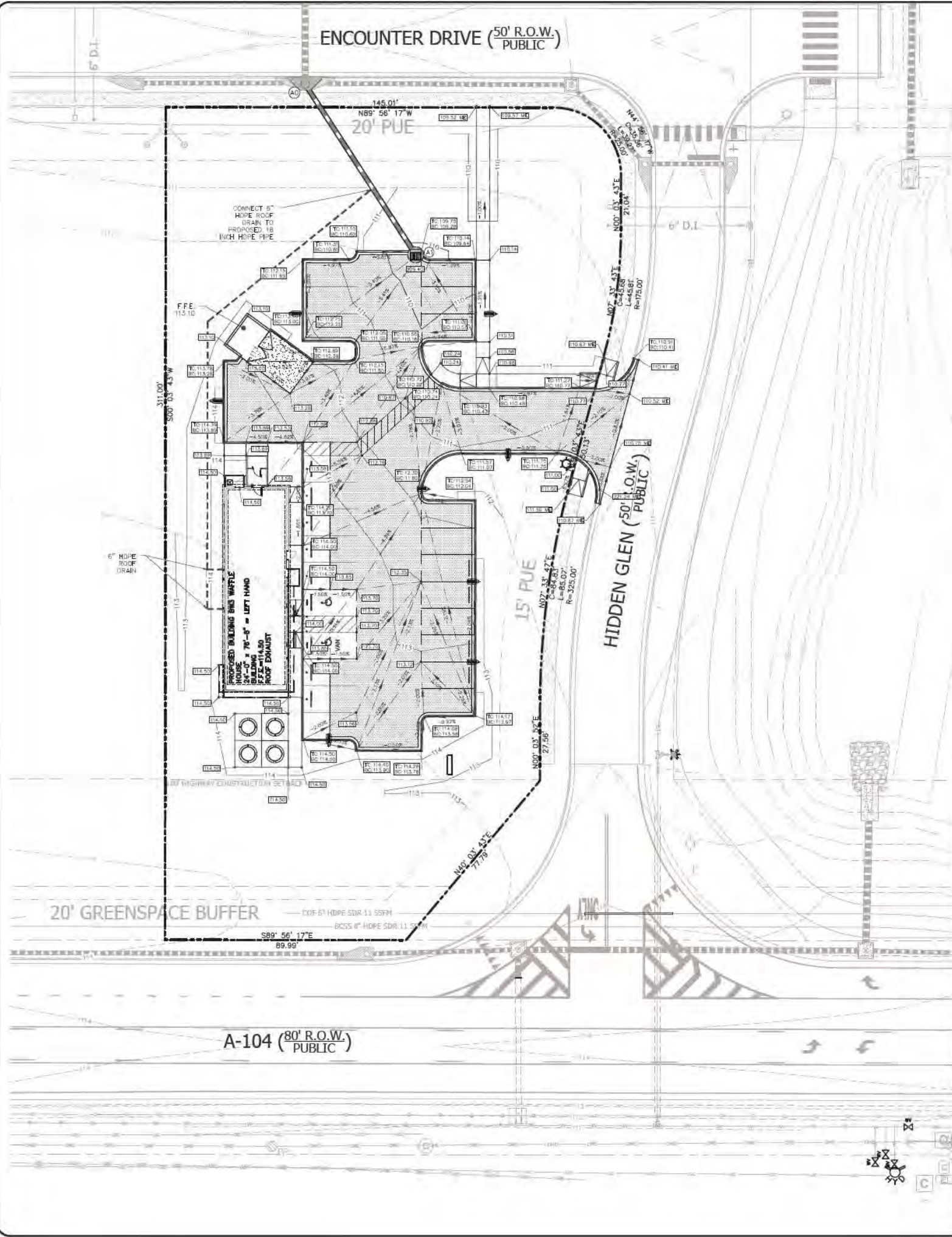
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JOB NO: 24-366	DATE: 11/26/24

PEDESTRIAN CIRCULATION PLAN

SHEET
C2.1

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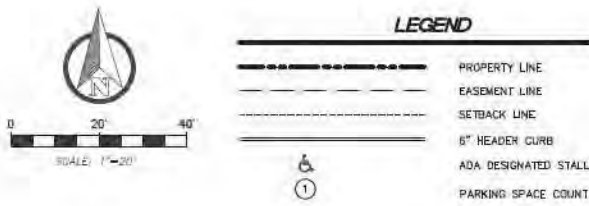
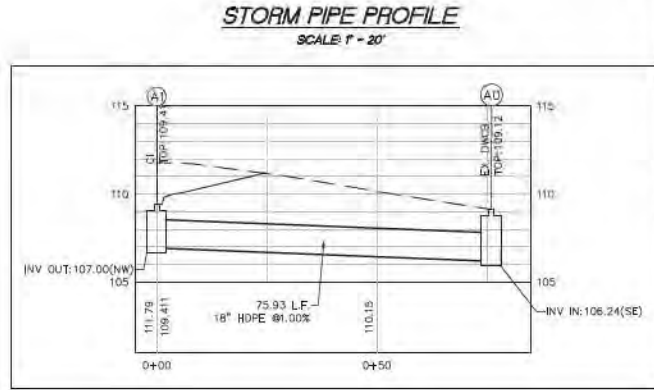
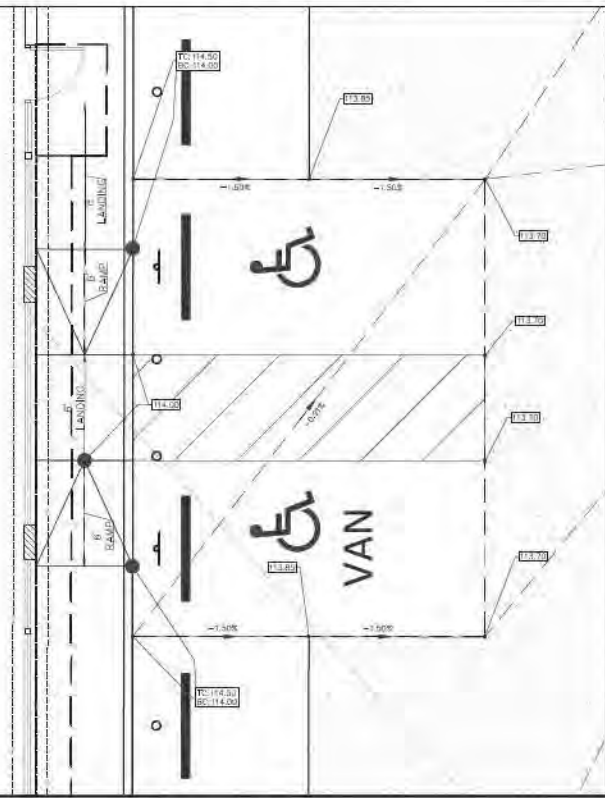
F.F.E. = 114.50
ROOF EXHAUST

GRADING NOTES:

1. PRIOR TO WORK COMMENCEMENT, CONTRACTOR IS TO CONTACT LOCAL "CALL DIG" SERVICES FOR LOCATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK, WHICH INCLUDES, BUT NOT LIMITED TO, RELOCATION OF UTILITIES ALONG ROADWAYS AND OFFSITE IMPROVEMENTS IN ORDER TO DELIVER THE PROJECT.
2. REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ON EXISTING SOIL CONDITIONS.
3. CONTRACTOR IS TO REMOVE ALL MATERIALS DEEMED UNSUITABLE BY THE OWNER AND/OR ENGINEER.
4. POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS SHALL BE MAINTAINED AT ALL TIMES.
5. CONTRACTOR SHALL VALIDATE AND ACCEPT TOPOGRAPHIC INFORMATION PROVIDED PRIOR TO COMMENCEMENT OF WORK. ANY DEVIATIONS SHALL BE SUBMITTED TO THE ENGINEER AND OWNER.
6. CONTRACTOR TO PROVIDE CLEAN PAVEMENT AND CURB EDGES, VIA SAW CUTTING OR OTHER METHODS, IF WORK IS WITHIN EXISTING PAVEMENT AREAS.
7. REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ALL STRUCTURAL FOUNDATIONS, SLABS AND EARTHEN BUILDING PAIS.
8. EXISTING AND REMAINING FACILITIES, WHETHER ON THE PROPERTY OR ON ADJACENT PROPERTIES, SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITIONS. IF DISTURBED, THESE STRUCTURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
9. ALL DISTURBED AREAS WITHOUT PERMANENT HARD SURFACES SHALL BE TREATED WITH PERMANENT STABILIZATION PER THE APPROPRIATE STATE OR LOCAL EROSION CONTROL AND DEVELOPMENT STANDARDS.
10. CONTRACTOR SHALL DELIVER THE EARTHWORK FOR THE PROJECT ON AN UNCLASSIFIED BASIS.
11. IN THE ABSENCE OF OTHER DIRECTION FROM SOURCES SUCH AS GEOTECHNICAL REPORTS, THE PLACEMENT OF FILL MATERIAL SHALL BE PER THE FOLLOWING:
 - * CLEAN, GRANULAR MATERIAL AND SHALL BE VERIFIED BY THE CONTRACTOR FOR SUITABILITY BY PERFORMING A GRADATION TEST.
 - * PLACED IN LIFT THICKNESS NOT TO EXCEED EIGHT INCH
 - * POSSESS MOISTURE WITHIN 3% OF OPTIMUM
 - * COMPACTED TO 95% MINIMUM DENSITY OF THE MAXIMUM DRY DENSITY UTILIZING THE MODIFIED PROCTOR METHOD (ASTM D-1557)
12. ALL STORM WATER SYSTEMS ARE TO BE DELIVERED TO THE OWNER CLEAN AND FREE OF DEBRIS.
13. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS BETWEEN EXISTING AND PROPOSED GRAVITY UTILITIES.
14. ANY RETAINING WALLS DEPICTED WITHIN THESE PLANS ARE TO BE DESIGNED UNDER THE DIRECTION OF THE CONTRACTOR AND ARE SHOWN FOR COORDINATION PURPOSES ONLY. THE CIVIL ENGINEER ACCEPTS NO RESPONSIBILITY FOR THESE WALL.
15. ALL PIPES SYSTEMS ARE MEASURED BETWEEN THE CENTERS OF MANHOLES.

ADA INSERT

SCALE: 1" = 5'



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LOCATION: SOUTHWEST CORNER OF ENCOUNTER DRIVE AND HIDDEN GLEN

#	DATE	REVISIONS
1	12.17.24	ADDRESSING COMMENTS
2	12.27.24	ADDRESSING COMMENTS

DRAWN: KYS
CHECK: JPD
JOB NO: 24-366
DATE: 11/26/24

GRADING PLAN
SHEET C03

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EXISTING SITE AREA SUMMARY:

BASIN A
DRAINAGE AREA= 1.04 AC
PERVIOUS AREA= 1.04 AC ; C=75
IMPERVIOUS AREA= 0.00 AC ; C=98

AVERAGE C= 75
AVERAGE TC= 10.0 MIN

POST SITE AREA SUMMARY:

BASIN A
DRAINAGE AREA= 1.04 AC
PERVIOUS AREA= 0.41 AC ; C=75
IMPERVIOUS AREA= 0.63 AC ; C=98

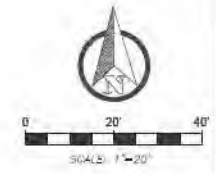
AVERAGE C= 84
AVERAGE TC= 6.0 MIN

STORMWATER NARRATIVE

THE PROPOSED WAFFLE HOUSE STORMWATER DESIGN IS ACCOUNTED FOR IN THE APPROVED STORM WATER ANALYSIS FOR ENCOUNTER HWY 181 AND 104 FAIRHOPE ALABAMA STORMWATER MASTER PLAN DESIGNED BY PERRY C. JINRIGHT III, DATED FEBRUARY 2023.

BASED ON THE MASTER STORMWATER REPORT, STORMWATER RUNOFF FROM THE PROPOSED WAFFLE LOT SHEET FLOWS INTO STORM PIPE THAT ROUTES TO RUNOFF TO AN EXISTING POND FURTHER NORTH OF THE SITE. A CURVE NUMBER (C) OF 89 WAS ASSIGNED TO THE PROPOSED WAFFLE HOUSE LOT AREA IN THE MASTER STORMWATER PLAN AS SHOWN IN THE ABOVE CALCULATIONS, THE PROPOSED WAFFLE HOUSE LOT AREA CURVE NUMBER (C) IS 84, WHICH IS LESS THAN THE CURVE NUMBER ASSIGNED TO THE SITE.

SITE'S FLOW PATTERNS WILL REMAIN UNCHANGED FROM THE MASTER STORMWATER DEVELOPMENT PLAN, AS SUCH THE PROPOSED WAFFLE DEVELOPMENT WILL NOT ADVERSELY IMPACT THE EXISTING STORMWATER DESIGN SYSTEM. SEE SHEET C03.1 FOR DRAINAGE AREA MAP.



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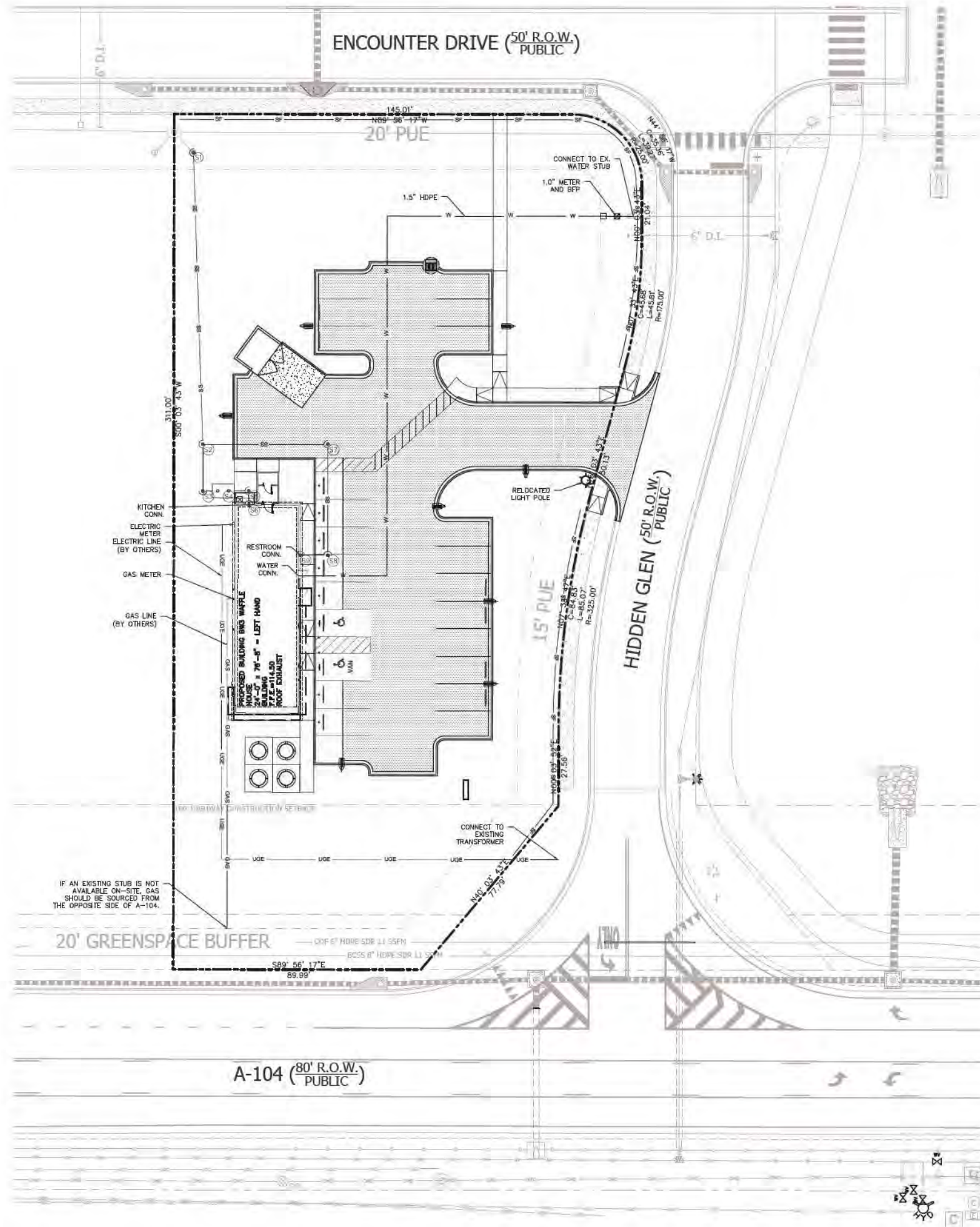
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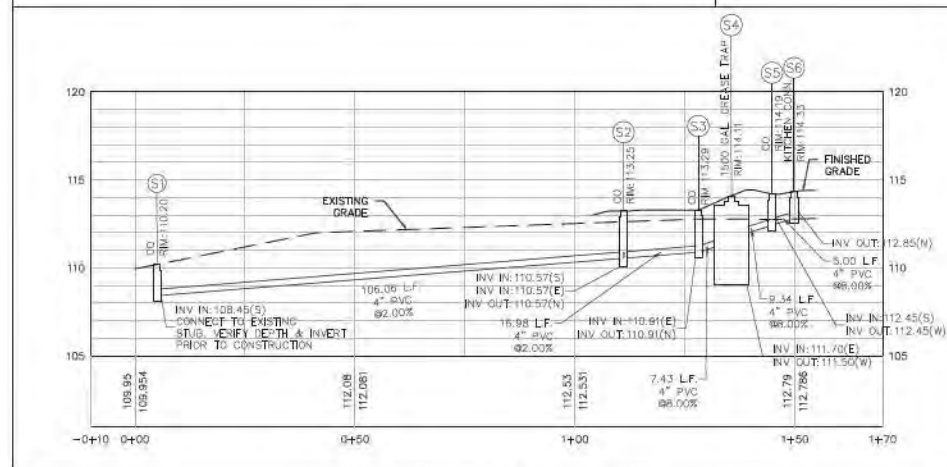
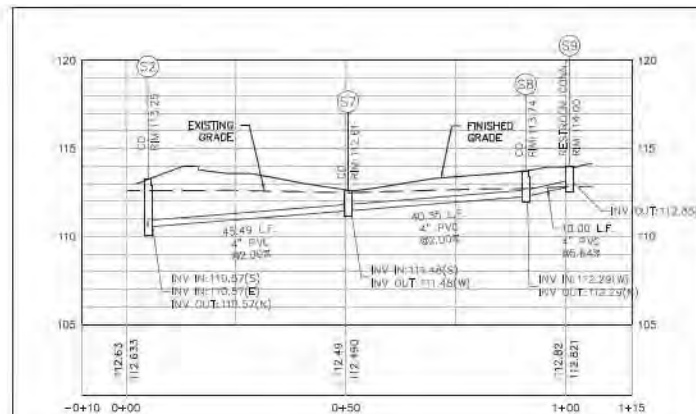
DRAINAGE MAP AND
STORMWATER
NARRATIVE

SHEET
C03.1



- UTILITY NOTES:**
1. PRIOR TO WORK COMMENCEMENT, CONTRACTOR IS TO CONTACT LOCAL "CALL DIG" SERVICES FOR LOCATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK, WHICH INCLUDES, BUT NOT LIMITED TO, RELOCATION OF UTILITIES ALONG ROADWAYS AND OFFSITE IMPROVEMENTS IN ORDER TO DELIVER THE PROJECT.
 2. ALL UTILITY WORK SHALL BE IN ACCORDANCE WITH GOVERNING LOCAL STANDARDS, LATEST EDITION.
 3. CONTRACTOR SHALL UTILIZE SCHEDULE 40 PVC OR DUCTILE IRON PIPE FOR ALL SEWER SYSTEMS.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING ANY FINAL AS-BUILTS AND EASEMENT PLATS.
 5. CONTRACTOR TO DELIVER ALL WATER AND SEWER SYSTEMS WITH A MINIMUM OF 10' HORIZONTAL AND 2' VERTICAL SEPARATIONS.
 6. BUILDING CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL ELECTRICAL SERVICES TO THE BUILDING, WHICH INCLUDE, BUT NOT LIMITED TO, TRANSFORMERS, TRANSFORMER PADS, METERS, ETC.
 7. CONTRACTOR SHALL COMPARE ALL CIVIL AND BUILDING PLAN SETS PRIOR TO CONSTRUCTION. THE ENGINEER AND ARCHITECT SHALL BE NOTIFIED OF ANY UTILITY DISCREPANCIES.
 8. CONNECTIONS TO EXISTING MANHOLES TO BE CORED DRILLED AND RUBBER BOOT INSTALLED.

- LEGEND**
- PROPERTY LINE
 - - - EASEMENT LINE
 - ===== 6" HEADER CURB
 - ===== PROPOSED CONCRETE
 - ADA DESIGNATED STALL
 - W WATER LINE
 - G GAS LINE
 - USE UNDERGROUND ELECTRIC LINE
 - SS SANITARY SEWER LINE



SANITARY PROFILES
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 5'

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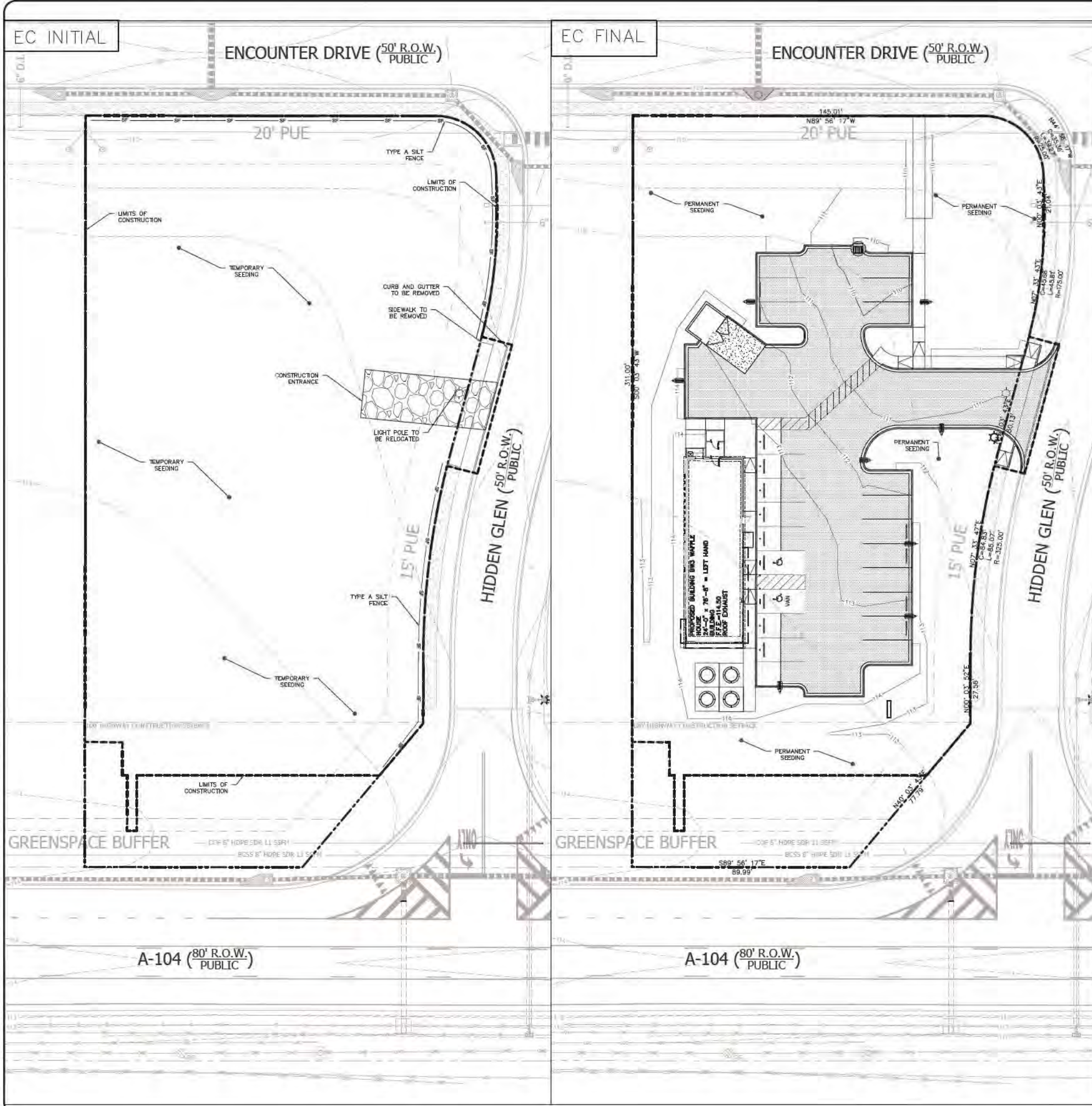
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DATE: 11/26/24

GRADING PLAN
SHEET C04

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- DEMO NOTES:**
- ALL MATERIALS FROM DEMOLITION SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR OR SUBCONTRACTOR UNLESS APPROVED FOR REUSE ON SITE BY THE STRUCTURAL, GEOTECHNICAL, ENGINEERS AND GOVERNING AGENCIES.
 - REMOVAL OF THE EXISTING STRUCTURES SHALL BE AS REQUIRED FOR THE PROJECT. THE MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A PROPER AND LEGAL MANNER PER FEDERAL, STATE, AND OR LOCAL LAWS AND ORDINANCES.
 - IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED, THE OWNER SHALL BE NOTIFIED. THOSE MATERIALS SHALL BE REMOVED AND DISPOSED OF IN A MANNER AS APPROVED BY ALL GOVERNING AGENCIES AND IN A LANDFILL OR DISPOSAL FACILITY LICENSED TO ACCEPT HAZARDOUS MATERIAL.
 - PREDEMOLITION PHOTOGRAPHS SHALL BE TAKEN BY THE CONTRACTOR FOR OWNER, SHOWING EXISTING CONDITIONS OF THE SITE AND ADJOINING BUILDINGS TO REMAIN. PHOTOS SHALL INCLUDE DAMAGE TO FINISH SURFACES THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY DEMOLITION OPERATIONS.
 - EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE INCURRED DURING THE CONSTRUCTION SHALL BE RESTORED OR RECONSTRUCTED OR REPLACED TO AT LEAST THEIR ORIGINAL CONDITION OR AS REQUIRED OR DICTATED BY FEDERAL, STATE, COUNTY, CITY OR LOCAL GOVERNING AGENCIES.
 - IT IS THE RESPONSIBILITY OF CONTRACTOR TO INSPECT EACH DAY AND REMOVE ALL MUD, DIRT, GRAVEL AND LOOSE MATERIALS DUMPED FROM THIS SITE ONTO OTHER PROPERTIES. THE CONTRACTOR MUST CLEAN OR PICK UP DAILY IF NECESSARY THE CONTRACTOR SHALL TRY TO REDUCE AIRBORNE DUST THROUGH OUT THE ENTIRE JOB. THIS MAY BE DONE BY WATERING DOWN AREAS AFFECTED BY THIS WORK.
 - THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL DEVICES AS REQUIRED DURING DEMOLITION.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER AND ALL UTILITY COMPANIES AND DEPARTMENTS 72 HOURS OR AS REQUIRED, BEFORE DEMOLITION IS TO START, TO VERIFY ANY UTILITIES THAT MAY BE PRESENT ON SITE. ALL VERIFICATIONS, LOCATIONS, SIZE AND DEPTHS SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES OR DEPARTMENTS. WHEN EXCAVATING AROUND OR OVER UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE OF THE UTILITY MAY BE PRESENT DURING THE EXCAVATION TO INSTRUCT AND OBSERVE DURING THE PROCESS. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED BEFORE STARTING DEMOLITION OPERATIONS. NO TRENCHES SHALL BE LEFT OPEN OVERNIGHT.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AND PAY ALL FEDERAL, STATE, COUNTY, CITY AND LOCAL PERMITS FOR ANY AND ALL WORK REQUIRED UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL MAKE AN EFFORT TO SALVAGE ANY VEGETATION OR OTHER LANDSCAPING MATERIALS WHEN AND WHERE POSSIBLE. NOTIFY LANDSCAPE ARCHITECT AND OWNER OF RELOCATION AREA TO PREVENT ANY FUTURE ISSUES.
 - ALL ASPHALT AND CONCRETE CUTS SHALL BE SMOOTH, CLEAN AND IN STRAIGHT LINES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE MADE TO CONCRETE THAT IS TO REMAIN AS PART OF THE NEW DEVELOPMENT.
 - THE EXISTING DRIVEWAY MAY BE USED AS A CONSTRUCTION EXIT PROVIDED THAT ALL CONSTRUCTION VEHICLES ARE CONFINED TO EXISTING PAVED AREAS ON SITE. ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO STREET WILL RESULT IN AN IMMEDIATE "STOP WORK" ORDER. THE "STOP WORK" ORDER WILL NOT BE LIFTED UNTIL A CONSTRUCTION EXIT IS CONSTRUCTED IN ACCORDANCE WITH THE CURRENT DETAIL.



SITE CALCULATIONS

TOTAL SITE AREA	1.05 AC (45,725 SQ.FT.)
TOTAL DISTURBED AREA	0.97 AC (42,308 SQ.FT.)

GPS LOCATION (DECIMAL DEGREES)

LATITUDE:	N 30.70
LONGITUDE:	W 87.65

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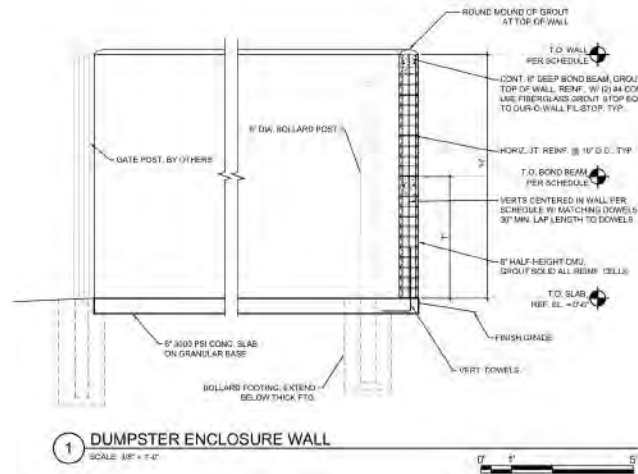
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WAFFLE HOUSE FAIRHOPE, AL
ISSUED FOR: PERMITTING
JURISDICTION: CITY OF FAIRHOPE
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#	DATE	REVISIONS
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Date: 11/26/24

EROSION CONTROL PLANS
SHEET C05



1 DUMPSTER ENCLOSURE WALL
SCALE: 3/8" = 1'-0"

WALL SCHEDULE		
INLAND		
	CMU WALL	
MAX H	T	VERT REIN
6'-0"	3'-0"	#5 @ 48" OC
8'-0"	4'-0"	#5 @ 40" OC
COASTAL AND/OR SDC "D"		
	CMU WALL	
MAX H	T	VERT REIN
6'-0"	3'-0"	#5 @ 32" OC
8'-0"	4'-0"	#5 @ 24" OC

ADDITIONAL REMARKS

- ALL CEMENT IN PLACE CONCRETE TO BE MIN 10,000 PSI 28 DAY COMPRESSION STRENGTH
SLUMP = 3" FOR SLABS AND FOOTINGS
ALL GRAVEL TO BE MIN 3/4" MIN 1000 PSI 28 DAY COMPRESSIVE STRENGTH
ALL MORTAR TO BE TYPE S
SPROUT ALL STEEL BELOW GRADE AND ALL REINFC COLD W/ 2000 PSI (GROUT: SLUMP = 3" + 1")
ALL REINFC STEEL TO BE 60,000 PSI YIELD STRENGTH
ASSUMED MINIMUM ALLOWABLE SOIL BEARING PRESSURE IS 1500 PSI/IN. THIS SHOULD BE
VERIFIED BY GEOTECHNICAL REPORT, IF AVAILABLE
ALL REINFC TO BE CORROSION RESISTANT DISCREETION AND USE APPROPRIATE TABLE FOR
DIMENSIONS AND REINFORCEMENT
ALL WALLS SHALL BE IN DESIGN CATEGORY C(1), "B", OR "C" SHALL BE CONSTRUCTED
WITH REINFC. SEE DETAIL
ALL PAVING SHALL BE IN DESIGN CATEGORY OF 30" SHALL BE CONSTRUCTED WITH THE
REINFC. SEE DETAIL
ALL 1/2" DIA. STEEL POSTS SHALL BE SET AT A MINIMUM OF 30" INTO CONCRETE
DUMPTER ENCLOSURE CONSTRUCTION TO MATCH BALDING CONSTRUCTION, U.S.A.
ALL JACKS TO BE 10,000 LB. CAPACITY
BOND BARS TO BE "QUICK-BR" (A₁₀₈) @ F_y = 60,000 PSI

DUMPSTER ENCLOSURE		
DS-3	LOCATION: xxxxxxxxxxxx xxxxxxxxxx, XX	
	DATE: xx/xx/xx	DRAWN BY: XX
SCALE: 3/8"=1'-0"	SHEET 1 OF 1	CHECKED BY: XX

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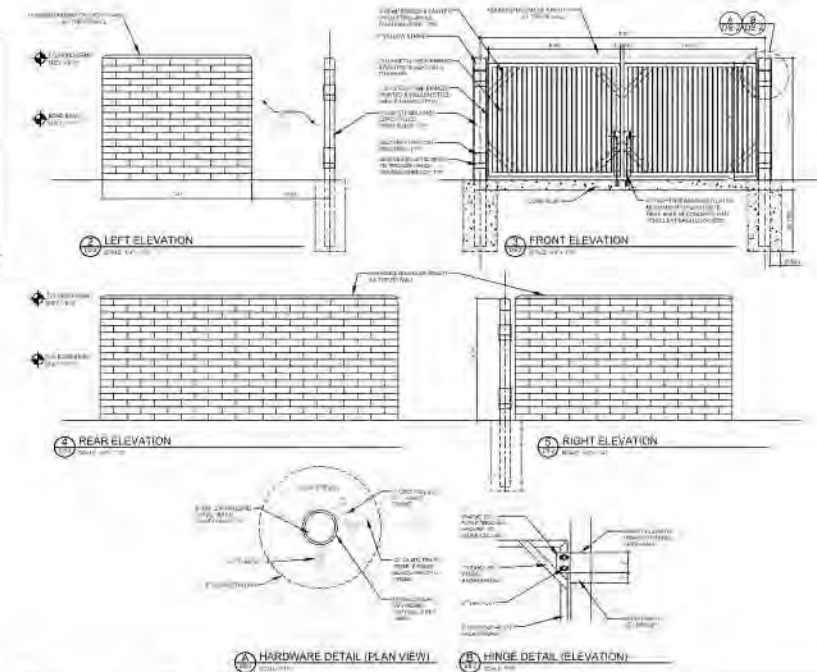
DUMPSTER ENCLOSURE		
DS-2	LOCATION: XXXXXXXXXX XXXXXXXXXX, XX	
	DATE 08/01/24	DRAWN BY: EJ
SCALE 1/4"=1'-0"	SHEET 1 OF 1	CHECKED BY: BR

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Hardware Detail (Plan View)

HINGE DETAIL (ELEVATION)

This architectural drawing shows a side elevation of a door hinge assembly. It includes labels for various components such as the door edge, hinge leaf, and hinge pin. The drawing is oriented vertically, with the door edge on the left and the hinge mechanism on the right.

WAFFLE HOUSE FAIRHOPE, AL	
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DETAILS

SHEET

C09



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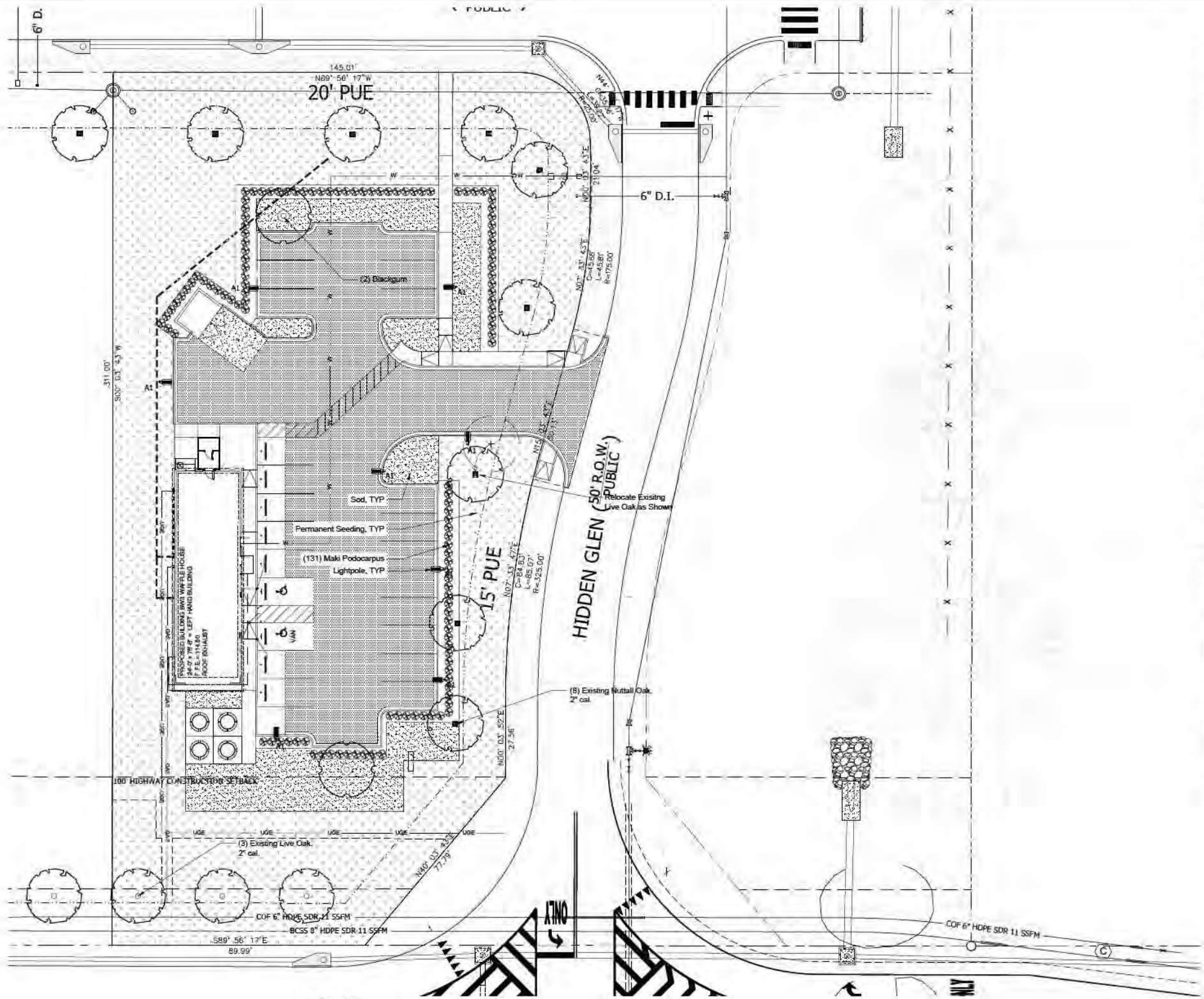
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Minimum Landscape Percentage: 20%
Total Site = 1.05 acres (45,738 sf)
45,738 x 20% = 9,147.6 sf required
27,588.17 sf provided; Requirement Met

At least 60% of required landscaping to be located between the building and the public rights-of-way.
9,147.6 x 60% = 5,488.56 required
22,566.8 sf provided; Requirement Met

Front Perimeter Landscaping: all interior development and vehicular use areas shall be separated from public right-of-way frontage by a landscaped strip of land at least ten (10) feet in width, adjacent and parallel to the right-of-way line; Provided

Secondary Perimeter Landscaping: Except at permitted access ways, all interior development and vehicular use area located at intersections of the public right-of-way shall be separated by a landscaped strip at least six (6) feet in width and parallel to the right-of-way line; Provided

The required landscape area between vehicle use area and public right-of-way shall be planted with a solid unbroken visual screen at least forty-eight (48) inches in height at planting, except for four (4) feet each side of permitted access ways. Where non-living material is used for screen, one (1) shrub or vine at least thirty (30) inches in height at planting shall be required on the right-of-way side, for each ten (10) linear feet, or fraction thereof, of screen.

Perimeter landscaping. The front setback must contain at least one (1) required overstory tree for every thirty (30) feet of road frontage, or any portion thereof. These frontage trees must be planted within the first twenty-five (25) feet of the property line. (11) Perimeter Trees Provided

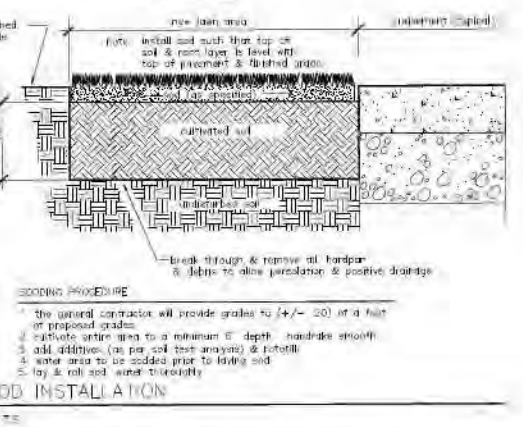
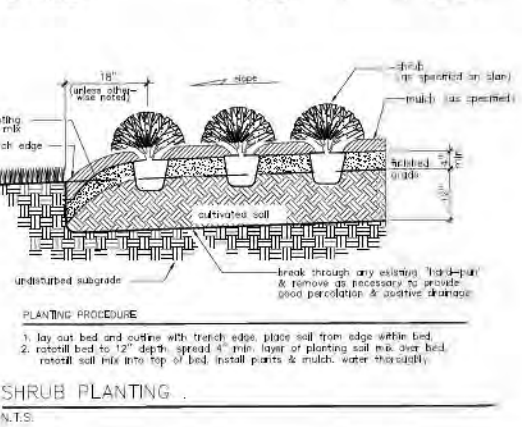
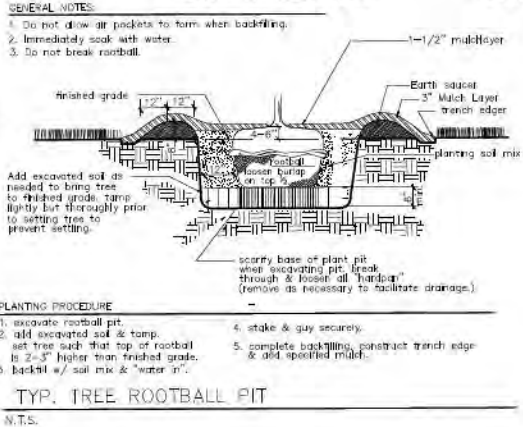
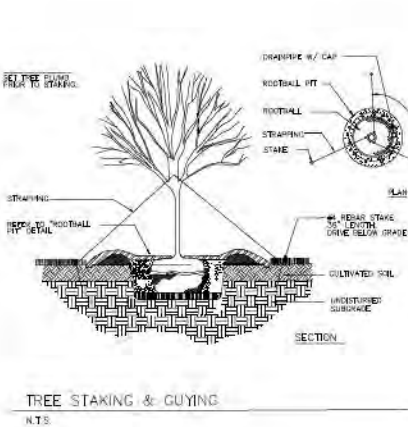
In addition, the site must contain one (1) required overstory tree for every thirty (30) feet of remaining outside lot perimeter, or any portion thereof and one (1) required overstory or understory tree for every twelve (12) parking spaces, or portion thereof. At least half of the required trees must be overstory trees.

24 Parking Spaces / 12 = 2 Parking Lot Trees Required
(2) Parking Lot Trees Provided

Trees									
Qty.	Sym.	Botanical Name	Common Name	Size	Spacing	Hgt.	Width	Root	Notes
2		Nyssa sylvatica	Black Tupelo	2" cal	as shown	10'	6'	B&B	

Shrubs									
Qty.	Sym.	Botanical Name	Common Name	Size	Spacing	Hgt.	Width	Root	Notes
127		Podocarpus macrophyllus 'Maki'	Maki Podocarpus	7 gal.	3' o.c.	48"	24"	cont.	

Sod: 3,485 sf
Seed: 22,175 sf



RAA
RAA DESIGN, LLC
Landscape Architects / Land Planners
1705 34th Street
Alpharetta, Georgia 30009
Phone (404) 552-0550
Email: raa@raa-design.com

REVISIONS	

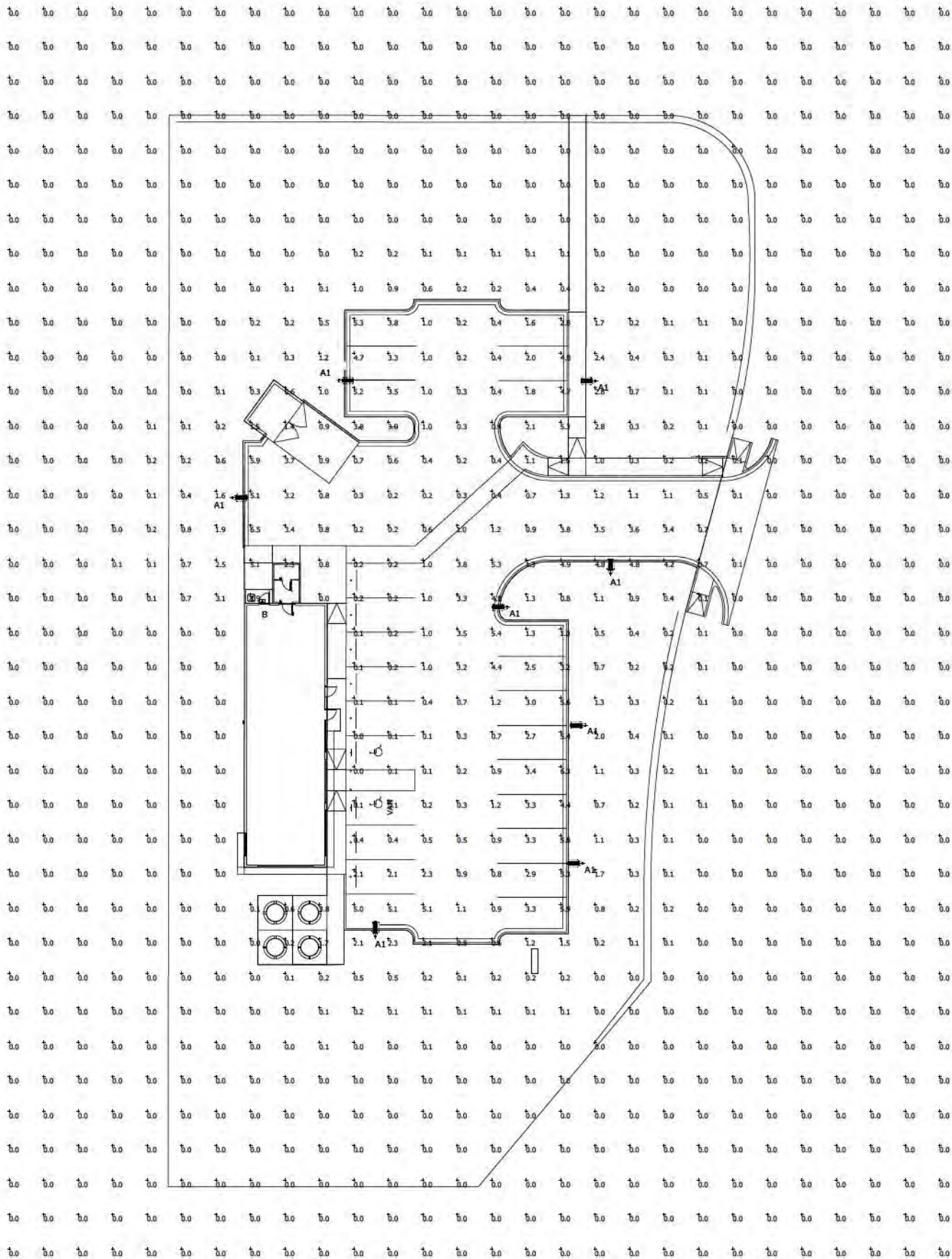
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LANDSCAPE PLAN

WAFFLE HOUSE
FAIRHOPE, ALABAMA

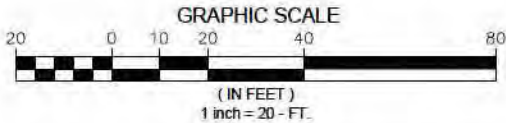
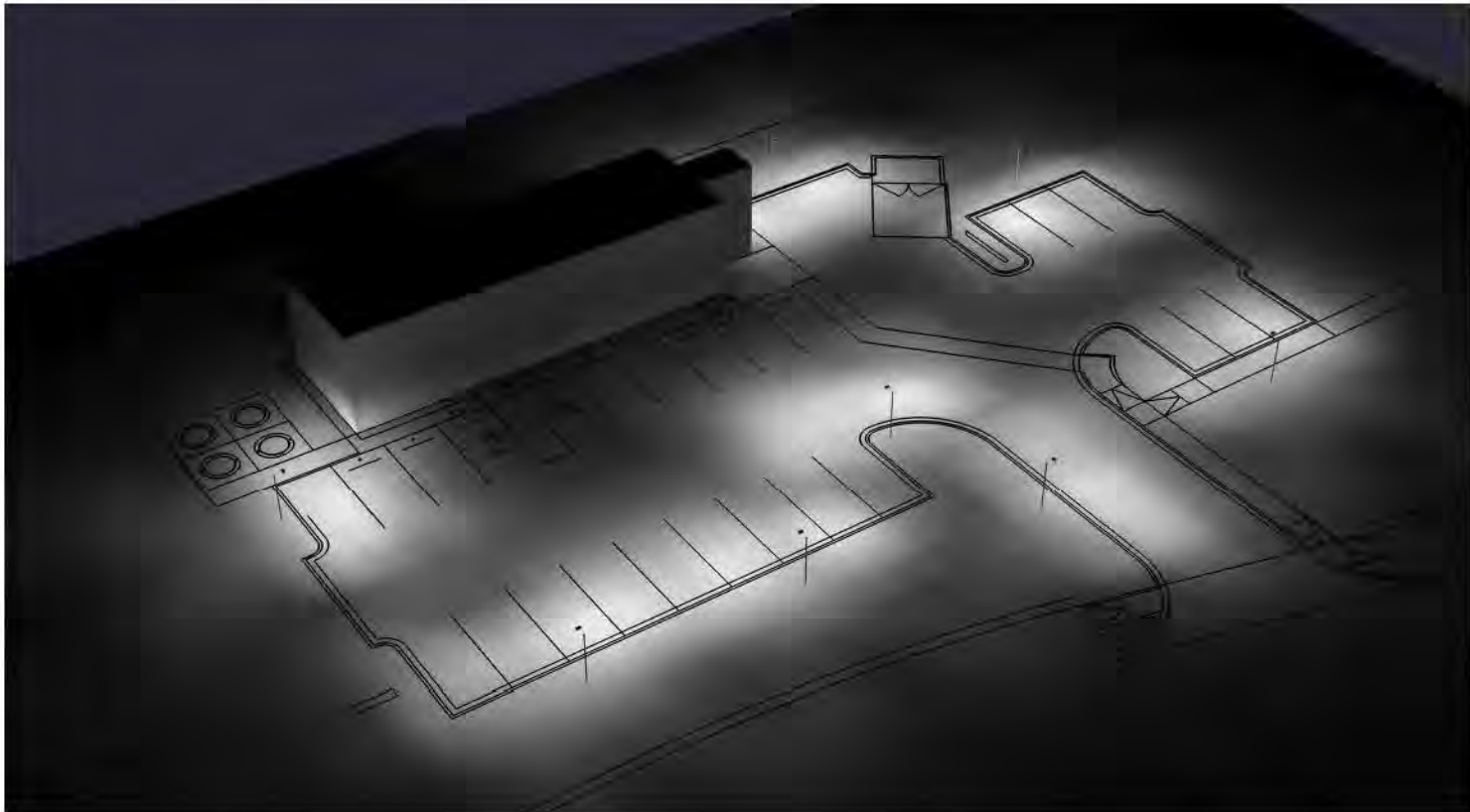
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JOB NO.: 2012011
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1 OF 1

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File: C:\Users\jvino\OneDrive\RAA Design\2012\2012011 - Waffle House On Demolition\Landscape.dwg
Title: Waffle House On Demolition Landscape.dwg



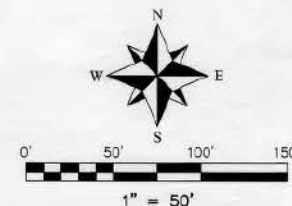
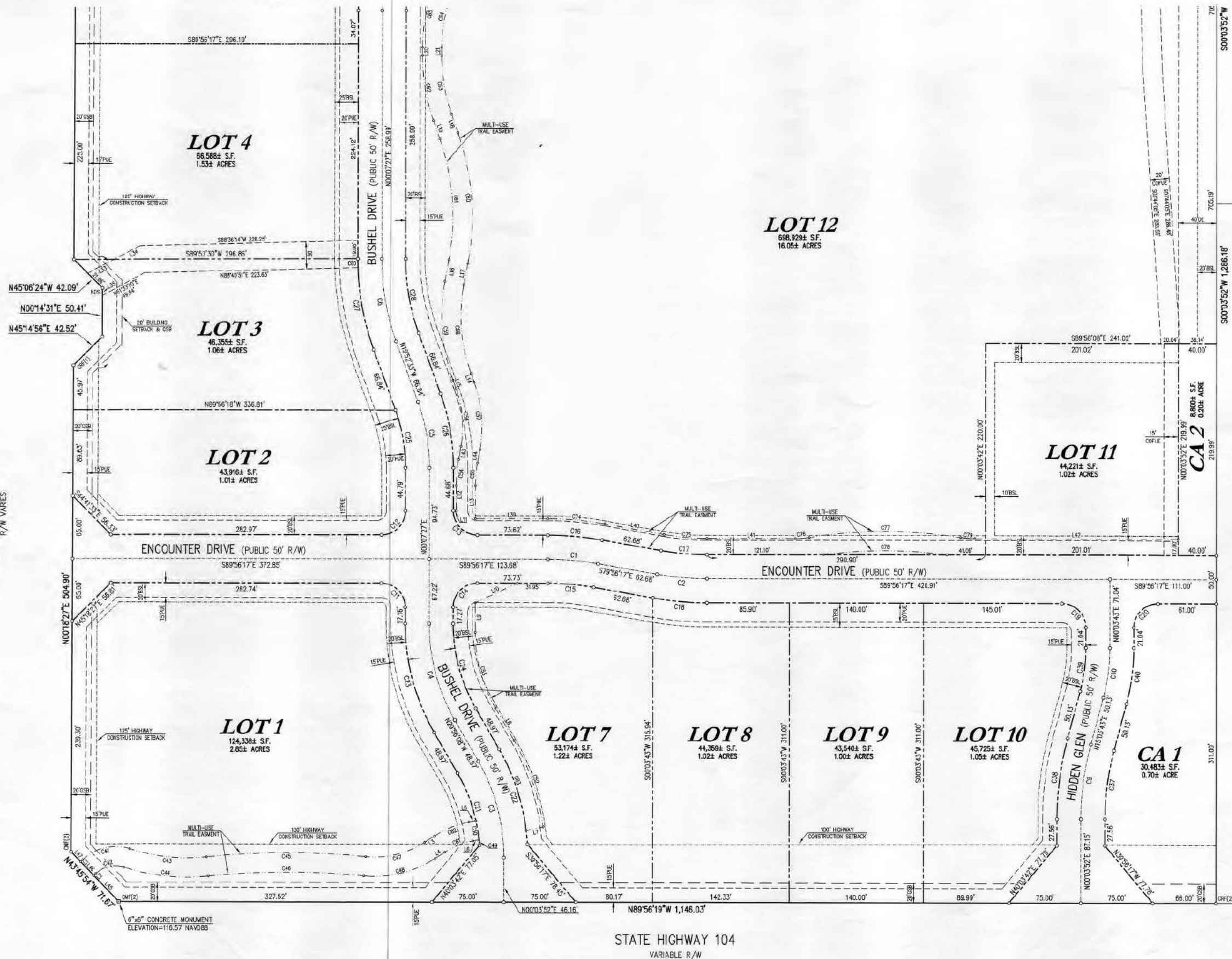
Luminaire Schedule							
Symbol	Qty	Label	Mounting Height	LLF	Lum. Lumens	Lum. Watts	Description
	8	A1	10' - 0" AFG	0.900	5188	39	ASL1-80L-39-5K7-4W
	1	B	10' - 0" AFG	0.900	3112	25	LNC2-48L-25-5K7-4W

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Overall Area	Illuminance	Fc	0.38	6.5	0.0	N.A.	N.A.
Paved Area	Illuminance	Fc	2.01	6.5	0.0	N.A.	N.A.



THIS LIGHTING DESIGN IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO CURRENT. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.										
LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.										
CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.										
TITLE					REVISED FROM DRAWING NUMBER(S)					
WAFFLE HOUSE FAIRHOPE, AL SITE PHOTOMETRIC PLAN					R1: 12/23/24		Current	ON BY: DHK	DATE: 12/17/24	CHK BY: N/A
								REV BY: DHK	DATE: 12/26/24	SCALE: AS NOTED
								QUOTE: N/A	DRAWING / DESIGN NO. A242752R1	

STATE HIGHWAY 181
R/W VARIES



LEGEND

- CRF(1) CAPPED REBAR FOUND (WATTIER)
- CRF(2) CAPPED REBAR FOUND (MOORE)
- CRF(3) CAPPED REBAR FOUND (DEWBERRY)
- CWF(1) 4"x4" CONCRETE MONUMENT FOUND
- CWF(2) 6"x6" CONCRETE MONUMENT FOUND
- SEL SETBACK LINE
- GSB GREEN SPACE BUFFER
- COFUE CITY OF FAIRHOPE UTILITY EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- DE DRAINAGE EASEMENT

ENCOUNTER COMMERCIAL RETAIL CENTER
SUBDIVISION
PLAT OF SUBDIVISION

JUNE 10, 2024

WATTIER SURVEYING, INC.
PROFESSIONAL LAND SURVEYORS
4316 Downlowner Loop N, Suite 11
Mobile, Alabama 36609

SHEET 1 OF 3

2141670

BALDWIN COUNTY, ALABAMA
HARRY D. OLIVE, JR., PROBATE JUDGE
Filed/Cert. 08/16/2024 02:34 PM
TOTAL \$55.00 3 Pages
GLIDE 0002903-BPOINT OF BEGINNING
N.E. CORNER OF THE S.W. 1/4
OF THE S.W. 1/4, SECTION 2,
T-6-S, R-2-E4"x4" CONCRETE MONUMENT
ELEVATION=100.07 NAVD83STATE HIGHWAY 181
R/W VINES

LOT 6

LOT 5

LOT 4

LOT 12

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	10°00'00"	300.00	52.36	S84°56'17"E	52.29
C2	10°00'00"	300.00	52.36	S84°56'17"E	52.29
C3	30°00'00"	200.00	104.72	N14°36'08"W	103.53
C4	30°00'00"	200.00	104.72	N14°36'08"W	103.53
C5	20°00'00"	200.00	68.81	N09°52'33"W	68.48
C6	20°00'00"	250.00	67.27	N09°52'33"W	66.82
C7	25°00'00"	300.00	130.80	N12°37'27"E	129.85
C8	25°00'00"	100.00	43.63	N12°37'27"E	43.29
C9	14°59'51"	200.00	78.53	N07°33'43"E	78.30
C10	15°00'00"	200.00	52.36	N07°33'43"E	52.21
C11	00°03'44"	25.00	39.30	S44°54'25"E	35.37
C12	89°58'16"	25.00	39.24	N45°05'35"E	35.34
C13	90°03'44"	25.00	39.30	S44°54'25"E	35.37
C14	89°58'16"	25.00	39.24	N45°05'35"E	35.34
C15	10°00'00"	275.00	48.00	S84°56'17"E	47.94
C16	10°00'00"	325.00	56.72	S84°56'17"E	56.65
C17	10°00'00"	275.00	48.00	S84°56'17"E	47.94
C18	10°00'00"	325.00	56.72	S84°56'17"E	56.65
C19	90°00'00"	25.00	39.27	S44°56'17"E	35.36
C20	90°00'00"	25.00	39.27	N45°03'43"E	35.36
C21	25°47'03"	175.00	78.75	N17°02'37"W	78.09
C22	26°28'52"	225.00	103.86	N16°42'42"W	102.94
C23	30°03'35"	225.00	116.04	N14°54'21"W	116.69
C24	30°03'35"	175.00	91.81	N14°54'21"W	90.78
C25	20°00'00"	175.00	61.09	N09°52'33"W	60.78
C26	20°00'00"	225.00	78.54	N09°52'33"W	78.14
C27	20°00'00"	275.00	85.09	N09°52'33"W	85.51
C28	20°00'00"	225.00	78.54	N09°52'33"W	78.14
C29	17°01'24"	325.00	96.56	N08°38'09"E	96.21
C30	25°00'00"	275.00	119.99	N12°37'27"E	119.04
C31	07°58'36"	325.00	45.75	N21°08'09"E	45.21
C32	25°00'00"	75.00	32.72	N12°37'27"E	32.47
C33	25°00'00"	125.00	54.34	N12°37'27"E	54.11
C34	29°03'54"	171.17	86.83	N15°22'04"E	85.91
C35	29°03'54"	225.00	114.31	S75°20'37"E	113.08
C36	89°23'59"	40.00	43.41	S44°59'05"E	56.27
C37	14°52'51"	275.00	71.98	N07°33'47"E	71.78
C38	14°52'51"	325.00	85.67	N07°33'47"E	84.63
C39	15°00'00"	175.00	45.61	N07°33'43"E	45.68
C40	15°00'00"	225.00	58.90	N07°33'43"E	58.74
C41	6°34'29"	49.00	52.66	N77°01'21"E	50.15

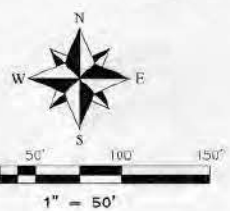
CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C42	81°34'29"	39.00	31.17	N77°01'21"E	29.69
C43	83°42'06"	196.00	91.06	S84°02'26"E	89.50
C44	23°42'06"	215.00	89.35	S84°02'26"E	86.72
C45	11°32'34"	835.00	181.21	N89°52'46"E	180.83
C46	11°32'34"	810.00	181.19	N89°52'46"E	180.81
C47	38°28'33"	96.00	54.47	N76°24'47"E	53.26
C48	38°28'33"	116.00	77.90	N76°24'47"E	76.44
C49	01°53'30"	175.00	5.75	N05°05'36"W	5.75
C50	08°33'20"	175.00	20.02	N09°18'46"W	20.01
C51					
C52	33°17'32"	244.47	95.12	N18°14'40"W	94.62
C53	30°03'35"	156.00	91.84	N14°54'21"W	90.91
C54	10°00'00"	156.00	27.23	N05°07'27"E	27.19
C55	10°00'00"	156.00	23.74	N05°07'27"E	23.71
C56	30°00'00"	116.00	60.74	N04°52'33"W	60.05
C57	30°00'00"	156.00	71.21	N04°52'33"W	70.40
C58	30°29'56"	176.00	93.69	N04°37'35"W	92.58
C59	30°29'56"	196.00	104.33	N04°37'35"W	103.10
C60	29°49'14"	256.00	136.44	N04°17'14"W	136.89
C61	29°49'14"	246.00	126.03	N04°17'14"W	126.59
C62	9°19'18"	294.00	88.78	N09°32'12"W	88.47
C63	9°19'18"	184.00	52.05	N09°32'12"W	61.76
C64	23°13'27"	156.00	63.23	N11°44'10"E	62.80
C65	23°13'27"	176.00	71.34	N11°44'10"E	70.85
C66	19°32'46"	176.00	80.04	N13°34'30"E	59.75
C67	19°32'46"	196.00	86.86	N13°34'30"E	66.54
C68	44°20'55"	76.00	38.82	N25°58'34"E	57.37
C69	44°20'55"	56.00	43.35	N25°58'34"E	42.27
C70	48°01'35"	56.00	46.94	N24°08'14"E	45.36
C71	48°01'35"	76.00	63.70	N24°08'14"E	61.86
C72	50°00'00"	28.00	43.98	N44°52'33"W	39.60
C73	50°00'00"	16.00	25.13	N44°52'33"W	22.63
C74	10°00'00"	342.00	59.68	S84°56'17"E	59.61
C75	10°00'00"	258.00	45.03	S84°56'17"E	44.97
C76	08°49'58"	96.00	14.80	N85°56'44"E	14.78
C77	17°39'55"	916.00	156.03	S89°56'17"E	158.46
C78	15°01'31"	496.00	136.07	S89°56'17"E	132.70
C79	08°49'58"	96.00	14.80	S85°31'09"E	14.78
C80	01°55'21"	275.00	9.23	S80°50'14"E	9.23
C81	21°32'39"	84.00	31.56	N67°56'49"E	31.40
C82	21°32'39"	104.00	39.11	N67°56'49"E	38.88
C83	22°43'57"	225.00	89.27	N18°34'10"W	88.60

LINE DATA

LINE	BEARING	DISTANCE
L1	N46°14'00"E	3.94
L2	N46°14'00"E	3.94
L3	N5°10'30"E	12.02
L4	N5°10'30"E	12.02
L5	N78°43'09"E	7.30
L6	N78°43'09"E	6.70
L7	N78°43'09"E	18.09
L8	N29°56'08"W	39.27
L9	N00°07'27"E	30.77
L10	N85°03'43"E	48.30
L11	S89°52'33"E	3.00
L12	N00°07'27"E	26.16
L13	N00°07'27"E	34.16
L14	N19°52'33"W	9.28
L15	N19°52'33"W	9.28
L16	N10°37'23"E	22.54
L17	N10°37'23"E	22.54
L18	N19°15'57"W	20.41
L19	N19°15'57"W	20.41
L20	N00°07'27"E	8.50
L21	N00°07'27"E	8.50
L22	N2°20'53"E	10.46
L23	N2°20'53"E	10.46
L24	N03°48'07"E	22.84
L25	N03°48'07"E	22.84
L26	N48°09'02"E	14.37
L27	N48°09'02"E	14.37
L28	N00°07'26"E	38.75

NOTES:

- FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
- A PROPERTY OWNERS ASSOCIATION (POA) IS REQUIRED TO BE FORMED. THE POA IS REQUIRED TO MAINTAIN ANY AND ALL STORM WATER FACILITIES AND STRUCTURES LOCATED OUTSIDE OF THE PLEJELY ACCEPTED RIGHT-OF-WAY.
- STORM WATER DETENTION AREAS ARE NOT THE RESPONSIBILITY OF BALDWIN COUNTY OR THE CITY OF FAIRHOPE TO MAINTAIN.
- THERE IS A DEDICATED DRAINAGE, UTILITY, AND MAINTENANCE EASEMENT OVER THE ENTIRETY OF COMMON AREAS 1 AND 2.
- CAPPED REBARS (WATTIER) HAVE BEEN SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
- THE PROPERTY OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE, IF APPLICABLE, AND ENERGY COSTS OF THE STREET LIGHTS.
- EACH LOT SHALL REQUIRE A MANDATORY SITE PLAN REVIEW.
- EACH LOT SHALL PROVIDE THE PROJECTED TRIP GENERATION DURING THE SITE PLAN REVIEW.
- NO DIRECT ACCESS FROM ANY LOT WITHIN THIS PLAT SHALL BE ALLOWED TO ADJUT HIGHWAY 10A OR ADJUT HIGHWAY 181. ALL LOTS SHALL ACCESS VIA ENCOUNTER DRIVE, BUSHEL DRIVE, OR HIDDEN GLEN.
- REFER TO THE JULY 2024 PLANNING COMMISSION MINUTES CASE SD 24.13 FOR ADDITIONAL ROAD CUT REQUIREMENTS.



LEGEND

CRF(1)	CAPPED REBAR FOUND (WATTIER)
CRF(2)	CAPPED REBAR FOUND (MOORE)
CRF(3)	CAPPED REBAR FOUND (DEWBERRY)
CMF(1)	4"x4" CONCRETE MONUMENT FOUND
CMF(2)	6"x6" CONCRETE MONUMENT FOUND
SEL	SE BACK LINE
GSB	GREEN SPACE BUFFER
COFUE	CITY OF FAIRHOPE UTILITY EASEMENT
PUE	PUBLIC UTILITY EASEMENT
DE	DRAINAGE EASEMENT

ENCOUNTER COMMERCIAL RETAIL CENTER
SUBDIVISION
PLAT OF SUBDIVISION

JUNE 10, 2024

WATTIER SURVEYING, INC.
PROFESSIONAL LAND SURVEYORS
4318 DOWNTOWN LOOP N., SUITE H
MOBILE, ALABAMA 36609

SHEET 2 OF 3

251-342-2840

CERTIFICATION OF OWNERSHIP AND DEDICATION

THIS IS TO CERTIFY THAT ENCOUNTER DEVELOPMENT, LLC IS THE OWNER OF THE LAND SHOWN AND DESCRIBED HEREON, AND THAT THE SAME HAS CAUSED SAID LAND TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH, AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED; AND GRANT ALL EASEMENTS AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT.

DATED THIS 1st DAY OF July 2024

[Signature]
OWNER

CERTIFICATION BY NOTARY PUBLIC

STATE OF ALABAMA
COUNTY OF BALDWIN

I, Leslie Vidars Knox, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, HEREBY CERTIFY

THAT Scott Delaney WHOSE NAME AS Manager OF ENCOUNTER DEVELOPMENT, LLC, IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY, THAT BEING INFORMED OF THE CONTENTS OF THE INSTRUMENT, AND AS SUCH OFFICER AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY FOR AND AS THE ACT OF SAID CORPORATION.

GIVEN UNDER MY HAND AND NOTORIAL SEAL THIS 1st DAY OF July 2024

[Signature]
NOTARY PUBLIC

My Commission Expires September 6, 2026



SURVEYOR'S CERTIFICATE

STATE OF ALABAMA
COUNTY OF BALDWIN

I, MARK A. WATTIER, A LICENSED SURVEYOR IN THE STATE OF ALABAMA, HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY OF ENCOUNTER DEVELOPMENT, LLC, SITUATED IN BALDWIN COUNTY, ALABAMA AND DESCRIBED AS FOLLOWS:

BEGINNING AT A 4"x4" CONCRETE MONUMENT AT THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 00°-03'-52" WEST ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 2 A DISTANCE OF 1,286.19 FEET TO A CAPPED REBAR (MOORE) ON THE NORTH RIGHT-OF-WAY LINE OF STATE HIGHWAY 104 (VARIABLE R/W); THENCE RUN NORTH 89°-58'-19" WEST ALONG SAID NORTH LINE A DISTANCE OF 1,148.03 FEET TO A 6"x6" CONCRETE MONUMENT; THENCE RUN NORTH 43°-45'-54" WEST ALONG SAID NORTH LINE A DISTANCE OF 71.67 FEET TO A 6"x6" CONCRETE MONUMENT ON THE EAST RIGHT-OF-WAY LINE OF STATE HIGHWAY 181 (VARIABLE R/W); THENCE RUN NORTH 00°-18'-27" EAST ALONG SAID EAST RIGHT-OF-WAY LINE A DISTANCE OF 304.90 FEET TO A CAPPED REBAR (WATTIER); THENCE RUN NORTH 45°-14'-56" EAST ALONG SAID EAST RIGHT-OF-WAY LINE A DISTANCE OF 42.52 FEET TO A 6"x6" CONCRETE MONUMENT; THENCE RUN NORTH 00°-14'-31" EAST ALONG SAID EAST RIGHT-OF-WAY LINE A DISTANCE OF 56.41 FEET TO A 6"x6" CONCRETE MONUMENT; THENCE RUN NORTH 45°-05'-24" WEST ALONG SAID EAST RIGHT-OF-WAY LINE A DISTANCE OF 42.09 FEET TO A 6"x6" CONCRETE MONUMENT; THENCE RUN NORTH 00°-17'-39" EAST ALONG SAID EAST RIGHT-OF-WAY LINE A DISTANCE OF 620.32 FEET TO A CAPPED REBAR (WATTIER) ON THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 2; THENCE RUN SOUTH 88°-54'-01" EAST ALONG SAID NORTH LINE A DISTANCE OF 1,190.55 FEET TO THE POINT OF BEGINNING. THE DESCRIBED PARCEL CONTAINS 35.19 ACRES, MORE OR LESS.

AND THAT THE PLAT OR MAP CONTAINED HEREON IS A TRUE AND CORRECT MAP SHOWING THE SUBDIVISION INTO WHICH THE PROPERTY DESCRIBED IS DIVIDED, SHOWING THE LENGTH AND BEARINGS OF THE BOUNDARIES OF EACH LOT AND EASEMENT AND ITS NUMBER, AND SHOWING THE STREETS, ALLEYS AND PUBLIC GROUNDS, AND GIVING THE BEARINGS, LENGTH, WIDTH AND NAMES OF THE STREETS. SAID MAP FURTHER SHOWS THE RELATION OF THE LAND SO PLATTED TO THE GOVERNMENT SURVEY, AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED AT POINTS MARKED THIS (E) AS HEREON SHOWN. I FURTHER CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

WITNESS MY HAND THIS 25th DAY OF June 2024

[Signature]
SURVEYOR
ALABAMA LICENSE #28384



ENGINEER'S CERTIFICATE

STATE OF ALABAMA
COUNTY OF BALDWIN

I, THE UNDERSIGNED, A REGISTERED ENGINEER IN THE STATE OF ALABAMA HOLDING CERTIFICATE NUMBER 25748, HEREBY CERTIFY THAT I HAVE DESIGNED THE WITHIN IMPROVEMENTS IN CONFORMITY WITH APPLICABLE CODES AND LAWS AND WITH THE PRINCIPLES OF GOOD ENGINEERING PRACTICE. I FURTHER CERTIFY THAT I HAVE OBSERVED THE CONSTRUCTION OF THE WITHIN IMPROVEMENTS, THAT THE SAME CONFORMS TO MY DESIGN, THAT THE WITHIN IS A TRUE AND ACCURATE REPRESENTATION OF IMPROVEMENTS AS INSTALLED AND THAT SAID IMPROVEMENTS ARE HEREBY RECOMMENDED FOR ACCEPTANCE BY THE CITY OF FAIRHOPE, ALABAMA.

[Signature]
PROJECT ENGINEER

7/20/24
DATE

ENCOUNTER COMMERCIAL RETAIL CENTER SUBDIVISION, WHICH ARE CERTIFIED, CONSIST OF PAGE 01 THRU 04, EACH OF WHICH BEARS MY SEAL AND SIGNATURE.

CERTIFICATE OF APPROVAL BY THE CITY OF FAIRHOPE PLANNING COMMISSION

THE WITHIN PLAT OF ENCOUNTER COMMERCIAL RETAIL CENTER SUBDIVISION, FAIRHOPE, ALABAMA IS HEREBY APPROVED BY THE CITY OF FAIRHOPE PLANNING AND ZONING COMMISSION, THIS THE 8th DAY OF August 2024.

[Signature]
SECRETARY, PLANNING COMMISSION

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES:

THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE 17th DAY OF July 2024.

[Signature]
AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY FAIRHOPE PUBLIC UTILITIES WATER AND SEWER DEPARTMENT:

THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE PUBLIC UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE 26th DAY OF July 2024.

[Signature]
AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY FAIRHOPE PUBLIC UTILITIES GAS DEPARTMENT:

THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE PUBLIC UTILITIES GAS DEPARTMENT, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE 26th DAY OF July 2024.

[Signature]
AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY AT&T:

THE UNDERSIGNED, AS AUTHORIZED BY AT&T, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE 10th DAY OF July 2024.

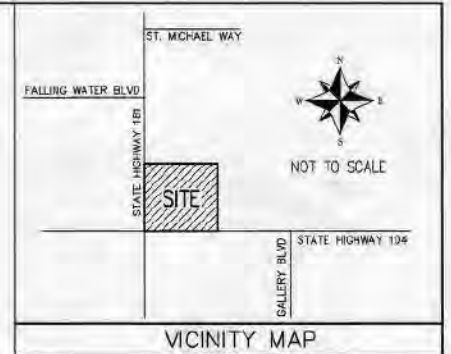
[Signature]
AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY 911:

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY 911, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE 9th DAY OF July 2024.

[Signature]
AUTHORIZED REPRESENTATIVE

2141670
BALDWIN COUNTY, ALABAMA
HARRY D'OLIVE, JR. PROBATE JUDGE
Filed/ent. 08/15/2024 02:34 PM
TOTAL \$55.00 3 Pages
SLIDE 0002963-0



FLOOD CERTIFICATE:
THE PROPERTY DESCRIBED HEREON IS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NUMBER 01003C0661 M, DATED 04/19/2016, AND IS SHOWN TO BE IN FLOOD ZONE "X-UNSHADED".

SITE DATA
CURRENT ZONING: B2, GENERAL BUSINESS DISTRICT
LINEAR FEET OF STREETS: 2,808 LF
NUMBER OF LOTS: 13
LARGEST LOT SIZE: 18,045 AC
SMALLEST LOT SIZE: 0.962 AC
COMMON AREAS: 0.902 AC
TOTAL AREA: ±35.16 AC

LOT UTILITY & DRAINAGE EASEMENTS
(EXCEPT AS OTHERWISE SHOWN)
ROADWAY FRONTAGES: 15' FUE ALONG ALL ROAD FRONTAGES
SIDE: AS SHOWN

LOT SIDEWALK EASEMENT
AS SHOWN 5' / 12' MULTI-USE TRAIL

REQUIRED SETBACKS
(EXCEPT AS OTHERWISE SHOWN)
FRONT: 20'
REAR: 0' / 20' IF ADJ. RESIDENTIAL
SIDE: 0' / 10' IF ADJ. RESIDENTIAL
SIDE STREET: 20'
AL-104 HCS: 100' FROM R.O.W. CENTERLINE
AL-181 HCS: 125' FROM R.O.W. CENTERLINE

UTILITIES
WATER, SANITARY SEWER & GAS:
FAIRHOPE PUBLIC UTILITIES
555 SOUTH SECTION ST., FAIRHOPE, AL 36532
JAY WHITMAN (251) 928-8003

ELECTRICAL:
RIVIERA UTILITIES
413 E. LAUREL AVE, FOLEY, AL 36536
SCOTT SLIGH (251) 943-5001

COMMUNICATIONS:
AT&T
2155 OLD SHELL ROAD, MOBILE, AL 36607
WADE MITCHELL (251) 471-8351

ENGINEER:
JADE CONSULTING, LLC.
P.O. BOX 1929
FAIRHOPE, AL 36533
251-928-3443

SURVEYOR:
WATTIER SURVEYING, INC.
4318 DOWNTOWNER LOOP N., STE. H
MOBILE, AL 36609
251-342-2640

DEVELOPER/OWNER:
ENCOUNTER DEVELOPMENT, LLC
1189 POST ROAD, STE. 3B
FAIRFIELD, CT 06824
203-655-1978

ENCOUNTER COMMERCIAL RETAIL CENTER
SUBDIVISION
PLAT OF SUBDIVISION

JUNE 10, 2024

WATTIER SURVEYING, INC.
PROFESSIONAL LAND SURVEYORS
4318 DOWNTOWNER Loop N., Suite H
Mobile, Alabama 36609 251-342-2640



"GOOD FOOD FAST"®

P.O. Box 6450 • Norcross, Georgia 30091-6450

(770) 729-5700

November 21, 2024

VIA UPS

City of Fairhope
Attn: Hunter Simmons
555 S. Section Street
P.O. Box 429
Fairhope, AL 36532

Re: Site Plan Submittal – Waffle House

Mr. Simmons,

Please accept this letter and all the accompanying documents as our official submittal for a site plan review regarding the proposed Waffle House development. As previously discussed, we are only seeking approval of our site plan to confirm the parking plan, and not a full site plan approval. Once we have approval to proceed, I will have my engineers design the full set of civil plans and apply again for approval. I am trying to avoid a situation where Waffle House spends a significant amount of money on civil and building plans if the parking plan is not approved.

Upon receipt of this submittal, contact me with any questions or requests for additional information needed to accept this submittal package.

I look forward to working with you on this project.

Sincerely,

Erik Haeffs | Real Estate Director

Waffle House, Inc. | 5986 Financial Drive, Norcross, GA 30071
o 770.729.5806 erikhaeffs@wafflehouse.com



December 17, 2024

City of Fairhope – Subdivision Regulations, Zoning Ordinance
Michelle Melton
City Planner
City of Fairhope

RE: SR 25.01 Waffle House at Encounter Development -Review Comments – Waffle House-Fairhope, AL

Please let this letter, and the attached, serve as Waffle House's response to your comments concerning the above-mentioned project.

Comments:

1. Signage shall conform to the Sign Ordinance. Size. The aggregate surface area for all permitted signs in all nonresidential districts shall be limited to the following:

- a. One (1) square foot for each two (2) linear feet of building frontage;
- b. No more than fifty (50) square feet per lot in any business district, with the exception of multi-occupancy lots or buildings. A separate permit application, with schematic included, will be required for signage.

Response:

Please see the included sign rendering package which complies with the aforementioned limitations.

2. Maximum parking allowed is 24 spaces. Please eliminate Spaces 1 & 15 per your December 11 email.

Response:

Parking spot have been reduce to a total of 24 parking spots. Parking #1 and #15 have been eliminated as requested.

3. Stay tuned for more comments from Water/Sewer.

Response:

Understood. Water/Sewer comments will be addressed accordingly once we receive them.

4. Article IV, Section B(3) of Zoning Ordinance calls for exterior lights in parking lots with fewer than 50 spaces to be a maximum of 10 ft tall. Please amend the lighting plan to comply.

Response:

Please see attached the updated Photometric Plan

5. Instead of scattered outdoor seating contain the outdoor seating to a patio outside.

Response:

Please see revised Site Plan sheet C02 with outdoor seating next to the patio area.



6. Article V, Section C(2) of the Subdivision Regulations states that 10% greenspace is required. The site most likely already has this requirement, but it needs to be documented in the Site Data Table.

Response:

Please see greenspace callout on the Site Data Table on sheet C02.

7. Update the Site Data Table accordingly.

Response:

Please see greenspace callout on the Site Data Table on sheet C02.

8. Make the suggested landscaping changes per the December 9 email and your acknowledgement of the same.

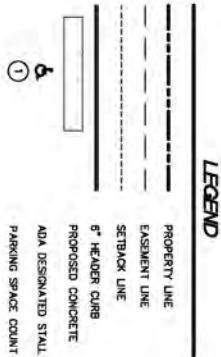
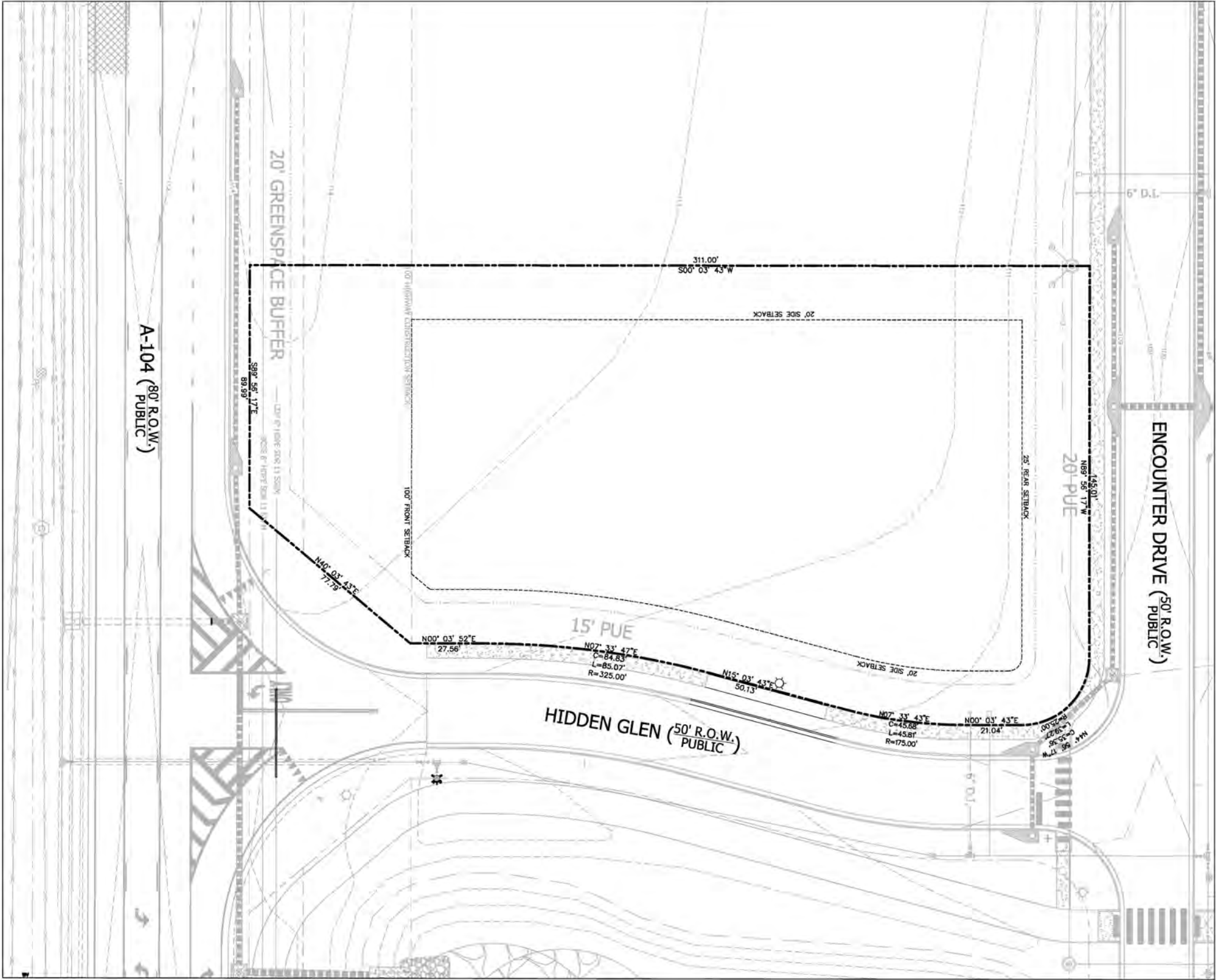
Response:

Please see that updated Landscape Plan addressing the December 9th comments.

Please indicate in writing that our responses are adequate and meet your requirements. Thank you for taking a personal interest in Waffle House we look forward to hearing from you soon.

Sincerely,

Erik Haeffs
Real Estate Director
erikhaeffs@wafflehouse.com



ZONING DISTRICT B-2 GENERAL BUSINESS
PROPOSED LOT AREA 1.050 AC (45,725 SF)



#	DATE	REVISIONS

These drawings and the design represented herein are the exclusive property of The Continuo Group. Reproduction or any use of these drawings other than for the project intended without the express written consent of The Continuo Group is prohibited. Any unauthorized use will be subject to legal action.

WAFFLE HOUSE FAIRHOPE, AL	
ISSUED FOR:	PERMITTING
JURISDICTION:	CITY OF FAIRHOPE
LOCATION:	SOUTHWEST CORNER OF ENCOUNTER DRIVE AND HIDDEN GLEN

"A UNIQUE AMERICAN PHENOMENON"

WAFFLE HOUSE

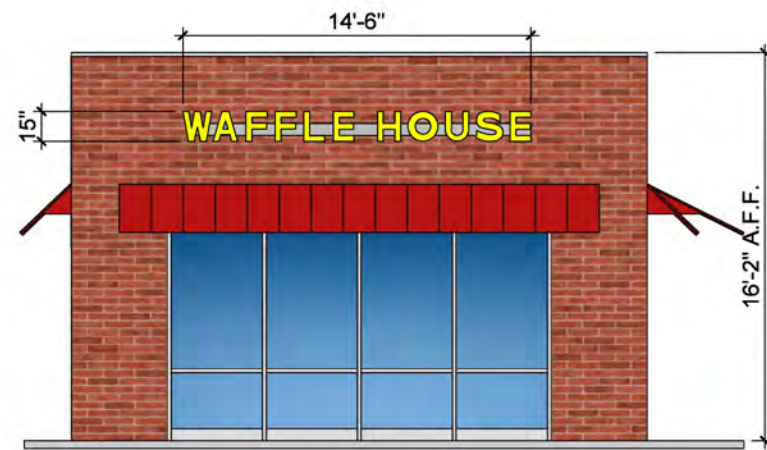
"AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK"

5986 Financial Drive, Norcross, GA 30071
(770) 729-5700

CONTINEO GROUP
755 COMMERCE DRIVE
SUITE 800
DECATUR, GA 30030
770.335.9403
www.tcg.engineer

11/22/24

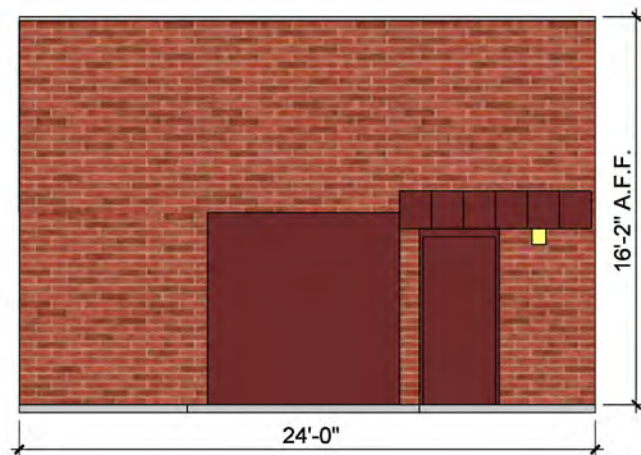
BOUNDARY,
TOPOGRAPHY AND
EASEMENT EXHIBIT
SHEET



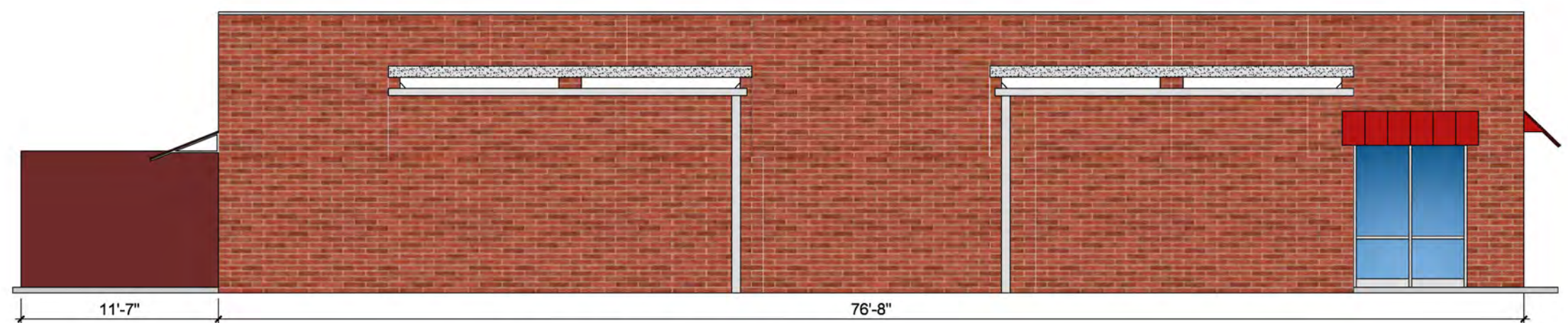
STRETCH END



LONG GLASS WALL



REAR



LONG BLOCK WALL

SCALE: 1/8"=1'-0"

BUILDING DESCRIPTION:

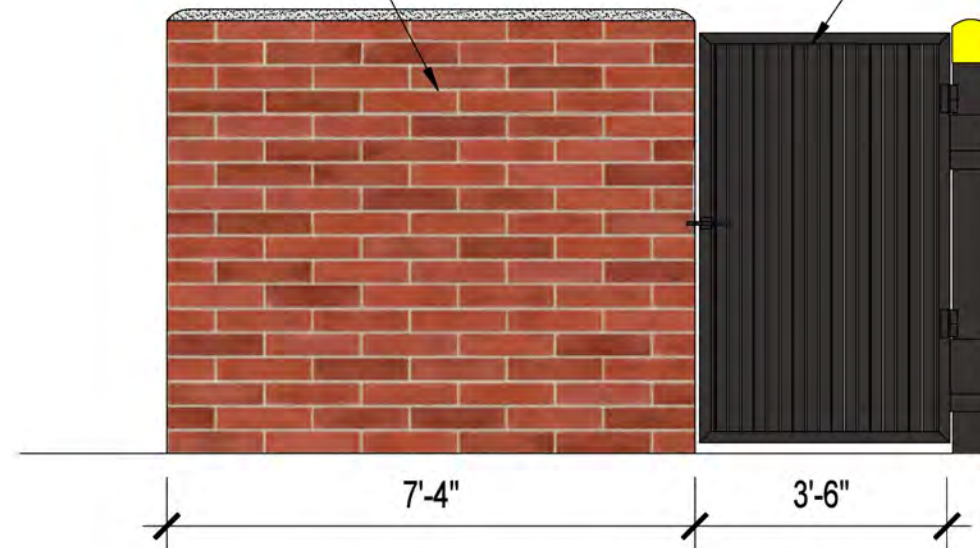
LEFT HAND, MEDIUM PARAPET, BW3 BUILDING
"RICHFIELD FLASHED" QUIK-BRIK
RED STANDING-SEAM METAL AWNING



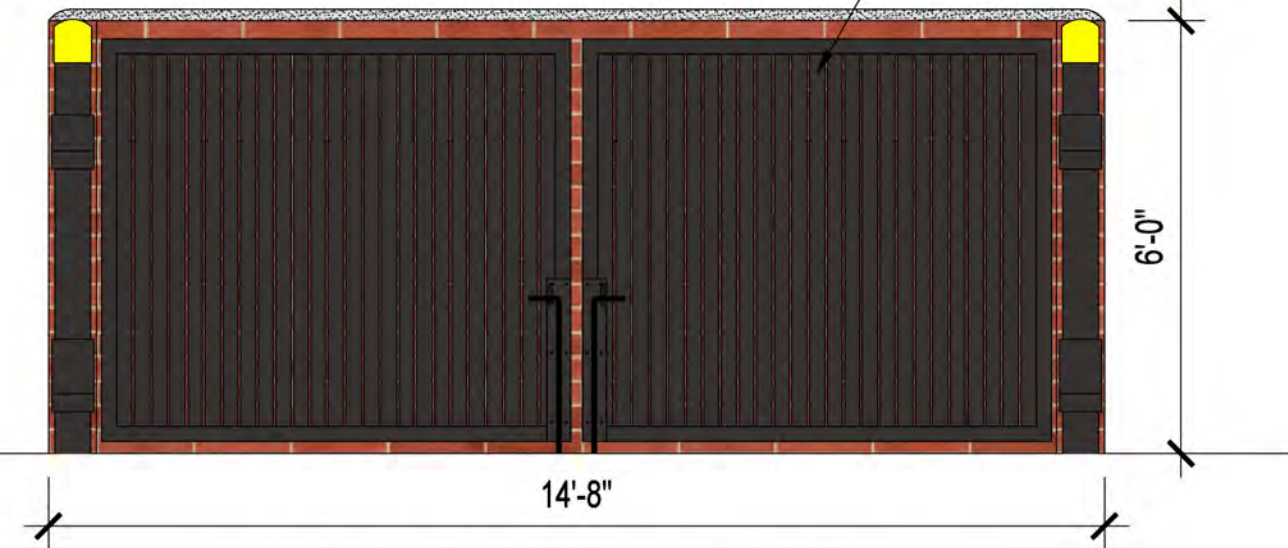
"RICHFIELD FLASHED"
QUIK-BRIK

ACCESS DOOR

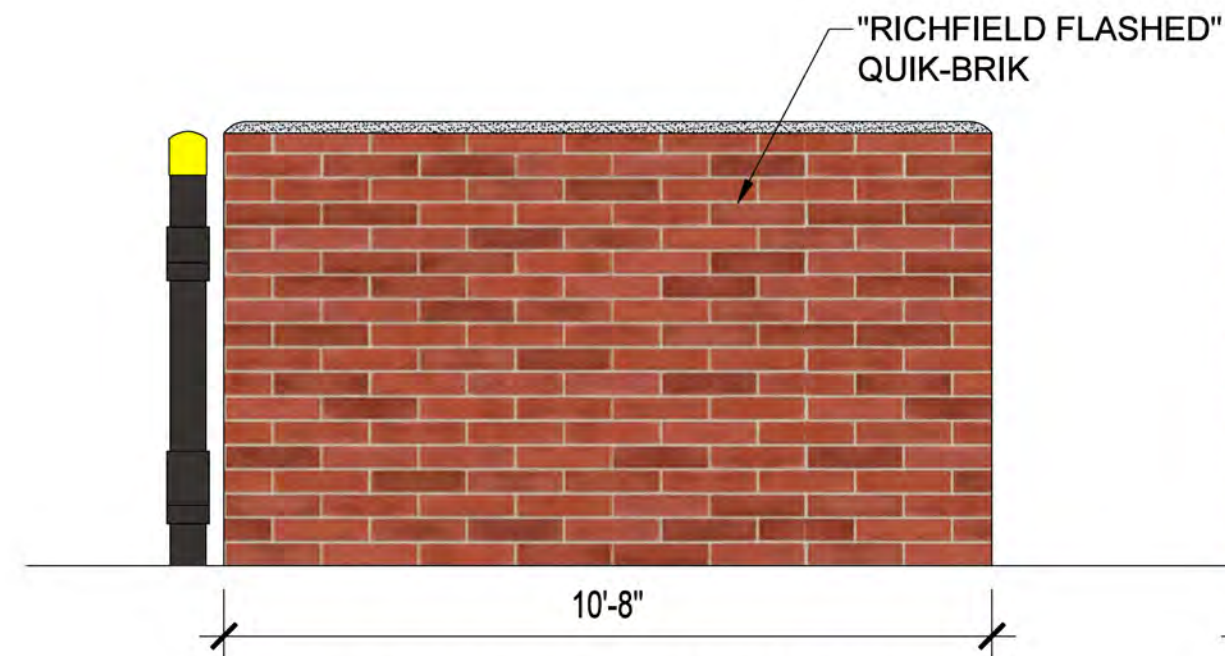
METAL GATE



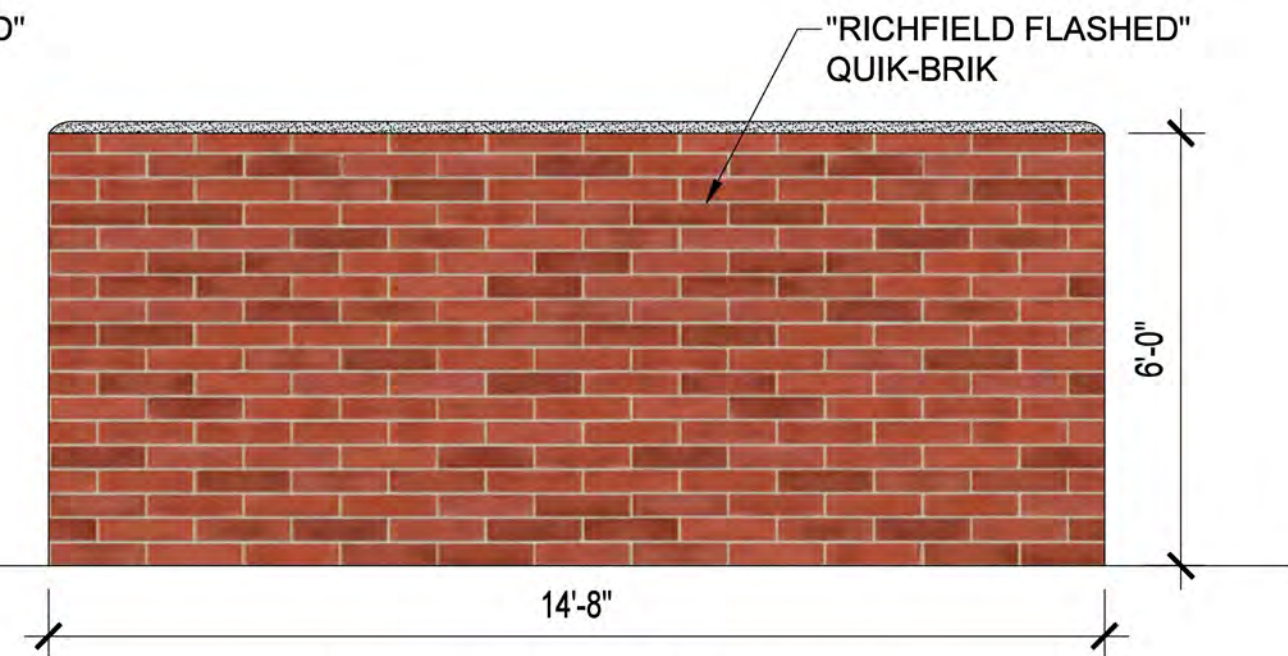
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

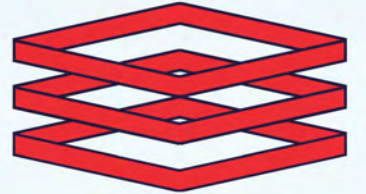
DUMPSTER ELEVATION

SCALE: 3/8"=1'-0"



WAFFLE HOUSE

CURRENT REVISION: 09.24.24



ENTERA

Your total branding solution

5900 VENTURE CROSSINGS BLVD

PANAMA CITY, FL 32409

PH: 850-763-7982

FAX: 850-392-0673

THIS DOCUMENT CONTAINS PROPRIETARY AND CONFIDENTIAL INFORMATION OF ENTERA, LLC, AND SHALL NOT BE USED, DISCLOSED OR REPRODUCED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN TO EVALUATE THIS DOCUMENT, WITHOUT THE PRIOR WRITTEN CONSENT OF ENTERA, LLC. TITLE IN AND TO THIS DOCUMENT AND ALL INFORMATION CONTAINED HEREIN REMAINS AT ALL TIMES PROPERTY OF ENTERA, LLC.

Rachel Chatfield
Senior Program Manager

Michelle Wingo
GRAPHIC ARTIST

CLIENT

WAFFLE HOUSE

DATE

09.24.24

LOCATION

(Intersection of Hwy 104 & Hwy 81)
Fairhope, AL (TBD)

FILE LOCATION

H:\MARKETING DESIGN\COR\W\WAFFLE HOUSE\FAIRHOPE_AL.cdr

REVISION

1. XXXXX	5. XXXXX
2. XXXXX	6. XXXXX
3. XXXXX	7. XXXXX
4. XXXXX	8. XXXXX



DEPARTMENT:
ART

LOCATION:

FAIRHOPE, AL

CODE:

City of Fairhope

Kim.burmeister@fairhopeal.gov KIM IS NO LONGER THERE.

Christina Lejeune christina.lejeune@fairhopeal.gov

251-990-0206

ZOned B-2

Laura, I did confirm that Waffle house will get two wall signs and they can have one monument sign. All three combined cannot exceed 50 s.f. total.

Kind Regards,

Christina LeJeune

Code Enforcement Officer

Planning and Zoning Department

Phone: 251/990-0206

Email: christina.lejeune@fairhopeal.gov

555 S. Section Street

P.O box 429

Fairhope, Alabama 36533

TOTAL SITE SIGNAGE:

1 sq. ft. per 2' of building frontage. 50 sq. ft. max. per lot.

WALL SIGNS:

1 per wall facing a street.

I got an email from her and YES, you can use the east, long elevation to calculate the total for the site! YAY! Code reads 1 per wall facing a street.

You CAN put up window vinyl in the windows and they DO NOT count towards the total site allowable. 20% of each window.

MONUMENT:

8' OAH.

PERMITTING:

Apply through the portal

https://www4.citizenserve.com/Portal/PortalController?Action=showHomePage&ctzPagePrefix=Portal_&installationID=374&original_id=0&original_contactID=0

I_id=0&original_contactID=0

Monument needs Sealed Engineered Drawings. Wall signs don't.

INVENTORY

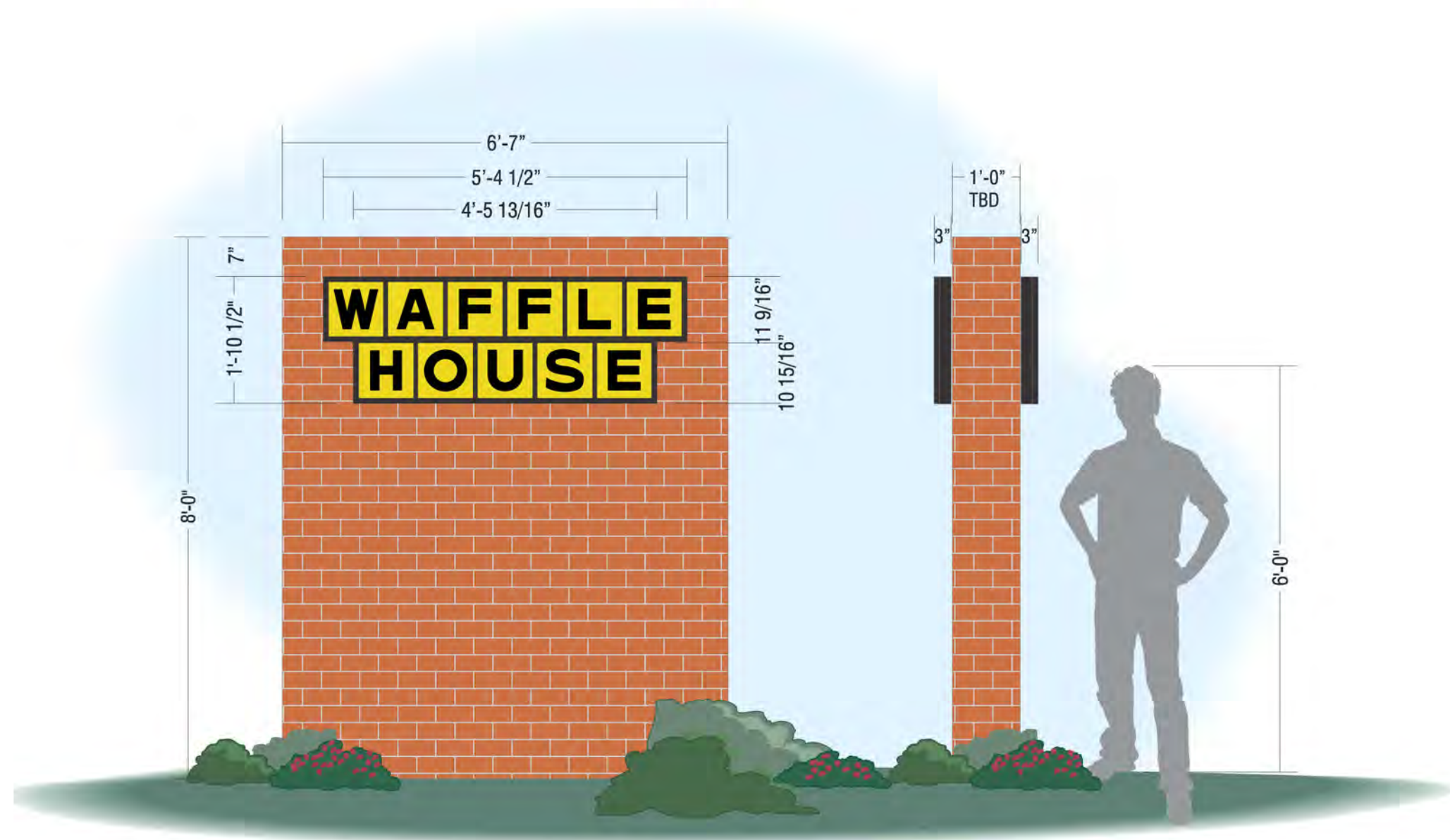
Sign	Entera Stock Code	Description	Qty	Electric Required? Y or N
A	2WAF-MON017	WH M10 MONUMENT SF FLAT FACE; PCB FACE; MOUNTED TO EXISTING BRICK BASE AT 8' OAH	2	
B	2WAF-CLRW03	WH 15" YELLOW CL ON RW; LINEAR; RACEWAY COLOR: TBD	2	
C	2WAF-VINYLO2	WH 24" ROUND LOGO VINYL	2	

2WAF-MON017

QTY: 2 EACH

A

SCALE:
1/2" = 1'-0"



SIGN: TWO (2) S/F INTERNALLY-ILLUMINATED 3" DEEP CABINETS W/ CLEAR FLAT POLYCARBONATE FACES

COPY: BLACK ON PROCESS YELLOW FIELD (APPLIED 2ND SURFACE)

BACKGROUND: PROCESS YELLOW (APPLIED 2ND SURFACE)

ILLUMINATION: LED 5000K MAX COLOR TEMPERATURE

CABINET: GLOSS BLACK

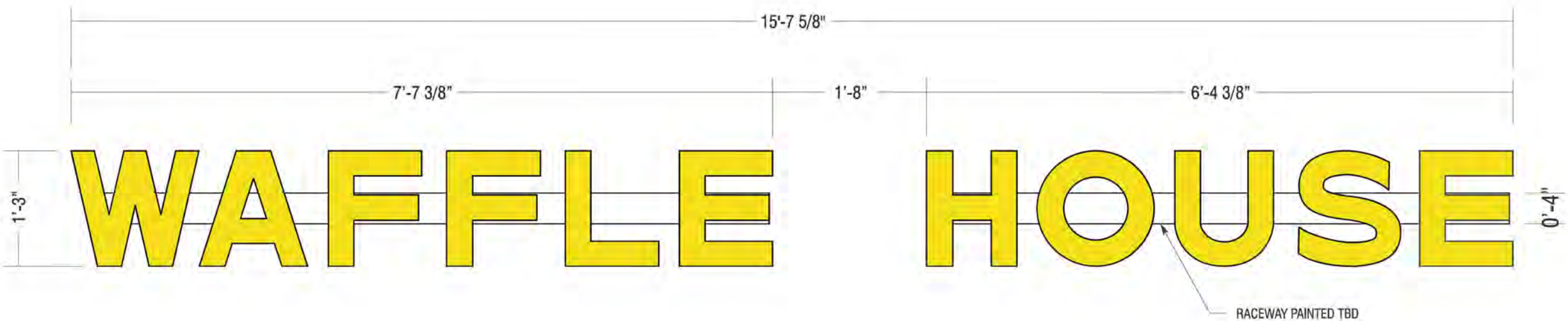
BASE: BRICK BASE BY OTHERS (WILL MATCH BUILDING)

2WAF-CLRW03

QTY: 2 EACH

SCALE:
3/16" = 1'-0"

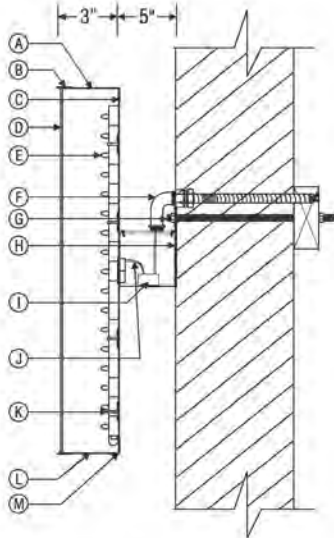
B



L.E.D. RACEWAY MOUNTING DETAIL (EXTERIOR)

- A. .040" ALUMINUM 3" RETURNS TO BE PAINTED GLOSS BLACK
- B. 1" GLOSS BLACK TRIM CAP
- C. .063" ALUMINUM BACKS - INSIDES TO BE PAINTED WHITE
- D. .093" YELLOW POLYCARBONATE FACES
- E. GE 24V TETRA mini MAX LEDs
- F. 1/2" SEALTITE CONDUIT RUNNING TO SECONDARY CONNECTION
- * NOTE: GENERAL CONTRACTOR TO HAVE PRIMARY CONNECTION HOOKED UP
- G. 3/8" THREADED RODS WITH 2" x 4" WOOD BLOCKING AS REQUIRED TO MOUNT RACEWAY TO WALL

- H. 2" x 9" x 3/16" ALUMINUM MOUNTING BRACKETS AS REQ'D - CENTER TO CENTER DIMENSIONS NOT TO EXCEED 6'-0" OF UNBRACED LENGTHS
- I. STANDARD POWER SUPPLY HOUSED IN A 4" x 5" RACEWAY PAINTED TBD
- J. POWER CABLE STARTING FROM POWER SUPPLY THEN LETTER TO LETTER
- K. PLASTIC MOUNTING CLIPS AS REQ'D
- L. 1/4" WEEP HOLES AS REQUIRED
- M. SILICONE BEAD AROUND THE INSIDE OF RETURN AND BACK TO SEAL FROM WATER LEAKAGE



TYPICAL WALL SECTION:
NOT TO SCALE

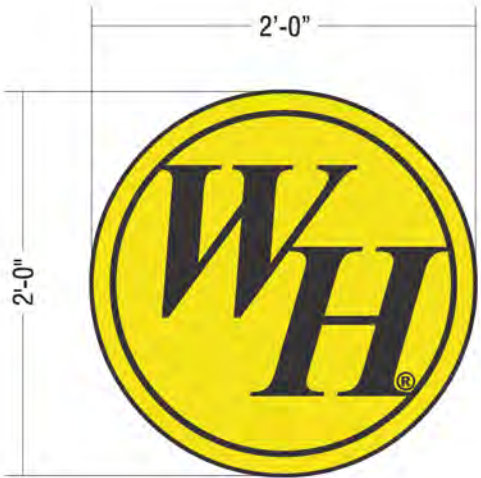
2' ROUND LOGO WINDOW GRAPHICS

2WAF-VINYLO2

QTY: 2 EACH

SCALE:
1" = 1'-0"

C



SIGN DETAIL: WAFFLE HOUSE

2' DIGITAL PRINT APPLIED TO TOP BAND ABOVE WINDOW (APPLIED 1ST SURFACE)

BACKGROUND: 3M 3630-015 YELLOW

COPY / BORDER: 7725-22 BLACK VINYL



EXTERIOR ELEVATIONS • PROPOSED SIGNAGE

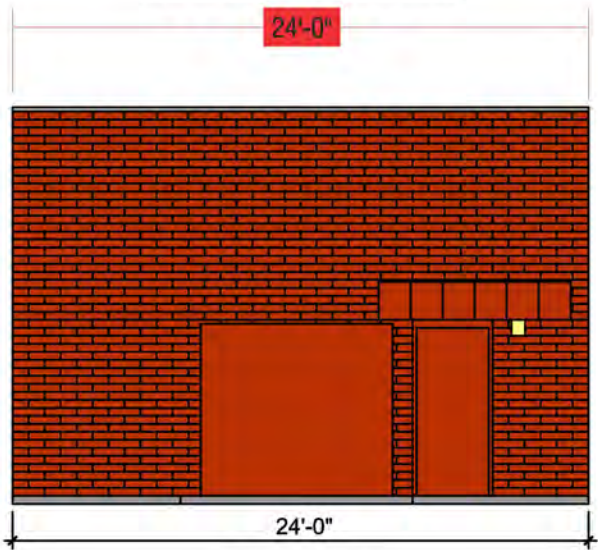
SCALE:
1/8" = 1'-0"



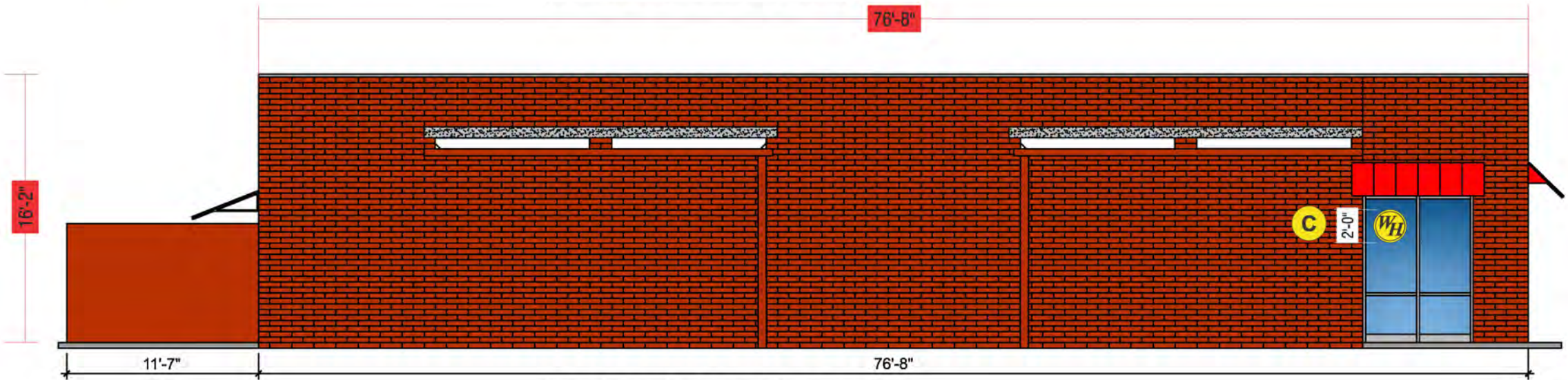
STRETCH END



LONG GLASS WALL



REAR



LONG BLOCK WALL

December 30, 2024

Michelle Melton
City Planner
City of Fairhope, AL

Re: Waffle House Fairhope, FL – Trip Generation Report
Southwest Corner of Encounter Drive and Hidden Glen, Fairhope, AL 36532
Contineo Project #: 24-366

To whom it may concern,

Trips generated by the proposed Waffle House development were based on the ITE Trip Generation Manual, 11th Edition land use code 930 (fast casual restaurant) and proposed building size, a total of 194 trips per day is anticipated for the proposed restaurant, with 97 entries and 97 exists. The peak hour weekday AM is 11 trips total with 7 entries and 4 exits per hour. The peak hour weekday PM is 37 trips total with 23 entries and 14 exits per hour. The peak hour weekend PM is 65 trips total with 36 entries and 29 exits per hour. The restaurant will have a total of 24 parking spaces. Data on the traffic data the proposed Waffle House is projected to serve less than 1000 vehicles per day and less than 100 vehicles during the peak hour.

Attached to this letter is the ITE Trip Generation Manual, 11th Traffic calculations. In case of any questions, please contact me at 770-335-9403 or Ronc@thecontineogroup.com.

Sincerely,

Ron T. Crump, P.E.
Contineo Group, L.L.C.
770.335.9403
Ronc@thecontineogroup.com

Land Use: 930

Fast Casual Restaurant

Description

A fast casual restaurant is a sit-down restaurant with no (or very limited) wait staff or table service. A customer typically orders off a menu board, pays for food before the food is prepared, and seats themselves. The menu generally contains higher-quality, made-to-order food items with fewer frozen or processed ingredients than at a fast-food restaurant. Most patrons eat their meal within the restaurant, but a significant proportion of the restaurant sales can be carry-out orders. A fast casual restaurant typically serves lunch and dinner; some serve breakfast. A typical duration of stay for an eat-in customer is 40 minutes or less. Fine dining restaurant (Land Use 931), high-turnover (sit-down) restaurant (Land Use 932), and fast-food restaurant without drive-through window (Land Use 933) are related uses.

Additional Data

The fast casual restaurant study sites included in this land use did not have a drive-through window.

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

The sites were surveyed in the 2010s in Minnesota, South Carolina, Washington, and Wisconsin.

Source Numbers

861, 869, 939, 959, 962, 1048

Fast Casual Restaurant (930)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban

Number of Studies: 1

Avg. 1000 Sq. Ft. GFA: 1

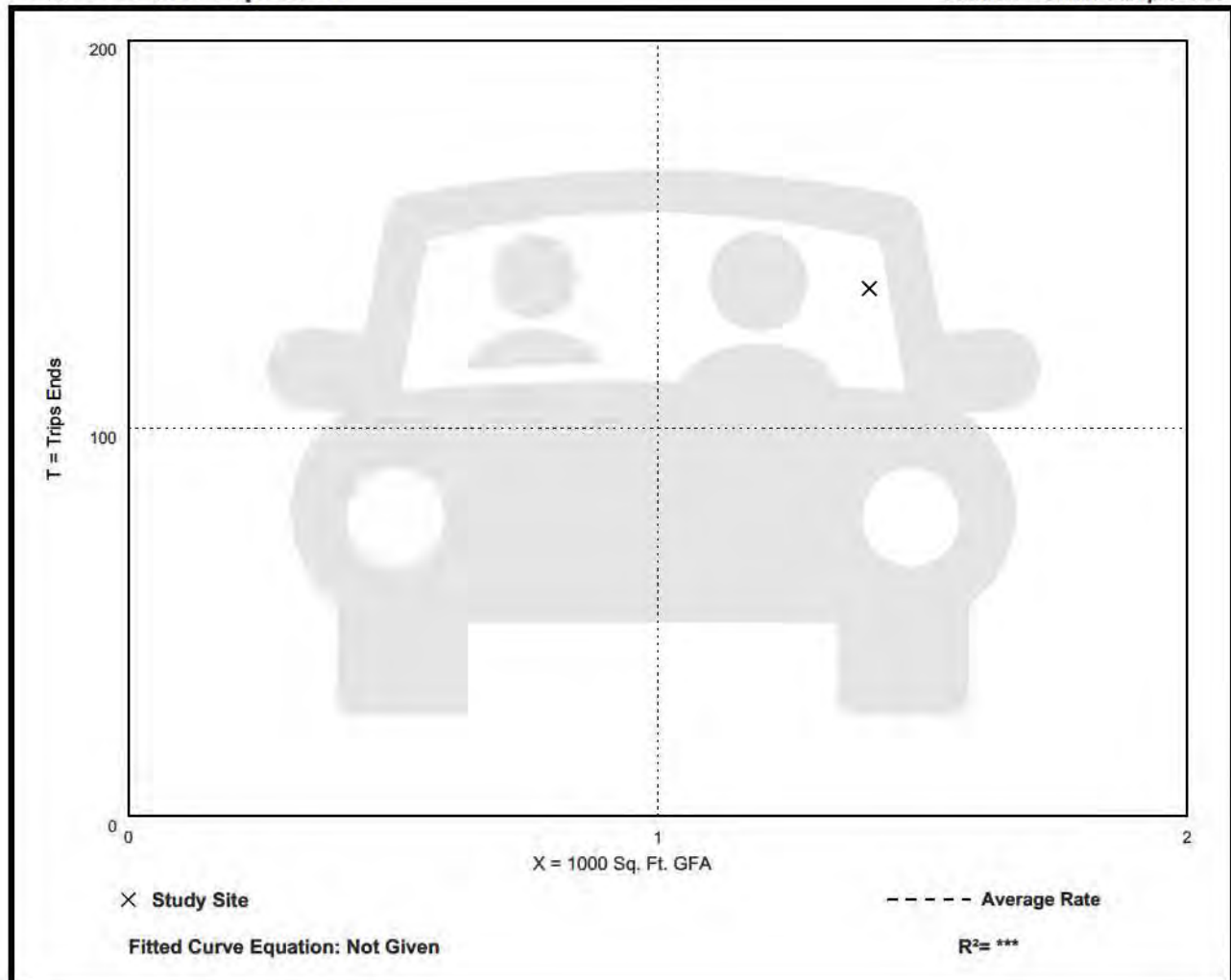
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
97.14	97.14 - 97.14	***

Data Plot and Equation

Caution – Small Sample Size



Fast Casual Restaurant (930)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 1

Avg. 1000 Sq. Ft. GFA: 1

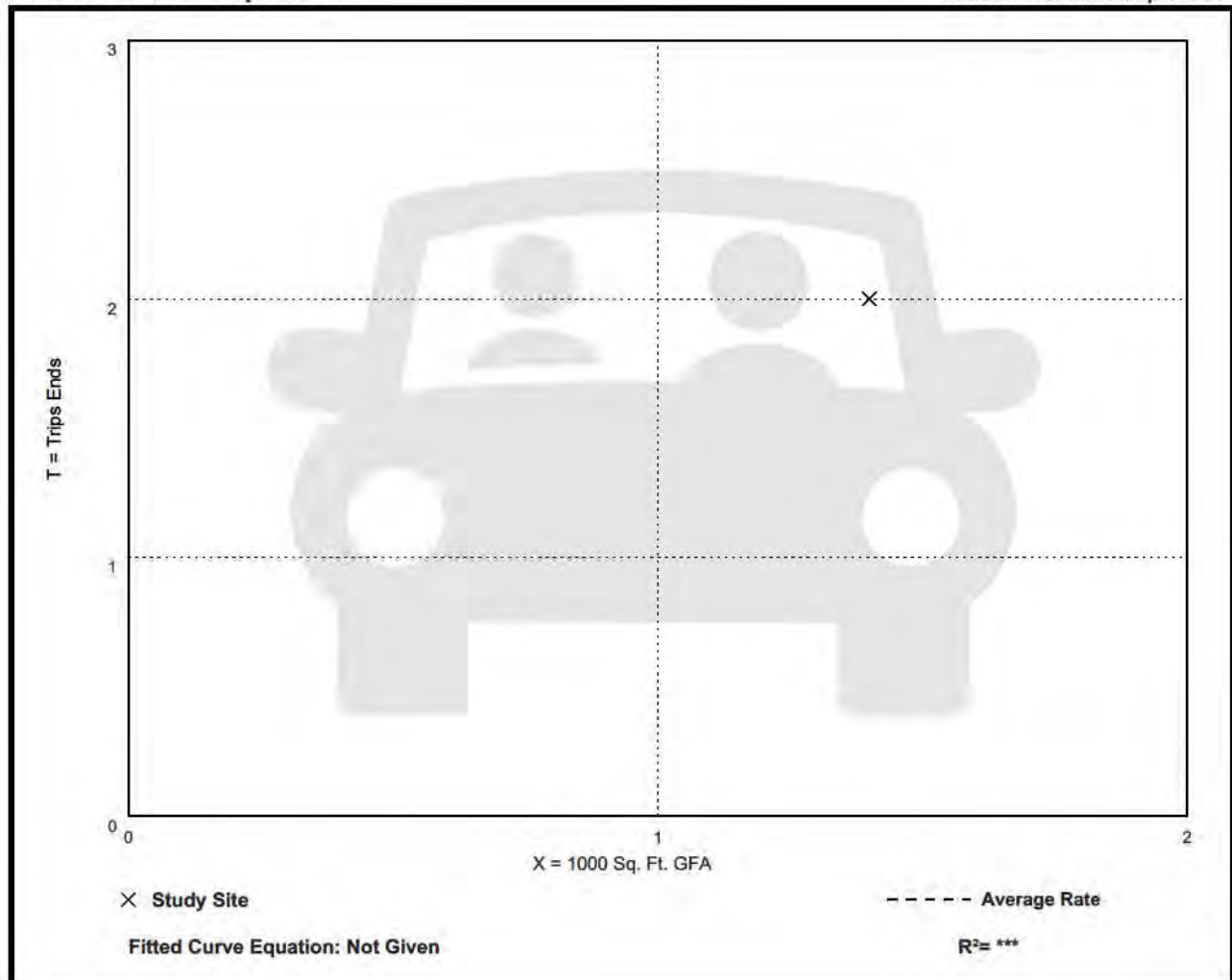
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.43	1.43 - 1.43	***

Data Plot and Equation

Caution – Small Sample Size



Fast Casual Restaurant (930)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 15

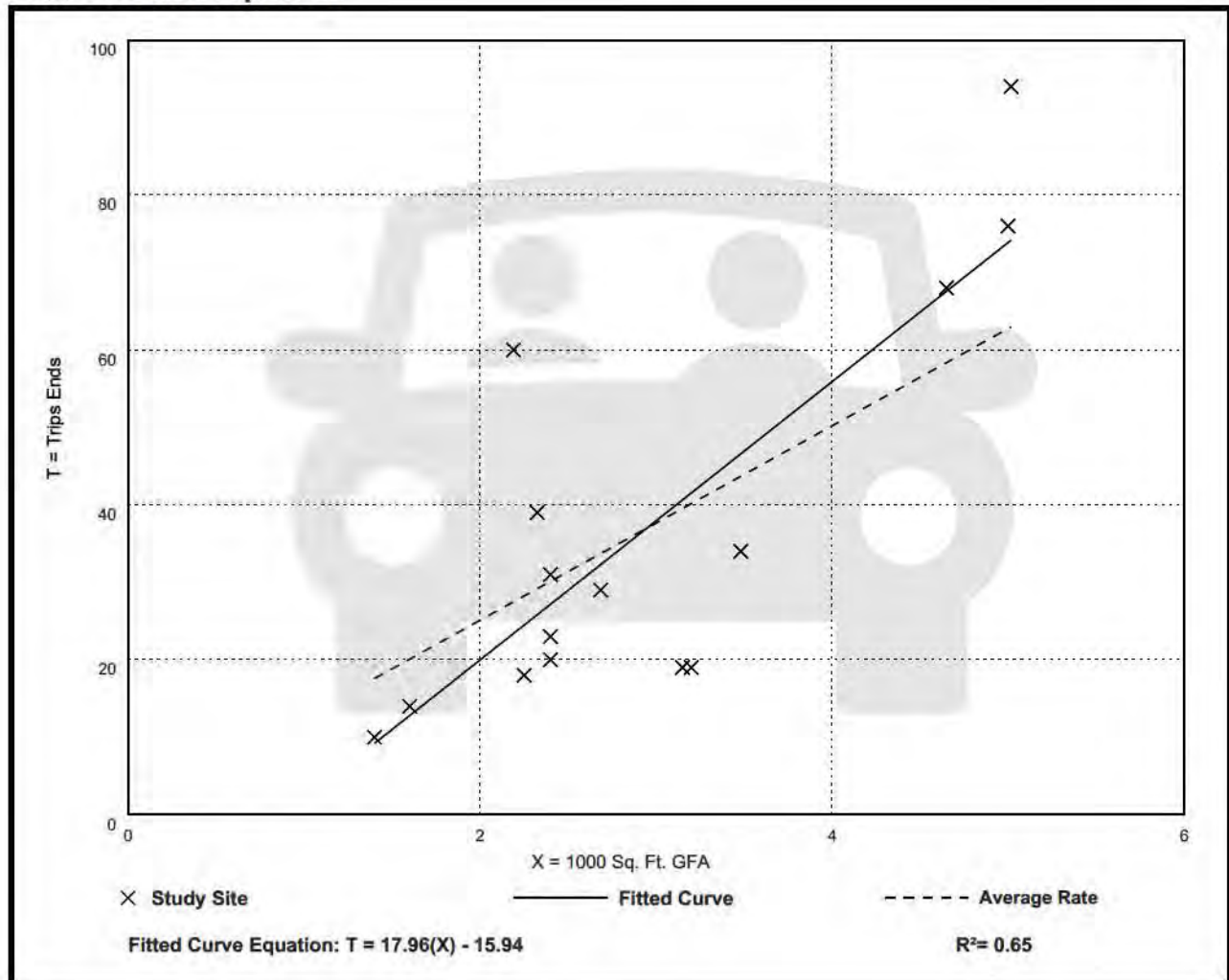
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 55% entering, 45% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
12.55	5.94 - 27.40	5.52

Data Plot and Equation



Fast Casual Restaurant (930)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

AM Peak Hour of Generator

Setting/Location: General Urban/Suburban

Number of Studies: 1

Avg. 1000 Sq. Ft. GFA: 1

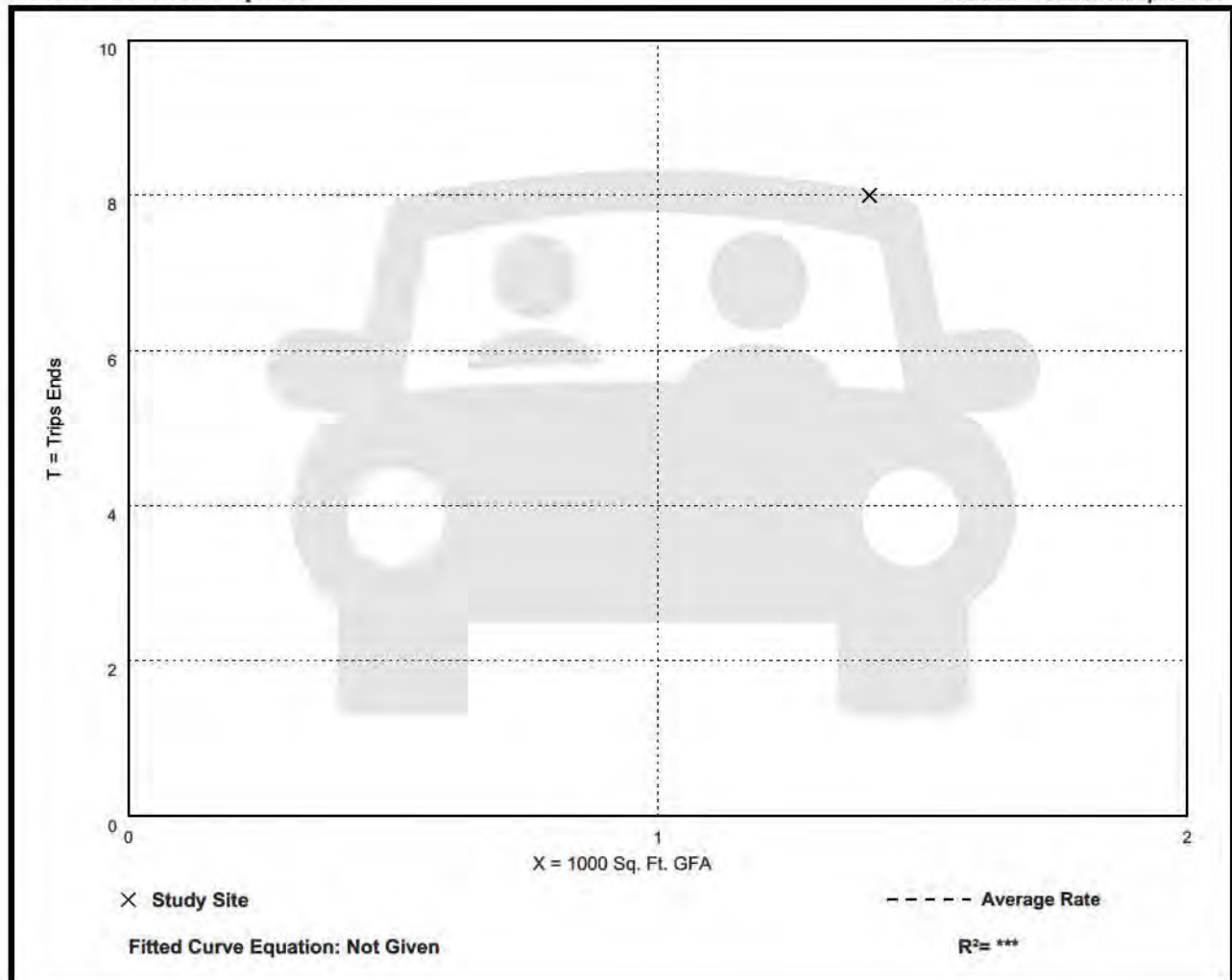
Directional Distribution: 63% entering, 37% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
5.71	5.71 - 5.71	***

Data Plot and Equation

Caution – Small Sample Size



Fast Casual Restaurant (930)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

PM Peak Hour of Generator

Setting/Location: General Urban/Suburban

Number of Studies: 1

Avg. 1000 Sq. Ft. GFA: 1

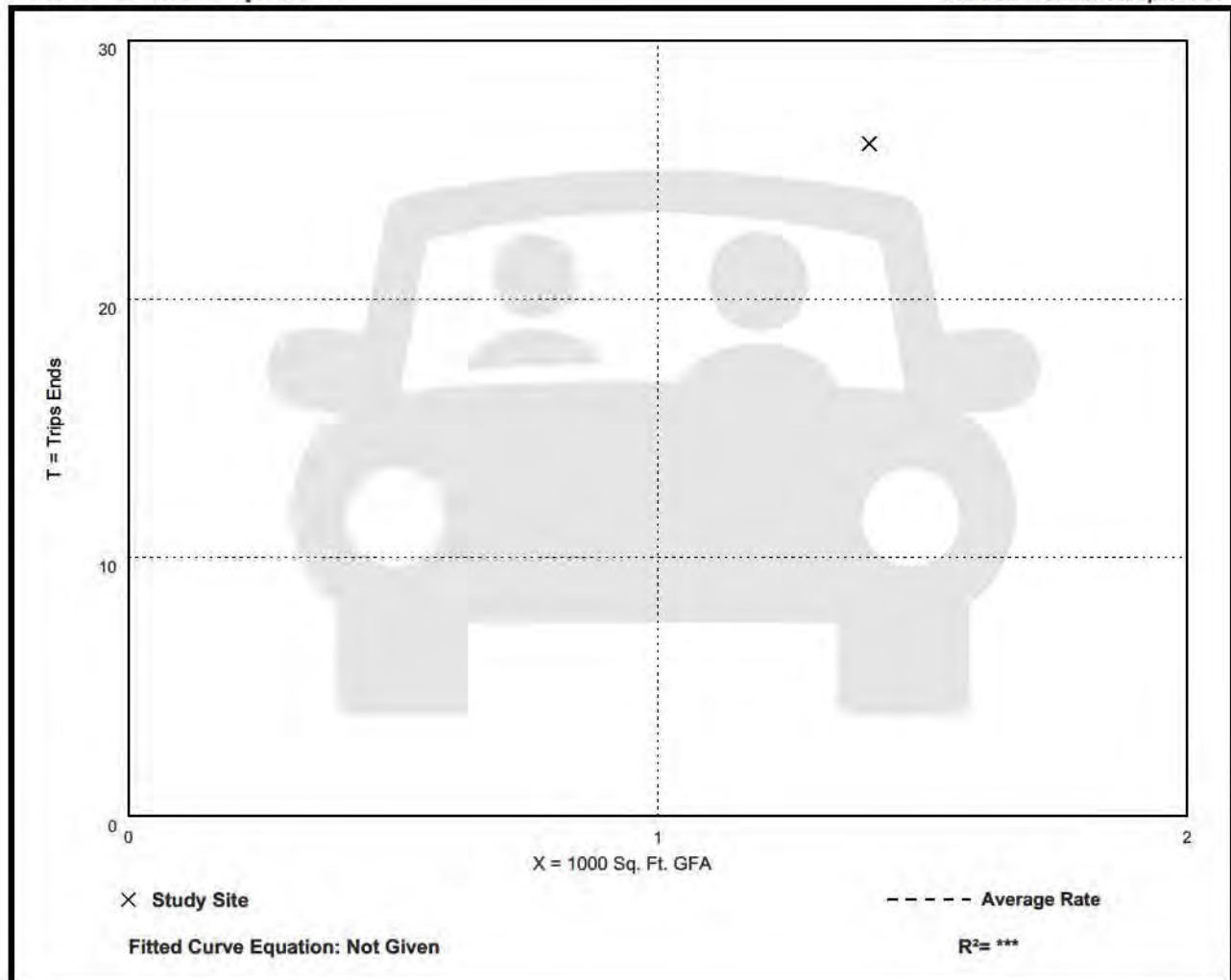
Directional Distribution: 62% entering, 38% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
18.57	18.57 - 18.57	***

Data Plot and Equation

Caution – Small Sample Size



Fast Casual Restaurant (930)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Saturday, Peak Hour of Generator

Setting/Location: General Urban/Suburban

Number of Studies: 2

Avg. 1000 Sq. Ft. GFA: 5

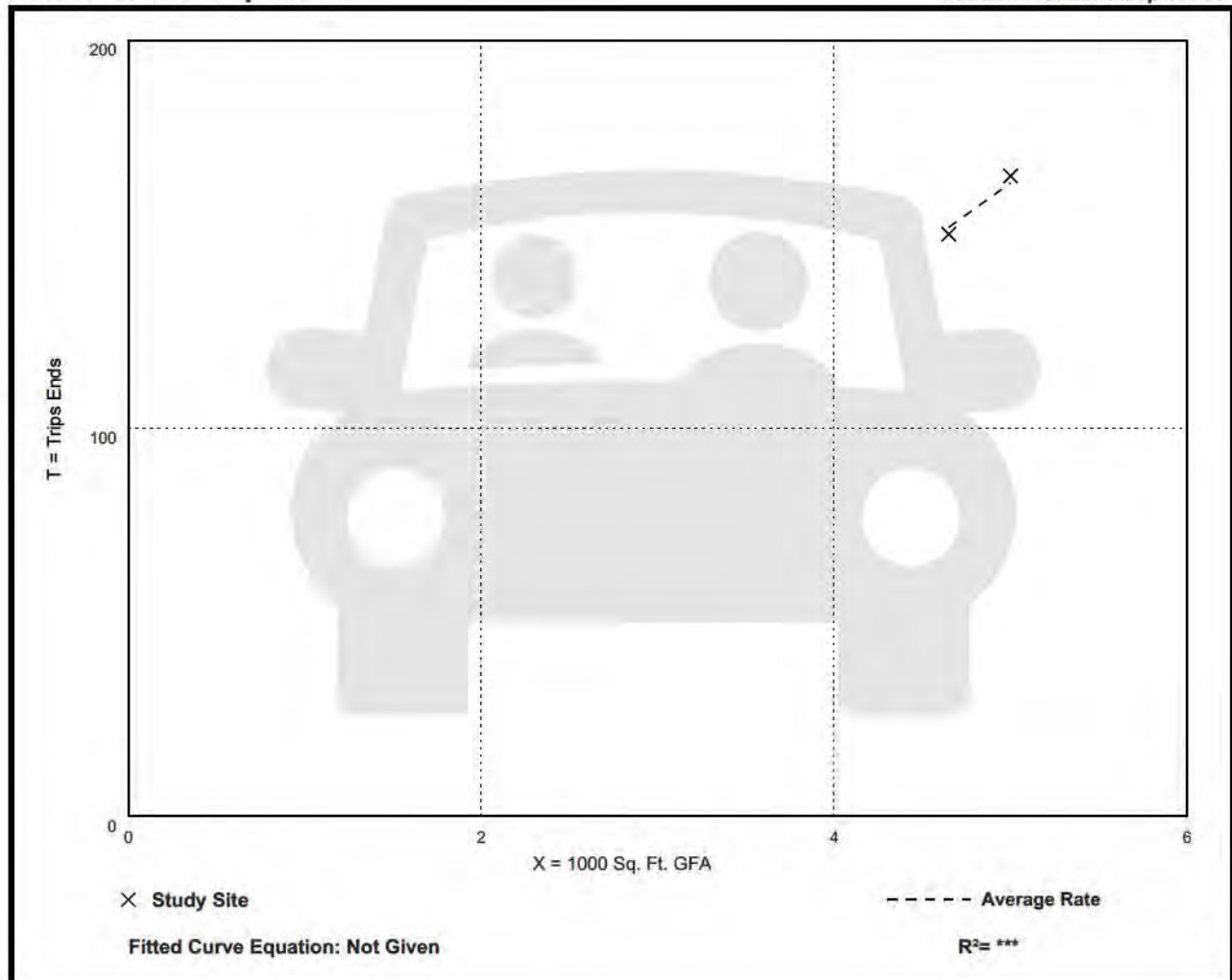
Directional Distribution: 55% entering, 45% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
32.64	32.26 - 33.00	***

Data Plot and Equation

Caution – Small Sample Size



RESOLUTION NO. 2025-01

**A RESOLUTION TO AMEND THE CITY OF FAIRHOPE,
ALABAMA SUBDIVISION REGULATIONS**

WHEREAS, the City of Fairhope Planning Commission (the “Planning Commission”) adopted the current Subdivision Regulations for the City of Fairhope, Alabama on March 8, 2007 (the “Subdivision Regulations”); and

WHEREAS, the Planning Commission desires to amend the Subdivision Regulations as hereinafter provided.

**NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION
OF THE CITY OF FAIRHOPE, ALABAMA, AS FOLLOWS:**

1. Article VI, Section F.c. of the Subdivision Regulations is hereby revised to read as follows:

- c. All water systems constructed within any subdivision and all water systems constructed outside of a subdivision but servicing a subdivision shall be constructed in accordance with those certain “Standard Specifications for Constructing Sanitary Sewer Facilities and Water Facilities”, as amended, which shall be on file with the City of Fairhope Water and Sewer Department. The City’s Director of Operations is hereby authorized to make revisions to the specifications found in Division III-Construction Specifications of such Standard Specifications and shall incorporate such revisions in the Standard Specifications maintained on file.

2. Article VI, Section H.2. of the Subdivision Regulations is hereby revised to read as follows:

- 2. All sanitary sewer systems constructed within a subdivision and all sanitary sewer systems constructed outside of a subdivision but servicing a subdivision shall be constructed in accordance with those certain “Standard Specifications for Constructing Sanitary Sewer Facilities and Water Facilities”, as amended, which shall be on file with the City of Fairhope Water and Sewer Department. The City’s Director of Operations is hereby authorized to make revisions to the specifications found in Division III- Construction Specifications of such Standard Specifications and shall incorporate such revisions in the Standard Specifications maintained on file.

EFFECTIVE DATE: This amendment shall be in full force and effect upon its due adoption and certification as provided by law.

Adopted this _____ Day of _____, 2025.

Lee Turner, Chairman

Attest:

Cindy Beaudreau, Secretary

RESOLUTION NO: 2025-02

A RESOLUTION AMENDING ARTICLE VI, SECTIONS F.C. AND H.2. OF THE CITY OF FAIRHOPE SUBDIVISION REGULATIONS TO REVISE DIVISIONS I AND DIVISION II OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTING SANITARY SEWER FACILITIES AND WATER FACILITIES

WHEREAS, the City of Fairhope Planning Commission (the “Planning Commission”) adopted the current Subdivision Regulations for the City of Fairhope, Alabama on March 8, 2007 (the “Subdivision Regulations”); and

WHEREAS, such regulations may include provisions as to the extent to which water and sewer and other utility mains, piping or other facilities shall be installed as a condition to the approval of the plat; and

WHEREAS, pursuant to such authority the City of Fairhope Planning and Zoning Commission (“Commission”) has adopted the STANDARD SPECIFICATIONS FOR CONSTRUCTING SANITARY SEWER FACILITIES AND WATER FACILITIES (“STANDARDS”), which contain provisions for both design criteria and technical specifications; and

WHEREAS, application submittal requirement provisions, DIVISION I – SUBMITTAL REQUIREMENTS, provide for the general requirement description of jurisdiction and application requirements; and

WHEREAS, the design criteria provisions, DIVISION II – DESIGN CRITERIA, provide for the general design parameters, including mapping “as built” data, clearances, slopes, peak flow factors, pumping rates, pipe size requirements and other pertinent design guidance factors and encompass the basic methodology for how water and sewer utilities are designed, installed and the level of service to users of the water and sewer systems; and

WHEREAS, the Planning Commission desires to amend the Subdivision Regulations as hereinafter provided as necessitated by recent changes to the jurisdiction.

NOW THEREFORE BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF FAIRHOPE, ALABAMA, AS FOLLOWS:

1. Subtitle of DIVISION I – SUBMITTAL REQUIREMENTS of the Standard Specifications for Constructing Sanitary Sewer Facilities and Water Facilities is hereby revised to read as follows:

APPLICATION FOR APPROVAL TO CONSTRUCT SANITARY SEWER AND/ OR WATER DISTRIBUTION FACILITIES IN THE CITY OF FAIRHOPE AND FAIRHOPE PUBLIC UTILITIES SERVICE AREAS

2. Section I. GENERAL INFORMATION, of DIVISION I – SUBMITTAL REQUIREMENTS of the Standard Specifications for Constructing Sanitary Sewer Facilities and Water Facilities is hereby revised to read as follows:

I. GENERAL INFORMATION

Applications for approval to construct wastewater facilities and/or water distribution facilities within the City of Fairhope and the Fairhope Public Utilities service areas shall be completed and submitted by the applicant to the City of Fairhope Water and Sewer Superintendent for approval. Approved applications will be required for Fairhope Planning Commission approval of facilities or developments within the City of Fairhope. Review and approval of this application is a pre-requisite to submission of a preliminary plat application to the City of Fairhope Planning Commission or the Baldwin County Planning Commission, as appropriate.

Applications shall include the following general information items in addition to completion of Items II through VIII and conformance with the attached Division II - Design Criteria Provisions:

1. Project name and description of area served
2. Total area served, (Acres)
3. Estimated start of construction date
4. Estimated construction completion date
5. A map showing the design service area of the proposed sanitary sewer system

3. Section A. PURPOSE, of DIVISION II – DESIGN CRITERIA of the Standard Specifications for Constructing Sanitary Sewer Facilities and Water Facilities is hereby revised to read as follows:

A. PURPOSE

The purpose of these guidelines is to establish technical and design specifications for the City of Fairhope and other entities proposing sanitary sewer facilities and/or water distribution facilities within the City of Fairhope and the Fairhope Public Utilities service areas. The required criteria have been established to assist with ensuring quality construction for all sanitary sewer and water distribution facilities and uniformity for facilities accepted for maintenance by the City of Fairhope. Any deviation from the criteria contained herein shall be evaluated by the Fairhope Water and Sewer Superintendent for approval based on compliance with approved operation and maintenance requirements. The City of Fairhope Water and Sewer Superintendent reserves the right to recommend denial of any building permit(s) and/or recommend denial to the Planning Commission any development found to be non-compliant with these specifications. Plans and specifications shall be prepared and certified by a professional engineer registered in the State of Alabama.

To assure maintainability and minimize inventory costs, certain equipment manufacturers are included on the City of Fairhope approved equipment and materials list. Lift stations and booster pump station equipment, as well as all appurtenant materials for the construction of new sewer and water distribution facilities shall be new and unused.

If requested by the entity constructing the sewer and/or water distribution facilities, the City of Fairhope will take ownership and maintain sanitary sewer and/or water distribution facilities provided the following conditions are satisfied:

4. Section A.5, of DIVISION II – DESIGN CRITERIA of the Standard Specifications for Constructing Sanitary Sewer Facilities and Water Facilities is hereby revised to read as follows:

5. Sanitary sewer system collection lines shall discharge directly into a treatment facility with a current NPDES permit and available capacity as verified in writing from ADEM. Temporary or permanent discharging of sanitary sewer into holding tanks or facilities for intermittent transporting to treatment facilities shall not be allowed within the City of Fairhope or Fairhope Public Utilities service areas.

5. Section A.8, of DIVISION II – DESIGN CRITERIA of the Standard Specifications for Constructing Sanitary Sewer Facilities and Water Facilities is hereby revised to read as follows:

8. Sanitary sewer collection systems for multi-customers shall be gravity systems in accordance with the standard specification parameters. Low pressure (multiple grinder pumps) systems shall only be acceptable where access for proper maintenance to sewer mains is impractical and cost prohibitive. Cost prohibitive shall be defined as a condition where the estimated cost of a gravity sanitary sewer system is more than 500% of the cost of a low-pressure system. The entity constructing the facilities shall provide the Fairhope Water and Sewer Superintendent **actual cost proposals for both systems for review and determination of the accepted alternate by the Fairhope Water and Sewer Superintendent.** Cost proposals shall be representative of the current local costs for materials and installation. Sample cost proposal forms are included herein as an appendix. For new developments, the cost comparison shall itemize all necessary items as appropriate per system, and related erosion control measures and paving items. The exclusion of these items in the cost comparison shall not in any way relieve the entities responsibility from meeting all local standards and regulations relating to these items. **The City of Fairhope Water and Sewer Superintendent reserves the right to recommend denial of any building permit(s) and/or recommend denial to the Planning Commission any development that does not**

adequately justify installation of low-pressure sanitary sewer systems in lieu of gravity sanitary sewer systems.

When approved as an acceptable system in lieu of a gravity system, low pressure systems shall be constructed to provide flow conditions that will minimize the development of corrosive and odor conditions from H₂S and to prevent the development of sewage BOD₅ concentrations greater than 350 mg/l.

6. Section A.11, of DIVISION II – DESIGN CRITERIA of the Standard Specifications for Constructing Sanitary Sewer Facilities and Water Facilities is hereby added to read as follows:

Any upgrades to the existing water and/or sewer facilities necessary to provide adequate service to a development typically would be the responsibility of the developer. If the existing infrastructure, in the opinion of the City of Fairhope Water and Sewer Department, is not sufficient to supply the quantity of water and/or sewer facilities needed for the development, the developer may be required to participate in or to fully fund any necessary offsite infrastructure upgrades to obtain City of Fairhope service. Developer participation in infrastructure improvements or expansions may be detailed in the Development Agreement, when required.

EFFECTIVE DATE: This amendment shall be in full force and effect upon its due adoption and certification as provided by law.

Adopted this _____ Day of _____, 2025.

Lee Turner, Chairman

Attest:

Cindy Beaudreau, Secretary