



**City of Fairhope
Planning Commission Agenda
5:00 PM
Council Chambers
November 6, 2023**

Sherry Sullivan
Mayor

Council Members

Kevin G. Boone

Jack Burrell, ACMO

Jimmy Conyers

Corey Martin

Jay Robinson

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

1. Call to Order
2. Approval of Minutes
 - October 2, 2023
3. Old/New Business
4. Consideration of Agenda Items

A. IR 23.03 Request of the Applicant, Jade Consulting, Inc. for an Information Review of South Section Village. The property is approximately 57 acres and is located east of Section Street and across from the Hill Top PUD. **PPIN: 18518, 28640, 91082, 103446**

B. UR 23.14 Request of Mediacom 11.52.11 Utility Review and approval of the proposed installation of aerial fiber and buried coaxial cable for a total of approximately 4,832 LF in the City ROW of the Parkstone subdivision.

C. UR 23.15 Request of Mediacom 11.52.11 Utility Review and approval of the proposed installation of 2,303 LF of buried coaxial cable in the City ROW of the Overland subdivision.

D. SD 23.28 Public hearing to consider the request of the Applicant, Forrest Daniell & Associates on behalf of the Owner, KWH Properties, LLC for final plat approval of Polo Crossing, a 5-unit Multiple Occupancy Project. The property is approximately 1.77 acres and is located north of Autumn Drive and east of Greeno Road. **PPIN #21517**

161 North Section Street

P.O. Drawer 429

Fairhope, Alabama 36533

251-928-2136

251-928-6776 Fax

www.fairhopeal.gov

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E. SD 23.29 Public hearing to consider the request of the Applicant, S.E. Civil, LLC on behalf of the Owner, FST Windmill Holdings, LLC for final plat approval of Windmill Business Park, a 4-unit Multiple Occupancy Project. The property is approximately 1.48 acres and is located at 9969 Windmill Road. **PPIN #77607, 396213**

F. SD 23.30 Public hearing to consider the request of the Applicant, Dewberry on behalf of the Owner, DR Horton, Inc. - Birmingham for final plat approval of Laurelbrooke Ph. 2, a 50-lot subdivision. The property is approximately 59.13 acres and is located on the east side of State Highway 181 and north of County Road 24. **PPIN #34129**

G. SD 23.31 Public hearing to consider the request of the Applicant, Sawgrass Consulting, LLC on behalf of the Owner, FST Rockwell, LLC for final plat approval of Rockwell Place, a 2-lot major subdivision. The property is approximately 36 acres and is located on the east side of State Highway 181, south of the Harvest Green East Subdivision and across from The Waters Subdivision. **PPIN #14535**

5. Adjourn

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The Planning Commission met Monday, October 2, 2023, at 5:00 PM at the City Municipal Complex, 161 N. Section Street in the Council Chambers.

Present: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Jack Burrell; Erik Cortinas; Hunter Simmons, Planning and Zoning Director; Mike Jeffries, Development Services Manager; Chris Williams, City Attorney; and Cindy Beaudreau, Planning Clerk.

Absent: Rebecca Bryant, Clarice Hall-Black

Chairman Turner called the meeting to order at 5:01 PM.

Approval of the Minutes September 7, 2023:

Hollie MacKellar made a motion to approve the minutes from the September 7, 2023.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Jack Burrell; Erik Cortinas

NAY: None.

Old/New Business:
Election of Officers

Hunter Simmons, Planning and Zoning Director, stated that Rebecca Bryant was unable to attend at the last minute, but would support a vote for the same officers.

Harry Kohler made a motion to keep the officers as is.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Jack Burrell; Erik Cortinas

NAY: None.

Approval of 2024 Meeting Schedule

John Worsham made a motion to keep approved the 2024 Meeting Schedule.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Jack Burrell; Erik Cortinas

NAY: None.

SD 21.42 Harvest Green East Phase 1 – Request of Applicant, S.E. Civil, for an extension of one year for preliminary plat approval.

Summary: Mike Jeffries, Development Services Manager, presented the request for an extension of one year for preliminary plat approval for Harvest Green East Phases 1 and 2 and Harvest Green West Phases 1 and 2. The extension letter request that was submitted states that the preliminary plat is scheduled to

expire on in November 2023. Harvest Green Phase 1 East and West is scheduled to be completed by the end of this year. Harvest Green Phase 2 East and West is scheduled to begin in November 2023.

Hollie MacKellar asked how many units there will be along with the ingress and egress. Mr. Jeffries stated that the development across from Publix is Rockwell. Harvest Green has an entrance directly across from The Waters subdivision and another entrance off Highway 181 to the north side. There is an internal road in Harvest Green that will connect to an already paved and asphalted road, Bushel Drive, inside the Rockwell development to the south that will terminate at the Publix entrance. Ms. MacKellar asked about the traffic in the next year and would it require a new traffic study. Mr. Simmons stated that this is a shared drive across from The Waters. The road coming out across from Publix does have a traffic study looking at future growth. Ms. MacKellar asked if the extension will take into consideration additional traffic. Mr. Simmons stated that does not have an impact on this project. This extension is handling the traffic signal at the intersection of The Waters and Highway 181. The developer to the south, in partnership with the one on the corner is handling the other intersection. The improvements are already being done at the intersection for this phase.

Lee Turner asked if there was anyone from the public to speak or if the engineer wanted to speak.

Staff recommends conditioning the extension requests on requiring that Harvest Green East Phase 1 connects to the existing road "Bushel Drive" on the south property line.

Erik Cortinas made a motion to approve the one-year extension request of Harvest Green East Phase 1 with staff recommendations.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Jack Burrell; Erik Cortinas
NAY: None.

SD 21.43 Harvest Green East Phase 2 – Request of Applicant, S.E. Civil, for an extension of one year for preliminary plat approval.

Erik Cortinas made a motion to approve the one-year extension request of Harvest Green East Phase 2.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Jack Burrell; Erik Cortinas
NAY: None.

SD 21.44 Harvest Green West Phase 1 – Request of Applicant, S.E. Civil, for an extension of one year for preliminary plat approval.

John Worsham made a motion to approve the one-year extension request of Harvest Green West Phase 1.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Jack Burrell; Erik Cortinas
NAY: None.

SD 21.45 Harvest Green West Phase 2 – Request of Applicant, S.E. Civil, for an extension of one year for preliminary plat approval.

John Worsham made a motion to approve the one-year extension request of Harvest Green West Phase 2.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Jack Burrell; Erik Cortinas
NAY: None.

SD 21.48 Planters Pointe – Request of Applicant, Corte Cave/Mitchell 1, LLC, for an extension of one year for preliminary plat approval.

Summary: Mike Jeffries, Development Services Manager, presented the request for a one-year extension for the Multiple Occupancy and subdivision preliminary plat of Planters Pointe, which expires in November 2023. The project is at the corner of Highway 181 and Highway 104.

Mr. Simmons stated that he visited the site today and there was work being done on the turn lanes and Highway 104. Mr. Turner asked if they were connecting to the north on this project. Mr. Simmons explained that the road to the north at the top right corner is connecting to Highway 181 and the edge of the parking lot is a public road. The acreage to the north is connected to a public road. The empty lot does not have any development, but if anything develops there it can be connected.

John Worsham made a motion to approve the one-year extension request of Planters Pointe.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Jack Burrell; Erik Cortinas
NAY: None.

Consideration of Agenda Items:

UR 23.13 Request of Cspire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 5,668 LF of buried fiber optic cable in the City ROW in the River Station subdivision. This subdivision runs along Fairhope Avenue and Northwood Street.

Summary: Mike Jeffries, Development Services Manager, presented the request for installation of approximately 5,668 linear feet of buried fiber optic cable in the River Station subdivision.

Staff recommends approval subject to the following conditions:

1. A pre-construction meeting shall be held with the City prior to issuance of any permits.

2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
4. An additional right-of-way permit may be required for the potholing procedures.
5. Follow-up activities below required by staff and the applicant:
6. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the mapping technician for inclusion in GIS utility maps as needed.
7. Provide draft door hanger for approval at time of pre-construction.
8. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
9. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
10. Applicant shall contact Alabama One Call to locate all existing utilities (750ft max per day).
11. Utilities boxes shall be concentrated near existing boxes.
12. For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

Motion:

John Worsham made a motion to approve UR 23.13, with staff recommendations.

Harry Kohler seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Jack Burrell; Erik Cortinas

NAY: None.

SD 23.25 Public hearing to consider the request of the Applicant, Seth Moore, acting on behalf of the Owner, Deborah Moffett, for Preliminary and Final Plat approval for Moffett's Way, a 3-lot minor subdivision. The property is approximately 2.58 acres and is located at 6125 Nelson Drive. **PPIN #44034**

Hollie MacKellar excused herself for this discussion.

Summary: Mike Jeffries, Development Services Manager, presented the request for preliminary and final plat approval for Moffett's Way, a 3-lot minor subdivision, located at 6125 Nelson Drive. There is an existing residence on the property. Mr. Jeffries shared the zoning and aerial views of the property. The proposal does not create any non-conformities with the existing structure. Mr. Jeffries shared the proposed plat showing all three lots. Due to the City's water conservation, the Water Department has suspended all fire flow testing. As a condition of approval, the Flow-Modeling shall be done and approved prior to the signing of the plat. The applicant has provided a 15' sidewalk easement across the front property line, in lieu of installing sidewalks.

Staff recommends approval subject to the following conditions:

Recommendation 1:

Staff recommends preliminary plat approval of SD 23.25 Moffett's Way Minor Subdivision.

Recommendation 2:

Staff recommends final plat approval of SD 23.25 Moffett's Way Minor Subdivision, with the following condition:

1. A fire flow model is completed and approved.

Mr. Kohler asked if there was a plan to build on the lots as of now. Mr. Simmons stated there was not. Mr. Kohler asked if the fire flow modeling would be required before a building permit is issued. Mr. Simmons stated that a condition of the subdivision regulations is that there is a fire hydrant operating and the flow is confirmed. There could be infrastructure improvements needed if there is not sufficient fire flow. The Building Department will check the fire code if there is a zoning change request down the road. Mr. Kohler confirmed that this property was in the City limits.

Seth Moore, Moore Surveying, added that Ms. Moffett confirmed with the Water Department that the fire flow is scheduled for Thursday, October 5, 2023. Mr. Moore stated that he and Ms. Moffett understand the two-part approval.

Chairman Turner opened the public hearing at 5:25pm with no one present to speak, the public hearing was closed at 5:25pm.

Motion:

John Worsham made a motion to approve preliminary plat approval of SD 23.25, Moffett's Way, with staff recommendations.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Jack Burrell; Erik Cortinas

NAY: None.

Motion:

John Worsham made a motion to approve final plat approval of SD 23.25, Moffett's Way, with staff recommendations.

Harry Kohler seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Jack Burrell; Erik Cortinas

NAY: None.

SD 23.26 Public hearing to consider the request of the Applicant, S.E. Civil, LLC, acting on behalf of the Owner, FST RW LLC, for Vatan Mixed Use Development, a 9-unit Multiple Occupancy Project. The property is approximately 0.52 acres and is located on the northeast corner of Magnolia Avenue and N. Church Street. **PPIN #15164**

Chris Williams, City Attorney, excused himself from the next two cases.

Summary: Hunter Simmons, Planning and Zoning Director, presented the request for Vatan Mixed Use Development, a 9-unit Multiple Occupancy Project located within the CBD. This is a MOP case; the next case is the corresponding Site Plan review. Both cases will be presented at the same time. The Zoning Ordinance was amended to reflect at least 50% of the ground floor is commercial space. This project is a little different because these will be condominiums which you do not see in the CBD, but it is one common owner to maintain the common area. This project went to the Board of Adjustments for review on the use. The Board of Adjustments proposed that each building as a separate condominium lot sharing the benefit of common ownership. The mixed use will result in five residential units in two mixed use buildings which meet the requirements of ground floor mixed space. Mr. Simmons shared the zoning and aerial maps for the area on the northeast corner of Magnolia and Church Street. Plans for ten units have been approved on this site before, which were seven residential and three commercial. This project will save as many trees as possible and add internal driveways. Mr. Simmons shared some renderings of what the project will look like. Mr. Simmons explained that with the slope of the land, some of the buildings will look higher. The decision was made to use each building site and use the natural elevation there. Mr. Simmons shared the site plan layout showing the oak trees that would be saved and how the parking is to the rear of the buildings. Mr. Simmons stated that the CBD requires 8' sidewalks. There are a few areas in this project where the sidewalks would need to be 5' to save more trees. The City Council is authorized to approve the 6' sidewalks. Mr. Turner stated that the sidewalk across the street is 5' and he is not against allowing the sidewalks in this project to go to 5' if necessary. Mr. Simmons stated that staff would like to see that all the land disturbance work is done prior to beginning vertical construction.

Staff recommends approval subject to the following conditions:

1. The developer shall coordinate the installation of the sidewalks with the Public Works Department to minimize disturbance to the existing trees in the ROWs at time of the building permit.
2. Any aid to construction costs shall be paid prior to issuance of building permit.
3. A fire flow model is completed and approved.
4. Provide spot elevations for the building corners, along with building elevations, prior to any land disturbance or issuance of any building permit to confirm building height.
5. Provide a Hold-Harmless agreement for staircases proposed in the ROW.

This application is for preliminary approval. If approved, a final approval by the Planning Commission is required to close out the project prior to vertical construction.

Mr. Kohler asked if parking for the commercial space is required. Mr. Simmons stated that the requirement in the CBD is one parking space per residential unit so seven spaces would be required. There are more than seven spaces provided within this project. They are rear loaded and garages. Commercial parking spaces are not required in the CBD.

Chairman Turner opened the public hearing at 5:43pm.

Alton Johnson, 215 Magnolia Avenue, is concerned about parking on Church Street. He does not believe there is enough room for this project. Other concerns are: where will the lay down yard go and where will the trash cans go? He states that the plans do not show this. He wants to confirm the trees will not be bothered and is concerned about the roots of those trees. Mr. Turner stated that the size of the

sidewalks will be modified to allow room for the trees. Mr. Simmons stated that the sidewalks will be in the City ROW on the inside of the curb. Mr. Turner stated that the lay down yard and trash during construction is not under the purview of the Planning Commission. That is handled through permitting. Mr. Cortinas replied that the entry and egress from the property faces Magnolia. A project that was built just north of this was built from the back of the project out to the road so there was room to operate. This project does not show anything coming out on Church Street so everything should be off Magnolia.

Brian Britt, 412 Fairhope LLC, 455 Magnolia Avenue, owns two properties to the east of the project. Mr. Britt is in support of this project. He has seen the renderings and feels it is well thought out and tasteful. This is a huge piece of property with plenty of room to work. It is a real nice addition to downtown.

The public hearing was closed at 5:49pm.

Dave Lavery, S. E. Civil, spoke about how they will protect the trees. They will meet with City staff and horticulturist. There is no parking proposed on Church Street. The residents will have a two-car garage. Mr. Turner spoke about the parking around the library where pavers were used and asked Mr. Lavery if pavers had been considered. Mr. Lavery stated they are open to different methods of construction. Mr. Simmons stated that he met with the applicant and the horticulturist suggested beginning treatment of the roots to prepare them for construction. There may be two trees that may not be able to be saved. Mr. Simmons complimented Mr. Lavery on their willingness to meet with staff prior to submitting plans for projects. Mr. Jeffries addressed the comment made by Mr. Johnson about trash that the trash will be collected by a private company.

Motion:

John Worsham made a motion to approve SD 23.26, with staff recommendations.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Jack Burrell; Erik Cortinas

NAY: None.

SR 23.05 Request of the Applicant, S.E. Civil, LLC, acting on behalf of the Owner, FST RW LLC, for Site Plan Approval of Vatan Mixed Use Development. The property is approximately 0.52 acres and is located on northeast corner of Magnolia Avenue and N. Church Street. **PPIN #: 15164**

Summary: Hunter Simmons, Planning and Zoning Director, presented the request for Site Plan approval of Vatan Mixed Use Development. Mr. Simmons reiterated that approval of this request will move the proposal to the City Council for adoption. Mr. Simmons shared a rendering of the corner of the property where the tree limbs were mapped to show how the project will look and the elevated stairs on Church Street. The buildings will be 40' tall pursuant to the dimension standards of the CBD. B-2 zoning has a front setback of 20'; however, this being located in the CBD allows for non-residential buildings to be built at the right-of-way line, unless a courtyard, plaza, or other public space is provided. Unit 2 is mixed used and has a courtyard. The rest of the units are built to the lot lines. The residential trash receptacle is located in each garage and a screened commercial receptacle will be located to the rear of the units.

Staff recommends approval of SR 23.05 – Vatan Mixed Use Development Site Plan to the City Council with the following conditions:

1. No part of any building shall extend beyond 40' from the natural elevation of each building pad.
2. Signage plan shall conform to the Sign Ordinance.
3. Provide a Hold-Harmless agreement for staircases proposed in the ROW.

Erik Cortinas asked about the HVAC and generator locations. Mr. Cortinas stated that this is exclusive to the air conditioning units due to the generators having different requirements. Mr. Simmons stated that staff looked at this a little more than just HVAC due to a previous project that did not leave room for back of the house items and there ended up being approximately ten gas meters where the landscape and water meters needed to be. Staff did not review generator locations. The generator locations can be handled during permitting. Mr. Cortinas stated that he would be happy to talk to the applicant to make sure they are aware that this is in the fire district so sprinklers will be required. Mr. Turner asked if generators were being considered. David Ryan stated there were no plans for generators as of now. Mr. Cortinas stated that a tesla wall that incorporates solar is a great idea.

Motion:

Hollie MacKellar made a motion to approve SR 23.05 to the City Council with staff recommendations.

Harry Kohler seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Jack Burrell; Erik Cortinas

NAY: None.

ZC 23.06 Public hearing to consider the request of the Applicant, 404 Oak LLC, on behalf of the owner, Brandon Pilot, to rezone property from B-4, Business and Professional District to B-2, General Business District. The property is approximately 0.18 acres and is located at 404 Oak Avenue. **PPIN #14546**

Summary: Hunter Simmons, Planning and Zoning Director, presented the request of 404 Oak LLC, to rezone property located at 404 Oak Avenue from B-4 to B-2 to utilize the property as a restaurant. Mr. Simmons shared the zoning and aerial maps. There is an easement that will provide access. Mr. Simmons shared the use table stating that there are many other uses in B-2 other than restaurant that would be allowed with this approval. Mr. Turner stated that when moving Fairhope forward, protections need to be in place, to enhance the retail business located in the CBD. For instance, Fairhope is known for its downtown and the more companies, such as insurance agencies or attorney offices that take up that space, the fewer retail businesses can move in. Mr. Turner reminded the Planning Commission that this approval opens a door for any of the uses listed in the use table.

Staff recommends approval of ZC 23.06, rezoning 404 Oak Avenue from B-4 to B-2 to the City Council with the following conditions:

1. Regardless of the allowed uses in Table 3-1 of the Fairhope Zoning Ordinance, the following uses shall be prohibited on the subject property:
 - a. Automobile Service Station

- b. Automobile Repair
- c. Personal Storage
- d. Boarding House or Dormitory
- e. Recreational Vehicle Park
- f. Kennel or Animal Hospital
- g. Convenience Store
- h. Clinic

Mr. Worsham asked why the request was for B-2 rather than B-3b? Mr. Simmons replied that B-3b is on the other side of the street and B-2 is right next door. It is a natural evolution of the zoning.

Mr. Cortinas stated that the uses listed as restricted follow most of the conditional uses on the table.

Chairman Turner opened the public hearing at 6:15pm.

Chelsea Hughes, 709 Fairhope Avenue, has a business on Church Street. Ms. Hughes asked if businesses could be added to the list, for instance, businesses that require lots of parking for long periods of time. Could new businesses be added to B-2 to exclude banks, lawyers and other businesses that do not bring shoppers to downtown. Ms. Hughes would like to see more short-term parking spots. She stated that many employees that work downtown use the parking spaces for long term parking.

The public hearing was closed at 6:18

Motion:

John Worsham made a motion to recommend approval of ZC 23.06 to the City Council subject to the allowed uses.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

Mr. Burrell thought the B-3b question was valid. Mr. Turner stated that across the street should be B-3b and it seemed out of place. Mr. Burrell feels like a bed and breakfast should be allowed in B-2. Mr. Simmons stated that zoning is based on land use. Mr. Simmons stated that B-3b is more spot zoning and a restaurant in B-3b would require additional approvals.

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Jack Burrell; Erik Cortinas
NAY: None.

Public Forum

Gary Gover, 300 Lincoln Street, spoke about the performance period for preparation of the land use plan was extended until 2025. He asked if there was a preview of the anticipated changes as compared to the draft. Mr. Simmons stated that there is not a preview today, but it is being worked on for a work session for the City Council and that a Comp Plan is scheduled to be presented by February 2024. Mr. Williams stated that the City Council will recommend approval of the Comp Plan to the Planning Commission for adoption.

Gary Gover, spoke about subdivision developments along Highway 181 and Highway 104, the provisions for alternative transportation like pedestrian and bicycle facilities, have been treated in

different ways. Sometimes the burden is picked up by the developer and the MPO may pick up others. Mr. Turner replied that normally the developer is required to install the sidewalks, roads, and infrastructure. There were some exceptions in the area that Mr. Gover is asking about and some of those may be due to ALDOT requirements. Mr. Simmons added that he is unaware of any MPO project around there. Mr. Simmons continued that the City asks every project to provide a mixed-use trail and staff are looking to have a standard in the Comp Plan. Mr. Gover asked if the City standard would apply to County roads. Mr. Turner stated that the City does not have authority over ALDOT. Mr. Simmons stated that the City could dictate for subdivisions and make those mixed-use trails on private property. The problem is interconnecting at County highways. Mr. Simmons stated that there is a biking and pedestrian connectivity proposal through the MPO.

Mr. Gover continued that the cost of provision of utility services to large lot properties does not seem equitable with the smaller lot properties. He believes that the small lots have a greater bill than the larger lots and suggests a fee schedule. Mr. Turner stated that he does not believe that falls within the purview of the Planning Commission. Mr. Simmons stated that most of the utilities are scaled, and the use is metered.

Chelsea Hughes spoke about S.E. Civil Magnolia Church project and parking. She suggested a dedicated parking area for employees. Mr. Worsham stated that there is a parking subcommittee with a goal to address those issues. Mr. Turner suggested going to the parking authority to take loading and unloading parking spaces away, make more roads one way and add angle parking. Conversations continued with additional suggestions. Ms. Hughes suggested employee parking stickers with designated parking spots. Mr. Burrell suggested parking in the garage and taking the shuttle. Mr. Turner stated that there are a lot of options that are being looked at.

Adjournment

John Worsham made a motion to adjourn.

AYE: Lee Turner; Harry Kohler; John Worsham; Hollie MacKellar; Jack Burrell; Erik Cortinas
NAY: None.

Adjourned at 6:52pm.

Lee Turner, Chairman

Cindy Beaudreau, Secretary



This digital package has been condensed for size and some documents may not contain all the original pages. All submittals were reviewed in full by staff in preparation for the reports prepared for the Planning Commission.

City of Fairhope Planning Commission

November 6, 2023



UR 23.14 Mediacom: Parker Road & Parkstone PUD



Project Name:	Parker Road & Parkstone PUD
Site Data:	4,832 Linear Footage
Project Type:	Aerial Fiber & Underground Coaxial Cable
Jurisdiction:	Fairhope Planning Jurisdiction
Zoning District:	PUD
PPIN Number:	N/A
General Location:	Parker Rd between Main St & Greeno, East of Greeno Rd Parkstone Subdivision
Surveyor of Record:	Cable East Inc
Engineer of Record:	Cable East Inc
Owner / Developer:	Mediacom
School District:	Fairhope Elementary School Fairhope Middle and High Schools
Recommendation:	Approved w/ Conditions
Prepared by:	

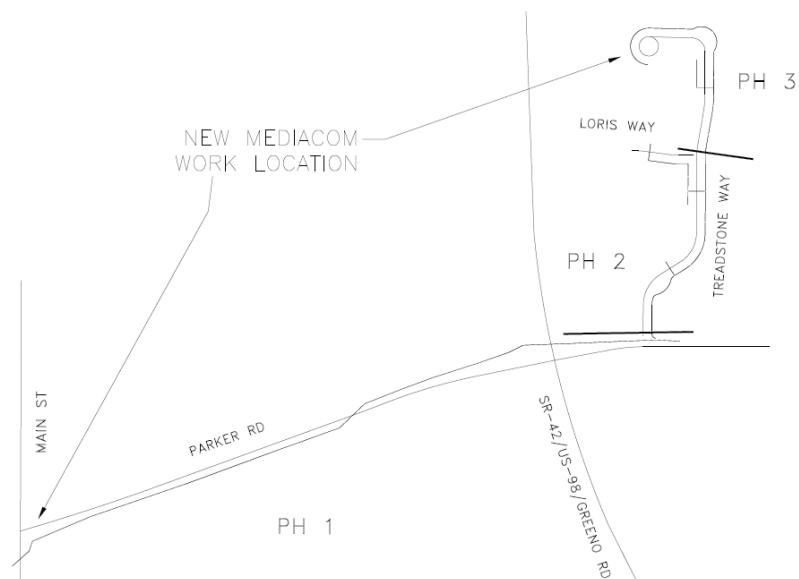


Summary of Request: Request of Mediacom for an 11.52.11 Utility Review and approval of the proposed installation of approximately **4,832 linear feet of aerial fiber and underground coaxial cable** along routes outlined on the below location map.



LOCATION MAP

PARKER RD AND
PARKSTONE SUBDIVISION



1. Citizen Communication & Notification

- Provide Door Hangers at preconstruction meetings which shall be approved prior to distribution and work.
- Use of portable A-frame style signage at the entrance and exit of work sites.
- Applicant shall dedicate a Point of Contact to answer citizens questions.

2. Permitting, Locating & Phasing

- Subsurface Utility Engineering may be required for sensitive locations within the city as required by the ROW supervisor.
- An additional right-of-way permit may be required for the potholing procedures needed for SUE.
- A traffic control plan shall be submitted with all permits that affect the flow of traffic.
- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department. Permit not valid until approved and paid for on Citizen Serve online portal.
- The City's ROW inspector is to be notified 24 hours prior to any activity within the ROW. The prior notice applied to all activity within the ROW including but not limited to trenching, boring, concrete placement.
- Hand holes/boxes shall not be allowed to be installed in sidewalks. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate with the ROW inspector to resolve any conflicts.
- The applicant shall contact Alabama One Call 811 to locate all existing utilities in the ROW (750 LF maximum daily allocation for COF utility locates per day).
- A phasing plan must be submitted with the permit to alleviate confusion for locating.
- A pre-construction meeting shall be held with the City prior to issuance of any permits.

3. Construction

- A minimum horizontal clearance (separation) of 36" must be maintained from water, sewer, gas, stormwater, and other city utility infrastructure.
- A minimum depth for all telecommunication lines shall be 30".
- Conduit shall match the 811-color code for communication, electric, gas etc. No blue/blue striped conduit is to be used for telecommunications.
- The contractor responsible for *excavating inside right of way will be required to provide video documentation of the integrity of any sanitary sewer line (including laterals) within 3 feet of work being performed. This can be videoed prior to work being performed if locations, including depths, are clearly established by contractor, and said work is not within 3 ft of sewer mains or laterals within right of way. This does not apply to laterals on private property not "publicly maintained" (Private infrastructure).
- Water, sewer, and gas mains/services must be potholed prior to bore/missile crossings. If street cuts are necessary please contact Right of Way inspector for restoration.
- If sidewalk panels need to be removed, the subgrade must be compacted to the satisfaction of the ROW inspector. Cold patch asphalt shall be used as a temporary walking surface until the permanent repair can be done.
- Sidewalk panels shall be a minimum of 4000 psi and be inspected within 24 hours of pouring concrete. Anything over one sidewalk panel shall be poured via concrete truck (no bag mix allowed).

4. Horticultural

- Handholes shall not be located within driplines of trees within City property, to include the right of ways, without explicit written permission from the City Horticulturalist.
- Any proposed trenching shall not be within the dripline of trees.
- If within tree dripline, consult the City of Fairhope Horticulturist prior to earth work.
- Trees shall not be negatively impacted.
- Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. The contractor is responsible for any damaged trees.
- Any work done within the critical root zone shall be done to meet or exceed Internal Society Arboriculture (ISA) standards.
- All roots to be removed shall be severed cleanly at the perimeter of the protected radius.
- Protective barriers shall be used for all trees, barricades shall be erected a minimum of 20' from the trunk.

5. Erosion Control

- Any ROW cuts shall be stabilized (covered) at the end of each day & disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project. Sod shall be watered to ensure survival.
- Any excess soil shall be removed and disposed of properly. Dumping on private property without approval will not be tolerated.
- Mulch / seed shall only be acceptable as temporary cover.
- Inlets shall be protected. BMPs shall be placed at all affected storm inlets.
- If the site is within 100' of a critical area (wetland, etc.), red soil/clay shall not be allowed as fill material, per the City's Red Clay/Soil Ordinance.
- BMPs shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.
-

6. Project Completion, Punch List Walk, & As Built

- The applicant shall provide as-built drawings of all installed lines depicting depths.
- Damage to any City's infrastructure (storm, sewer, water, ditches etc. shall be the responsibility of the permittee to repair to city standards at no cost to the city.
- Any damage that occurs needs to be reported to the city as soon as possible.
- Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency.

7. Staff Recommendation

- The proposed utility construction falls within the corporate limits of the City of Fairhope. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the respective agency.
- This site shall comply with all State, Federal and local requirements, including, but not limited to the following City of Fairhope Ordinances:
 - i. City of Fairhope Wetland Ordinance (#1370), which regulates activity within 20' of wetlands.
 - ii. City of Fairhope Red Soil & Clay Ordinance (#1423), which prohibits the use of red soil / clay within 100' of critical areas.
 - iii. City of Fairhope Erosion and Sediment Control Ordinance (#1398).
 - iv. Chapter 19 Article VI: ROW Construction and Administration, Ordinance (1754)
 - v. City of Fairhope Tree and Landscape Ordinance (#1444)
- Staff Recommendation: **Approval with the following Conditions of UR 23.14**

1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
 - a. An additional right-of-way permit may be required for the potholing procedures.
4. Follow-up activities below required by staff and the applicant:
 - a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the mapping technician for inclusion in GIS utility maps as needed.
5. Provide draft door hanger for approval at time of pre-construction.
6. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
7. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
8. Applicant shall contact Alabama One Call to locate all existing utilities **(750ft max per day)**.
9. Utilities boxes shall be concentrated near existing boxes.

For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

City of Fairhope Planning Commission

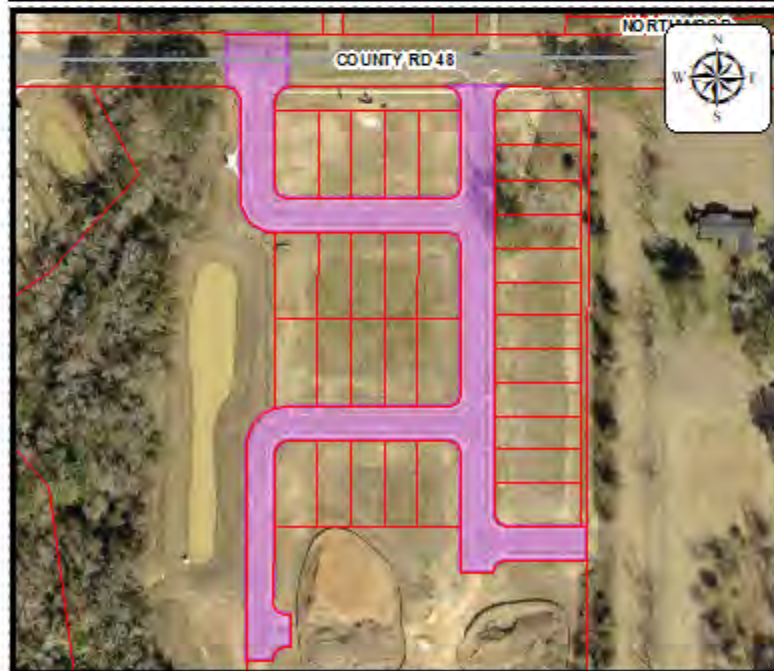
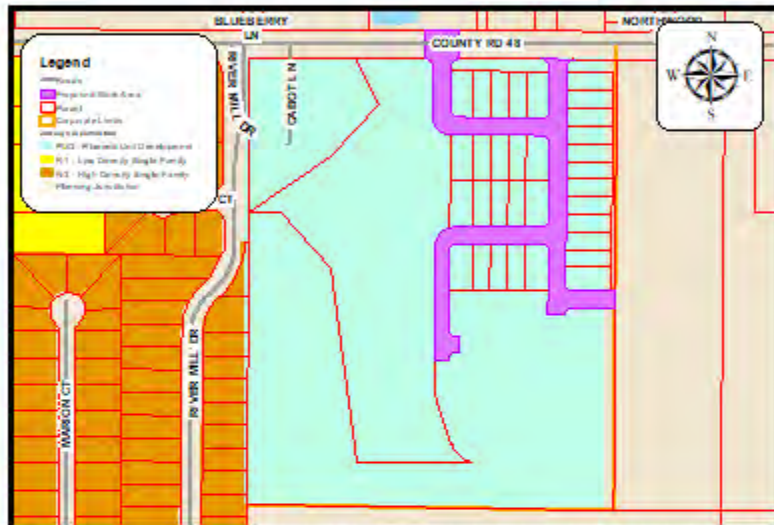
November 6, 2023



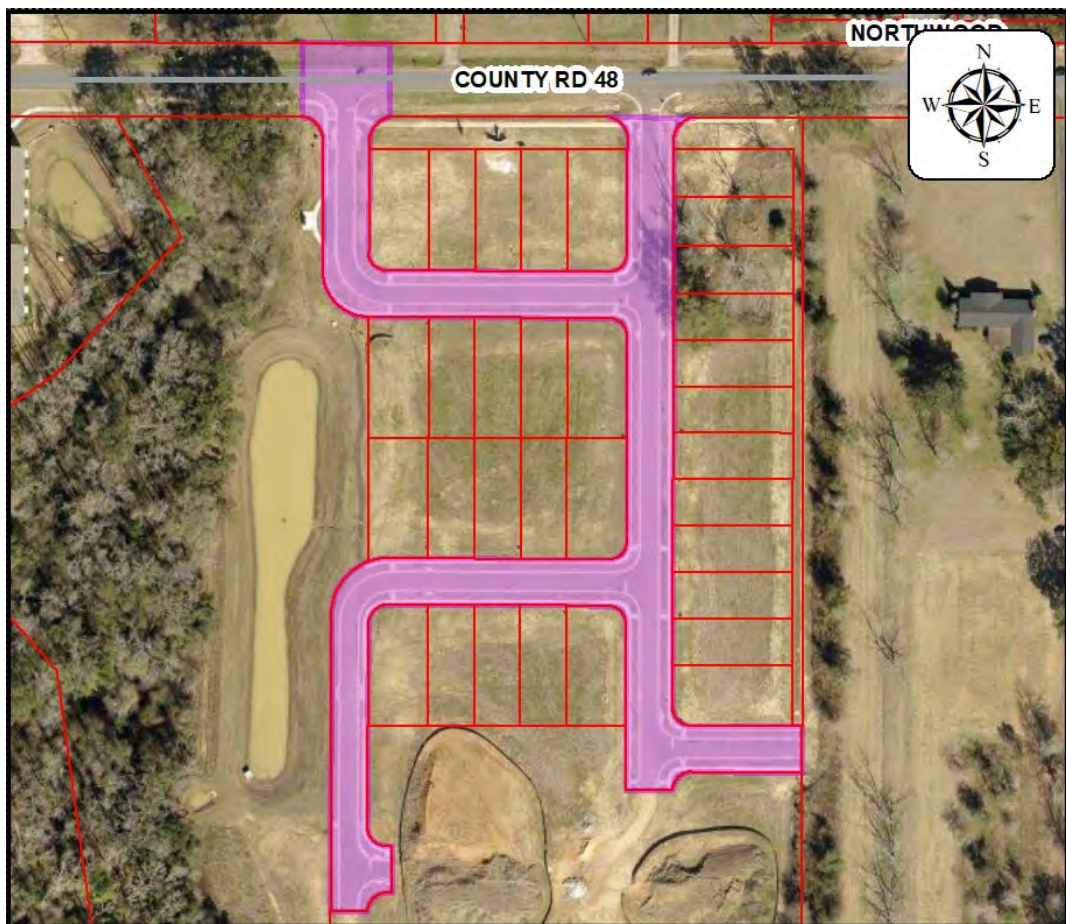
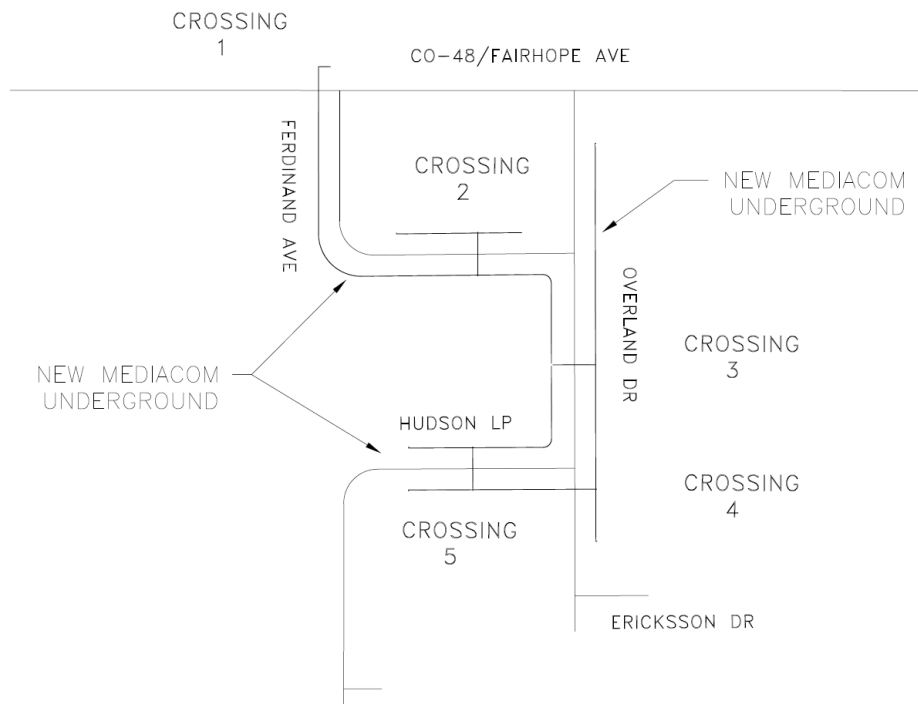
UR 23.15 Mediacom Overland Subdivision



Project Name:	Mediacom Overland Subdivision
Site Data:	2,303 Linear Footage
Project Type:	Directional Bore of Coaxial Cable
Jurisdiction:	Fairhope Planning Jurisdiction
Zoning District:	PUD
PPIN Number:	N/A
General Location:	South side of County Road 48, East of State Highway 181
Surveyor of Record:	Cable East Inc
Engineer of Record:	Cable East Inc
Owner / Developer:	Mediacom
School District:	Fairhope Elementary School Fairhope Middle and High Schools
Recommendation:	Approved w/ Conditions
Prepared by:	Chris Ambron



Summary of Request: Request of Mediacom for an 11.52.11 Utility Review and approval of the proposed installation of approximately **2,303 linear feet of coaxial cable** along routes outlined on the below location map.



1. Citizen Communication & Notification

- Provide Door Hangers at preconstruction meetings which shall be approved prior to distribution and work.
- Use of portable A-frame style signage at the entrance and exit of work sites.
- Applicant shall dedicate a Point of Contact to answer citizens questions.

2. Permitting, Locating & Phasing

- Subsurface Utility Engineering may be required for sensitive locations within the city as required by the ROW supervisor.
- An additional right-of-way permit may be required for the potholing procedures needed for SUE.
- A traffic control plan shall be submitted with all permits that affect the flow of traffic.
- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department. Permit not valid until approved and paid for on Citizen Serve online portal.
- The City's ROW inspector is to be notified 24 hours prior to any activity within the ROW. The prior notice applied to all activity within the ROW including but not limited to trenching, boring, concrete placement.
- Hand holes/boxes shall not be allowed to be installed in sidewalks. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate with the ROW inspector to resolve any conflicts.
- The applicant shall contact Alabama One Call 811 to locate all existing utilities in the ROW (750 LF maximum daily allocation for COF utility locates per day).
- A phasing plan must be submitted with the permit to alleviate confusion for locating.
- A pre-construction meeting shall be held with the City prior to issuance of any permits.

3. Construction

- A minimum horizontal clearance (separation) of 36" must be maintained from water, sewer, gas, stormwater, and other city utility infrastructure.
- A minimum depth for all telecommunication lines shall be 30".
- Conduit shall match the 811-color code for communication, electric, gas etc. No blue/blue striped conduit is to be used for telecommunications.
- The contractor responsible for *excavating inside right of way will be required to provide video documentation of the integrity of any sanitary sewer line (including laterals) within 3 feet of work being performed. This can be videoed prior to work being performed if locations, including depths, are clearly established by contractor, and said work is not within 3 ft of sewer mains or laterals within right of way. This does not apply to laterals on private property not "publicly maintained" (Private infrastructure).
- Water, sewer, and gas mains/services must be potholed prior to bore/missile crossings. If street cuts are necessary please contact Right of Way inspector for restoration.
- If sidewalk panels need to be removed, the subgrade must be compacted to the satisfaction of the ROW inspector. Cold patch asphalt shall be used as a temporary walking surface until the permanent repair can be done.
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- Protective barriers shall be used for all trees, barricades shall be erected a minimum of 20' from the trunk.

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 - iii. City of Fairhope Erosion and Sediment Control Ordinance (#1398).
 - iv. Chapter 19 Article VI: ROW Construction and Administration, Ordinance (1754)
 - v. City of Fairhope Tree and Landscape Ordinance (#1444)
 - Staff Recommendation: **Approval with Conditions of UR 23.15**
1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
 2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
 3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
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 8. Applicant shall contact Alabama One Call to locate all existing utilities (750ft max per day).
 9. Utilities boxes shall be concentrated near existing boxes.

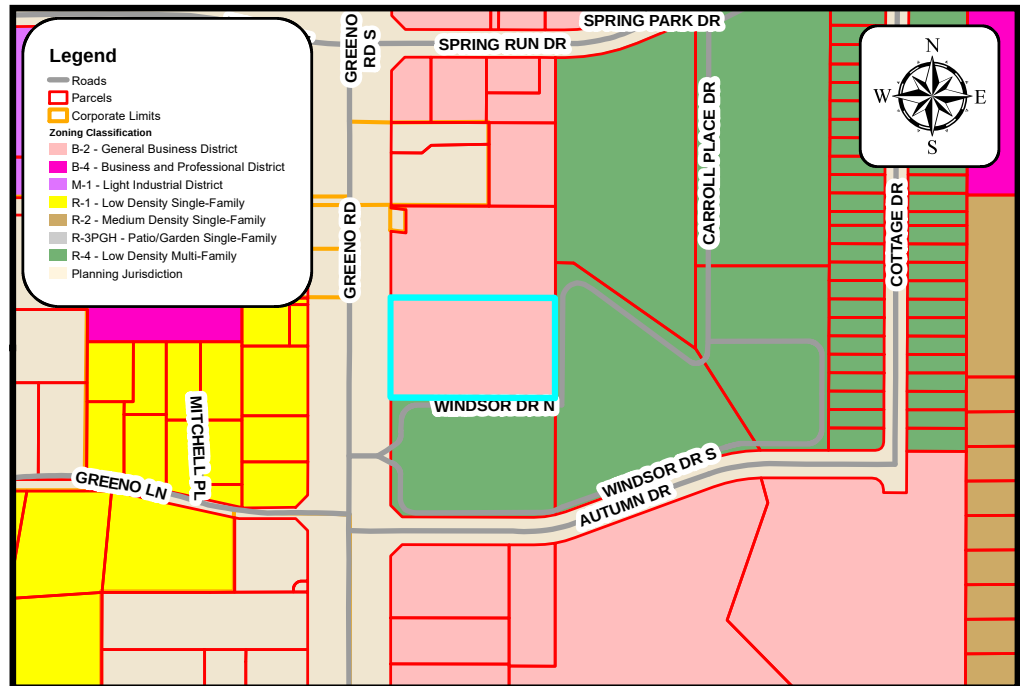
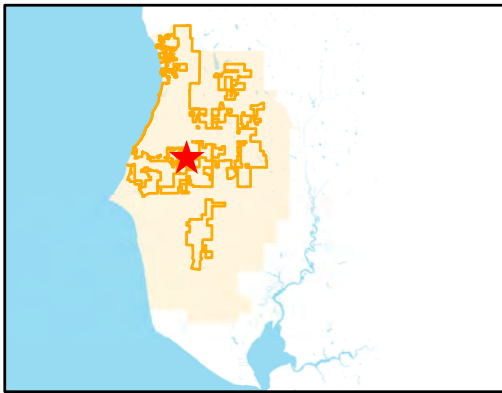
For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

City of Fairhope Planning Commission

November 6, 2023



SD 23.28 Polo Crossing Final Plat

**Project Name:**

Polo Crossing

Site Data:

1.77 acres

Project Type:

5 - Unit Multiple Occupancy Project

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

B-2

PPIN Number:

21517

General Location:

South of Spring Run Drive, East side of
Greeno Road

Surveyor of Record:

Element 3 Engineering LLC

Engineer of Record:

Element 3 Engineering LLC

Owner / Developer:

KWH Properties LLC

School District:

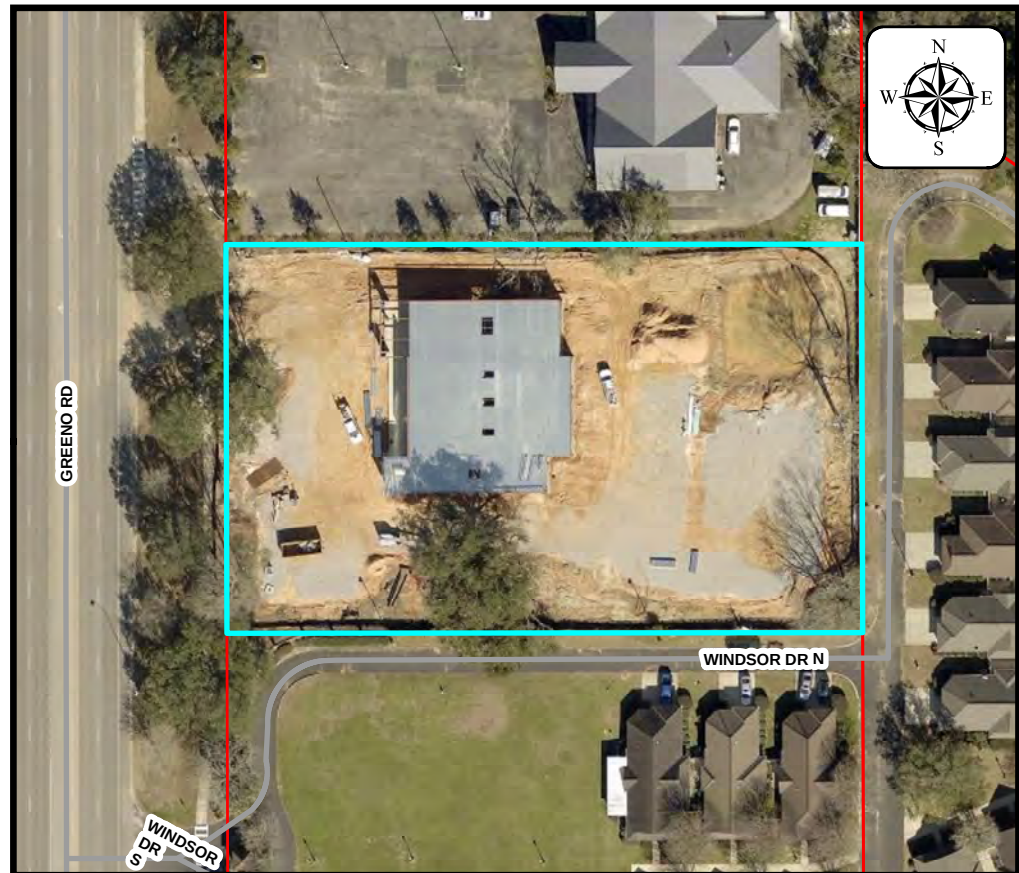
Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

Approve with Conditions

Prepared by:

Michelle Melton





APPLICATION FOR SUBDIVISION PLAT APPROVAL

Application Type: ☐ Village Subdivision ☐ Minor Subdivision ☐ Informal (No Fee)
☐ Preliminary Plat ☒ Final Plat ☒ Multiple Occupancy Project

Attachments: ☒ Articles of Incorporation or List all associated investors

Date of Application: 09/26/2023

Property Owner / Leaseholder Information

Name of Property Owner: KWH Properties, LLC Phone Number: 203-955-1978
 Address of Property Owner: 1189 Post Road Suite 3B
 City: Fairfield State: CT Zip: 06824

Proposed Subdivision Name: Polo Crossing
 No. Acres in Plat: 1.77 No. Lots Units: 5 tenants
 Parcel No: 05-46-05-21-0-000-012.000 Current Zoning: B-2

Authorized Agent Information

Plat must be signed by the property owner before acceptance by the City of Fairhope

Name of Authorized Agent: Forrest Daniell & Associates Phone Number: 251-625-6490
 Address: 8007 American Way
 City: Daphne State: AL Zip: 36526
 Contact Person: Michael Triplett

Surveyor/Engineer Information

Name of Firm: Element 3 Engineering LLC Phone Number: 251-287-1296
 Address: 3938 Government Blvd. Bldg. A Suite 104
 City: Mobile State: AL Zip: 36693
 Contact Person: Steve Fisher

Plat Fee Calculation:

Reference: Ordinance 1269

Signatures:

I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Kenneth Kleban
 Property Owner/Leaseholder Printed Name

Date

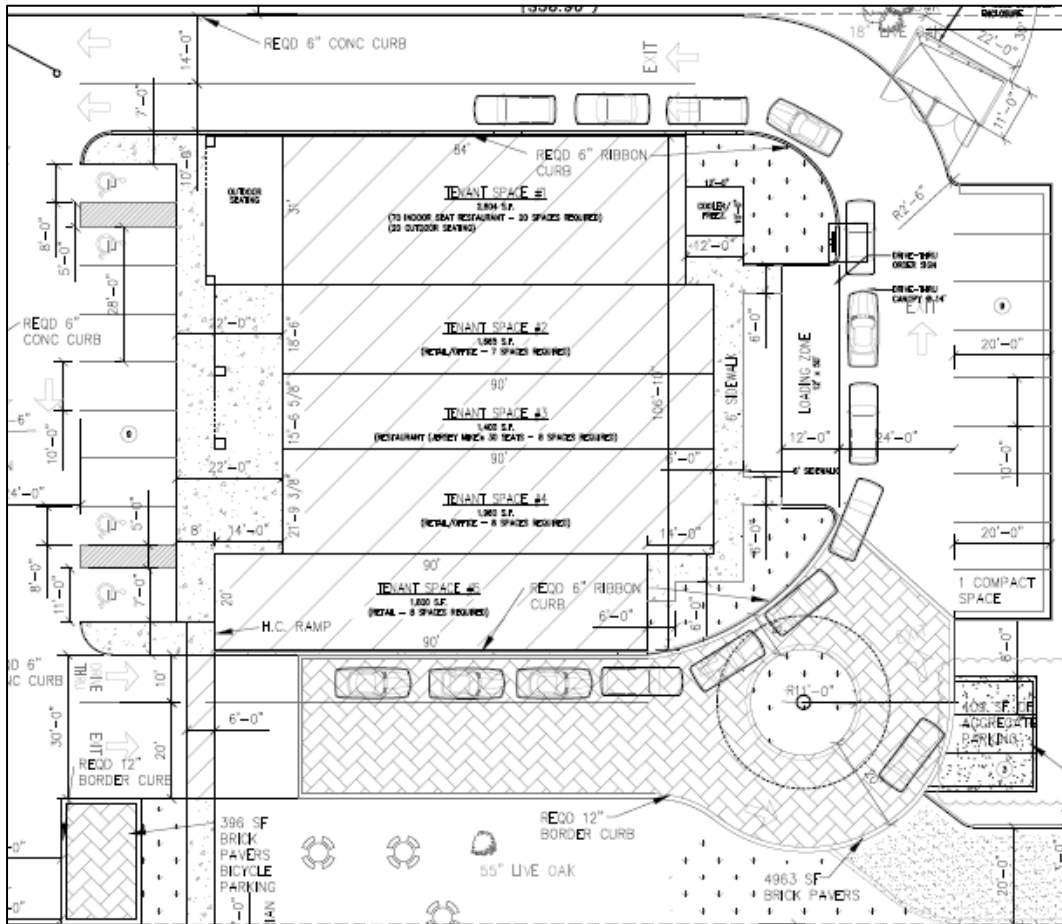
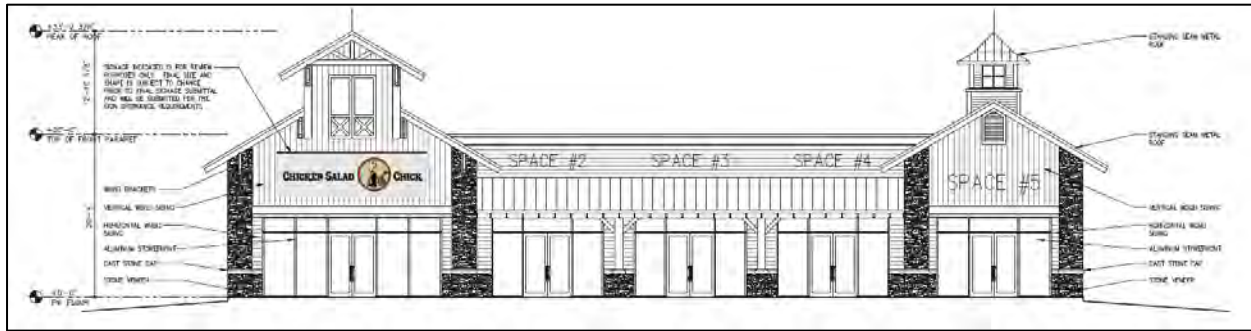
9/19/23

Signature

Fairhope Single Tax Corp. (If Applicable)

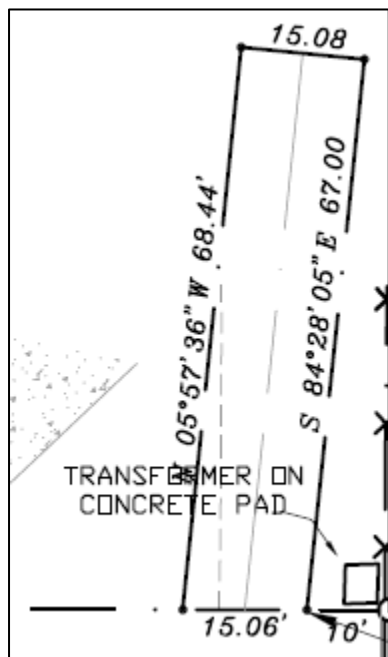
Summary of Request:

Request of KWH Properties LLC for Final Plat approval of the five (5) unit Multiple Occupancy Project, Polo Crossing. Preliminary Plat approval was achieved in SD 22.10 in March 2022. Mr. Forrest Daniell is the authorized agent and Architect for the project. Steve Fisher, with Element 3, is the Engineer. The subject property is zoned B-2 General Business District and is approximately 1.77 acres. The property is located at 19690 Greeno Road South (US Hwy 98 S) on the eastern side and lies south of Wolfe-Bayview Funeral Home. There are currently two (2) of the five (5) units occupied. Space #1 is Chicken Salad Chick and Space #5 is Coastal Pharmacy. Both of have drive-thru windows but utilize the same traffic lanes for accessibility.



Comments:

- **Utilities:** All utilities are provided by the City of Fairhope.
 - o Water –Water meters have been placed together and located to avoid disturbance with protected trees. They are located north of the entrance.
 - o Sewer – Sewer is gravity feed to an existing sanitary sewer manhole on the southeast corner of the subject property.
 - o Power – Power is bored under Hwy 98 and there is a transformer pad on the northeast corner of the development.
 - o Gas –All five (5) units utilize gas. Meters are at the rear of the building.
 - o Communications – AT&T
 - o Trash pickup will be private via a trash dumpster located near the northeast corner of the building screened and gated.
- **Traffic Study:** A traffic study was completed and recommended a 445' northbound right-turn de-cel lane be installed. Final configuration was permitted and approved by ALDOT.
- **Drainage:** Stormwater is collected in underground pipes and carried to a detention pond located at the northeast corner of the property. The pond discharges to existing stormwater structure to the north. There is an unrecorded drainage easement in the northeast corner of the parcel adjacent to the transformer pad.



DESCRIPTION OF EASEMENT

An easement for Drainage being more particularly described as follows:
Commencing at a 1/2" CAPPED REBAR "HMR" AT THE NORTHEAST CORNER OF LOT 20 GREENO PARK SUBDIVISION AS RECORDED IN MAP BOOK 10 PAGE 127 in the Probate Records of Baldwin County, Al; thence N00°07'44"E, a distance of 216.33 feet to a 1/2" REBAR; thence N89°57'36"W, a distance of 10.00 feet to the POINT OF BEGINNING; thence continue Westerly along said bearing, a distance of 15.08 feet; thence N05°57'59"E, a distance of 68.44 feet; thence S84°28'05"E, a distance of 15.00 feet; thence S05°57'59"W, a distance of 67.00 feet to the POINT OF BEGINNING, said easement containing 1,015 sq. ft. or 0.02 acres..

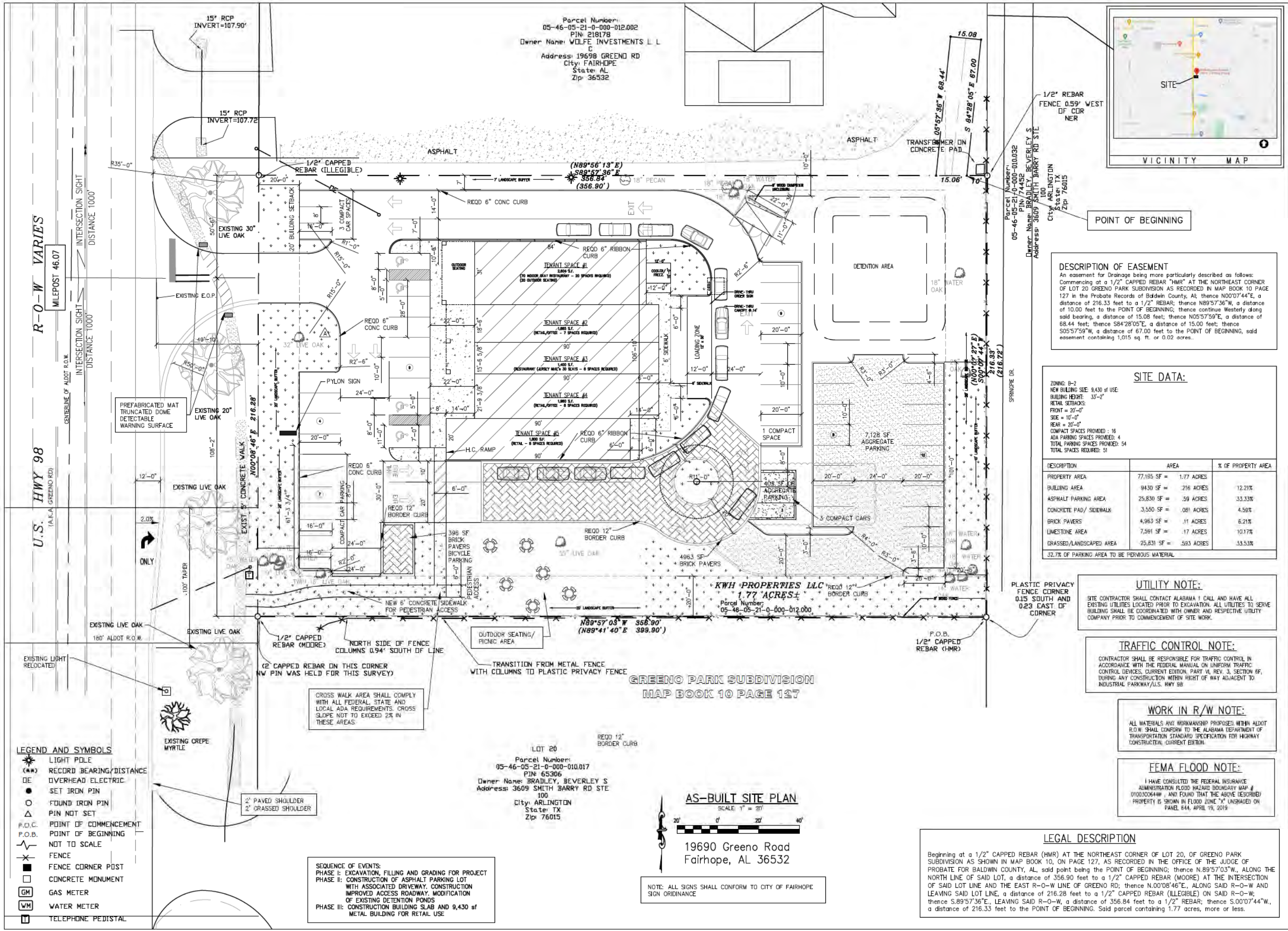
- **Landscaping: Under review of Jamie**
 - o Drive aisle and building were adjusted to protect and save a 35" Live Oak tree at the southeast corner of the building. Unfortunately, the 35' tree had to be removed due to poor health and a new one has been planted. The new tree showed some new growth on 10/18/23. The Horticultural Supervisor states that the tree will need to be replaced.

- o A new 6' concrete sidewalk has been installed south of the entrance way off Greeno Road that connects to the outdoor seating and front of the building.
 - o Perimeter landscaping and buffer requirements have been met.
 - o The approved landscape plan has yet to be completed. Final landscaping needs to be approved by Jamie Rollins, City Horticulture Supervisor.
- **Signage:** The incidental drive thru sign and the temporary real estate signs are both too large and need to be reduced per previous comments.
 - **Parking:** Site contractor is to install parking space markings in the aggregate parking areas and language will be added to the O&M Plan regarding annual inspection and re-striping per letter from authorized agent dated October 19, 2023, and included in the packet.

Staff Recommendation of Case SD 23.28 Polo Crossing:

Staff recommends ***conditional approval*** with the following conditions to be met:

1. Signage shall conform to Fairhope Sign Ordinance. Developer to provide conforming signage.
2. The drainage easement needs to be identified on the site plan and recorded in Probate.
3. The tree planted in the roundabout needs to be replaced if it does not survive and the City requires a written commitment from the Applicant stating the same.
4. Staff will inspect and approve or disapprove of parking areas prior to the November 6 Planning Commission meeting.
5. An updated O&M Plan shall be provided with updated language regarding parking areas inspections and maintenance.



POINT OF BEGINNING

DESCRIPTION OF EASEMENT
An easement for Drainage being more particularly described as follows:
Commencing at a 1/2" CAPPED REBAR "HMR" AT THE NORTHEAST CORNER OF LOT 20 GREENO PARK SUBDIVISION AS RECORDED IN MAP BOOK 10 PAGE 127 in the Probate Records of Baldwin County, AL; thence N00°07'44"E, a distance of 216.33 feet to a 1/2" REBAR; thence N89°57'36"W, a distance of 10.00 feet to the POINT OF BEGINNING; thence continue Westerly along said bearing, a distance of 15.08 feet; thence N05°57'59"E, a distance of 68.44 feet; thence S84°28'05"E, a distance of 15.00 feet; thence S05°57'59"W, a distance of 67.00 feet to the POINT OF BEGINNING, said easement containing 1,015 sq. ft. or 0.02 acres.

SITE DATA:

ZONING: B-2
NEW BUILDING SIZE: 9,430 sf USE
BUILDING HEIGHT: 33'-2"
REAR SETBACKS:
FRONT = 20'-0"
SIDE = 10'-0"
REAR = 20'-0"
COMPACT SPACES PROVIDED: 16
ADA PARKING SPACES PROVIDED: 4
TOTAL PARKING SPACES PROVIDED: 54
TOTAL SPACES REQUIRED: 51

DESCRIPTION	AREA	% OF PROPERTY AREA
PROPERTY AREA	77,195 SF = 1.77 ACRES	
BUILDING AREA	9,430 SF = .216 ACRES	12.21%
ASPHALT PARKING AREA	25,830 SF = .59 ACRES	33.33%
CONCRETE PAD/ SIDEWALK	3,550 SF = .081 ACRES	4.59%
BRICK PAVERS	4,983 SF = .11 ACRES	6.21%
LIMESTONE AREA	7,591 SF = .17 ACRES	10.17%
GRASSED/LANDSCAPED AREA	25,831 SF = .593 ACRES	33.53%
32.7% OF PARKING AREA TO BE PERVIOUS MATERIAL		

UTILITY NOTE:

SITE CONTRACTOR SHALL CONTACT ALABAMA 1 CALL AND HAVE ALL EXISTING UTILITIES LOCATED PRIOR TO EXCAVATION. ALL UTILITIES TO SERVE BUILDING SHALL BE COORDINATED WITH OWNER AND RESPECTIVE UTILITY COMPANY PRIOR TO COMMENCEMENT OF SITE WORK.

TRAFFIC CONTROL NOTE:

CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION, PART VI, REV. 3, SECTION 6F, DURING ANY CONSTRUCTION WITHIN RIGHT OF WAY ADJACENT TO INDUSTRIAL PARKWAY/U.S. HWY 98

WORK IN R/W NOTE:

ALL MATERIALS AND WORKMANSHIP PROPOSED WITHIN ALDOT R.O.W. SHALL CONFORM TO THE ALABAMA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, CURRENT EDITION.

FEMA FLOOD NOTE:

I HAVE CONSULTED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP # 0100300644M AND FOUND THAT THE ABOVE DESCRIBED PROPERTY IS SHOWN IN FLOOD ZONE "X" UNSHADED ON PANEL 644, APRIL 15, 2019.

LEGAL DESCRIPTION

Beginning at a 1/2" CAPPED REBAR (HMR) AT THE NORTHEAST CORNER OF LOT 20, OF GREENO PARK SUBDIVISION AS SHOWN IN MAP BOOK 10, ON PAGE 127, AS RECORDED IN THE OFFICE OF THE JUDGE OF PROBATE FOR BALDWIN COUNTY, AL, said point being the POINT OF BEGINNING; thence N89°57'03"W, along the NORTH LINE OF SAID LOT, a distance of 356.90 feet to a 1/2" CAPPED REBAR (MOORE) AT THE INTERSECTION OF SAID LOT LINE AND THE EAST R-O-W LINE OF GREENO RD; thence N00°08'46"E, along SAID R-O-W AND LEAVING SAID LOT LINE, a distance of 216.28 feet to a 1/2" CAPPED REBAR (ILLEGIBLE) ON SAID R-O-W; thence S89°57'36"E, LEAVING SAID R-O-W, a distance of 356.84 feet to a 1/2" REBAR; thence S00°07'44"W, a distance of 216.33 feet to the POINT OF BEGINNING. Said parcel containing 1.77 acres, more or less.

- LEGEND AND SYMBOLS**
- ★ LIGHT POLE
 - (★) RECORD BEARING/DISTANCE
 - OE OVERHEAD ELECTRIC
 - SET IRON PIN
 - FOUND IRON PIN
 - △ PIN NOT SET
 - P.O.C. POINT OF COMMENCEMENT
 - P.O.B. POINT OF BEGINNING
 - NOT TO SCALE
 - ✕ FENCE
 - FENCE CORNER POST
 - CONCRETE MONUMENT
 - GM GAS METER
 - WM WATER METER
 - TELEPHONE PEDISTAL

SEQUENCE OF EVENTS:
PHASE I: EXCAVATION, FILLING AND GRADING FOR PROJECT
PHASE II: CONSTRUCTION OF ASPHALT PARKING LOT WITH ASSOCIATED DRIVEWAY, CONSTRUCTION IMPROVED ACCESS ROADWAY, MODIFICATION OF EXISTING DETENTION PONDS
PHASE III: CONSTRUCTION BUILDING SLAB AND 9,430 sf METAL BUILDING FOR RETAIL USE

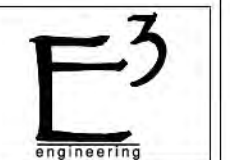
AS-BUILT SITE PLAN

SCALE: 1" = 20'



19690 Greeno Road
Fairhope, AL 36532

NOTE: ALL SIGNS SHALL CONFORM TO CITY OF FAIRHOPE SIGN ORDINANCE



Element³ engineering
3938 GOVERNMENT BLVD
SUITE 104
MOBILE, AL
36693

REVISIONS	Date	Description	Approved
	1/14	REVISED AS PER CITY OF FAIRHOPE	SJF
	1/27	REVISED PRECISE SIZE	SJF
	2/24	REVISED AS PER CITY OF FAIRHOPE	SJF
	4/11	ADDED DRAINAGE EASEMENT	SJF
	4/20	REMOVED DRIVE THRU AND ADDITIONAL LANE	SJF
	1/4	REVISED AS PER ALDOT	SJF

REVISIONS	Date	Description	Approved
	4/12	RELOCATED DRIVEWAY	SJF
	8/22	REVISED AS BUILT	SJF

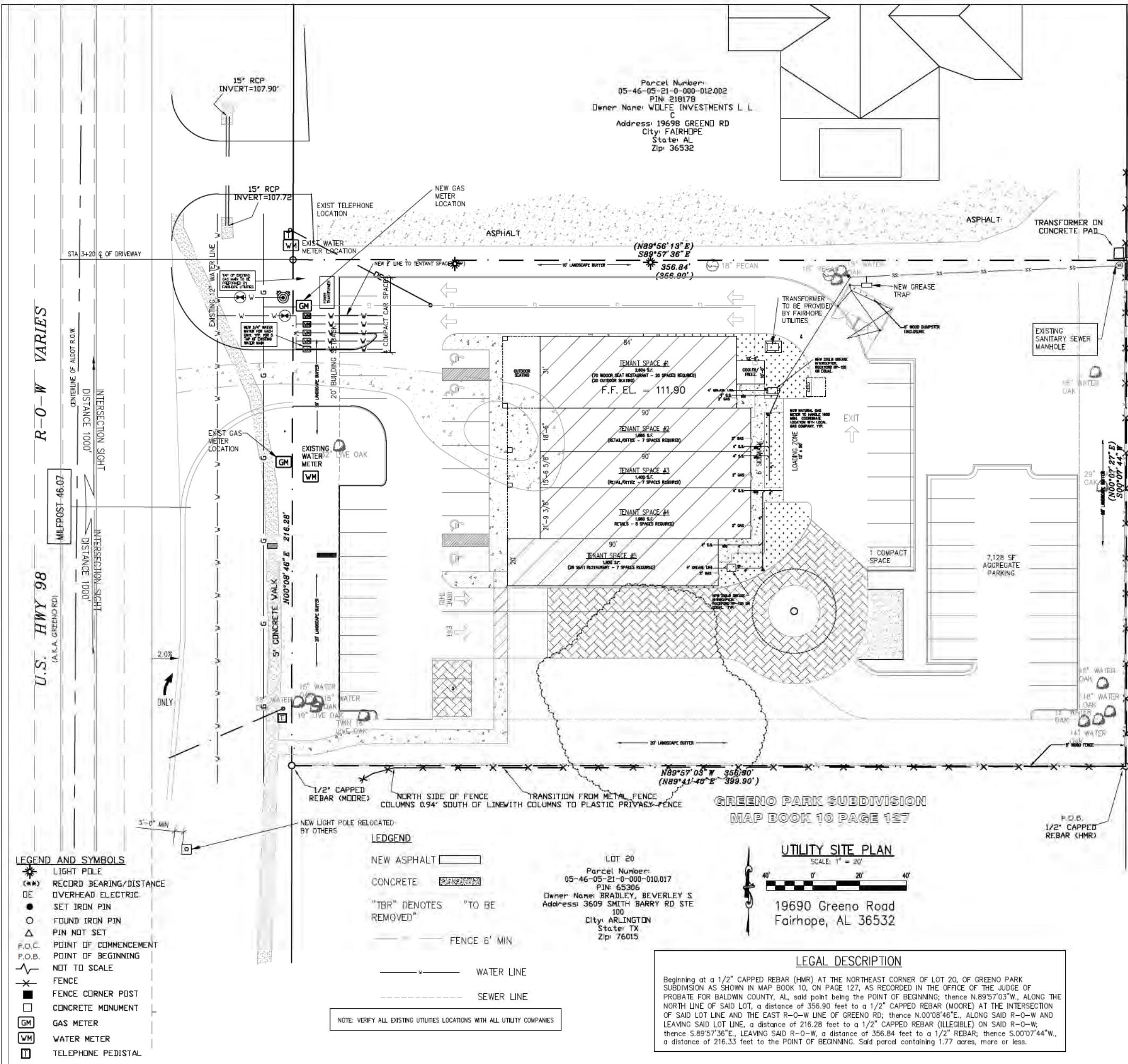
CLIENT:
KEN KLEBAN

PROJECT:
GREENO ROAD DEVELOPMENT



JOB NO. 21-093
DATE: 2/15/2022
DRAWN BY: SJF
SCALE: SHOWN
SHEET NO.

C2.0



RESUB OF LOT 17 GREENO PARK
 SUBDIVISION MAP BOOK 12 PAGE 68

UTILITY COMPANY PROVIDERS:

City of Fairhope Public Utilities
 161 North Section St.
 Fairhope, AL 36532
 Public Utilities: 251-928-8003

UTILITY NOTE:

SITE CONTRACTOR SHALL CONTACT ALABAMA 1 CALL AND HAVE ALL EXISTING UTILITIES LOCATED PRIOR TO EXCAVATION. ALL UTILITIES TO SERVE BUILDING SHALL BE COORDINATED WITH OWNER AND RESPECTIVE UTILITY COMPANY PRIOR TO COMMENCEMENT OF SITE WORK.

TRAFFIC CONTROL NOTE:

CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION, PART VI, REV. 3, SECTION 6F, DURING ANY CONSTRUCTION WITHIN RIGHT OF WAY ADJACENT TO INDUSTRIAL PARKWAY/U.S. HWY 98

WORK IN R/W NOTE:

ALL MATERIALS AND WORKMANSHIP PROPOSED WITHIN ALDOT R.O.W. SHALL CONFORM TO THE ALABAMA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR HIGHWAY CONSTRUCTION, CURRENT EDITION.

NOTES

- ALL MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL & UTILITY REQUIREMENTS AND SPECIFICATIONS.
- ALL SEWER AND WATER PIPING PIPE TO BE INSTALLED IN CLASS C BEDDING. WATER PIPING IS TO BE ENCLOSED IN STEEL PIPE (ASTM A-53) SCH 40 SLEEVE OR EQUAL UNDER ROADS OR DUCTILE IRON PIPE SHALL BE USED.

PIPING SEWER- POLYVINYL CHLORIDE SDR 35 ASTM D-3034 JOINTS PUSH ON "O" TYPE GASKET WITH INTEGRAL BELL AND SPIGOT MEETING ASTM A-3212

WATER -POLYVINYL CHLORIDE MINIMUM CLASS 900 SDR18 JOINTS WITH ELASTOMERIC GASKETS BOTH BELL ENDS AND COUPLINGS MEETING ASTM A-03139 FOR PIPE SIZES GREATER THAN 3" DIAMETER POLYVINYL CHLORIDE SCHEDULE 40 WITH SCHEDULE 80 FITTINGS SOLVENT WELDED FOR PIPE SIZES 3" AND LESS DUCTILE IRON SHALL BE USED WHERE WATER LINES ARE UNDER ROADS CLASS 50 MECHANICAL JOINT ANSI/AWWA C151/A21.51 WITH FITTINGS CONFORMING TO ANSI/AWWA C110/A21.10

3. METER BOXES SHALL BE AMR RADIO READ LD WITH AMR LOCATOR MFR BY DFW PLASTICS, INC., BEDFORD, TX.

4. ALL WATER SERVICE LINES MAIN TO METER SHALL BE TYPE K COPPER.

5. FIRE HYDRANTS SHALL BE PER LOCAL REQUIREMENTS.

6. ALL VALVES SHALL BE PER LOCAL REQUIREMENTS.

7. WATER AND SEWER LEAK TESTS SHALL BE PERFORMED PER THE STANDARDS ESTABLISHED BY THE LOCAL REQUIREMENTS.

8. PLASTICIZED METALLIC TAPE SHALL BE INSTALLED ABOVE ALL PVC PIPING AT APPROXIMATELY 30" BELOW FINISHED GRADE. TAPE SHALL BE SUITABLE FOR DETECTION WITH METAL PIPE LOCATION EQUIPMENT, COLOR CODED, AND LABELED TO IDENTIFY CONTENTS OF PIPE AND BRIGHTLY COLORED TO CONTRAST WITH THE SOIL.

9. MINIMUM PIPE COVERS

STORMWATER DRAINS	12"
WATER LINES	30"
SEWER LINES	24"
ELECTRICAL CONDUIT	40"

10. SEPARATION BETWEEN SANITARY SEWERS AND WATER MAINS SHALL BE A MINIMUM OF 10 FEET HORIZONTALLY. WHEN CROSSING A WATER MAIN, THE TOP OF THE SANITARY SEWER SHALL BE A MINIMUM OF 24 INCHES BELOW THE BOTTOM OF THE WATER MAIN. IF CIRCUMSTANCES REQUIRE THAT THE SANITARY SEWER BE CLOSER THAN 10 FEET HORIZONTALLY THE SEWER MUST BE A MINIMUM OF 24 INCHES BELOW THE WATER LINE.

11. AN AS BUILT DRAWING SHOWING THE LOCATIONS OF ALL SEWER MAINS AND LATERALS SHALL BE FURNISHED TO THE LOCAL AUTHORITY. LOT LATERALS SHOULD BE SHOWN WITH DIMENSIONS FROM THE MANHOLES.



Element³ engineering
 3938 GOVERNMENT BLVD
 SUITE 104
 MOBILE, AL
 36693

Revisions	Description	Approved
Date	Revised	Site Layout
5/25	REVISED SITE LAYOUT	SJF
8/3	REVISED AS PER ALDOT	SJF
1/9	REVISED AS PER ALDOT	SJF
4/19	REVISED DRIVEWAY LOCATION	SJF
8/22	REVISED AS BUILT	SJF

CLIENT:
KEN KLEBAN

PROJECT:
POLO CROSSING



9/25/2023

JOB NO.	21-093
DATE:	5/25/2022
DRAWN BY:	SJF
SCALE:	SHOWN
SHEET NO.	

C9.0

SITE PREPARATION / TREE PROTECTION

The contractor shall thoroughly acquaint himself/herself prior to commencing work. Contractor shall compare existing layout with the proposed layout before site preparation / demolition begins. The intent is to construct a smooth transition between the new site elements and existing elements to remain, and to execute the work with a minimum amount of disturbance to the existing trees, vegetation and site elements to remain.

Prior to commencement of work Contractor shall:

1. Verify existing grades prior to commencement of site preparation. If existing grades are at variance with drawings, notify Owner's Representative immediately and receive instructions prior to proceeding.

2. Coordinate with Owner's Representative delineation of staging areas and procedures.

3. Owner's Representative is to flag existing trees & vegetation to remain.

4. Contractor shall erect barricades around existing trees to remain. Barricades to be a min. of 8'-0" ht. chain link fence with a 2" top rail. Said protection fence shall extend to the ground and shall extend ten feet (10 ft.) beyond the drip line of the tree so as to encompass the circumference of the tree canopy. No intrusion into barricaded areas is permitted unless prior written approval is obtained from Owner. Barricades shall be maintained intact & erect through duration of work.

Tree Protection During Execution of Work:

1. Protect tree root system from damage due to deleterious materials caused by run-off or spillage during mixing, using or discarding of construction materials or drainage from stored materials. Protect root system from compaction (vehicular & pedestrian circulation), flooding, erosion or excessive wetting.

2. No construction materials, debris excavated materials shall be stored within the protected root zone. Permit no parking within protected root zone area.

3. Engage a qualified tree surgeon to remove branches from trees which are to remain, if required to clear for new construction. Where directed by Owner, extend pruning operations to restore natural shape of trees.

4. Where cutting is required, tree surgeon shall cut branches and roots with sharp pruning instruments; do not break or chop.

LANDSCAPE ORDINANCE REQUIREMENTS

Description	Status	Requirement	Provided
FRONTAGE : 1 tree per 30 LF of frontage = 216.28 LF / 30 = 8 trees	Provided	8 Trees	8 Trees
PERIMETER : 1 tree per 30 LF of perimeter 930.13 LF / 30 = 31 trees	provided	31 Trees	31 Tree Credits
PARKING LOT trees - 1 tree per 12 parking spaces 53 / 12 = 5 trees	provided	5 Trees	2 Trees / 3 Tree Credits
PARKING SCREEN : 1 shrub per 4 LF of frontage = 103 Shrubs	provided	160 Shrubs	160 Shrubs
TOTALS:		44 trees 160 Shrubs	11 Trees / 33 Tree Credits / 160 Shrubs

EXISTING TREE INVENTORY

Tree	Type	Size	Comments	Tree Credits	Tree Replacement
1	Pecan / Carya illinoensis	22"	remove		22
2	Magnolia / Magnolia grandiflora	36"	remove		36
3	Live Oak / Quercus virginiana	32"	preserve	32	
4	Live Oak / Quercus virginiana	32"	remove		32
5	Water Oak / Quercus nigra	15"	preserve	15	
6	Water Oak / Quercus nigra	18"	preserve	18	
7	Water Oak / Quercus nigra	15"	preserve	15	
8	Live Oak / Quercus virginiana	19"	preserve	19	
9	Live Oak / Quercus virginiana	16"	remove		16
10	Live Oak / Quercus virginiana	19"	remove		19
11	Water Oak / Quercus nigra	22"	remove		22
12	Water Oak / Quercus nigra	19"	remove		19
13	Water Oak / Quercus nigra	16"	remove		16
14	Prunus serotina	18"	remove		18
15	Water Oak / Quercus nigra	21"	preserve	21	
16	Live Oak / Quercus virginiana	55"	preserve	55	
17	Live Oak / Quercus virginiana	22"	remove		22
18	Water Oak / Quercus nigra	15"	remove		15
19	Water Oak / Quercus nigra	16"	remove		16
20	Pecan / Carya illinoensis	18"	preserve	18	
21	Pecan / Carya illinoensis	18"	preserve	18	
22	Water Oak / Quercus nigra	18"	preserve	18	
23	Live Oak / Quercus virginiana	18"	preserve	18	
24	Pecan / Carya illinoensis	17"	remove		17
25	Live Oak / Quercus virginiana	18"	remove		18
26	Water Oak / Quercus nigra	18"	remove		18
27	Water Oak / Quercus nigra	18"	preserve	18	
28	Pecan / Carya illinoensis	20"	remove		20
29	Water Oak / Quercus nigra	20"	preserve	20	
30	Live Oak / Quercus virginiana	21"	remove		21
31	Pecan / Carya illinoensis	10"	remove		10
32	Live Oak / Quercus virginiana	18"	remove		18
33	Live Oak / Quercus virginiana	16"	remove		16
34	Pecan / Carya illinoensis	14"	remove		14
35	Live Oak / Quercus virginiana	35"	preserve	35	
36	Water Oak / Quercus nigra	14"	preserve	14	
37	Water Oak / Quercus nigra	18"	preserve	18	
38	Water Oak / Quercus nigra	18"	preserve	18	
39	Water Oak / Quercus nigra	18"	preserve	18	
TOTALS:				370	431
				47 Trees Credits	



ARCHITECTURE
PLANNING
PROJECT MANAGEMENT

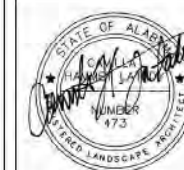
6425 Jordan Road
Daphne, AL 36526
Ph 251-455-0217

LANDSCAPE DEVELOPMENT PLAN

FOR
POLO CROSSINGS

19690 GREENO ROAD

FAIRHOPE, AL



DATE: 11/16/21

DRAWN: CHL

CHECKED: CHL

TITLE:

TREE SURVEY

REVISION:

NO. DATE:

1 6/3/22

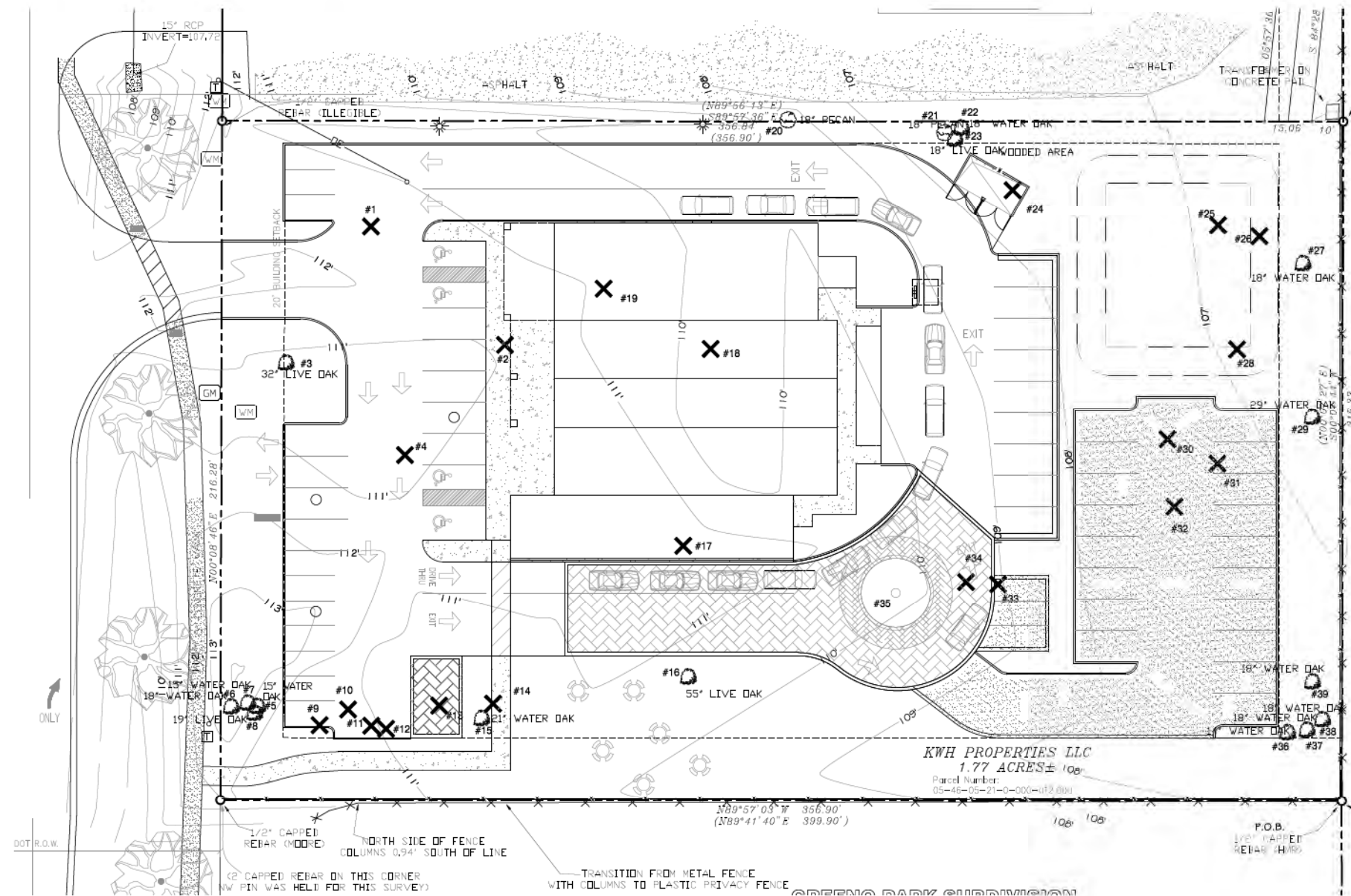
2 5/5/23

3 5/31/23

4 9/11/23

SHEET:

LP1



LANDSCAPE DEVELOPMENT PLAN
FOR
POLO CROSSINGS

19690 GREENO ROAD
FAIRHOPE, AL



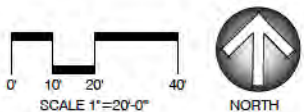
DATE: 11/16/21
DRAWN: CHL
CHECKED: CHL
TITLE:
IRRIGATION PLAN

REVISION:

NO.	DATE
1	6/3/22
2	5/5/23
3	5/31/23
4	9/11/23

SHEET:

LP2



SECTION 2: IRRIGATION

PART 1 GENERAL

Contractor is to provide 100% Irrigation coverage to all newly planted areas. Coordinate with landscape and electrical contractors on installation to avoid unnecessary conflicts. Pipe is to be sized as needed. The irrigation contractor is to supply the Owner and the landscape architect with an accurate 'as-built' drawing locating the valves, mainline, irrigation controller, irrigation meter, and cut-off isolation valves.

Contractor shall hand dig all areas in right-of-way to prevent damage to trees and root systems. Any pruning of roots on existing trees shall be done by hand using sharp cutting tools such as shears or loppers for a clean smooth cut.

All irrigation ditches shall be dug and excavated by hand in all R.O.W.s and 15' from the drip line of existing trees. (Reference tree protection notes.) Also, no loaders or equipment shall enter or park within these areas. Install fencing and barricades to prevent equipment from entering these areas.

The contractor shall furnish, erect and maintain barricades, warning signs, lights and other traffic control devices in conformity with the Federal Highway Administration manual on uniform traffic control devices for streets and highways, latest edition.

Contractor is responsible for maintaining proper traffic control for public safety adjacent to construction site. The contractor shall obtain all proper permits/licenses, line locations and erect barricades per tree protection specifications prior to commencing work.

Qualifications: Installer shall have minimum three- (3) year's experience.
Quality Assurance: Manufacturer's recommendation on specific equipment. Standard plumbing practices and American Irrigation Association standards shall be complied.
Project Condition: Where underground utilities exist: Location shall be verified and protected to best ability. Protection of all surfaces adjacent to work from damages or adverse effects. Damages to be restored and/or replaced at no cost to the Owner.
Permit/Inspection/Codes: Necessary permits shall be obtained at no cost to the Owner. Required inspections with appropriate City Officials shall be coordinated respectively. All local codes and regulations shall be complied to and additional items necessary to meet local codes and standards shall be included in base cost.
Coordination: Sleeves, mains, laterals, wiring, conduit, etc., shall be installed at such time eliminating the need to cut or patch concrete. Flagging shall identify Head and line locations.

PART 2 MATERIALS

Materials: Rainbird products shall be used. Use SAM and PRS Series heads. No substitutions of this equipment will be accepted unless arrangements have been made and approved by Owner.
Pipe: Shall comply as follows: Main and lateral lines shall be Schedule 40 SDR 21/Class 200.
Risers: Threaded Schedule 80 PVC shall be used.
PVC Fittings: Schedule 40 shall be used for heads, automatic valves and controller, as per drawing.
Manual Valves: Rainbird PEB
Irrigation Controller: Rainbird Controller (size per drawings).
Electrical Control Wire: 14 Gauge single-strand Irrigation wire with common.
Swing Joints: For lawn and Shrub heads: Standard assembler using three (3) 90 degree elbows and two (2) Schedule 80 PVC nipples.
Valve Boxes: Plastic with securable lid enclosing valves. One (1) cubic foot of gravel shall be installed in bottom of each box.

PART 3 EXECUTION

Site Preparation: Place a minimum of 4" approved topsoil over areas to be planted and grassed according to elevations set forth on grading plans. The finished surface shall be reasonable smooth, compacted, free from irregular surface changes, and ready for planting. The degree of finish shall be that ordinarily obtainable from a blade grader. The finished surface shall not be more that .15 foot above or below the established grade and .08 foot below final grades of curbs and sidewalks.
Layout: Heads installed at proper intervals for uniform coverage of entire irrigated area. Do not overspray on to driveways, parking areas, sidewalks, utility appliances and structures.
Piping and Wiring: Excavate trenches in order to install main with a minimum 18" Coverage/laterals with minimum 10" coverage. Pipe shall not be stacked, but may be placed in same trench along side each with or without control wire.
Back Filling: Installed at 8" compacted depth to prevent settling.
Heads: Shall be installed at proper height/grade. Heads installed in lawn area shall be placed flush with sod. Pop-ups and Risers shall be installed at uniform heights. Exposed risers shall be concealed using flat black paint.
Water Source: 3/4" Water Meter
Control Valves: Shall be installed in box flush with grade; size of valve boxes shall be 10" Ø.
Controller: Installed as per manufacturers' directions. Licensed electrician shall connect with 20 Amp 117 Volt circuit in source.

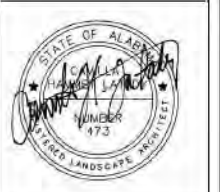
PART 4 ACCEPTANCE, MAINTENANCE & WARRANTY

As-Built Drawings: Contractor shall provide Landscape Architect with an accurate 'As-Built' Drawing indicating installed locations of all heads, lateral lines, mainline, valves, meter and controller. 'As-Built' Drawing shall be provided in .dwg file digital format.
Maintenance: System to be maintained prior to acceptance of completed project. Operation instructions shall be supplied in a written format to Owner.
Warranty: System shall be warranted against defects in materials and workmanship for one year (12 months), in a written format to Owner upon acceptance of completed project.

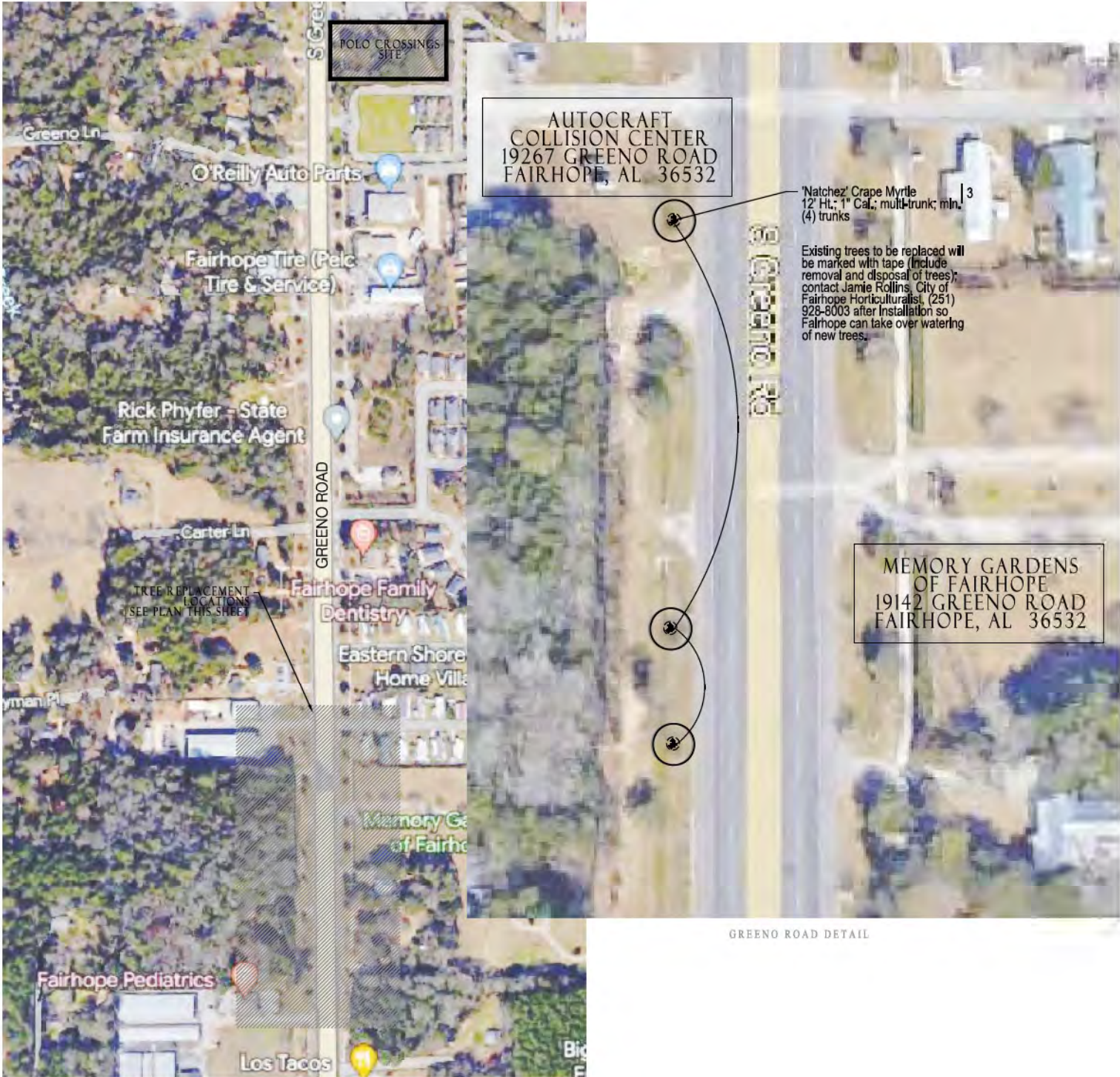


ARCHITECTURE
PLANNING
PROJECT MANAGEMENT
6425 Jordan Road
Daphne, AL 36526
Ph 251-455-0217

LANDSCAPE DEVELOPMENT PLAN
FOR
POLO CROSSINGS
19690 GREENO ROAD
FAIRHOPE, AL



DATE: 11/16/21
DRAWN: CHL
CHECKED: CHL
TITLE: IRRIGATION NOTES
REVISION:
NO. DATE:
1 6/3/22
2 5/5/23
3 5/31/23
4 9/11/23
SHEET:



GREENO ROAD VICINITY MAP

GREENO ROAD DETAIL

1 GREENO ROAD TREE REPLACEMENT PLAN
K.L.S.



Coast Architects, Inc.

ARCHITECTURE
PLANNING
PROJECT MANAGEMENT
6425 Jordan Road
Daphne, AL 36526
Ph 251-493-0217

LANDSCAPE DEVELOPMENT PLAN
FOR
POLO CROSSINGS

19690 GREENO ROAD
FAIRHOPE, AL



DATE: 11/16/21
DRAWN: CHL
CHECKED: CHL
TITLE: PLANTING PLAN
REVISION:

NO.	DATE
1	4/12/22
2	6/3/22
3	5/5/23
4	5/31/23

SHEET:

LP5

PROJECT NOTES:

The contractor shall thoroughly acquaint himself/herself prior to commencing work. Contractor shall compare existing layout with the proposed layout before site preparation / demolition begins. The intent is to construct a smooth transition between the new site elements and existing elements to remain, and to execute the work with a minimum amount of disturbance to the existing trees, vegetation and site elements to remain.

Prior to commencement of work Contractor shall:

1. Verify existing grades prior to commencement of site preparation. If existing grades are at variance with drawings, notify Landscape Architect immediately and receive instructions prior to proceeding.
2. Coordinate with Landscape Architect delineation of staging areas and procedures.
3. Verify with owner's representative existing trees & vegetation to remain.

Tree Protection During Execution of Work:

1. Protect tree root system from damage due to deleterious materials caused by run-off or spillage during mixing, using or discarding of construction materials or drainage from stored materials. Protect root system from compaction (vehicular & pedestrian circulation), flooding, erosion or excessive wetting.
2. No construction materials, debris excavated materials shall be stored within the protected root zone. Permit no parking within protected root zone area.
3. Engage a qualified tree surgeon to remove branches from trees which are to remain, if required to clear for new construction. Where directed by Owner, extend pruning operations to restore natural shape of trees.
4. Where cutting is required, tree surgeon shall cut branches and roots with sharp pruning instruments; do not break or chop.

Excavation Around Trees to Remain:

1. No trenching is permitted within tree drip-lines. Where trenching for utilities is required near the drip-line, hand dig around or under roots. Cut no lateral roots or tap roots; cut only smaller roots which interfere with new construction. When cutting, make all cuts cleanly at 90 degrees.
2. Where excavating for new construction is required within drip line of trees, hand excavate to minimize damage to root systems and provide sheeting at excavations if required. Use narrow tine spading forks and comb soil to expose roots. Relocate roots in backfill areas. If large, main lateral root is encountered, bend and relocate without breaking.
3. Allow no exposed roots to dryout before permanent backfill is placed; provide temporary earth cover, or pack with peat moss and wrap with burlap. Water and maintain in mist condition and temporary support and protect from damage until permanently relocated and covered with backfill.
4. Prune branches in accordance with standard horticulture practice to balance loss to root system caused by damage or cutting of root system.

Treatment of Damaged Trees:

1. Engage a qualified tree surgeon to perform tree repair work.
2. Make repairs promptly after damage occurs to prevent progressive deterioration of damaged trees.

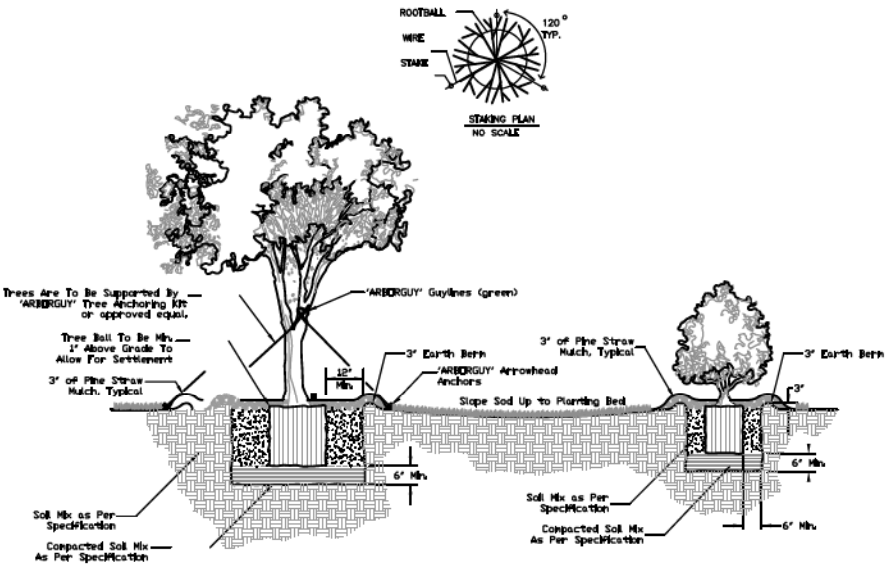
LANDSCAPE PLANTING

Mulch all trees and shrubs with 3" of new pine straw mulch. Mulch all groundcovers and color plantings with 3" of new pine straw mulch.

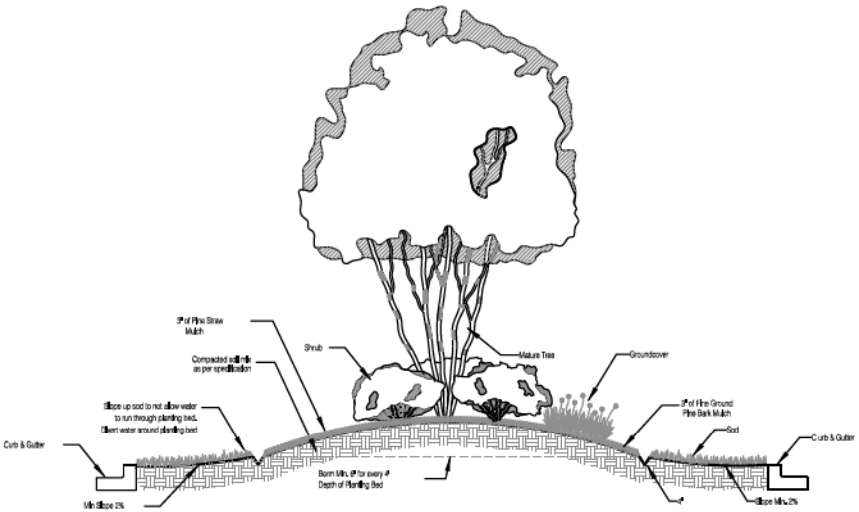
The landscape contractor shall touch up the landscape planting and review the Irrigation system after all the other contractors are completed with their work.

All excavations shall be dug by hand in all R.O.W.s and 15' from the drip line of existing trees. Any root pruning to existing trees shall be done by hand using sharp cutting tools such as shears or loppers for a clean smooth cut. Also, no loaders or equipment shall enter or park within drip lines of existing trees. Install fencing and barricades to prevent equipment from entering these areas. (See 'Tree Protection' specifications.)

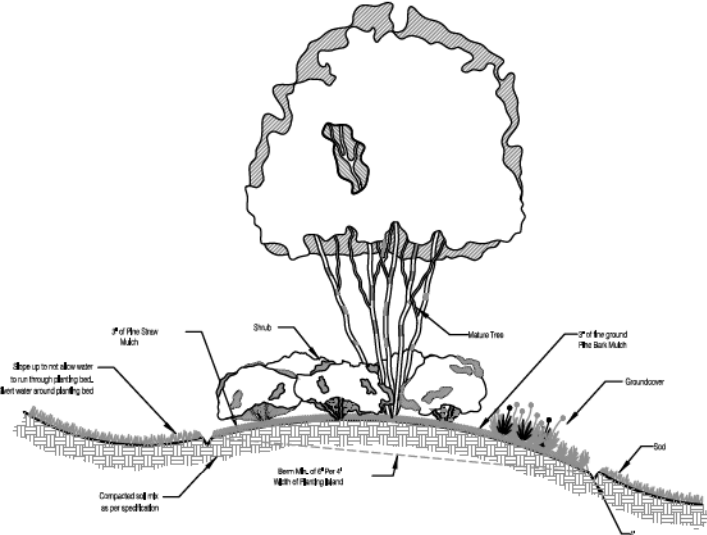
All natural buffers shall be undisturbed during construction. Prior to construction these areas and existing trees will be flagged by the landscape architect and tree protection devices/barricades erected to prevent any damage or disturbance.



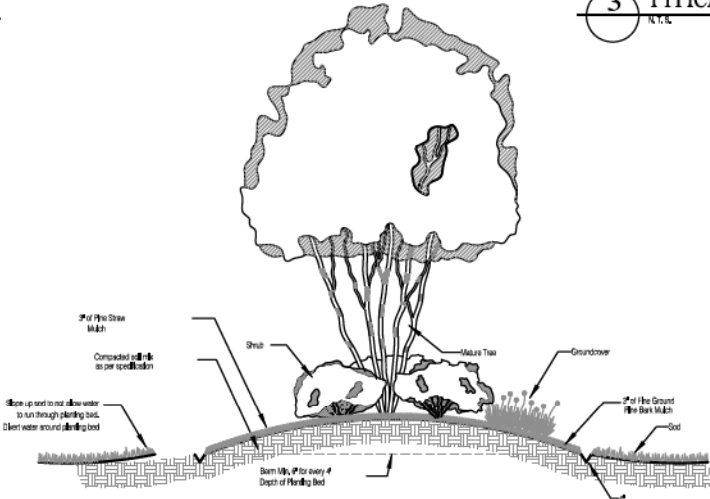
1 TREE & SHRUB PLANTING DETAIL



2 TYPICAL PLANTING BED AT CURB



3 TYPICAL PLANTING BED ON A SLOPE



4 TYPICAL PLANTING BED

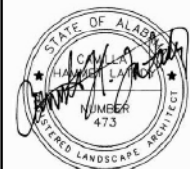


ARCHITECTURE
PLANNING
PROJECT MANAGEMENT
6425 Jordan Road
Daphne, AL 36526
Ph 251-433-0217

LANDSCAPE DEVELOPMENT PLAN
FOR
POLO CROSSINGS

FAIRHOPE, AL

19690 GREENO ROAD



DATE: 11/16/21
DRAWN: CHL
CHECKED: CHL
TITLE:
PLANTING DETAILS

REVISION:	
NO.	DATE
1	4/12/22
2	6/3/22
3	5/5/23
4	5/31/23

SHEET:

LP6

October 19, 2023

RE:
SD 23.28 Polo Crossing Final MOP Review

Dear Mr. Jeffries

In response to your Final Multiple Occupancy Project (MOP) Review letter dated October 18, 2023 for the above referenced project please accept this response letter to the review comments.

- 1. Comment:** The Horticulture Supervisor is verifying the landscaping.
Response: We will respond to any additional comments from the Horticulture Supervisor if required.
- 2. Comment:** The oak tree in the traffic island is dead and needs to be replaced.
Response: Per the Landscape Architect and Landscape Contractor, the oak tree is not dead but is in shock. They noticed new growth on the tree on 10/18/23. The tree will be monitored and further action taken if required to ensure the health of the tree.
- 3. Comment:** The gravel parking does not have any markings or curb stops. What will delineate the parking spaces?
Response: The site contractor will install parking space markings in the aggregate parking areas. Language will be added to the Operation and Maintenance Plan and Agreement for the parking space striping in the aggregate parking area to be annually inspected and re-striped as necessary to clearly mark parking spaces.
- 4. Comment:** Incidental signs exceed the square foot allowance of 2sf.
Response: Will comply. The incidental signs will be replaced to meet the square foot sign requirements as required in the Signage Ordinance.
- 5. Comment:** Temporary Real Estate sign exceeds the square foot allowance of 4sf.
Response: Will comply. The Temporary Real Estate sign will be replaced to meet the square foot sign requirements as required in the Signage Ordinance.
- 6. Comment:** BMP's need to be completely removed.
Response: Will comply. Remaining silt fence will be removed..

Please feel free to call if you have any questions or require any further clarification.

Respectfully,

Michael Triplett

Michael Triplett, Architect



September 8, 2023

City of Fairhope
555 S. Section Street
Fairhope, AL 36532

SUBJECT: Polo Crossing
19690 Greeno Road
Our Job No. 21-093

To Whom It May Concern:

Please accept this letter as our certification that the construction of the site work related improvement items for this project are complete and all work was done in accordance with the approved project plans and specifications.

Please contact us at 251-287-1296 if you have any questions or need additional information.

Sincerely,

A handwritten signature in black ink, appearing to read "Frank A. Dagley".

Frank A. Dagley, P.E.





KAY IVEY
GOVERNOR

ALABAMA DEPARTMENT OF TRANSPORTATION

SOUTHWEST REGION – DISTRICT 2
OFFICE OF DISTRICT ENGINEER
47450 RABUN ROAD
BAY MINETTE, ALABAMA 36507
TELEPHONE: (251) 937-2086
FAX (251) 937-8475



JOHN R. COOPER
TRANSPORTATION DIRECTOR

September 15, 2023

KWH Properties, LLC
ATTN: Kenneth Kleban
1189 Post Road, Suite 3B
Fairfield, CT 06824

**RE: Permit Number: 9-2-12336 / 12529
Baldwin County – US-98, MP 46.07**

Dear Sir/Madam:

Please be advised, the work associated with the above-referenced permit has been inspected and is hereby provisionally accepted by the department. As the legal permit applicant, you are responsible for the maintenance and warranty of said work associated with these permits for a period of one (1) year from the date of this letter.

During the maintenance period, any associated work which becomes unsatisfactory or is in a state of disrepair shall be corrected in accordance with ALDOT Standards and Specifications. Failure to make the necessary corrections in the requested timely manner, may result in the forfeiture of the performance bond placed in surety for the permitted work.

Upon end of the one (1) year maintenance period and if there are no outstanding defects or failures, the department can proceed with the release of the bond. The permit applicant should submit a bond release request letter to this office with the following information included: permit applicant, permit numbers, check number, and check amount.

Should you have any questions, please contact this office.

Sincerely,

David M. Styron II, P.E.
District Administrator

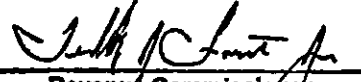
DMS/jm

Attachment

c: Mr. Eric Christie, P.E.
Mr. Jason Shaw, P.E.
File

Parcel Number	Pin	Owner Name	Address	Address2	City	State	Zip	Property Street Number	Property Street Name
05-46-05-21-0-000-012.000	21517	KWH PROPERTIES L L C	1189 POST ROAD	STE 3B	FAIRFIELD	CT	06824	19690	GREENO RD
05-46-04-20-1-000-103.000	3949	BOSBY SHIRLEY ANN AND BOSBY LINDA	19669 GREENO RD		FAIRHOPE	AL	36532	19669	GREENO RD
05-46-04-20-1-000-045.000	68217	MONTROSE PROPERTIES L L C	2388 SCENIC HWY.SOUTH		SNELLVILLE	GA	30078	19705	GREENO RD
05-46-05-21-0-000-010.032	74452	BRADLEY, BEVERLEY S	3609 SMITH BARRY RD STE 100		ARLINGTON	TX	76015	214	WINDSOR DR N
05-46-05-21-0-000-012.002	218178	WOLFE INVESTMENTS L L C	19698 GREENO RD		FAIRHOPE	AL	36532	19698	GREENO RD
05-46-05-21-0-000-012.001	91211	VENNER L L C	8076-B SPRING RUN RD		FAIRHOPE	AL	36532	0	GREENO RD
05-46-04-20-1-000-046.000	29962	MITCHELL, GEORGE & ANNIE L	19683 GREENO RD		FAIRHOPE	AL	36532	0	GREENO RD
05-46-04-20-1-000-103.001	3960	JORDAN, NANCY BOSBY	19591 GREENO RD		FAIRHOPE	AL	36532	0	GREENO RD
05-46-05-21-0-000-010.017	65306	BRADLEY, BEVERLEY S	3609 SMITH BARRY RD STE 100		ARLINGTON	TX	76015	19606	GREENO RD
05-46-04-20-1-000-048.000	61715	EASTERN SHORE MEDICAL PLAZA L L C	19725 S GREENO RD		FAIRHOPE	AL	36532	19725	GREENO RD
05-46-04-20-1-000-103.002	112946	RAY, DARNELL L	19669 GREENO RD S		FAIRHOPE	AL	36532	0	GREENO RD
05-46-04-20-1-000-047.000	29964	MITCHELL, GEORGE E ETUX ANNIE LEE	19683 GREENO RD		FAIRHOPE	AL	36532	19683	GREENO RD
05-46-05-21-0-000-010.019	29098	VILLAGE AT MEADOWVIEW LTD, THE	527-B MAIN AVENUE		NORTHPORT	AL	36576	950	SPRING RUN DR
05-46-05-21-0-000-011.000	65892	MINTO PROPERTIES L L C	19748 GREENO RD		FAIRHOPE	AL	36532	19748	GREENO RD

STATE OF ALABAMA
BALDWIN COUNTY
I, TEDDY J. FAUST, JR., Revenue Commissioner
In and for said State and County, do hereby
certify that this is a true and correct copy of the
records of this office.

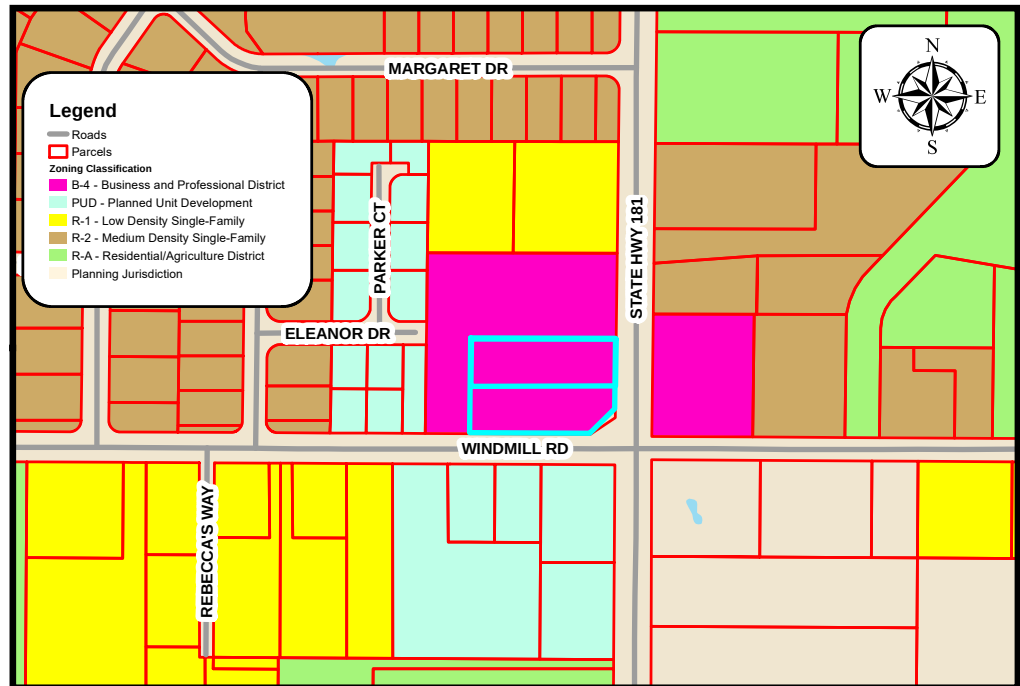
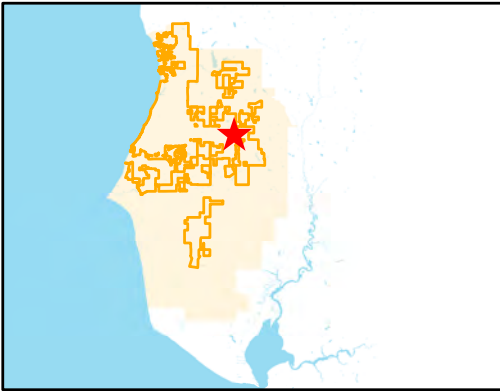

Revenue Commissioner

City of Fairhope Planning Commission

November 6, 2023



SD 23.29 Windmill Business Park Final Plat



Project Name:

Windmill Business Park

Site Data:

1.48 acres

Project Type:

4 - Unit Multiple Occupancy Project

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

B-4

PPIN Number:

77607, 396213

General Location:

Northwest intersection of Windmill Road and State Highway 181

Surveyor of Record:

S.E. Civil LLC

Engineer of Record:

S.E. Civil LLC

Owner / Developer:

FST Windmill Holdings

School District:

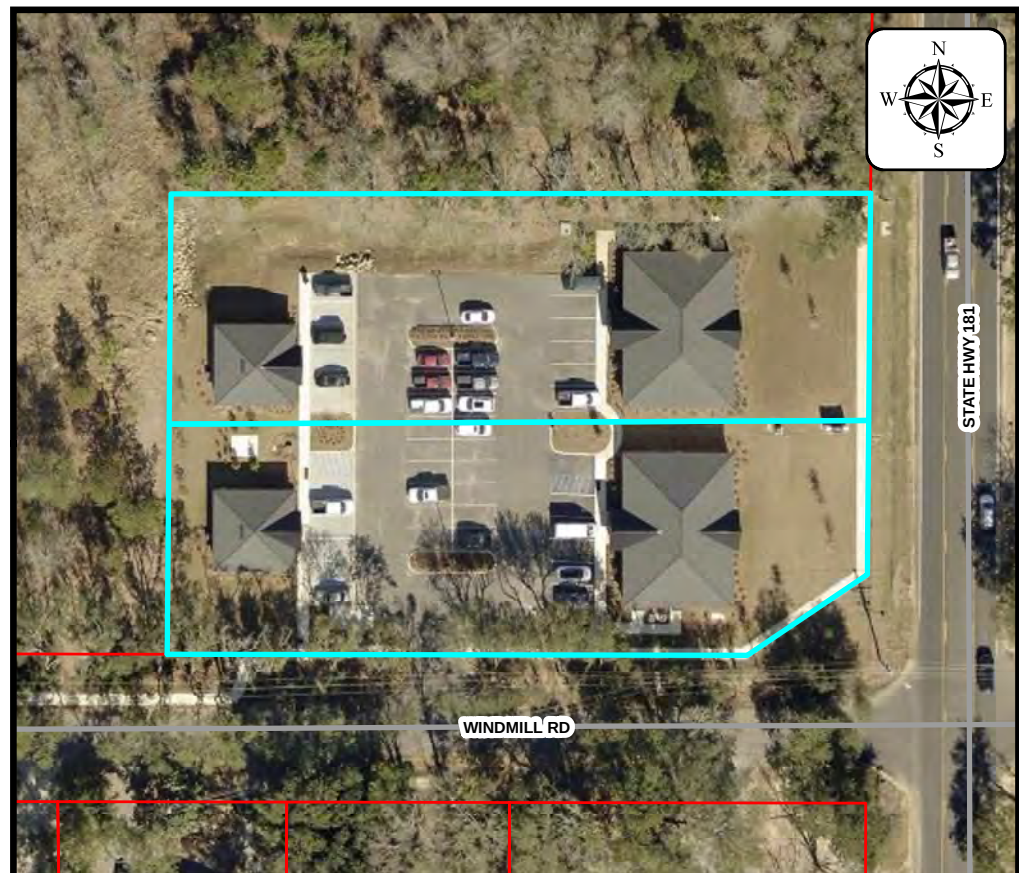
Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

Approve with Conditions

Prepared by:

Michelle Melton





APPLICATION FOR SUBDIVISION PLAT APPROVAL

Application Type: ☐ Village Subdivision ☐ Minor Subdivision ☐ Informal (No Fee)
☐ Preliminary Plat ☐ Final Plat ☒ Multiple Occupancy Project

Attachments: ☒ Articles of Incorporation or List all associated investors
 Date of Application: _____

Property Owner / Leaseholder Information

Name of Property Owner: FST Windmill Holdings, LLC Phone Number: 251-990-6566

Address of Property Owner: 9969 Windmill Road

City: Fairhope State: AL. Zip: 36532

Proposed Subdivision Name: Windmill Business Park MOP

No. Acres in Plat: 1.48 ac No. Lots/Units: 2 lots 4 units

Parcel No: 05-46-05-15-0-000-003.545 & Current Zoning: B-4

05-46-05-15-0-000-003.545-001

Authorized Agent Information

Plat must be signed by the property owner before acceptance by the City of Fairhope

Name of Authorized Agent: Aaron Collins Phone Number: 251-990-6566

Address: 9969 Windmill Road

City: Fairhope State: AL. Zip: 36532

Contact Person: Aaron Collins

Surveyor/Engineer Information

Name of Firm: S.E. Civil, LLC Phone Number: 251-990-6566

Address: 9969 Windmill Road

City: Fairhope State: AL. Zip: 36532

Contact Person: Larry Smith

Plat Fee Calculation:

Reference: Ordinance 1269

Signatures:

I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Aaron Collins (as agent)
 Property Owner/Leaseholder Printed Name

 Signature

9/19/2023
 Date

 Fairhope Single Tax Corp. (If Applicable)

Summary of Request:

Request of Aaron Collins of S.E. Civil on behalf of FST Windmill Holdings, LLC and Knockout Storage, LLC for Final MOP approval of Windmill Professional Park, a 4-unit project. The subject property is owned by Fairhope Single Tax, Windmill Holdings, and Knockout Storage, LLC. Larry Smith of S.E. Civil is the engineer for the project. The subject property is zoned B-4 Business and Professional District and approximately 1.48 acres. The property is located at the northwest corner of the intersection of State Highway 181 and Windmill Rd.

SD 21.32 is the original MOP case that came before the Planning Commission on June 7, 2021, and was approved with the following conditions that have since been met.

- Final landscape screening for the parking area along Windmill Rd shall be reviewed and approved by the Director of the Planning and Zoning Department prior to the issuance of a Certificate of Occupancy. **Screening was provided but has since somewhat deteriorated. Current landscaping to be reviewed and verified by Horticulture Supervisor.**
- Current zoning requires a 10' buffer when adjacent to residentially zoned property. A buffer has not been provided because the adjacent property has been recommended for approval to B-4 zoning by the Fairhope Planning Commission (case ZC 21.07). The rezoning has yet to be approved by the City Council. A buffer will be required if case ZC 21.07 fails to get approval by the City Council. **ZC 21.07 was approved nullifying this condition.**

SD 21.32 staff report is included in the packet. The recorded plat is filed in probate as S 2801-E and shown below.

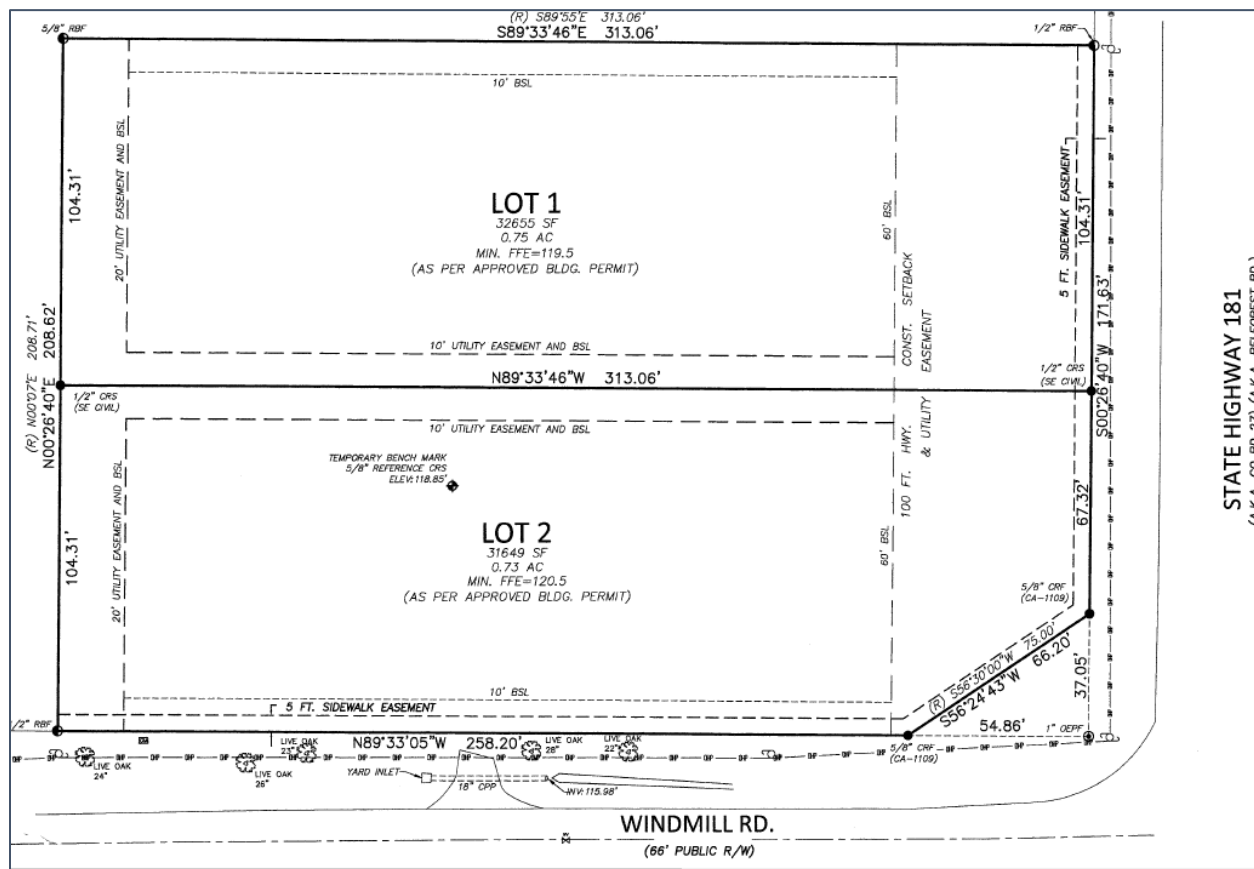


Figure 1: Slide 2801-E.

There are four (4) buildings on site. Two (2) facing AL Hwy 181 that are 3,022 sf each and two (2) others that are 1,150 sf each. There is a detention pond in the northwest corner and an O&M Plan has been submitted with the final plat approval. There are 42 parking spaces provided on site. Parking is located on the interior of the lot and is partially screened by landscaping along Windmill Road. A 5' sidewalk is illustrated along Windmill Road and Highway 181. It should be noted that this proposed development did not result in the requirement for a Traffic Impact Study.

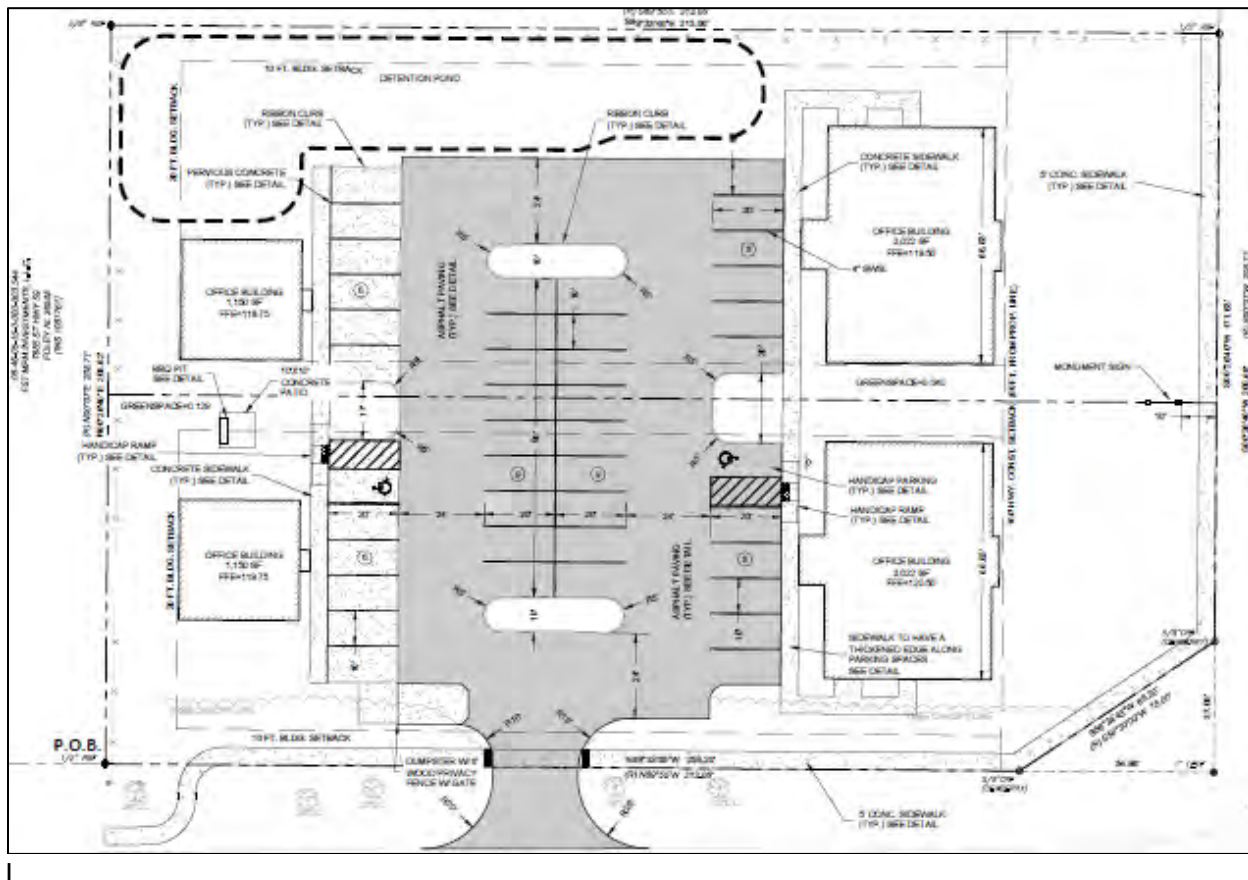


Figure 2: As-Builts dated 9-25-2023.

Greenspace: 10% greenspace is required resulting in 0.148 acres. The greenspace plan illustrates 0.169 acres. There is a BBQ pit located between the two 1,150 sf buildings. *See below.*

Landscaping: Staff to determine if this needs to be updated prior to the November 6, 2023, Planning Commission meeting.

Utilities: Water, sewer and gas services are provided by the City of Fairhope. Electrical service is provided by Baldwin EMC. There is an existing fire hydrant located across Windmill Road at the corner of Highway 181. The fire flow test, signed by Larry Smith, PE, affirms that there is adequate fire flow for the development.

Easement: There is a Cross Easement and Maintenance Agreement (Instrument #1953517) between the Owners of Lots 1 and 2 regarding the common detention pond, two (2) pylon signs, and the groundwater well for the common sprinkler system that is applicable to successors. The easement document is included in the packet.

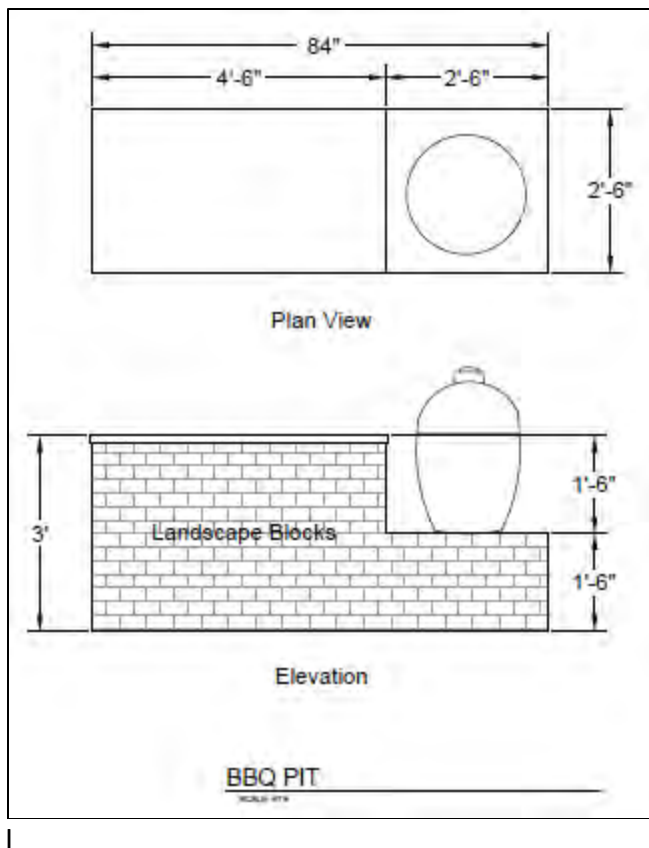


Figure 3: BBQ Pit.

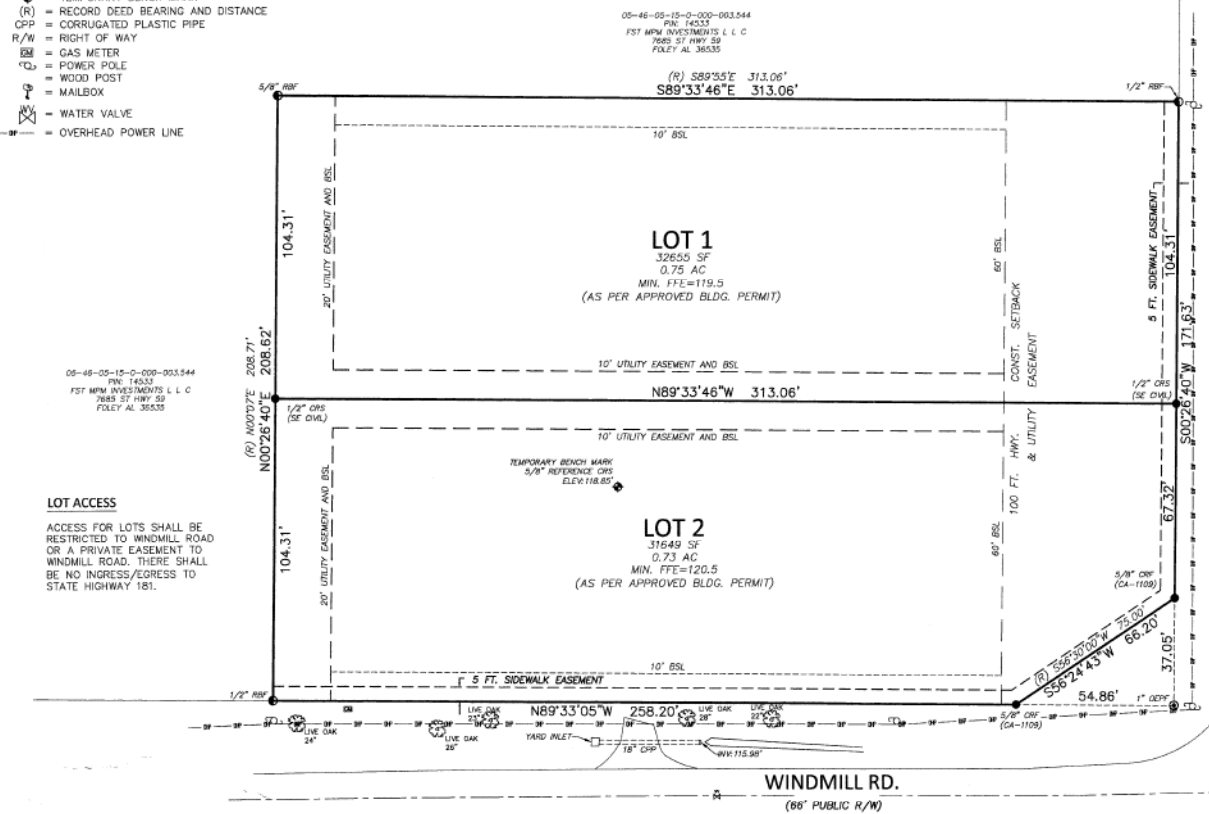
Comprehensive Plan: Case 23.29 Windmill Professional Park follows the City’s Comprehensive Plan, the Fairhope Zoning Ordinance, and all other applicable regulations.

Recommendation:

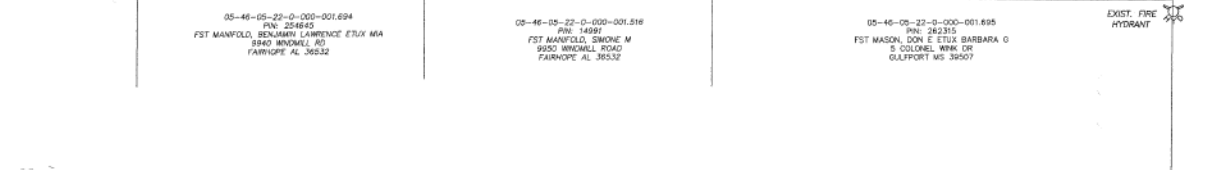
Staff recommend **approval** of case SD 23.29.

LEGEND:

ORS = CAPPED REBAR FOUND
 ORS = CAPPED REBAR SET
 OEPF = OPEN END IRON PIPE FOUND
 RBF = REBAR FOUND
 (R) = TEMPORARY BENCH MARK
 (R) = RECORD DEED BEARING AND DISTANCE
 CIP = CORRUGATED PLASTIC PIPE
 R/W = RIGHT OF WAY
 (M) = GAS METER
 (P) = POWER POLE
 (W) = WOOD POST
 (M) = MAILBOX
 (V) = WATER VALVE
 (P) = OVERHEAD POWER LINE



LOT ACCESS
 ACCESS FOR LOTS SHALL BE RESTRICTED TO WINDMILL ROAD OR A PRIVATE EASEMENT TO WINDMILL ROAD. THERE SHALL BE NO INGRESS/EGRESS TO STATE HIGHWAY 181.



CERTIFICATE OF APPROVAL BY BALDWIN E.M.C.

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN E.M.C. HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS 27th DAY OF September, 2021.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY AT&T

THE UNDERSIGNED, AS AUTHORIZED BY AT&T HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS 27th DAY OF September, 2021.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY CITY OF FAIRHOPE UTILITIES (SEWER)

THE UNDERSIGNED, AS AUTHORIZED BY THE CITY OF FAIRHOPE UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS 27th DAY OF September, 2021.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY CITY OF FAIRHOPE UTILITIES (WATER)

THE UNDERSIGNED, AS AUTHORIZED BY THE CITY OF FAIRHOPE UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS 27th DAY OF September, 2021.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY THE FAIRHOPE PLANNING DIRECTOR

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY PLANNING COMMISSION OF FAIRHOPE, ALABAMA, AND IS APPROVED BY SUCH COMMISSION.

THE CITY OF FAIRHOPE PLANNING COMMISSION

BY: *[Signature]* DATE: 10/15

CERTIFICATE OF OWNERSHIP

WE, FAIRHOPE SINGLE TAX CORPORATION, AN ALABAMA CORPORATION, HEREBY STATE THAT WE ARE THE OWNERS OF THE LANDS DESCRIBED HEREON AND DO HEREBY DEDICATE ALL ROADS, STREETS, ALLEYS AND EASEMENTS SHOWN ON THIS PLAT TO THE PUBLIC. *Lee Turner* and *Reuben B. Danks* whose NAMES AS PRESIDENT AND SECRETARY HAVE CAUSED THE SAME TO BE SURVEYED AND SUBMITTED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED.

DATED THIS 27th DAY OF September, 2021

FAIRHOPE SINGLE TAX CORPORATION, AN ALABAMA CORPORATION

BY: *[Signature]* AS PRESIDENT

BY: *[Signature]* AS SECRETARY

CERTIFICATE OF NOTARY PUBLIC:

I, *Jennifer Evans*, NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY THAT *Lee Turner* and *Reuben B. Danks* AS PRESIDENT AND SECRETARY OF FAIRHOPE SINGLE TAX CORPORATION, AN ALABAMA CORPORATION, AS OWNER OF THE LANDS PLATTED HEREON IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO ARE KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, AND IN THEIR CAPACITY AS SUCH OWNER AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THE 30th DAY OF September, 2021

NOTARY PUBLIC

[Signature]

JENNIFER EVANS SANFORD

My Commission Expires July 25, 2023

NOTARY PUBLIC

STATE OF ALABAMA

CERTIFICATE OF LEASEHOLD OWNERSHIP

WE, THE UNDERSIGNED, *Geoffrey A. Lane* AS MANAGER OF PROVISION INVESTMENTS, LLC, PROPRIETOR(S), HAVE CAUSED THE LAND EMBRACED IN THE WITHIN PLAT TO BE SURVEYED, LAID OUT AND PLATTED TO BE KNOWN AS WINDMILL PROFESSIONAL PARK, BALDWIN COUNTY, ALABAMA, AND THAT THE STREETS AND EASEMENTS, AS SHOWN ON SAID PLAT, ARE HEREBY DEDICATED TO THE USE OF THE PUBLIC.

DATED THIS 27th DAY OF September, 2021

Geoffrey A. Lane

PRINT NAME SIGNATURE

CERTIFICATE OF NOTARY PUBLIC:

STATE OF ALABAMA

COUNTY OF BALDWIN

I, *Anne B. Gardner*, NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY THAT *Geoffrey A. Lane* AS MANAGER OF PROVISION INVESTMENTS, LLC, OWNER OF THE LANDS PLATTED HEREON IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, AND AS SUCH LEASEHOLD OWNER AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THE 27th DAY OF September, 2021

Anne B. Gardner

NOTARY PUBLIC MY COMMISSION EXPIRES

ANNE B. GARDNER

Notary Public, Alabama State At Large

My Commission Expires 05/23/2022

NOTARY PUBLIC

STATE OF ALABAMA

SURVEYOR'S NOTES:

1. ALL MEASUREMENTS WERE MADE IN ACCORDANCE WITH U.S. STANDARDS.
2. THERE MAY BE RECORDED OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
3. THERE WAS NO ATTEMPT TO DETERMINE THE EXISTENCE, LOCATION, OR EXTENT OF ANY SUB-SURFACE FEATURES.
4. THE LINES REPRESENTING THE CENTERLINE AND RIGHT-OF-WAYS OF THE STREETS ARE SHOWN FOR VISUAL PURPOSES ONLY AND WERE NOT SURVEYED UNLESS RIGHT-OF-WAY MONUMENTATION IS ALSO SHOWN.
5. SURVEY WAS CONDUCTED ON MARCH 25TH, 2019, AND IS RECORDED IN FIELD BOOK #322, AT PAGE 53, AND IN AN ELECTRONIC DATA FILE.
6. BEARINGS SHOWN HEREON ARE BASED ON STATE PLANE GRID COORDINATES, ALABAMA WEST ZONE, DATUM 83 (NAD 83 DATUM).
7. ALL GPS OBSERVATIONS WERE TAKEN USING REAL TIME KINEMATIC GPS.
8. THIS SURVEY IS BASED UPON MONUMENTATION FOUND IN PLACE AND DOES NOT PURPORT TO BE A RETRACEMENT AND PROPORTIONING OF THE ORIGINAL GOVERNMENT SURVEY.
9. THIS SURVEY HAS BEEN COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA, EFFECTIVE JANUARY 1, 2017.
- 10.

FLOOD CERTIFICATE:

THIS PROPERTY LIES WITHIN ZONE "X" (UNSHADED) AS SCALED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF BALDWIN COUNTY, ALABAMA, MAP NUMBER 01003C0663M, COMMUNITY NUMBER 010006, PANEL NUMBER 0663, SUFFIX M, MAP REVISED DATE APRIL 19, 2019.

GENERAL NOTES:

1. FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
2. STORMWATER DETENTION AREAS ARE NOT THE RESPONSIBILITY OF CITY OF FAIRHOPE TO MAINTAIN.
3. ALL UTILITIES WILL BE CONSTRUCTED UNDERGROUND.
4. THERE IS DEDICATED HERETHWITH A 10 FOOT UTILITY EASEMENT ON ALL LOT LINES AND COMMON AREAS ADJACENT TO THE RIGHT-OF-WAYS AND A 10 FOOT UTILITY EASEMENT ON EACH SIDE OF LOT AND COMMON AREA LINES, UNLESS OTHERWISE NOTED.
5. THERE IS DEDICATED HERETHWITH A 15 FOOT DRAINAGE EASEMENT ALONG THE REAR LOT LINES OF ALL LOTS (UNLESS SHOWN OTHERWISE) AND A 10 FOOT DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES (5 FOOT OFF EACH SIDE), NO FENCES OR STRUCTURES SHALL BE PLACED IN DRAINAGE OR UTILITY EASEMENTS.
6. A PROPERTY OWNERS' ASSOCIATION (POA) IS REQUIRED TO BE FORMED. THE POA IS REQUIRED TO MAINTAIN ANY AND ALL STORM WATER FACILITIES AND STRUCTURES LOCATED OUTSIDE OF THE PUBLICLY ACCEPTED RIGHT-OF-WAY.

BALDWIN COUNTY, ALABAMA
 HARRY D. OLIVE, JR., PROBATE JUDGE
 Filing Date: 10/16/2021 8:14 AM
 TOTAL \$ 25.00
 1 Page

SLIDE 0002801-E

OWNER

FAIRHOPE SINGLE TAX CORP.
 336 FAIRHOPE AVE.
 FAIRHOPE AL 36532

LESSEE / DEVELOPER

PROVISION INVESTMENTS, LLC
 2210 MAIN ST. UNIT H
 DAPHNE, AL 36526

PARCEL NO.:

05-46-05-15-0-000-003.545

SITE DATA

CURRENT ZONING: B-4
 LIN. FT. STREETS: EXIST.
 NUMBER OF LOTS: 2
 MINIMUM LOT: NONE
 SMALLEST LOT: 31,649 SF
 LARGEST LOT: 32,655 SF
 COMMON AREAS: NONE
 TOTAL AREA: 1.48 AC.

REQUIRED SETBACKS:

FRONT: 60 FEET (H.C.S.)
 REAR: 20 FEET
 SIDE: 10 FEET
 SIDE STREET: 10 FEET

WATER SERVICE: CITY OF FAIRHOPE
 SEWER SERVICE: CITY OF FAIRHOPE
 ELECTRIC SERVICE: CITY OF FAIRHOPE
 TELEPHONE SERVICE: AT&T

SURVEYOR'S CERTIFICATE:

STATE OF ALABAMA
 COUNTY OF BALDWIN

WE, S.E. CIVIL, LLC, A FIRM OF LICENSED ENGINEERS AND LAND SURVEYORS OF FAIRHOPE, ALABAMA, HEREBY STATE THAT THE ABOVE IS A CORRECT MAP OR PLAT OF THE FOLLOWING DESCRIBED PROPERTY SITUATED IN BALDWIN COUNTY, ALABAMA, TO-WIT:

LOT ONE (1), UNIT THREE (3), PECAN ORCHARD SUBDIVISION, AS PER ITS PLAT FILED FOR RECORD IN PROBATE RECORDS, BALDWIN COUNTY, ALABAMA IN MAP BOOK 11, PAGE 70; SECTION 15, TOWNSHIP 6 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA.

LESS AND EXCEPT LANDS HERETOFORE CONVEYED TO BALDWIN COUNTY, ALABAMA BY THAT RIGHT-OF-WAY DEED, RECORDED IN DEED BOOK 149, PAGE 263, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA.

LANDS SURVEYED BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 1, UNIT 3, PECAN ORCHARD SUBDIVISION, AS SHOWN BY MAP OR PLAT THEREOF, RECORDED IN MAP BOOK 11, PAGE 70, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA AND RUN THENCE NORTH 00°26'40" EAST, A DISTANCE OF 208.62 FEET TO THE NORTHWEST CORNER OF SAID LOT 1; THENCE RUN SOUTH 89°33'46" EAST, A DISTANCE OF 313.06 FEET TO THE NORTHEAST CORNER OF SAID LOT 1 AND THE WEST RIGHT-OF-WAY OF STATE HIGHWAY 181; THENCE RUN SOUTH 00°26'40" WEST, ALONG THE WEST RIGHT-OF-WAY OF SAID ALABAMA HIGHWAY 181, A DISTANCE OF 171.63 FEET; THENCE RUN SOUTH 56°24'43" WEST, A DISTANCE OF 66.20 FEET TO THE NORTH RIGHT-OF-WAY OF WINDMILL ROAD; THENCE RUN NORTH 89°33'05" WEST, ALONG THE NORTH RIGHT-OF-WAY OF SAID WINDMILL ROAD, A DISTANCE OF 258.20 FEET TO THE POINT OF BEGINNING. TRACT CONTAINS 1.48 ACRES, MORE OR LESS, AND LIES IN SECTION 15, TOWNSHIP 6 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA.

I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

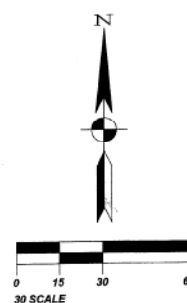
[Signature] DATE: 09-27-2021
 S.E. CIVIL, LLC
 DAVID E. DIEHL AL. P.L.S. NO. 26014
 SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.



WINDMILL PROFESSIONAL PARK

A RESUBDIVISION OF LOT 1, UNIT THREE
 PECAN ORCHARD SUBDIVISION, MAPBOOK 11, PAGE 70

BOUNDARY & PLAT OF SUBDIVISION	DRAWN DED
PROVISION INVESTMENTS, LLC	CHKD. DED
	PROJ MGR DED
	SCALE 1"=30'
	PROJECT 20200768
	FILE 2 Lot Sub.dwg
	SHEET 1 OF 1



AS-BUILT PROPOSED SITE IMPROVEMENT PLANS

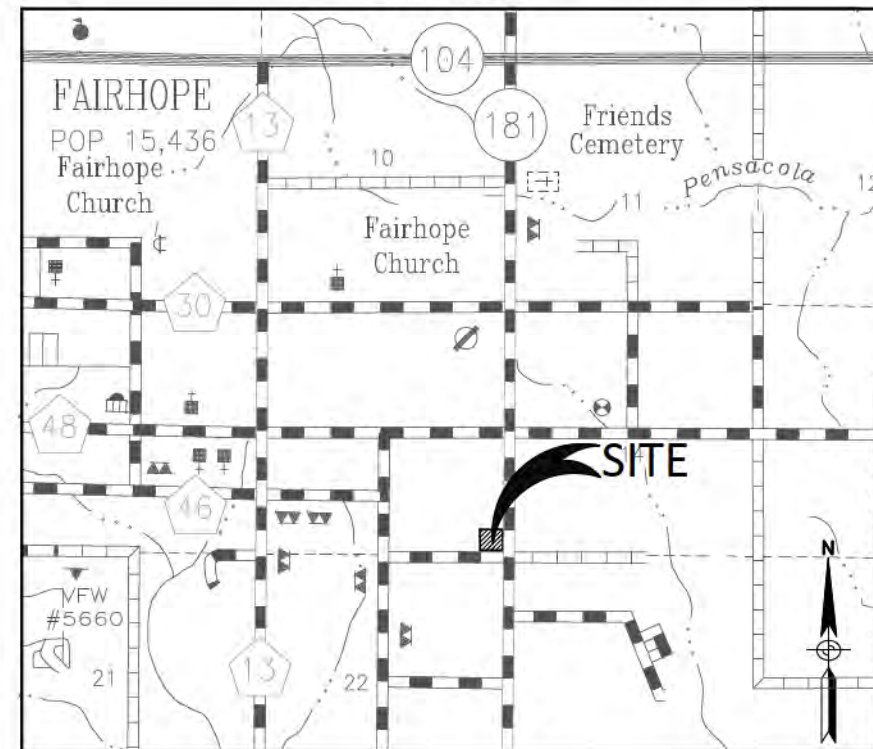
for

Windmill Professional Park

Windmill Road
Fairhope, Alabama

Developer:
Provision Investments, LLC
2210 Main Street, Suite H
Daphne, AL 36526
251-990-9006

MP 7.28



VICINITY MAP
N.T.S.
SECTION 15, TOWNSHIP 6 SOUTH, RANGE 2 EAST
BALDWIN COUNTY, ALABAMA

S.E. Civil
Engineering
& Surveying
880 Holcomb Blvd, Ste 2F
Fairhope, AL 36532
251-990-6566

ALDOT NOTES

1. ALL METERS TO BE INSTALLED OFF OF ALDOT RIGHT-OF-WAY.
2. ALL MANHOLES, VALVE BOXES, AND HAND HOLES SHOULD BE FLUSH WITH EXISTING GROUND.
3. APPLICANT SHALL CONTACT THE DISTRICT ADMINISTRATOR 48 HOURS PRIOR TO BEGINNING WORK ON ALDOT RIGHT-OF-WAY (BALDWIN COUNTY - DAVID M. STYRON II 251-637-2086).
4. THE ENGINEER OF RECORD SHALL PROMPTLY WRITE AN AS-BUILT CERTIFICATION LETTER TO THE DISTRICT ADMINISTRATOR REQUESTING AN INSPECTION UPON COMPLETION OF THE PERMITTED WORK. ANY PUNCH LIST ITEMS SHALL BE COMPLETED PRIOR TO PROVISIONAL ACCEPTANCE OF WORK.
5. BONDS SUBMITTED FOR PERMITS SHALL BE HELD FOR A (1) ONE-YEAR MAINTENANCE PERIOD WHICH BEGINS ON THE PROVISIONAL ACCEPTANCE DATE ISSUED BY THE DEPARTMENT. DURING THIS TIME ANY FAILURES, DEFICIENCIES, OR MAINTENANCE CARE SHALL BE THE RESPONSIBILITY OF THE APPLICANT. AT THE END OF THE MAINTENANCE PERIOD THE APPLICANT OR ENGINEER OF RECORD SHALL SUBMIT A BOND RELEASE REQUEST LETTER TO THE DISTRICT ADMINISTRATOR. BONDS ARE NOT RELEASED WITHOUT REQUEST.
6. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH PART 6 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) 2009 EDITION, (IF PROJECT NECESSITATES LANE CLOSURE, LANE CLOSURE MUST BE MADE PART OF THE PERMIT.)
7. ONSITE REPRESENTATIVES & CONTRACT INFORMATION: GEOFF LANE 251-375-6363.
8. ON-SITE REPRESENTATIVE WILL HAVE ON HAND, AT ALL TIMES:
 - (1) APPROVED PERMIT AND PLANS STAMPED BY REGION ENGINEER
 - (2) TRAFFIC CONTROL PLANS
 - (3) EROSION CONTROL PLANS
9. ALL DISTURBED AREAS ON ROW SHALL RECEIVE 4" OF TOPSOIL AND BE SOODED OR SEEDED AS DIRECTED BY THE DEPARTMENT.
10. ALL WORK ON THE ROW WILL BE IN CONFORMANCE WITH THE LATEST EDITION OF ALDOT STANDARD SPECIFICATIONS.
11. ELECTRIC POWER AND COMMUNICATION FACILITIES WILL CONFORM WITH THE CURRENT APPLICABLE NATIONAL ELECTRICAL SAFETY CODE.
12. A BEST MANAGEMENT PLAN SHALL AT MINIMUM RETURN ALL EXPOSED AREAS TO ORIGINAL OR BETTER CONDITION AND REQUIRE STAND OF GRASS AND/OR SOD BEFORE ACCEPTANCE. SILT FENCE AND ANY OTHER EROSION CONTROL ITEMS NEEDED SHALL BE USED TO PREVENT EROSION. (NO HAYBALES ARE ALLOWED IN ROW)
13. ALL TREES OVER 4" DBH SHALL NOT BE CUT/REMOVED WITHOUT WRITTEN PERMISSION FROM ALDOT.
14. ABSOLUTELY NO BORE PITS SHALL BE ALLOWED TO BE UNFILLED AND/OR UNCOVERED OVERNIGHT UNLESS PROTECTED. (BORE PITS HAVE A MAXIMUM OF 72 HOURS TO BE OPEN BEFORE FILLED)
15. UPON COMPLETION & ANY TIME THEREAFTER, ALDOT RETAINS THE RIGHT TO REQUEST AN AS-BUILT PLAN OF ANY PERMITTED WORK WITHIN THE DEPARTMENT'S RIGHTS-OF-WAY (ROW).
16. WARNING: DO NOT DISTURB SURVEY MARKERS LOCATED ON ALDOT RIGHT-OF-WAY. ANY PROPERTY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE RE-ESTABLISHED BY AN ALABAMA LICENSED PROFESSIONAL LAND SURVEYOR AT THE EXPENSE OF THE PERMIT APPLICANT.
17. THE TOTAL AREA TO BE DISTURBED DURING CONSTRUCTION OF THIS PERMIT: ±1.27 ACRES. (ON & OFF ROW COMBINED)
18. WATER LINES SHALL CONFORM WITH THE CURRENTLY APPLICABLE STANDARDS OF AMERICAN WATER WORKS ASSOCIATION.
19. PRESSURE PIPE LINES SHALL CONFORM TO THE CURRENTLY APPLICABLE SECTIONS OF AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).
20. AS REQUIRED BY ALABAMA ACT 84-487: CALL TWO WORKING DAYS BEFORE EXCAVATION 1-800-292-8525, ALABAMA LINE LOCATION CENTER, INC.
21. ALL EXISTING UTILITY FACILITIES IN THE PROPOSED WORK AREA HAVE BEEN PHYSICALLY LOCATED BOTH HORIZONANTLY AND VERTICALLY.
 - A. THE UTILITY FACILITIES IN THE AREA OF WORK ARE REPRESENTED TO THE BEST OF MY KNOWLEDGE, ACCORDING TO LOCATES PROVIDED BY 811 AND INDIVIDUAL DUE DILIGENCE. ENGINEER'S INITIALS: *[Signature]*
 - B. 811 LOCATE REQUEST # 202410180
22. ANY ORNAMENTAL VEGETATIVE LANDSCAPING (SHRUBS, FLOWERS, ORNAMENTAL GRASS, ETC.) DISTURBED DURING CONSTRUCTION SHALL BE REPLACED, TRANSPLANTED OR SOODED BY THE APPLICANT AS DIRECTED BY THE ALABAMA DEPARTMENT OF TRANSPORTATION DISTRICT ADMINISTRATOR.
23. ALL FILL MATERIAL OR ONSITE DEBRIS DEPOSITED IN THE RIGHT-OF-WAY SHALL BE REMOVED PRIOR TO ISSUANCE OF FINAL ACCEPTANCE TO BEGIN THE ONE YEAR MAINTENANCE PERIOD OF THE PERMIT CONTRACT.
24. THE APPLICANT SHALL SEE THAT ALL SOLID WASTE (I.E., WOOD, STUMPS, ETC.) IS DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE ALABAMA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (ADEM).
25. PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE, SUCH AS HISTORICAL STRUCTURES, TREES, DRAINS, WATER OR GAS PIPES, POLES, WALL, ETC., ARE NOT TO BE DISTURBED UNLESS NOTED AND APPROVED BY SHPO, ALDOT, ADEM, EPA, ETC.
26. THE APPLICANT IS RESPONSIBLE TO SEE THAT STREETS ARE CLEANED IMMEDIATELY AFTER CONCRETE OR OTHER DELIVERY TRUCKS LEAVE THE SITE. MUD AND DEBRIS ARE TO BE KEPT OFF STREETS, INLETS, DITCHES, ETC.
27. FUEL TANKS SHALL NOT BE STORED ON THE RIGHT-OF-WAY OVERNIGHT. VEHICLES TRANSPORTING FUEL, CHEMICALS, FERTILIZERS, ETC. ONTO RIGHT-OF-WAY SHALL NOT BE LEFT UNATTENDED.
28. THE APPLICANT OR ENGINEER OF RECORD SHALL PROMPTLY NOTIFY ALDOT OF ANY PERCEIVED CONFLICTS, AMBIGUOUS ITEMS OR DEFICIENCIES IN THE PLANS, SPECIFICATIONS, GENERAL NOTES OR RELATED CONTRACT DOCUMENTS.
29. FOR WORK WITHIN INTERSTATE ROW, ALL INGRESS AND EGRESS TO WORKSITE SHALL BE FROM APPLICANT'S PROPERTY. NO ACCESS SHALL BE GAINED FROM THE INTERSTATE ROW. EQUIPMENT AND MATERIALS SHALL NOT BE STORED ON INTERSTATE ROW.
30. MILEPOST(S) 7.28 TO 7.28 SPEED LIMIT 45 STOPPING SITE DISTANCE >600.
31. IS DRAINAGE/RUNOFF FROM THIS SITE DIRECTED ONTO STATE ROW? (YES) OR NO ENGINEER'S INITIALS: *[Signature]*
32. ARE UTILITY, SIGNAL OR LIGHT POLE, RELATED CONFLICTS PRESENT OR ARE ANY RELOCATIONS REQUIRED FOR THIS PROJECT TO BE CONSTRUCTED AS PROPOSED IN THESE PLANS? YES OR NO ENGINEER'S INITIALS: *[Signature]*
33. MINIMUM COVER OVER UTILITIES SHALL BE MAINTAINED UPON COMPLETION OF WORK. (YES) OR NO ENGINEER'S INITIALS: *[Signature]*
34. THE LEGAL PERMIT APPLICANT IS HELD RESPONSIBLE AND LIABLE FOR ALL DAMAGES, ACTIONS, OR RESPONSIBILITIES OF THEIR APPOINTED CONTRACTORS, ASSIGNS, OR APPOINTEES.

ENGINEER'S CERTIFICATE

I, the undersigned, a Registered Professional Engineer in the State of Alabama holding Certificate Number 26348, hereby certify that I have reviewed the design herein which was done under my direct control and supervision and that, to the best of my professional knowledge and to the best of my belief, conforms to the requirements of Section 7-18 of the City of Fairhope Municipal Code and to all other rules, regulations, laws, and ordinances applicable to my design.

[Signature]
Project Engineer

May 28, 2021

Name of Project to which this Certificate Applies: Windmill Professional Park
Plans which are certified consist of Pages Cover Sheet thru Sheet C09.



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C06	CONSTRUCTION DETAILS
C07	CONSTRUCTION DETAILS
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C09	CONSTRUCTION DETAILS

CONTACTS

GAS DEPARTMENT CITY OF FAIRHOPE MR. TERRY HOLMAN 555 SOUTH SECTION STREET FAIRHOPE, ALABAMA 36532 251-928-8003	ELECTRICAL DEPARTMENT BALDWIN EMC MR. JOHNNY BRINKMAN P.O. BOX 220 SUMMERDALE, ALABAMA 36580-0220 251-989-6247
BUILDING DEPARTMENT CITY OF FAIRHOPE MR. ERIK CORTINAS 555 SOUTH SECTION STREET FAIRHOPE, ALABAMA 36532 251-928-8003	PLANNING/ZONING DEPARTMENT CITY OF FAIRHOPE MR. BUFORD KING 555 SOUTH SECTION STREET FAIRHOPE, ALABAMA 36532 251-928-8003
WATER & SEWER DEPARTMENT CITY OF FAIRHOPE MR. JEREMY MORGAN 555 SOUTH SECTION STREET FAIRHOPE, ALABAMA 36532 251-928-8003	

LEGAL DESCRIPTION

LOT ONE (1), UNIT THREE (3), PECAN ORCHARD SUBDIVISION, AS PER ITS PLAT FILED FOR RECORD IN PROBATE RECORDS, BALDWIN COUNTY, ALABAMA IN MAP BOOK 11, PAGE 70; SECTION 15, TOWNSHIP 6 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA, LESS AND EXCEPT LANDS HERETOFORE CONVEYED TO BALDWIN COUNTY, ALABAMA BY THAT RIGHT-OF-WAY DEED, RECORDED IN DEED BOOK 149, PAGE 283, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA.

LANDS SURVEYED BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT:

BEGINNING AT THE SOUTH-WEST CORNER OF LOT 1, UNIT 3, PECAN ORCHARD SUBDIVISION, AS SHOWN BY MAP OR PLAT THEREOF, RECORDED IN MAP BOOK 11, PAGE 70, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA AND RUN THENCE NORTH 00°28'40" EAST, A DISTANCE OF 208.62 FEET TO THE NORTH-WEST CORNER OF SAID LOT 1; THENCE RUN SOUTH 88°33'40" EAST, A DISTANCE OF 313.06 FEET TO THE NORTHEAST CORNER OF SAID LOT 1 AND THE WEST RIGHT-OF-WAY OF STATE HIGHWAY 181; THENCE RUN SOUTH 00°28'40" WEST, ALONG THE WEST RIGHT-OF-WAY OF SAID ALABAMA HIGHWAY 181, A DISTANCE OF 171.83 FEET; THENCE RUN SOUTH 58°24'43" WEST, A DISTANCE OF 68.20 FEET TO THE NORTH RIGHT-OF-WAY OF WINDMILL ROAD; THENCE RUN NORTH 88°33'05" WEST, ALONG THE NORTH RIGHT-OF-WAY OF SAID WINDMILL ROAD, A DISTANCE OF 258.20 FEET TO THE POINT OF BEGINNING. TRACT CONTAINS 1.48 ACRES, MORE OR LESS, AND LIES IN SECTION 15, TOWNSHIP 6 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA.





PARKING DATA	
PARKING REQUIREMENT	SPACES
OFFICE A - 3,022 SF = 0 TO 400 SF = 4 SPACES 400 TO 3,022 SF = 1 SPACE / 400 SF = 7 SPACES	11
OFFICE A - SURVEY AND INSPECTION MAX WORKING SHIFT = 7 EMPLOYEES 1 SPACE / 3 EMPLOYEES = 3 SPACES 1 SPACE FOR EACH COMPANY VEHICLE = 5	8
OFFICE B - 3,022 SF = 0 TO 400 SF = 4 SPACES 400 TO 3,022 SF = 1 SPACE / 400 SF = 7 SPACES	11
OFFICE B - 1,150 SF = 0 TO 400 SF = 4 SPACES 400 TO 1,150 SF = 1 SPACE / 400 SF = 2 SPACES	6
OFFICE B - 1,150 SF = 0 TO 400 SF = 4 SPACES 400 TO 1,150 SF = 1 SPACE / 400 SF = 2 SPACES	6
TOTAL REQUIRED =	42
TOTAL PROVIDED =	42

LAND USAGE		
DESCRIPTION	AREA	% OF PROPERTY AREA
PROPERTY AREA	1.476 ACRES	-
BUILDING AREA (UNDER ROOF)	0.204 ACRES	13.82%
IMPERVIOUS PAVING	0.427 ACRES	28.83%
PERVIOUS PAVING	0.057 ACRES	3.86%
GRASSED/LANDSCAPED AREA	0.788 ACRES	53.39%

SITE ANALYSIS		
SITE ACREAGE (PROPOSED) ±1.48 AC (84,304 SF)	BUILDING HEIGHT 23 FT	BUILDINGS (UNDER ROOF) 8,344 SF
REQUIRED PARKING 42 SPACES (SEE PARKING DATA)	PROVIDED PARKING 42 SPACES	
JURISDICTION CITY OF FAIRHOPE	ZONING B-4	
IMPERVIOUS AREA 0.527 AC (35.73%)	PERVIOUS AREA 0.949 AC (64.27%)	
BUILDING SETBACKS: FRONT YARD: SIDE YARD: REAR YARD:	REQUIRED: 80 FT H.C.S.* 10 FT 20 FT	
MAXIMUM BUILDING HEIGHT:	30'	
MAX. GROUND COVERAGE RATIO:	N/A	
MAX. DENSITY:	N/A	

*HIGHWAY CONSTRUCTION SETBACK

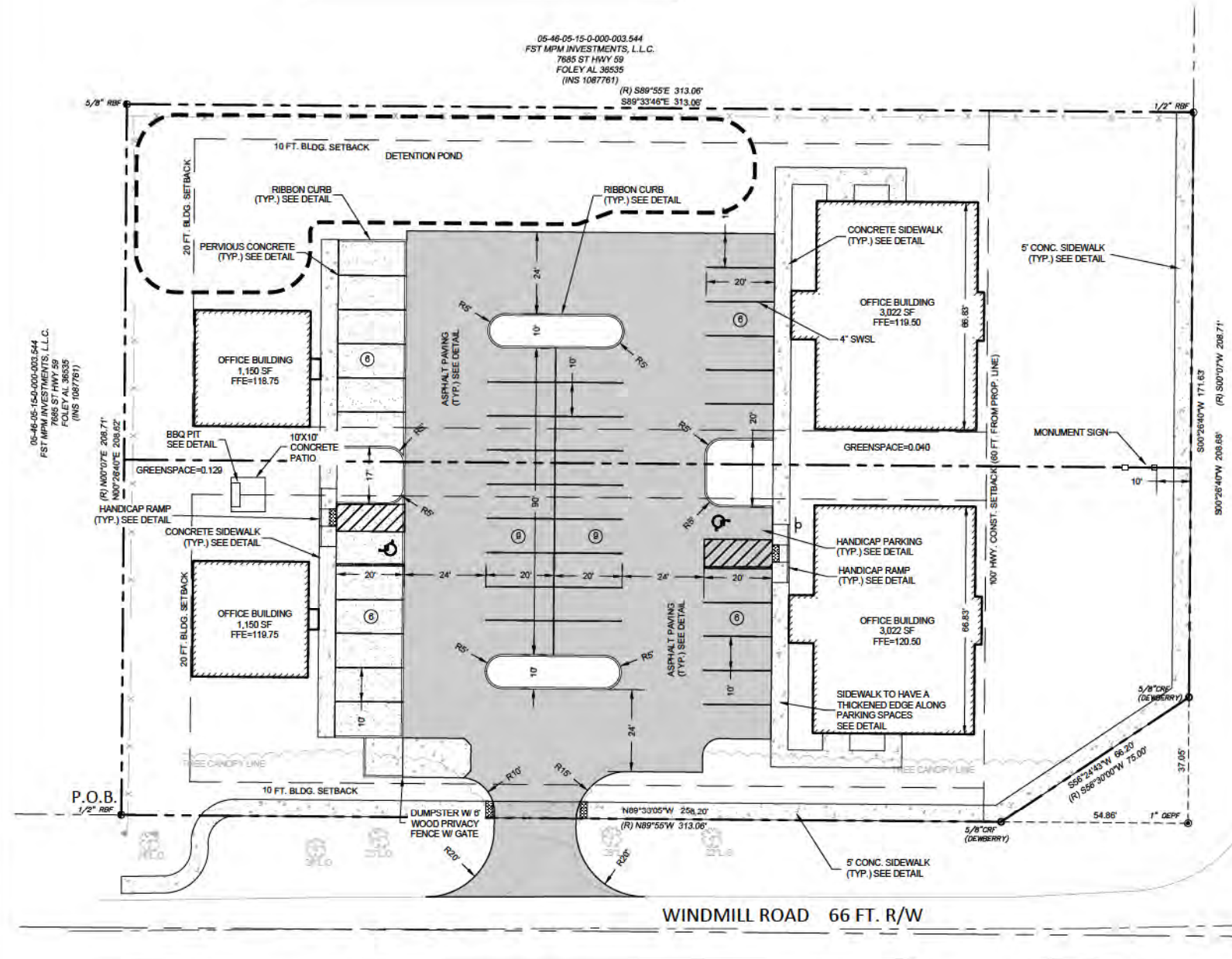
SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF FAIRHOPE REGULATIONS AND CODES AS WELL AS O.S.H.A. AND ALDOT STANDARDS.
- ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED.
- ALL CURBED OR STRIPED RADII ARE TO BE 4' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN THE BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR SITE WORK. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES' SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- THE SURVEY OF EXISTING CONDITIONS IS SHOWN WITHIN THESE PLANS. ALL EXISTING CONDITIONS SHALL BE VERIFIED TO BE TRUE AND ACCURATE PRIOR TO BEGINNING WORK.
- REFER TO THE LANDSCAPING PLANS FOR PLANTING LOCATIONS AND ISLAND DETAILS.
- PAINTED STRIPING SHALL BE BRIGHT AND CLEAR. STRIPES SHALL BE PER PLAN AND PAINTED ON CLEAN ASPHALT OR CONCRETE.
- CURBING SHALL BE FORMED AND POURED CONCRETE UNLESS OTHERWISE DETAILED WITHIN THE DRAWINGS. CONCRETE FOR CURBING SHALL BE 3000 PSL.
- HANDICAP RAMPS AND PARKING STALLS SHALL BE PER ADA REQUIREMENTS AND LOCAL REGULATIONS.
- THIS SITE IS ZONED B-4.
- TOTAL SITE ACREAGE = 1.48 ACRES.
- NOTIFY CITY OF FAIRHOPE INSPECTIONS 24 HOURS BEFORE THE BEGINNING OF EVERY PHASE OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED GOVERNMENTAL INSPECTIONS.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
- CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED R.O.W. AND MUST BE STORED WITHIN THE SITE.
- DURING CONSTRUCTION, ACCESS ROADWAYS CONSTRUCTED OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS GROSS WEIGHT SHALL BE PROVIDED. THE WIDTH OF THE ACCESS ROADWAY, DURING CONSTRUCTION, SHALL BE 20 FT PER STANDARD FIRE PREVENTION CODE, LATEST EDITION.
- ALL NON-HANDICAP PARKING SPACE LINES WILL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS USED ON THE SITE WILL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FHWA, LATEST EDITION. REFERENCE THE SIGN CODES CONTAINED IN THE MUTCD FOR ALL TRAFFIC CONTROL SIGNS. NOTE THE COLOR AND SIZE OF ALL PAVEMENT MARKINGS, REFERRING DETAILS IN ALDOT'S ROADWAY AND TRAFFIC DESIGN STANDARDS WHERE APPLICABLE.
- NO "PROTECTED TREES" WILL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN, OR EXCESSIVELY PRUNED DURING CONSTRUCTION ACTIVITIES.
- FIRE LANES AND SIGNAGE TO MEET REQUIREMENTS OF NFPA 1 CHAPTER 18.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL OF THE EXISTING CONDITIONS AT THE SITE, INCLUDING UTILITIES, SURFACES, ETC. AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THEY CAUSE TO NEW AND EXISTING CONSTRUCTION, PROPERTY AND ANY UNAUTHORIZED DISRUPTION TO UTILITIES ON SITE AND TO ADJACENT PROPERTIES.
- PRIOR TO CONSTRUCTION, EXISTING UTILITIES AT PROPOSED CONNECTIONS AND CROSSINGS SHALL BE FIELD EXCAVATED TO VERIFY LOCATIONS, ELEVATION AND SIZE. NOTIFY THE ENGINEER IMMEDIATELY WITH ANY DEVIATIONS OR CONFLICTS.
- CONTRACTOR SHALL REFER TO THE ARCH. PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- THE DIMENSIONS SHOWN ARE TO THE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO STRUCTURAL PLANS FOR THE COLUMN GRID LAYOUT AND INFORMATION REQUIRED TO LAYOUT THE BUILDING WITHIN THE FOUNDATIONS.

SITE PLAN LEGEND

EXISTING	PROPOSED
	TRAFFIC CONTROL ARROW
	CURB & GUTTER
	RIBBON CURB
	STANDARD PARKING QUANTITY
	ACCESSIBLE PARKING SPACE
	GRAVEL PAVING
	CONCRETE PAVING
	ASPHALT PAVING

X" SYSL - X" WIDE SINGLE YELLOW SOLID LINE
X" DYSL - X" WIDE DOUBLE YELLOW SOLID LINE
X" SWSL - X" WIDE SINGLE WHITE SOLID LINE



ALABAMA HIGHWAY 181
(A.K.A. CO RD 27) (A.K.A. BEFORE RD.)

80 FT. R/W

WINDMILL ROAD 66 FT. R/W

15 14
22 23

DIVISION OF LOT 7 OF THE DORIS MANIFOLD ESTATE
SLIDE 2116-C

LOT 8
05-46-05-22-0-000-001.694
FST MANIFOLD, BENJAMIN LAWRENCE ETUX
MIA
9940 WINDMILL RD
FAIRHOPE AL 36532
(INS 1775583)

LOT 9
05-46-05-22-0-000-001.516
FST MANIFOLD, SIMONE M
9950 WINDMILL ROAD
FAIRHOPE AL 36532
(INS 741979)

MOOREHAVEN VILLAGE
SLIDE 2162-E

LOT 2
05-46-05-22-0-000-001.805
FST MASON, DON E ETUX BARBARA G
5 COLONEL WINK DR
GULFPORT MS 39507
(INS 1389762)

05-46-05-23-0-000-009.0
WALKER, LINDA R
8800 MORPHY AVE
FAIRHOPE AL 36532



AS-BUILT
SITE PLAN

Windmill Professional Park
Windmill Road
Fairhope, Alabama



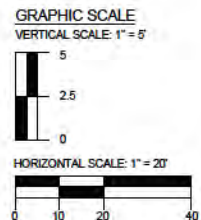
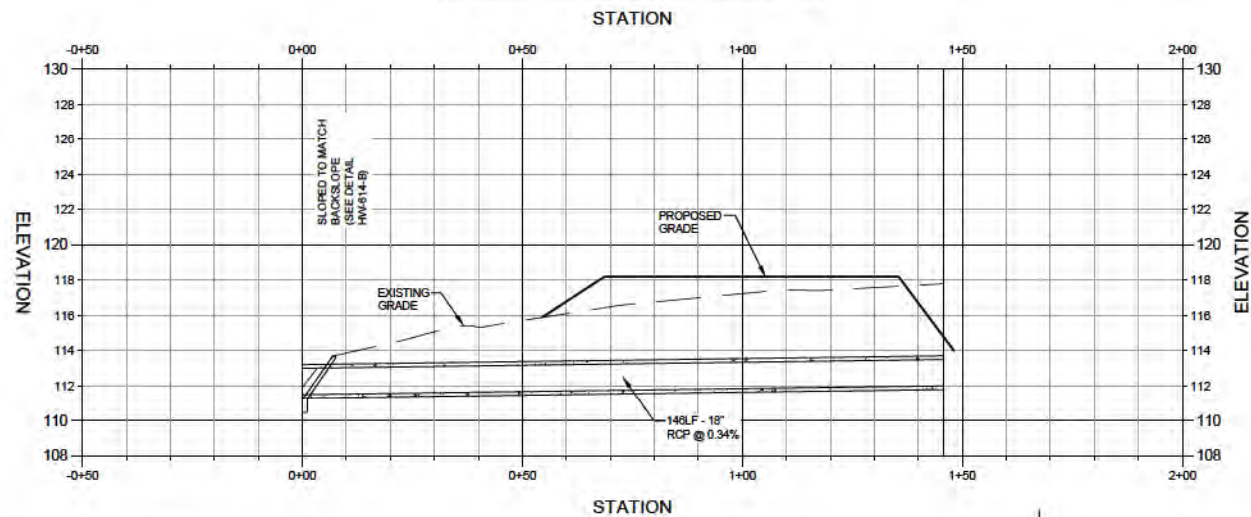
JOB No.
20200768
DATE
5/28/21
DRAWN
T.L.S.
SCALE
1"=20'

SHEET

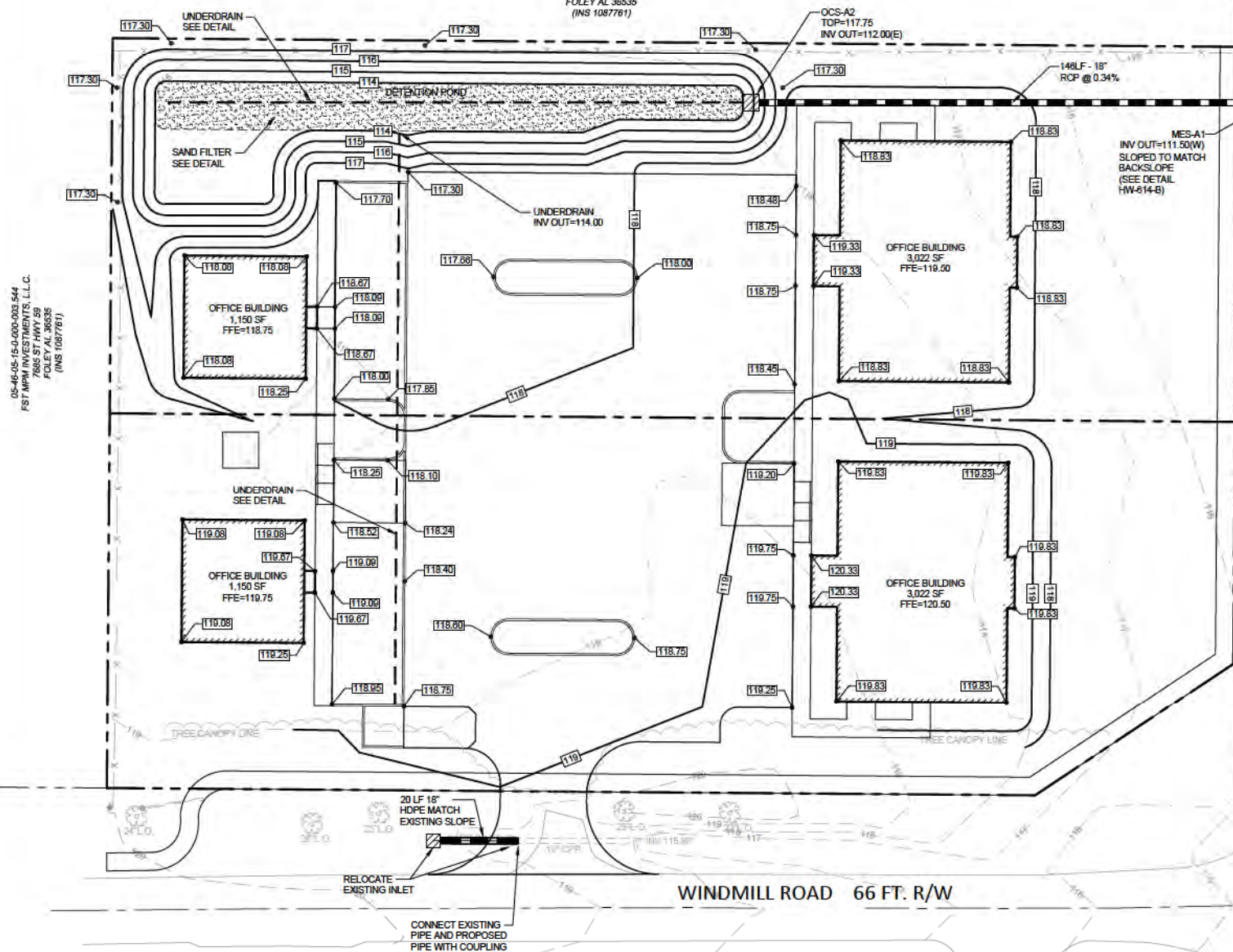
C01



STORM LINE A PROFILE



05-46-05-15-0-000-003.544
FST MPM INVESTMENTS, L.L.C.
7865 ST HWY 59
FOLEY AL 36535
(INS 1087781)



ALABAMA HIGHWAY 181
(A.K.A. CO RD 27) (A.K.A. BEFORE RD.)
80 FT. R/W

05-46-05-14-0-000-001.633
FST SWEETWATER INVESTMENTS L.L.C.
20040 ST HWY 181
FAIRHOPE AL 36532
(INS 1502695)

GRADING & DRAINAGE NOTES

1. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED. SLOPES STEEPER THAN 3:1 SHALL BE COVERED WITH CURLEX BLANKETS BY AMERICAN EXCELSIOR COMPANY OR EQUAL.
3. ALL DISTURBED AREAS NOT OTHERWISE COVERED BY BUILDINGS OR PAVEMENT SHALL RECEIVE FOUR INCHES OF TOPSOIL AND STABILIZED PER THE LANDSCAPE PLAN.
4. ALL STRUCTURES SHALL BE PRECAST CONCRETE PER ASTM C-478/C-913 AND ALDOT STANDARDS UNLESS APPROVED OTHERWISE BY THE ENGINEER.
5. STORM PIPE SHALL BE AS FOLLOWS:
RCP, CLASS III PER ALDOT SPECIFICATIONS.
HOPE, ADS N12 PIPE PER SPECIFICATIONS.
PVC, SCH. 40 PIPE PER SPECIFICATIONS.
THE TYPE OF PIPE MAY BE ALTERED IF APPROVED BY THE ENGINEER.
6. ALL CAST IN PLACE CONCRETE TO HAVE A MIN. 28 DAY COMPRESSION STRENGTH OF 3000 P.S.I.
7. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
8. THE CONTOUR INTERVAL IS ONE FOOT OR AS SHOWN.
9. THE ELEVATION OF MANHOLE/INLET TOPS ARE TO BE AT THE FINISH ELEVATION SHOWN. THE DEFINITION OF THE TYPE OF TOP IS AS LISTED:
WEIR INLET = THROAT; ELEVATION OF THE POINT AT WHICH WATER PASSES INTO THE BOX.
DROP INLET = GRATE; THE TOP MOST PART OF THE FRAME AND GRATE.
CATCH BASIN = THROAT; ELEVATION OF THE POINT AT WHICH WATER PASSES INTO THE BOX.
JUNCTION BOX = TOP; THE TOP MOST PART OF THE RIM AND COVER CASTING.
10. THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER RECORD DRAWINGS OF AS-BUILT CONDITIONS FOR THE DEVELOPMENT OF THE SITE.
11. ALL STRUCTURAL FILL AREAS TO BE CONSTRUCTED UNDER THE DIRECTION OF A SOILS ENGINEER. REFER TO THE GEOTECHNICAL REPORT BY GEOCON ENGINEERING & MATERIALS TESTING, INC. FOR COMPACTION REQUIREMENTS.
12. GRADES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN. ABRUPT CHANGES IN SLOPE SHALL BE WELL ROUNDED. ELEVATIONS REPRESENT FINAL GRADE.
13. ALL SILT BARRIERS SHALL BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL THE TREE PROTECTION, SAVE AREAS, SILT BARRIER INSTALLATION AND DETENTION FACILITIES ARE CONSTRUCTED.
14. THE LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
15. ALL O.S.H.A. CONSTRUCTION REQUIREMENTS SHALL BE STRICTLY ADHERED TO.
16. PIPE LENGTHS SHOWN ARE LINEAR DISTANCES BETWEEN CENTER TO CENTER OF STRUCTURES. THE CONTRACTOR SHALL DETERMINE THE QUANTITY OF PIPE NEEDED FOR THE JOB, BASED ON SLOPE LENGTH AND WHOLE STANDARD PIPE SECTIONS.
17. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER TRAFFIC CONTROL FOR PUBLIC SAFETY ADJACENT TO THE CONSTRUCTION SITE.
18. THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN BARRICADES, WARNING SIGNS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES IN CONFORMITY WITH THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION.
19. MAXIMUM CUT OR FILL SLOPE IS 3H:1V.
20. CONTRACTOR TO CLEAN OUT ACCUMULATED SILT IN THE STORM SYSTEM AT THE END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
21. SITE SHALL BE GRADED TO ASSURE DRAINAGE OF SURFACE WATER AWAY FROM THE BUILDING PAD.
22. REFER TO THE GEOTECHNICAL REPORT FOR PREPARATION OF THE SUBGRADE.
23. TEMPORARY SEDIMENT BASIN FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
24. ALL ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
25. DETENTION POND AND TEMPORARY SEDIMENT BASIN FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.

GRADING & DRAINAGE PLAN LEGEND

EXISTING		PROPOSED
	STORM SEWER PIPING	
	JUNCTION BOX (JB)	
	DROP INLET (DI)	
	WEIR INLET (WI)	
	TYPE "S" 1- WING INLET (SWCB)	
	TYPE "S" 2- WING INLET (DWCB)	
	MITERED END SECTION (MES)	
	CONTOURS	
	SPOT ELEVATION	
	HIGH POINT	

BUILDING ANALYSIS

OFFICE DEVELOPMENT - 8044 SF

STORMWATER DISCHARGE ANALYSIS (TO R/W)

	0.96	0.81	0.05
2 YR	2.00	1.88	0.12
5 YR	3.29	3.03	0.28
25 YR	5.60	5.11	0.49
50 YR	7.87	6.85	1.02
100 YR	10.56	9.46	1.10

THE PROPOSED WORK WILL NOT HAVE ANY ADVERSE EFFECTS ON DRAINAGE STRUCTURES UPSTREAM OR DOWNSTREAM OF THE PROPOSED SITE.

DRAINAGE FROM THIS SITE WILL BE DIRECTED ONTO STATE ROW. REFER TO PRE VS. POST COMPARISON



AS-BUILT
GRADING & DRAINAGE PLAN



JOB No. 20200768 DATE 5/28/21

DRAWN T.L.S. SCALE 1"=20'

SHEET

C02



CONSTRUCTION SEQUENCE - PHASE 1

1. INSTALL TREE PROTECTION FENCING PER TREE PROTECTION ORDINANCE.
2. REMOVE VEGETATION ONLY IN AREAS OF THE PERIMETER SEDIMENT BARRIERS, SEDIMENT POND, AND CONSTRUCTION EXIT.
3. INSTALL THE CONSTRUCTION EXIT PER DETAILS.
4. INSTALL PERIMETER SEDIMENT BARRIERS PER DETAILS.
5. INSTALL SEDIMENT BASIN AND ASSOCIATED STORM PIPE.
6. REQUEST BMP & TREE PROTECTION INSPECTION PRIOR TO CLEARING.
7. ONCE INSPECTION IS COMPLETE AND APPROVED, CLEARING & SITE WORK CAN BEGIN (PHASE 2).

CONSTRUCTION SEQUENCE - PHASE 2

1. PERFORM CLEARING & ROUGH GRADING ON THE LOT AND ESTABLISH COVER ON AREAS WHEN BROUGHT TO GRADE.
2. INSTALL STORM SYSTEM AND UTILITIES.
3. INSTALL CURBING AND STONE BASE.
4. CONSTRUCT BUILDING.
5. ESTABLISH VEGETATION ON AREAS NOT IMPACTED BY PAVING OPERATIONS.

CONSTRUCTION SEQUENCE - PHASE 3

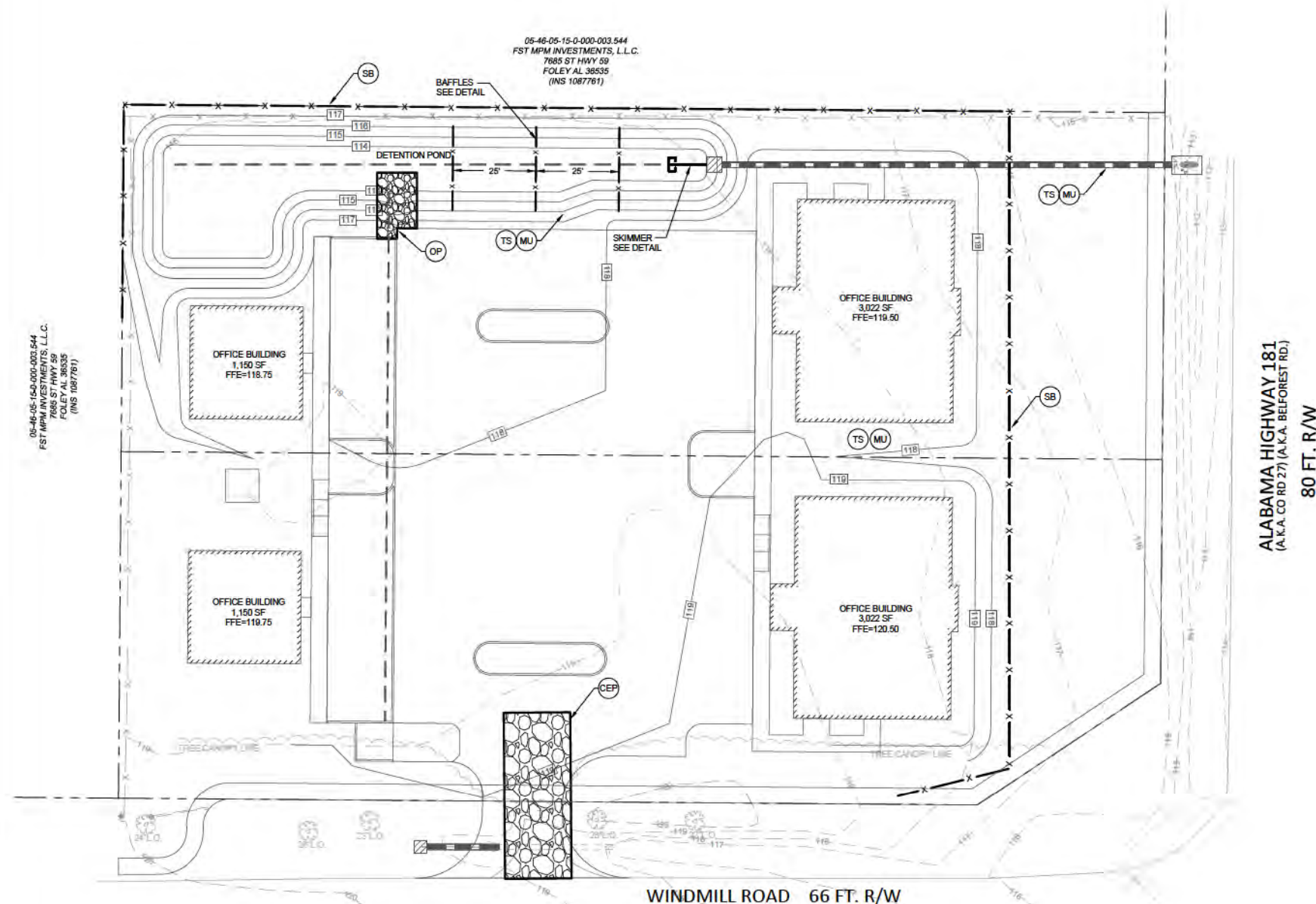
1. INSTALL PAVING AND FINAL LANDSCAPING.
2. CALL FOR AN INSPECTION FROM THE OCP.
3. ONCE THE OCP HAS CERTIFIED THAT ALL AREAS ARE STABILIZED, REMOVE BMPs AND TREE PROTECTION.
4. STABILIZE ANY AREAS DISTURBED BY BMP AND TREE PROTECTION REMOVAL.

EROSION CONTROL PRACTICES

CODE	PRACTICE
CEP	CONSTRUCTION EXIT PAD
SB	SEDIMENT BARRIER
MU	MULCHING
TS	TEMPORARY SEEDING
PS	PERMANENT SEEDING
W	STRAW WATTLES

EROSION CONTROL NOTES

1. THE EXISTING SITE IS UNDEVELOPED.
2. CONTACT LARRY SMITH, PE 251-990-8568.
3. AREA TO BE DISTURBED = 1.27 ACRES.
4. ALL VEGETATION SHALL BE PLANTED AND MAINTAINED PER THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS (ALABAMA HANDBOOK).
5. ALL EROSION CONTROL MEASURES SHALL BE PER THE DIRECTION OF THE ENGINEER, SOIL AND WATER CONSERVATION COMMITTEE OFFICER, AND THE FEDERAL E.P.A. GUIDELINES FOR THE NPDES PROGRAM.
6. ABSOLUTELY NO SEDIMENT SHALL BE PERMITTED TO LEAVE THE SITE DURING CONSTRUCTION. IF HEAVY RAINS OR UNUSUAL SITE CONDITIONS RESULT IN THE POLLUTION OF ROADWAYS OR ADJACENT PARCELS THEN THE GRADING CONTRACTOR SHALL CLEAN THE DISTURBED AREAS IMMEDIATELY AND RESTORE THE AREAS TO THE ORIGINAL CONDITION WITHIN 24 HOURS.
7. ALL DISTURBED AREAS SHALL BE TEMPORARILY AND PERMANENTLY SEEDED WITH "SOUTH" TYPE SEEDINGS PER THE ALABAMA HANDBOOK.
8. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE GOVERNING OFFICIALS. IT IS THE RESPONSIBILITY OF THE GRADING CONTRACTOR TO BE INTIMATE WITH THE LOCAL EROSION CONTROL LAWS AND TO REFLECT THIS KNOWLEDGE IN HIS/HER ACTIONS AND QUOTATIONS.
9. REFERENCE THE CONSTRUCTION SEQUENCE FOR THE RELATIONSHIP BETWEEN THE INSTALLATION OF EROSION CONTROL FEATURES AND GENERAL CONSTRUCTION.
10. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
11. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE GOVERNING OFFICIAL OR ENGINEER OF RECORD.
12. ALL SILT BARRIERS SHALL BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL THE SEDIMENT BARRIERS HAVE BEEN CONSTRUCTED.
13. CONTRACTOR SHALL REMOVE EROSION CONTROL DEVICES AFTER PERMANENT GRASSING IS IN PLACE AND ESTABLISHED.
14. THE CONSTRUCTION EXIT PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE OR SITE ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
15. DISTURBED AREAS LEFT IDLE FOR TEN DAYS OR LONGER ARE TO BE SEEDED AND MULCHED.
16. SEDIMENT / EROSION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED 1/2 OF THE CAPACITY OF THE DEVICE.
17. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE OWNER'S CONTRACTOR.
18. THE CONTRACTOR SHALL PREVENT THE LOSS OF SEDIMENT DUE TO WIND VIA WATERING DRY SOILS. CAUTION SHOULD BE TAKEN TO ENSURE THAT THE SITE IS NOT OVER WATERED.
19. THE SITE IS TO BE CLEARED AND GRADED AS TO MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ONE TIME.
20. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
21. CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND CLEARING ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION.
22. BMP'S SHALL BE INSTALLED AS PER THE ALABAMA HANDBOOK STANDARDS.
23. BMP'S SHALL BE INSTALLED WITH MINIMAL CLEARING ACTIVITY.
24. REFER TO THE LANDSCAPE PLANS FOR FINAL STABILIZATION MEASURES.
25. ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN 7 DAYS OF THEIR CONSTRUCTION.
26. ALL FILL SLOPES HAVE SILT FENCE AT THE TOE OF SLOPES.
27. EXISTING TREES, TO BE SAVED, SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. CARE SHALL BE TAKEN IN ALL GRADING ACTIVITIES TO REMAIN OUTSIDE THE DRIP LINES OF EXISTING TREES. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPLACED OR REPAIRED AS NEEDED.
28. TREE PROTECTION DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CLEARING, GRUBBING, OR GRADING.
29. CONTRACTOR TO CLEAN OUT ACCUMULATED SEDIMENT IN THE DETENTION POND AT THE END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.



ALABAMA HIGHWAY 181
(A.K.A. CO RD 27) (A.K.A. BEFORE RD.)
80 FT. R/W

WINDMILL ROAD 66 FT. R/W

DIVISION OF LOT 7 OF THE DORIS MANIFOLD ESTATE
SLIDE 2116-C

LOT 8
05-46-05-22-0-000-001.694
FST MANIFOLD, BENJAMIN LAWRENCE ETUX
MIA
9940 WINDMILL RD
FAIRHOPE AL 36532
(INS 1775583)

LOT 9
05-46-05-22-0-000-001.516
FST MANIFOLD, SIMONE M
9950 WINDMILL ROAD
FAIRHOPE AL 36532
(INS 741979)

MOOREHAVEN VILLAGE
SLIDE 2162-E

LOT 2
05-46-05-22-0-000-001.895
FST MASON, DON E ETUX BARBARA G
5 COLONEL WINK DR
GULFPORT MS 39507
(INS 1389782)

05-46-05-23-0-000-009.0
WALKER, LINDA R
8600 MORPHY AVE
FAIRHOPE AL 36532



JOB No.
20200768
DATE
5/28/21
DRAWN
TJS
SCALE
1"=20'

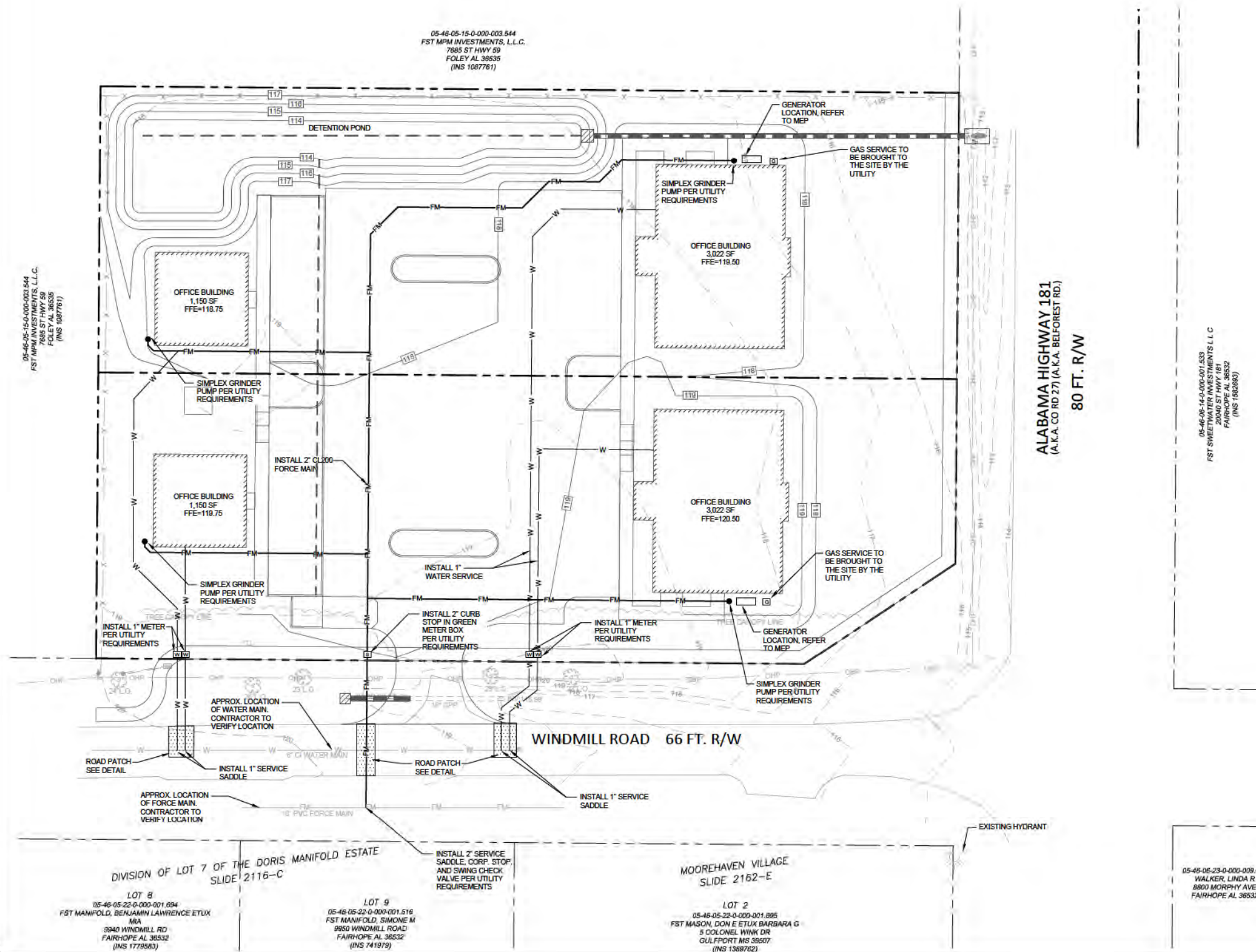
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C03

AS-BUILT
EROSION & SEDIMENT
CONTROL PLAN

Windmill Professional Park
Windmill Road
Fairhope, Alabama

S.E. Civil
Engineering & Surveying
189 Hickmuth Blvd., Ste 217
Fairhope, AL 36532
251-990-8568

REVISION
NO. 1 ADDED SIDEWAYS
DATE
5/19/21



UTILITY NOTES

1. THE PROPOSED WATER SERVICE SHALL BE INSTALLED BY A LICENSED PLUMBING CONTRACTOR AND CERTIFIED TO BE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS OF FAIRHOPE PUBLIC UTILITIES (FPU) PRIOR TO COMPLETION OF THE PROJECT. ALL PIPING, VALVES, FITTINGS AND DEVICES SHALL BE IN ACCORDANCE WITH FPU SPECIFICATIONS.
2. ALL NEW UTILITY SERVICES SHALL BE INSTALLED PER THE SPECIFICATIONS, DETAILS, AND REQUIREMENTS OF FPU AND OTHER UTILITY PROVIDERS. THE CONTRACTOR SHALL BE INTIMATE WITH THE LOCAL CODES AND REQUIREMENTS AND SHALL BE RESPONSIBLE FOR THE COMPLIANCE OF ALL SYSTEMS WITH THESE CODES.
3. THE SANITARY SEWER LINE SHALL BE TESTED FOR INFILTRATION/EXFILTRATION IN ACCORDANCE WITH FPU STANDARDS & SPECIFICATIONS.
4. ALL PVC PIPE SHALL BE MARKED USING DETECTABLE UNDERGROUND UTILITY MARKER TAPE TAPE SHALL BE A MINIMUM OF 5 MILS THICK AND 3 INCHES IN WIDTH. MINIMUM TENSILE STRENGTH SHALL BE 36 POUNDS AND TAPE SHALL ELONGATE NOT LESS THAN 60 PERCENT BEFORE BREAKING. TAPE SHALL BE PERMANENTLY IMPRINTED WITH AN APPROPRIATE LEGEND TO IDENTIFY THE CONTENTS OF THE PIPE.
5. ALL PVC PIPE INSTALLATIONS REQUIRE THAT METALIZED MARKER TAPE BE BURIED IN THE BACKFILL APPROXIMATELY 12 INCHES ABOVE THE PIPE. THE TAPE SHALL BE ATTACHED TO FITTINGS, VALVES, HYDRANTS, ETC. TO PROVIDE A LOCATION ABOVE GROUND TO TRANSMIT THE SIGNAL TO THE TAPE WITHOUT HAVING TO DIG DOWN TO THE PIPE.
6. WATER MAINS UNDER 4" SHALL CONFORM TO THE REQUIREMENTS OF ASTM D2241. PIPE SHALL HAVE A MINIMUM PRESSURE RATING OF 200 PSI, SDR 21 OR HEAVIER. WATER MAINS 4"-12" SHALL CONFORM TO THE REQUIREMENTS OF AWWA C900, SDR 18 OR HEAVIER.
7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
8. ALL O.S.H.A. CONSTRUCTION REQUIREMENTS SHALL BE STRICTLY ADHERED TO.
9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER TRAFFIC CONTROL FOR PUBLIC SAFETY ADJACENT TO THE CONSTRUCTION SITE.
10. THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN BARRICADES, WARNING SIGNS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES IN CONFORMITY WITH THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION.
11. THE GAS SERVICE SHALL BE INSTALLED TO THE METER BY THE LOCAL GAS UTILITY. REFER TO THE MECHANICAL/PLUMBING PLANS FOR THE METER LOCATION.

UTILITY PLAN LEGEND			
EXISTING		PROPOSED	
	GAS		G
	WATER		W
	OVERHEAD POWER		OHP
	UNDERGROUND ELECTRIC		UGE
	FORCE MAIN		FM
	THRUST BLOCK		▲
	FIRE HYDRANT ASSEMBLY		⊕
	GRINDER PUMP		●
	VALVE		⋈
	SANITARY SEWER STUB		S
	WATER METER		W
	CLEAN OUT		● C.O.

REVISION

NO. 1 ADDED SIDEWAYS

DATE

SYN21

S.E. Civil
Engineering
& Surveying
189 Hickmuth Blvd., Ste 217
Fairhope, AL 36532
(251) 966-6060

AS-BUILT
UTILITY PLAN

Windmill Professional Park
Windmill Road
Fairhope, Alabama

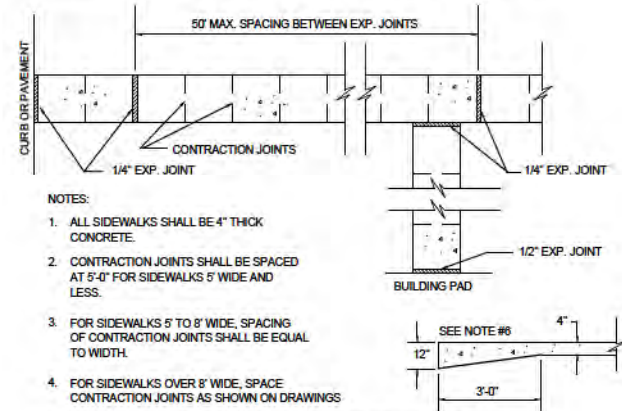
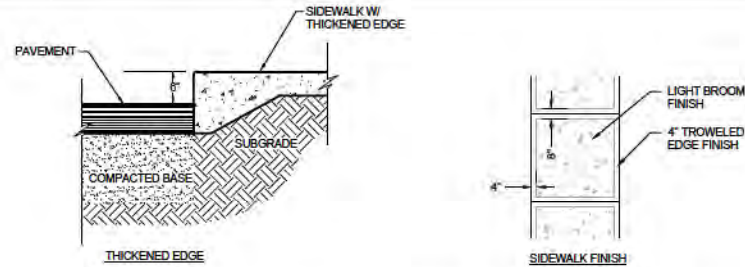
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20200708

DATE
5/28/21

DRAWN
T.L.S.

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1"=20'

SHEET
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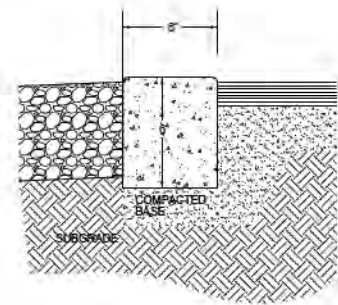


NOTES:

1. ALL SIDEWALKS SHALL BE 4" THICK CONCRETE.
2. CONTRACTION JOINTS SHALL BE SPACED AT 5'-0" FOR SIDEWALKS 5' WIDE AND LESS.
3. FOR SIDEWALKS 5' TO 8' WIDE, SPACING OF CONTRACTION JOINTS SHALL BE EQUAL TO WIDTH.
4. FOR SIDEWALKS OVER 8' WIDE, SPACE CONTRACTION JOINTS AS SHOWN ON DRAWINGS.
5. CONTRACTION JOINTS SHALL BE 1" DEEP AND EDGED WITH 1/8" RADIUS.
6. FOR SIDEWALKS 10' OR GREATER OR WHEN SIDEWALKS ABUT PARKING WHERE THERE IS NOT A CURB, THICKEN WALK TO 12" IN 3'.
7. PROVIDE 1/2" EXPANSION MATERIAL WHERE SIDEWALK ABUTS CONCRETE STRUCTURE.
8. A LAYER OF #15 FELT IS REQUIRED BETWEEN WALK AND ADJACENT PARALLEL CONCRETE CURB.
9. WWF SHALL BE UTILIZED TO REINFORCE THE SIDEWALKS.

TYPICAL SIDEWALK DETAIL

SCALE: NTS

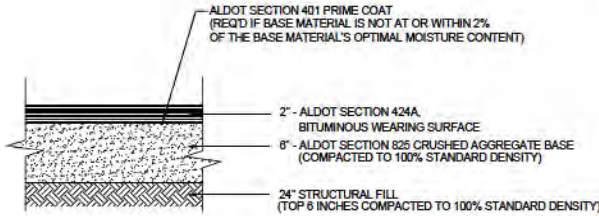


NOTE:

1. PROVIDE #6 X 18" LONG, SMOOTH DOWELS AT ALL EXPANSION JOINTS.
2. 3/4" EXPANSION JOINTS WITH BITUMINOUS SEALANT AT 100 FEET INTERVALS AND AT ALL RADII AND AT DRAINAGE STRUCTURES.
3. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
4. LIGHT BROOM FINISH ON ALL SURFACES, ALL RADII TO BE TRUE ARCS.
5. PROVIDE (2) #4 BARS, 10' LONG, CENTERED OVER ALL TRENCH CROSSINGS.
6. PROVIDE (2) #6 X 2.5' LONG BARS TO CONNECT EXISTING AND NEW CURBS.
7. GUTTER SHALL PITCH AS REQUIRED TO CONVEY DRAINAGE.

RIBBON CURB DETAIL

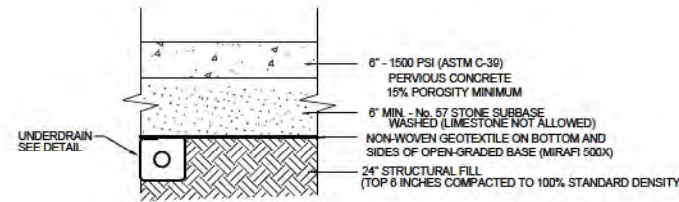
SCALE: NTS



NOTE: PAVING SECTION / DESIGN PROVIDED BY GEOCON ENGINEERING & MATERIALS TESTING, INC. S.E. CIVIL EXPRESSES NO WARRANTY FOR THE USE OF THIS PAVING SECTION. ALL ASPHALT MATERIAL AND PAVING OPERATIONS SHOULD MEET APPLICABLE SPECIFICATIONS OF THE ASPHALT INSTITUTE AND ALABAMA DEPARTMENT OF TRANSPORTATION. REFER TO THE GEOTECHNICAL REPORT FOR FURTHER INFORMATION.

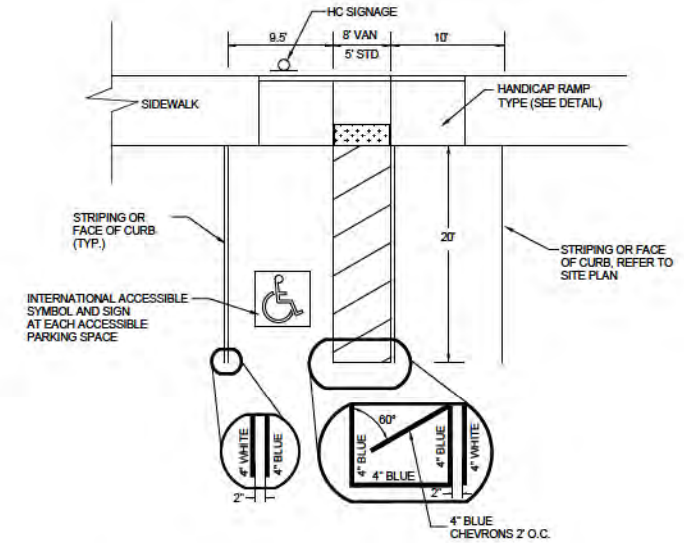
ASPHALTIC CEMENT PAVEMENT DETAIL

SCALE: NTS



PERVIOUS CONCRETE DETAIL

SCALE: NTS

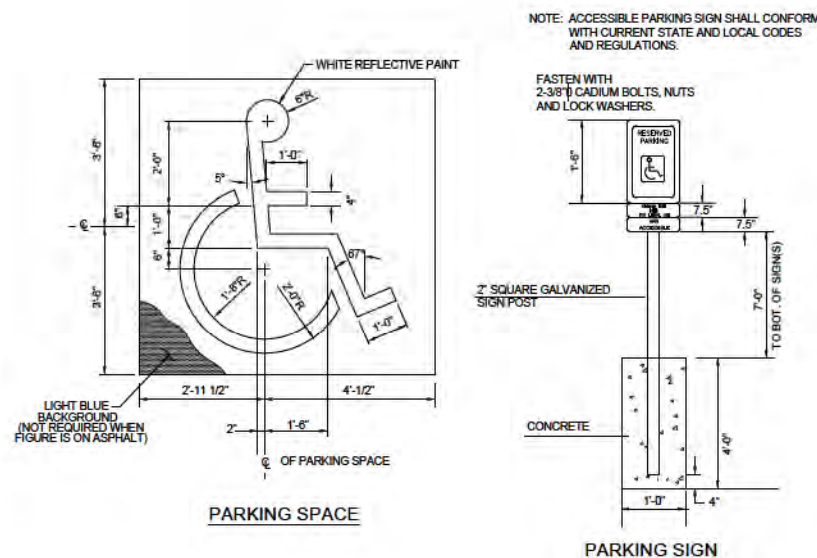


NOTES:

1. DIMENSIONS ARE TO THE CENTERLINE OF MARKINGS.
2. CRITERIA FOR PAVEMENT MARKINGS ONLY, NOT PUBLIC SIDEWALK CURB RAMP LOCATIONS. FOR RAMP LOCATIONS REFER TO PLANS.
3. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595A.
4. DIAGONAL OR PERPENDICULAR PARKING SPACES SHALL BE A MINIMUM OF NINE (9) FEET WIDE MEASURED FROM CENTER TO CENTER OF THE BLUE DEMARCATION LINES.

HANDICAP PARKING DETAIL

SCALE: NTS

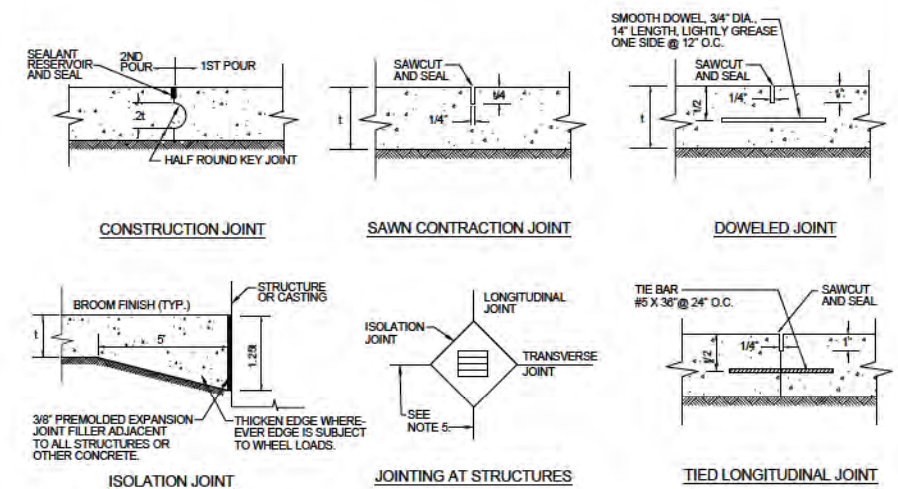


PARKING SPACE

PARKING SIGN

HANDICAP SIGNAGE DETAIL

SCALE: NTS



NOTE:

1. CONSTRUCTION JOINTS ARE REQUIRED BETWEEN ALL POURS SEPARATED BY MORE THAN 30 MINUTES TIME.
2. PLACE LONGITUDINAL CONTRACTION JOINT AT CENTERLINE OF ROADWAYS WHEN PAVEMENT IS WIDER THAN 12'.
3. TEN FEET (10') SPACING BETWEEN CONTRACTION JOINTS OR AS SHOWN ON PLANS.
4. FILL JOINTS TO WITHIN 1/8" OF SURFACE WITH A SELF-LEVELING JOINT SEALANT.
5. WHEN A JOINT FALLS WITHIN 5' OF A MANHOLE, LIGHT POLE BASE, OR OTHER STRUCTURE, SHORTEN ONE OR MORE PANELS ON EITHER SIDE OF STRUCTURE TO ALLOW CONTROL JOINTS TO FALL AT STRUCTURE.
6. CONCRETE PAVEMENTS SHALL BE CONSTRUCTED, JOINTED, REINFORCED, AND FINISHED TO MEET ACI 300 AND PORTLAND CEMENT ASSOCIATION (PCA) GUIDELINES.

CONCRETE PAVEMENT JOINTS DETAILS

SCALE: NTS

S.E. Civil
Engineering & Surveying
1800 Highway 100, Suite 200
Fayetteville, AL 36824
256-846-0000

AS-BUILT
CONSTRUCTION DETAILS

Windmill Professional Park
Windmill Road
Tuscaloosa, Alabama



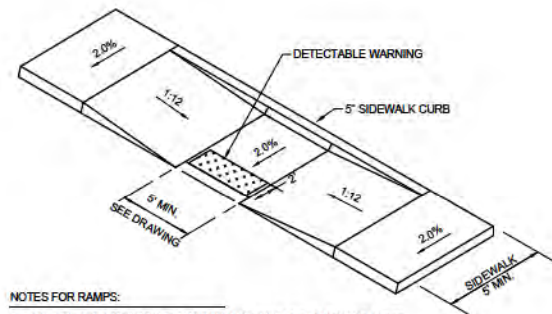
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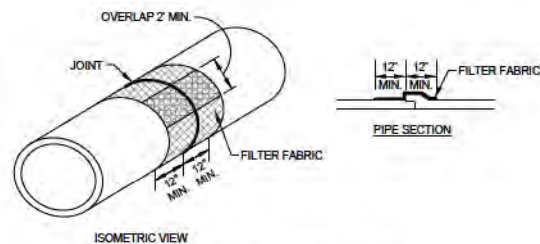




- NOTES FOR RAMPS:
1. CONCRETE TO BE FINISHED WITH TAMPS, WOOD FLOATS AND STIFF BRISTLE BROOMS.
 2. 1/2" EXPANSION JOINTS SHALL BE PLACED WHERE SIDEWALKS TIE IN TO A STRUCTURE OR TERMINATE AT CURB, RAMPS OR DRIVEWAYS.
 3. DETECTABLE WARNING MATS TO BE PLACED PER ADA REQUIREMENTS.

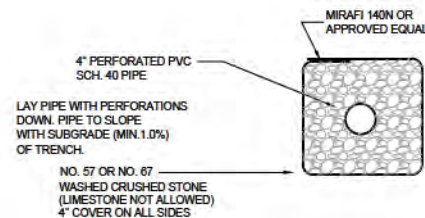
HANDICAP RAMP DETAIL

SCALE: NTS



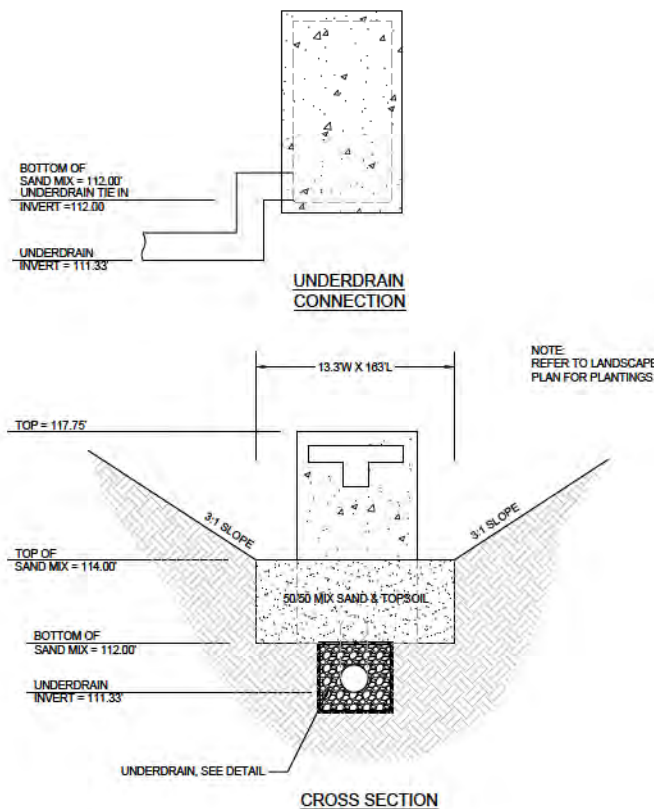
STORM PIPE JACKET

SCALE: NTS



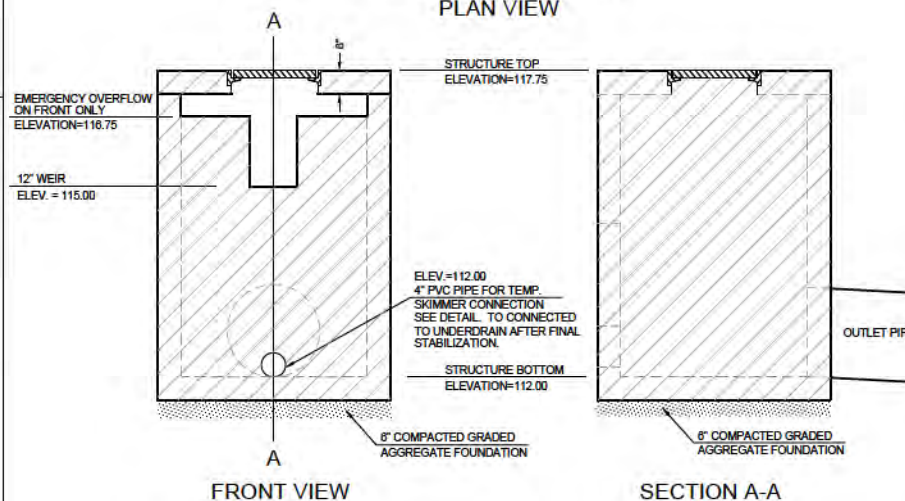
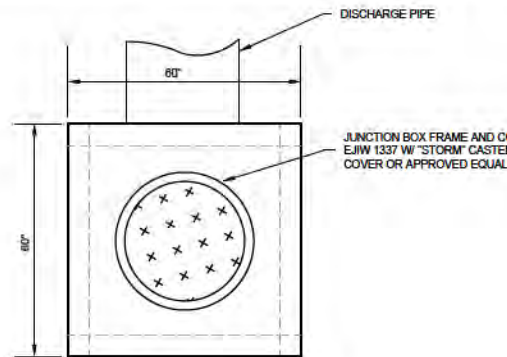
UNDERDRAIN DETAIL

SCALE: NTS



SAND FILTER DETAIL

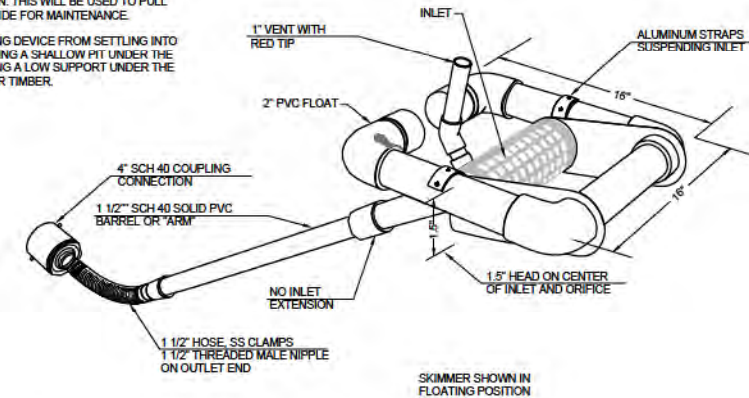
SCALE: NTS



OUTLET CONTROL STRUCTURE (A2) DETAIL

SCALE: NTS

SKIMMER NOTES:
ASSEMBLE THE SKIMMER FOLLOWING THE MANUFACTURER'S INSTRUCTIONS
LAY THE ASSEMBLED SKIMMER ON THE BOTTOM OF THE BASIN WITH THE FLEXIBLE JOINT CONNECTED WATER TIGHT AT THE BASE OF THE RISER PIPE. BE SURE TO ATTACH A ROPE TO THE SKIMMER AND ANCHOR IT TO THE SIDE OF THE BASIN. THIS WILL BE USED TO PULL THE SKIMMER TO THE SIDE FOR MAINTENANCE.
PREVENT THE SKIMMING DEVICE FROM SETTLING INTO THE MUD BY EXCAVATING A SHALLOW PIT UNDER THE SKIMMER OR PROVIDING A LOW SUPPORT UNDER THE SKIMMER OF STONE OR TIMBER.

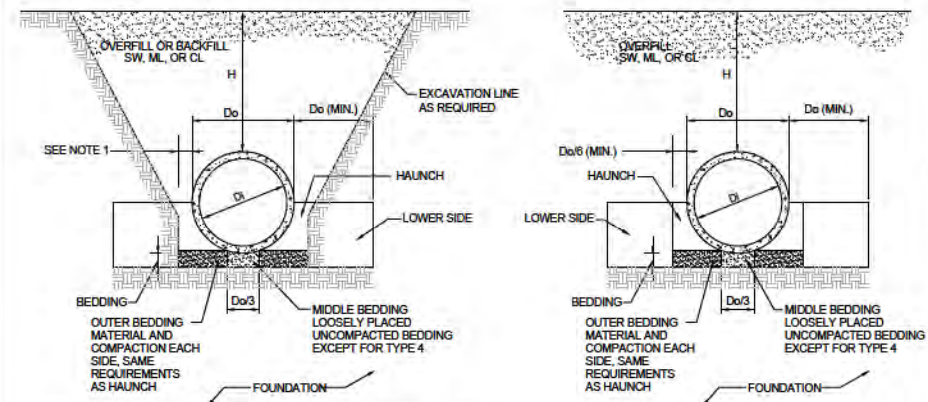


1. SKIMMER TO BE ATTACHED TO PROPOSED OUTLET CONTROL STRUCTURE WITH A 4" SCH 40 PIPE THROUGH THE BOTTOM OF THE STRUCTURE.
2. DIMENSIONS ARE APPROXIMATE, NOT INTENDED AS PLANS FOR CONSTRUCTION.
3. BARREL (SOLID, NOT FOAM CORE PIPE) SHOULD BE 1.4 TIMES THE DEPTH OF WATER WITH A MIN. LENGTH OF 8 FEET SO THE INLET CAN BE PULLED TO THE SIDE FOR MAINTENANCE. SKIMMER IS MADE FOR SMALL SEDIMENT TRAPS WITH A MAXIMUM DEPTH OF 4'.
4. INLET TAPERS DOWN FROM 2.5" MAX. INLET TO A 1 1/2" BARREL AND HOSE. BARREL IS SMALLER TO REDUCE BUOYANCY AND TENDENCY TO LIFT INLET BUT IS SUFFICIENT FOR FLOW THROUGH INLET BECAUSE OF SLOPE. THE INLET ORIFICE CAN BE REDUCED USING THE PLUG AND CUTTER PROVIDED TO CONTROL OUTFLOW RATE.
5. INLET IS 3" PIPE BETWEEN THE STRAPS WITH ALUMINUM SCREEN DOOR ACCESS TO THE 1.5" INLET AND ORIFICE INSIDE.
6. CAPACITY IS 1,728 CUBIC FEET PER DAY MAXIMUM WITH A 1.5" INLET AND 1.5" OF HEAD. INLET CAN BE REDUCED BY INSTALLING A SMALLER ORIFICE USING THE PLUG AND CUTTER PROVIDED TO ADJUST FLOW RATE FOR THE PARTICULAR BASIN VOLUME AND DRAWDOWN TIME REQUIRED.
7. SHIPPED ASSEMBLED. USER GLUES INLET EXTENSION AND BARREL, INSTALLS VENT, CUTS ORIFICE IN PLUG AND ATTACHES TO OUTLET PIPE OR STRUCTURE. INCLUDES FLEXIBLE HOSE, ROPE, ORIFICE CUTTER, ETC. DOES NOT INCLUDE 1 1/2" SCH 40 SOLID PVC BARREL OR 'ARM'.
8. THE PLUG IS NOT REQUIRED. DESIGN ORIFICE SIZE IS 1.5".

BASIS OF DESIGN
J.W. FAIRCLOTH & SON, INC.
WWW.FAIRCLOTHSKIMMER.COM
P.O. BOX 757
HILLSBOROUGH, NC 27278
919-732-1244

1.5" SKIMMER DETAIL

SCALE: NTS



NOTE 1: CLEARANCE BETWEEN PIPE AND TRENCH WALL SHALL BE ADEQUATE TO ENABLE SPECIFIED COMPACTION BUT NOT LESS THAN Do/8

TRENCH INSTALLATION

EMBANKMENT INSTALLATION

INSTALLATION TYPE	BEDDING THICKNESS	HAUNCH AND OUTER BEDDING	EMBANKMENT INSTALLATION LOWER SIDE	TRENCH INSTALLATION LOWER SIDE
TYPE 1	Do/24 MINIMUM; NOT LESS THAN 3". IF ROCK FOUNDATION, USE Do/12 MINIMUM; NOT LESS THAN 6".	95% CATEGORY I	90% CATEGORY I, 95% CATEGORY II, OR 100% CATEGORY III	UNDISTURBED NATURAL SOIL WITH FIRMNESS EQUIVALENT TO THE FOLLOWING PLACED SOILS: 90% CATEGORY I, 95% CATEGORY II, 100% CATEGORY III, OR EMBANKMENT TO THE SAME REQUIREMENTS.
TYPE 2	Do/24 MINIMUM; NOT LESS THAN 3". IF ROCK FOUNDATION, USE Do/12 MINIMUM; NOT LESS THAN 6".	90% CATEGORY I, OR 95% CATEGORY II	85% CATEGORY I, 90% CATEGORY II, OR 95% CATEGORY III	UNDISTURBED NATURAL SOIL WITH FIRMNESS EQUIVALENT TO THE FOLLOWING PLACED SOILS: 85% CATEGORY I, 90% CATEGORY II, 95% CATEGORY III, OR EMBANKMENT TO THE SAME REQUIREMENTS.
TYPE 3	Do/24 MINIMUM; NOT LESS THAN 3". IF ROCK FOUNDATION, USE Do/12 MINIMUM; NOT LESS THAN 6".	85% CATEGORY I, 90% CATEGORY II, OR 95% CATEGORY III	85% CATEGORY I, 90% CATEGORY II, OR 95% CATEGORY III	UNDISTURBED NATURAL SOIL WITH FIRMNESS EQUIVALENT TO THE FOLLOWING PLACED SOILS: 85% CATEGORY I, 90% CATEGORY II, 95% CATEGORY III, OR EMBANKMENT TO THE SAME REQUIREMENTS.
TYPE 4	NO BEDDING REQUIRED, EXCEPT IF ROCK FOUNDATION, USE Do/12 MINIMUM, NOT LESS THAN 6".	NO COMPACTION REQUIRED EXCEPT IF CATEGORY III, USE 85% CATEGORY III	NO COMPACTION REQUIRED EXCEPT IF CATEGORY III, USE 85% CATEGORY III	NO COMPACTION REQUIRED EXCEPT IF CATEGORY III, USE 85% CATEGORY III

RCP STORM PIPE BEDDING DETAIL

SCALE: NTS

MATERIAL	RATE PER ACRE & (PER 1000 SF)	NOTES
STRAW WITH SEED	1 1/2 - 2 TONS (70 LBS-90 LBS)	SPREAD BY HAND OR MACHINE; ANCHOR WHEN SUBJECT TO BLOWING
STRAW ALONE (NO SEED)	2 1/2 - 3 TONS (115 LBS-180 LBS)	SPREAD BY HAND OR MACHINE; ANCHOR WHEN SUBJECT TO BLOWING
WOOD CHIPS	5-8 TONS (225 LBS-270 LBS)	TREAT WITH 12 LBS NITROGEN/TON
BARK	35 CUBIC YARDS (0.8 CUBIC YARDS)	CAN APPLY WITH MULCH BLOWER
PINE STRAW	1-2 TONS (45 LBS-90 LBS)	SPREAD BY HAND OR MACHINE; WILL NOT BLOW LIKE STRAW
PEANUT HULLS	10-20 TONS (450 LBS-900 LBS)	WILL WASH OFF SLOPES. TREAT WITH 12 LBS NITROGEN/TON

MU

MULCHING

SCALE: NTS

SPECIES	SEEDING RATE/ACRE	NORTH	CENTRAL SEEDING DATES	SOUTH
MILLET, BROWNTOP OR GERMAN	40 LBS	MAY 1-AUG 1	APR 1-AUG 15	APR 1-AUG 15
RYE	3 BU	SEPT 1-NOV 15	SEPT 15-NOV 15	SEPT 15-NOV 15
RYEGRASS	30 LBS	AUG 1-SEPT 15	SEPT 1-OCT 15	SEPT 1-OCT15
SORGHUM-SUDAN HYBRIDS	40 LBS	MAY 1-AUG 1	APR 15-AUG 1	APR 1-AUG 15
SUDANGRASS	40 LBS	MAY 1-AUG 1	APR 1-AUG 1	APR 1-AUG 15
WHEAT	3 BU	SEPT 1-NOV 1	SEPT 15-NOV 15	SEPT 15-NOV15
COMMON BERMUDAGRASS	10 LBS	APR 1-JULY 1	MAR 15-JULY 15	MAR 1-JULY 15
CRIMSON CLOVER	10 LBS	SEPT 1-NOV 1	SEPT 1-NOV 1	SEPT 1-NOV 1

LIME RATE:
1 TON PER ACRE ON COARSE TEXTURED SOILS
3 TONS PER ACRE ON FINE TEXTURED SOILS

FERTILIZER RATE:
APPLY 9-24-24 FERTILIZER PER MANUFACTURER'S RECOMMENDATIONS
WHEN VEGETATION HAS EMERGED TO A STAND AND IS GROWING, FERTILIZE WITH 30 TO 40 LBS/ACRE OF 28-0-0

MULCH RATE:
PER MULCHING DETAIL

TS

TEMPORARY SEEDING

SCALE: NTS

ZONE 3 - AREAS NOT SUBJECT TO FREQUENT MOWING				
REQUIRED POUNDS PER ACRE OF PURE LIVE SEED				
DATE OF PLANTING	JAN. 1 TO FEB. 15	FEB. 16 TO AUG. 31	SEPT. 1 TO NOV. 30	DEC. 1 TO DEC. 31
ANNUAL RYEGRASS	10		10	10
HULLED BERMUDAGRASS		12	12	
UNHULLED BERMUDAGRASS	29	18	12	29
TALL FESCUE	29		35	29
WEEPING LOVEGRASS		2	2	
ANNUAL LESPEDEZA (KOBE)		50		
RESEEDING CRIMSON CLOVER	29		29	29
PENSACOLA BAHIAGRASS	29	24	29	29
REQUIRED PERMANENT PLANT	MIXED			

LIME RATE:
1 TON PER ACRE ON LIGHT-TEXTURED, SANDY SOILS (IF THE COVER WILL BE TALL FESCUE AND CLOVER USE 2 TONS/ACRE.)
2 TONS PER ACRE ON HEAVY-TEXTURED, CLAYEY SOILS

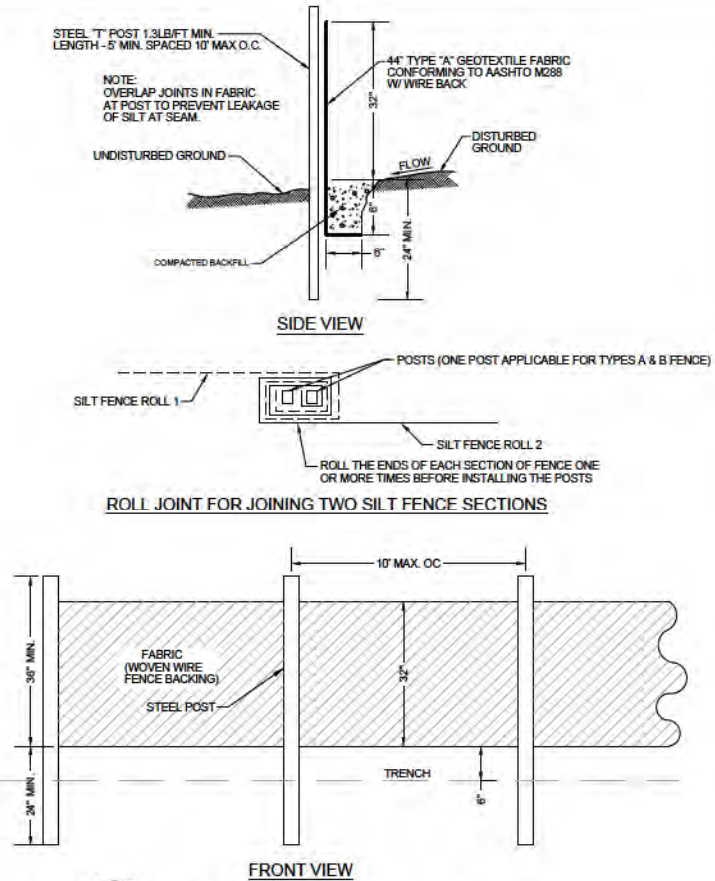
FERTILIZER RATE:
GRASSES ALONE: 400 LB/ACRE OF 8-24-24
WHEN VEGETATION HAS EMERGED TO A STAND AND IS GROWING, FERTILIZE WITH 30 TO 40 LBS/ACRE OF 28-0-0
GRASS/LEGUME MIXTURES: 800 TO 1200 LB/ACRE OF 5-10-10 OR THE EQUIVALENT
LEGUMES ALONE: 800 TO 1200 LB/ACRE OF 0-10-10 OR THE EQUIVALENT

MULCH RATE:
PER MULCHING DETAIL

PS

PERMANENT SEEDING

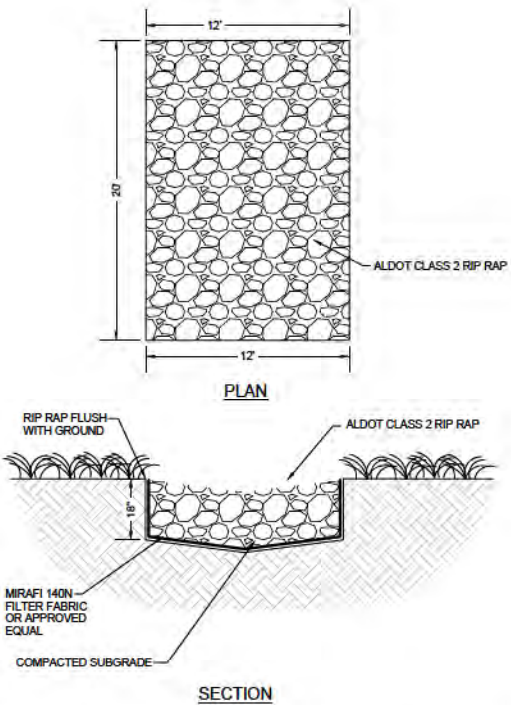
SCALE: NTS



SB

SILT BARRIER TYPE "A"

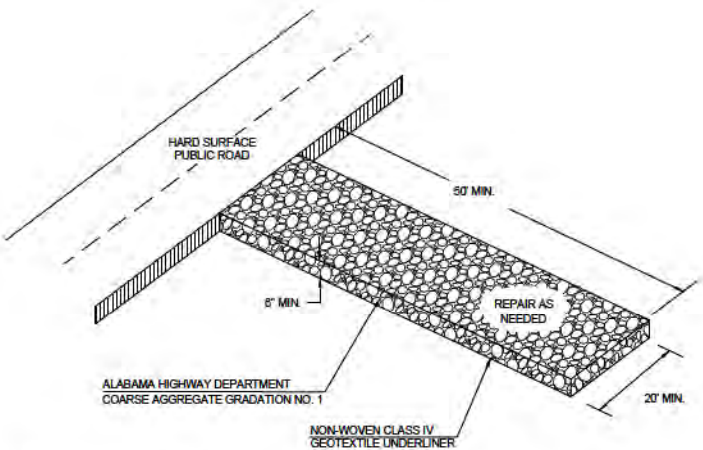
SCALE: NTS



OP

OUTLET PROTECTION (RIP RAP)

SCALE: NTS



CEP

CONSTRUCTION EXIT PAD

SCALE: NTS



REVISION

DATE

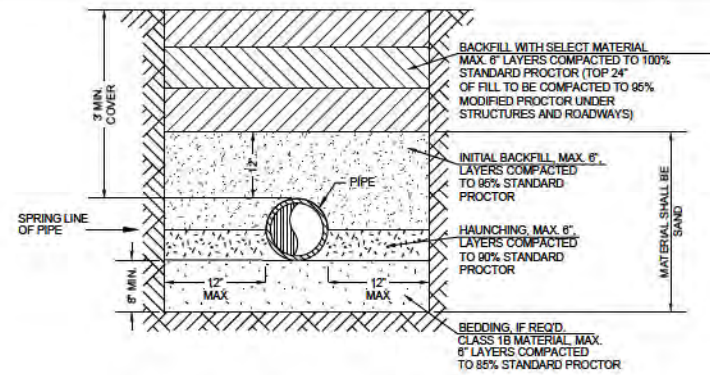
S.E. Civil Engineering & Surveying
389 Hickman Blvd, Ste 217
Fayetteville, AR 72703
253.979.6666

AS-BUILT
CONSTRUCTION DETAILS

Windmill Professional Park
Windmill Road
Fayetteville, Arkansas

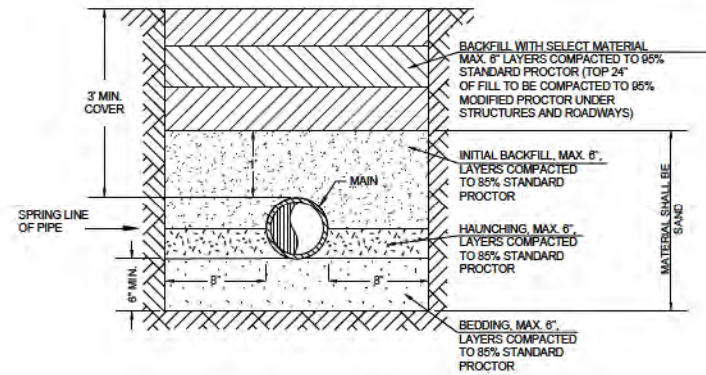
ALABAMA
LICENSED PROFESSIONAL ENGINEER
EXPIRATION DATE 12/31/2021
HOMER L. LARRIMORE
15100

JOB No.
20200768
DATE
5/28/21
DRAWN
T.L.S.
SCALE
N.T.S.
SHEET
C07



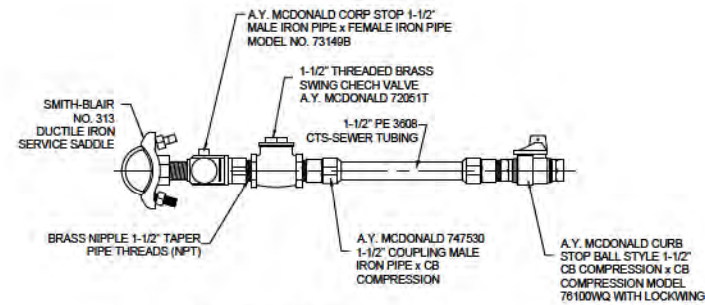
PVC WATER BEDDING

SCALE: NTS



SANITARY SEWER BEDDING

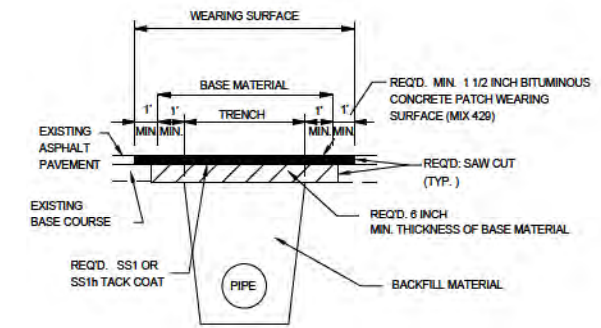
SCALE: NTS



NOTE: LOW PRESSURE SEWER SERVICE CURB STOP SHALL BE ENCLOSED WITH A GREEN PLASTIC SEWER METER BOX.

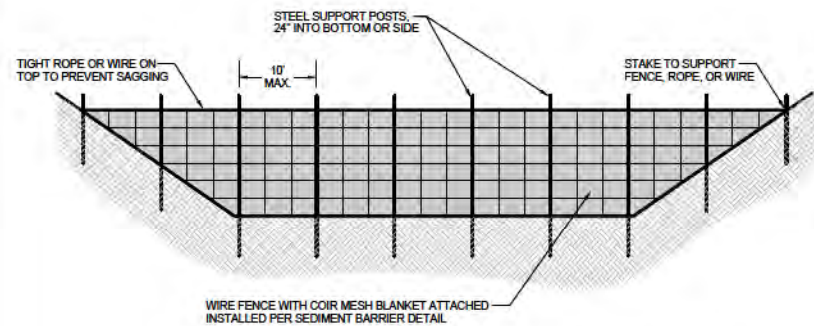
LOW PRESSURE SEWER SERVICE

SCALE: NTS



PAVEMENT PATCH

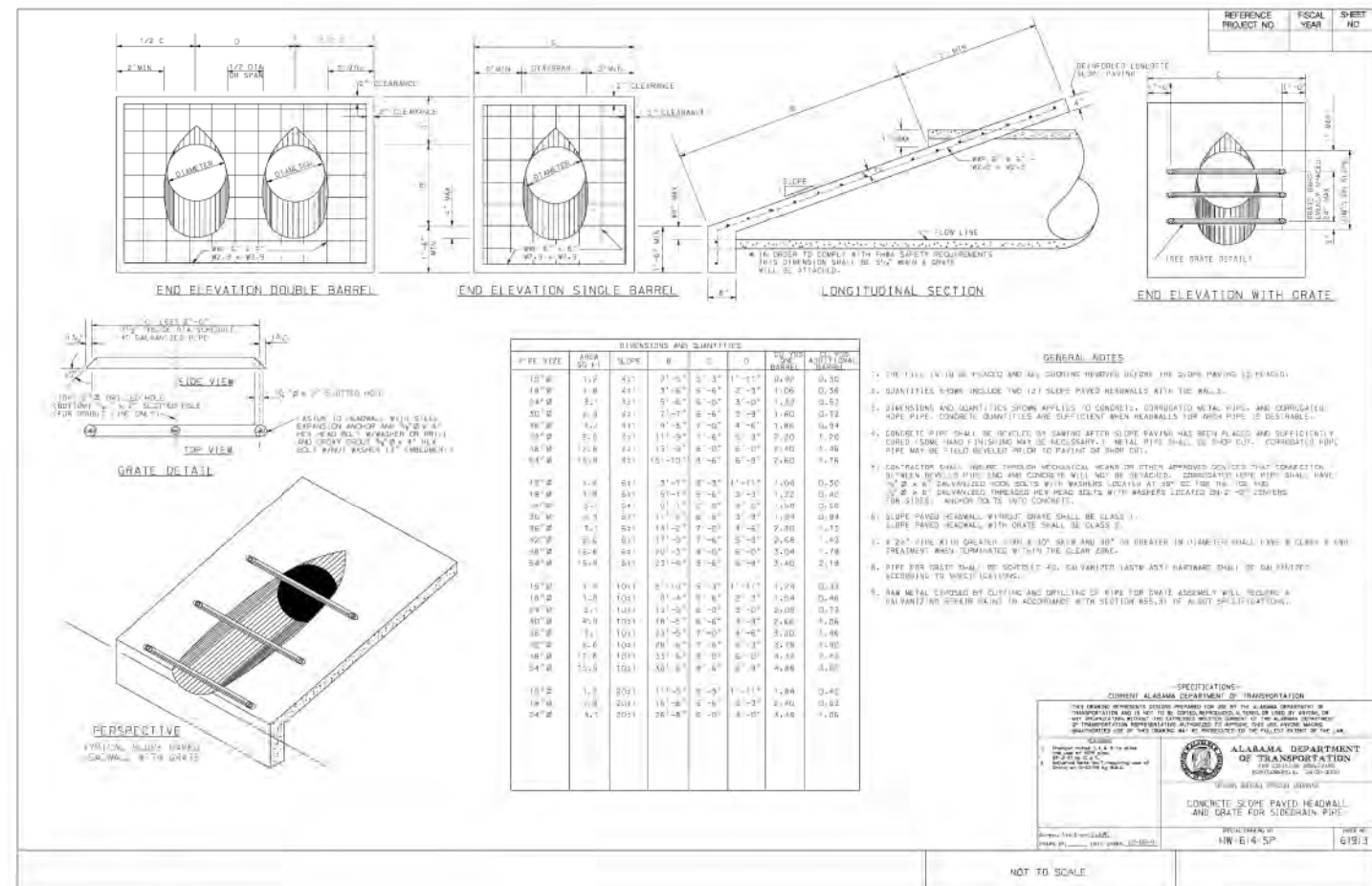
SCALE: NTS



NOTE: INSTALL 3 BAFFLES PER POND, SPACED EQUALLY PERPENDICULAR TO FLOW PATH.

BAFFLE

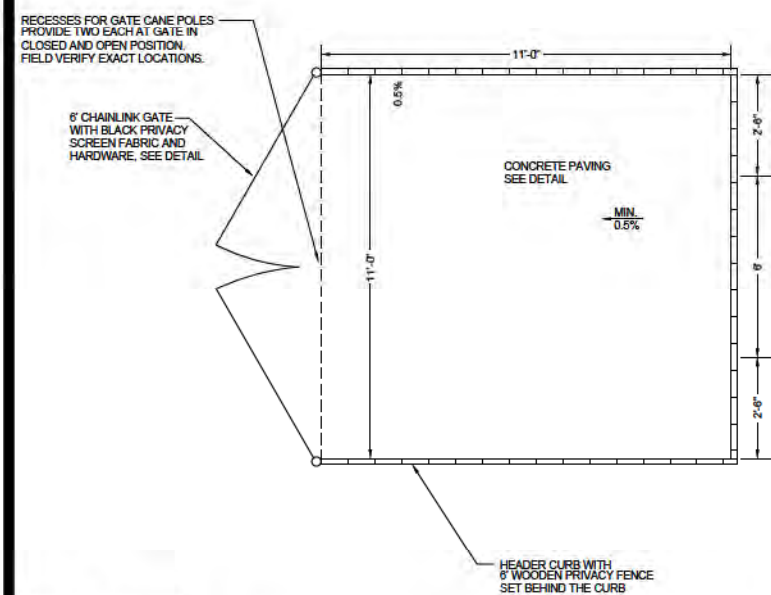
SCALE: NTS



Plan View

Elevation

BBQ PIT
SCALE: NTS



DUMPSTER ENCLOSURE DETAIL

SCALE: NTS

[illegible]

AS-BUILT CONSTRUCTION DETAILS

Windmill Professional Park
Windmill Road
Fairhope, Alabama



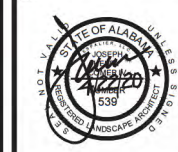
JOB No. 20200788	DATE 5/28/21
DRAWN TJS	SCALE N.T.S.

SHEET
C09



WINDMILL PROFESSIONAL PARK

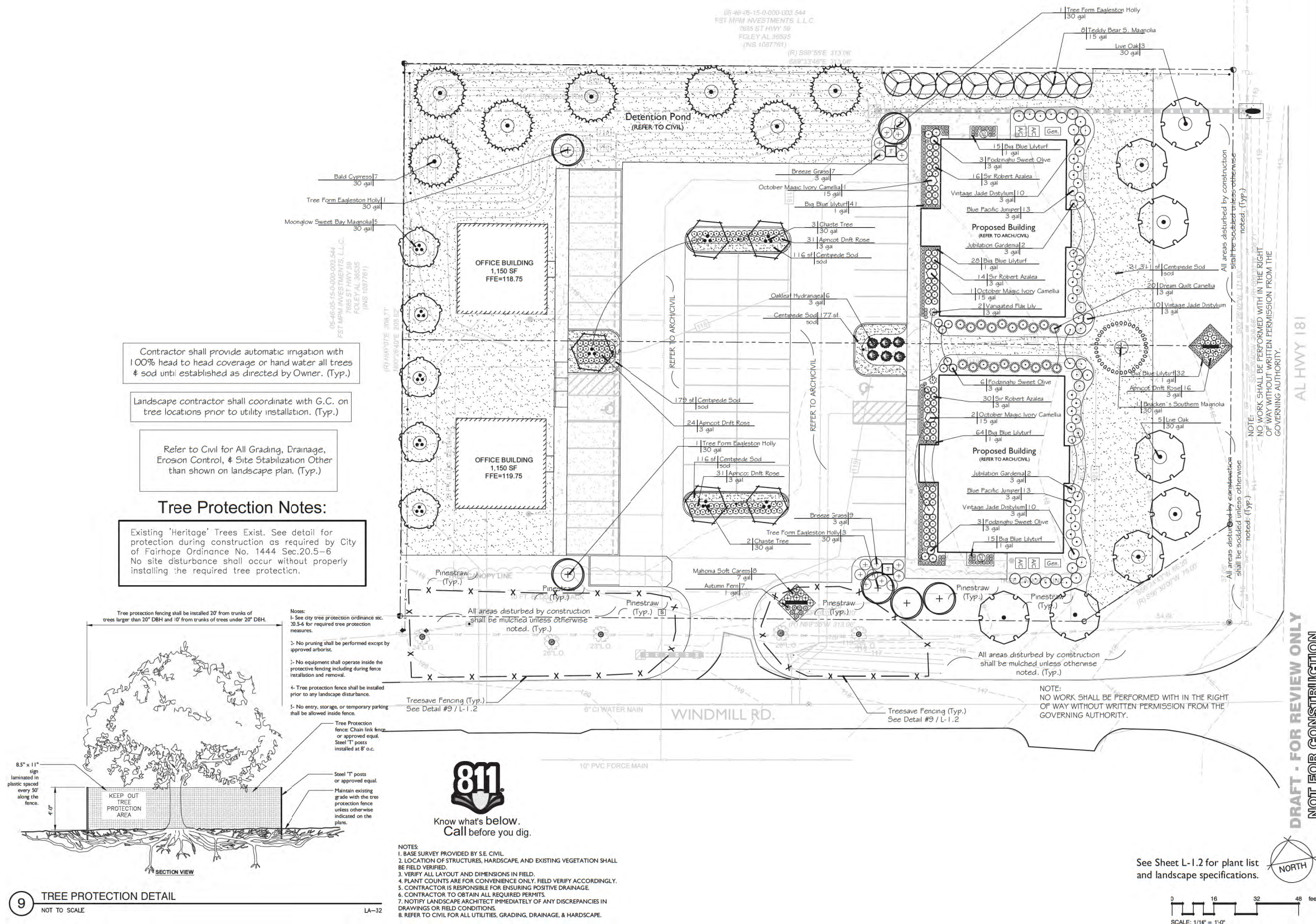
WINDMILL ROAD
FAIRHOPE, AL

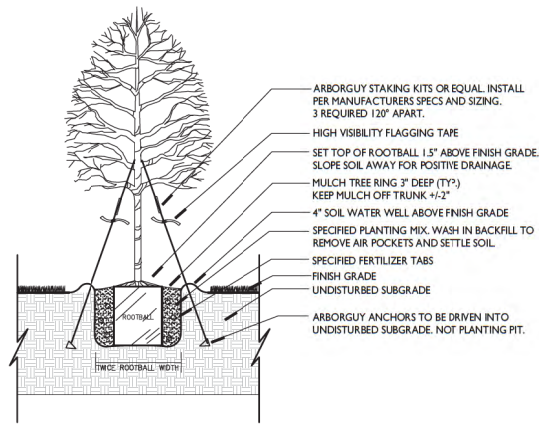


Permitting 10/8/20
Revised 4/22/20

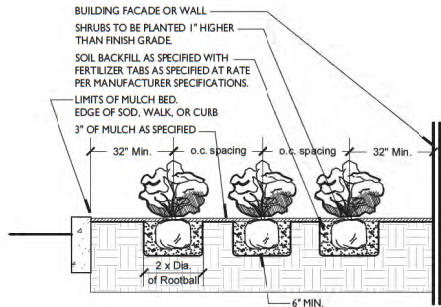
LANDSCAPE
PLAN

DESIGNED BY JC	FILE NAME WINDMILLA
DRAWN BY JC	SHEET
CHECKED BY JC	L-1.1
PROJECT NO. 2049	
DATE 10/6/20	

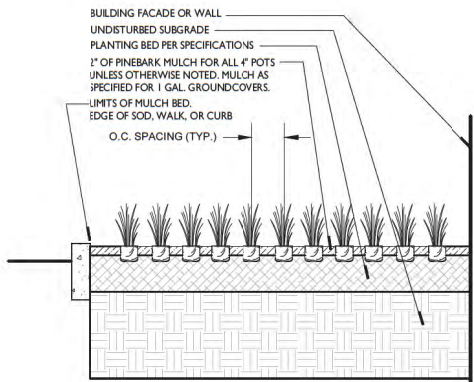




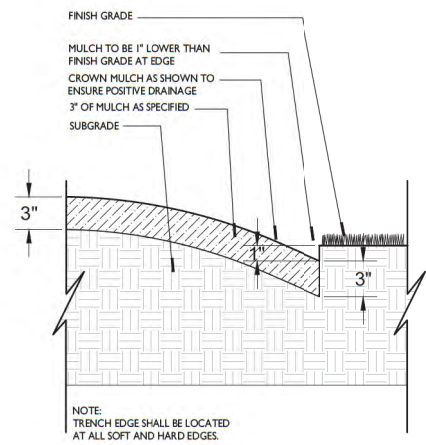
1 TREE PLANTING
N.T.S. LA-01



2 SHRUB PLANTING DETAIL
N.T.S. LA-02



3 GROUNDCOVER PLANTING DETAIL
N.T.S. LA-03



4 TRENCH BED EDGE
N.T.S. LA-04

- LANDSCAPE NOTES:
1. This section covers furnishing and installing all landscape plants and non-plant materials covered by the drawings and these specifications. The work shall include materials, labor, equipment and services as described herein and indicated on the drawings. Also, the work shall include the maintenance of all plants and planting areas until acceptance by the Owner, and fulfillment of all guarantee provisions as herein specified.
 2. Before beginning work, the contractor shall thoroughly acquaint himself with the existing site conditions and proposed plans. The intent is to provide a smooth transition between existing conditions that are to remain and the new site features with minimal damage to existing trees and vegetation.
 3. Contractor is made aware of active existing underground utilities. It is the contractors responsibility to familiarize himself with the location of said utilities and other obstructions. The contractor shall investigate and verify, in the field, the existence and ocation of all utilities and any existing irrigation piping, and take necessary precautions to prevent their disturbance and avoid interruption of service. Contractor is responsible for calling appropriate line location service. All damaged utilities shall be replaced to owners satisfaction by contractor with no additional charge to owner.
 4. Discrepancies between site conditions and conditions on plans shall be call to the attention of the Owner immediately.
 5. Existing grades shall be verified in field prior to beginning any work. Discrepancies shall be brought to the landscape architects attention immediately. Landscape contractor to provide fine grading to ensure positive drainage.
 6. The landscape architect shall have the right to reject any and all work and/or materials at any stage of progress which in his opinion do not meet the requirements of these plans and specifications. Such rejected material shall be removed from the site immediately and replaced with acceptable materials.
 7. Landscape contractor is responsible for obtaining all state and local permits and licenses required to perform this work.
 8. Landscape contractor shall abide by all state and local laws and ordinances. Contractor shall also conform to POA or ARB guidelines if applicable.
 9. All work shall comply with the current edition of the Standard Buidling Code published by the Southern Building Code Congress International, Inc.
 10. Topsoil shall be sandy/loam natural, friable, and fertile with a PH of 5.5 to 6.5. Topsoil shall be free from roots, stones, debris, noxious weeds, or any substance harmful to plant growth. Quality of Topsoil to be approved by Landscape Architect.
 11. Once delivered to the site, the contractor is responsible for the protection, including theft, of all materials.
 12. The landscape plan is to serve as a guide for installation. Field adjustment and changes to layout may be made by Landscape Architect.
 13. Contractor shall layout all plant material per planting plans and schedule a site meeting with landscape architect for approval with a minimum of 48 hours notice.
 14. Quantities shown on plant list are for convenience only.
 15. All groundcover & flower beds shall receive 2" minimum of planting mix consisting of decomposed pinebark or mushroom compost and blended into the top 6" of existing soil. Rake beds smooth and top dress with 2" min. of ground pinebark prior to planting.
 16. All tree and shrub planting pits shall be backfilled with 75% excavated soil & 25% planting mix consisting of decomposed pinebark or mushroom compost.
 17. All trees shrubs and groundcovers shall be planted with Woodace fertilizer tabs at rates per manufactures recommendations. All planting beds shall also be top dressed with a slow release Osmocote fertilizer or equal per manufactures recommendations prior to mulching.
 18. All beds shall receive Freehand pre-emergent herbicide or equal.
 19. Unless otherwise noted, all beds shall receive 3" compacted depth of fresh Long Leaf pine straw free from sticks and pine cones. Groundcover areas with 4" plants or plugs shall be mulched with pulverized pinebark mulch unless otherwise noted.
 20. All bed lines shall have 3" V-Shaped trenches. See detail.
 21. All plant material shall meet or exceed federal, state, and county laws requiring inspection for plant disease and insect control.
 22. All plant material shall be Florida #1 or better and meet the latest standards of the "American Standards for Nursery Stock".
 23. All trees shall be staked with arbor guy (or equal) tree stakes per manufactures recommendations.
 24. All disturbed areas shall be irrigated and sodded.
 25. Contractor shall maintain all plantings and lawn areas until final acceptance by owner and landscape architect. Unless specified otherwise, maintenance includes mowing, edging, weeding, blowing, pruning, watering, mulching, etc.
 26. Brown or defoliated plants shall be removed and replaced immediately.
 27. All materials and workmanship for landscape and irrigation shall be guaranteed for a minimum of one year from final acceptance.
 28. No work shall be performed in any R.O.W. without approval by the appropriate Federal, State, County, or City authority.

6 LANDSCAPE NOTES
NTS LA-16

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS	
	IE	6	Ilex x attenuata 'Eagleston'	Tree Form Eagleston Holly	30 gal	1.5" Cal. Min., 8' Ht. Min., Greenforest Nursery Or Approved Equal	
	MB	1	Magnolia grandiflora 'Brackens Brown Beauty'	Bracken's Southern Magnolia	30 gal	2" Cal. Min., 10' Ht. Min, Specimen	
	MT	8	Magnolia grandiflora 'Teddy Bear'	Teddy Bear S. Magnolia	15 gal	1.5" - 2.5" Cal. Min., Greenforest Nursery Only Or Approved Equal	
	MJ2	5	Magnolia virginiana 'Jim Wilson'	Moonglow Sweet Bay Magnolia	30 gal	1" Cal/Cane Min., 10' Ht. Min, Multic. Trunk, Tree Form	
	QV	8	Quercus virginiana	Live Oak	30 gal	2" Cal. Min., 10' Ht. Min	
	TD	7	Taxodium distichum	Bald Cypress	30 gal	2" Cal. Min., 10' Ht. Min	
	VC	5	Vitex agnus-castus	Chaste Tree	30 gal	Multitrunk, Specimen Greenforest Nursery Only Or Approved Equal.	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	AR2	60	Azalea x 'Sir Robert'	Sir Robert Azalea	3 gal	30" o.c.	
	CD2	20	Camellia sasanqua 'Dream Quilt'	Dream Quilt Camellia	3 gal	48" o.c.	Greens Nursery
	CI	4	Camellia sasanqua 'Ivory'	October Magic Ivory Camellia	15 gal	48" o.c.	Greens Nursery
	DV	2	Daniellia tasmanica 'Variegata'	Variegated Flax Lily	3 gal	36" o.c.	
	D'	30	Distylium 'Vintage Jade'	Vintage Jade Distylium	3 gal	48" o.c.	
	DE	7	Dryopteris erythrosora	Autumn Fern	1 gal	24" o.c.	
	GL2	4	Gardenia jasminoides 'Leone'	Jubilation Gardenia	3 gal	36" o.c.	
	HQ	6	Hydrangea quercifolia	Oakleaf Hydrangea	3 gal	48" o.c.	
	JB	26	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	3 gal	42" o.c.	
	LB2	195	Liriope muscari 'Big Blue'	Big Blue Lilyturf	1 gal	15" o.c.	
	LB	16	Lomandra longifolia 'Breeze'	Breeze Grass	3 gal	48" o.c.	Do not substitute Katrina.
	MS	8	Mahonia eurybracteata 'Soft Caress'	Mahonia Soft Caress	7 gal	30" o.c.	
	OF	12	Osmanthus fragrans 'Fodzinghu'	Fodzinghu Sweet Olive	3 gal	36" o.c.	Waters Nursery
	RA	102	Rosa x 'Meimrrote' TM	Apricot Drift Rose	3 gal	24" o.c.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
	EO	21,899 sf	Eremochloa ophiuroides	Centipede Sod	sod		

- NOTES:
1. MULCH ALL TREE RINGS & SHRUB AREAS WITH LONG LEAF PINESTRAW.
 2. THIS PLANT LIST IS FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY.
 3. STABILIZE ALL AREAS DISTURBED BY CONSTRUCTION AS NOTED.

- APPROVED NURSERIES:
1. GREEN FOREST NURSERY
 2. FLOWERWOOD NURSERY
 3. GREENS NURSERY
 4. CHERRY LAKE NURSERY
 5. POSEY & SON NURSERY
- Other nurseries may ha approved at the discretion of the landscape architect.

CITY OF FAIRHOPE LANDSCAPE REQUIREMENTS:

PERIMETER REQUIREMENTS:

Road Frontage Feet = 171.63'/30' = 6 Trees in First 25' regardless of tree credits.

Remaining Perimeter Feet = 846'/30' = 28 Trees

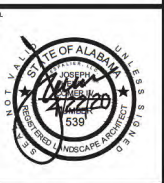
Parking Requirements (1 Tree/12 Spaces) = 42/12 =3

Total Trees Required = 6 Frontage (Overstory) & 28 Perimeter Trees (At Least 50% Overstory)



WINDMILL PROFESSIONAL PARK

WINDMILL ROAD
FAIRHOPE, AL



ISSUED/REVISED
Permitting 10/8/20
Revised 4/22/20

LANDSCAPE DETAILS

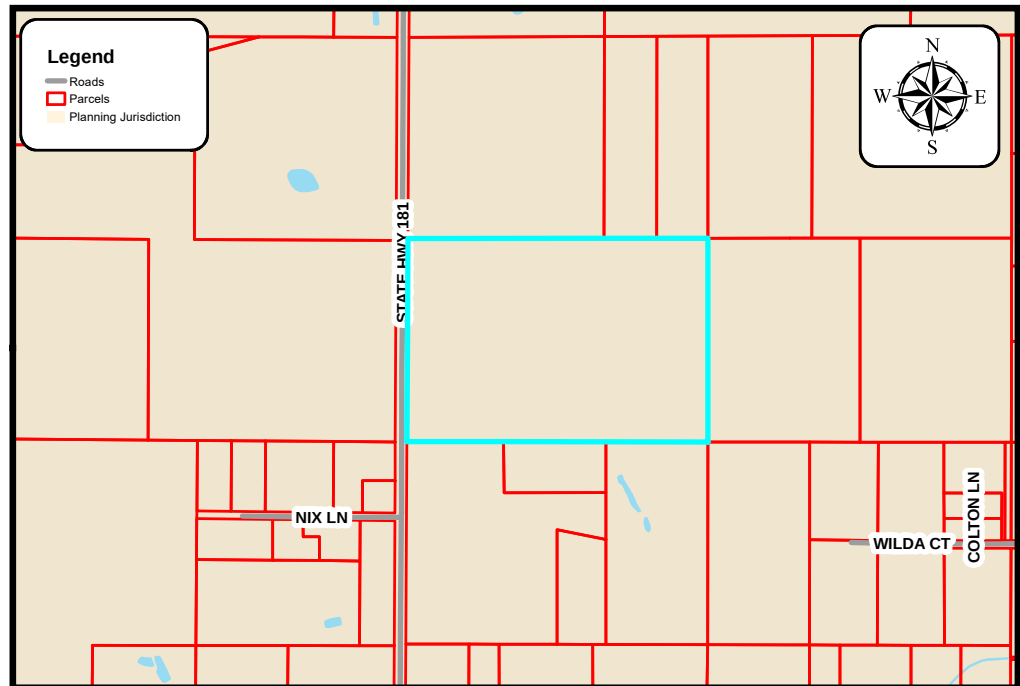
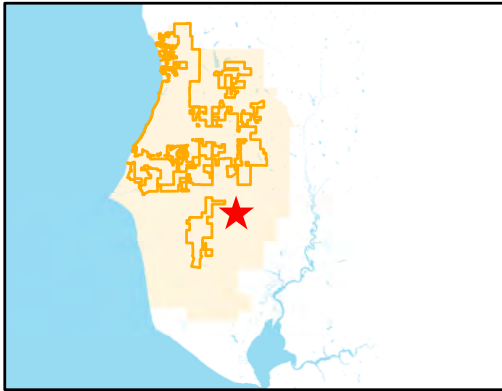
DESIGNED BY	FILE NAME
JC	WINDMILL.LA
DRAWN BY	SHEET
JC	
CHECKED BY	
JC	
PROJECT NO.	
2049	L-1.2
DATE	
10/6/20	

City of Fairhope Planning Commission

November 6, 2023



SD 23.30 Laurelbrooke Phase 2 Final Plat

**Project Name:**

Laurelbrooke Phase 2

Site Data:

59.13 acres

Project Type:

50 - Lot Subdivision Final Plat

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

Baldwin County RSF-2

PPIN Number:

34129

General Location:

North of County Road 24, East side of
State Highway 181

Surveyor of Record:

Dewberry

Engineer of Record:

Dewberry

Owner / Developer:

DR Horton Inc - Birmingham

School District:

Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

Approve With Conditions

Prepared by:

Mike Jeffries





APPLICATION FOR SUBDIVISION PLAT APPROVAL

Application Type: ☐ Village Subdivision ☐ Minor Subdivision ☐ Informal (No Fee)
☐ Preliminary Plat ☒ Final Plat ☐ Multiple Occupancy Project
 Attachments: ☒ Articles of Incorporation or List all associated investors
 Date of Application: 09/26/2023

Property Owner / Leaseholder Information

Name of Property Owner: DR Horton, Inc. - Birmingham Phone Number: _____
 Address of Property Owner: 25336 Profit Dr
 City: Daphne State: AL Zip: 36526

Proposed Subdivision Name: Laurelbrooke Ph. 2
 No. Acres in Plat: _____ No. Lots/Units: 50
 Parcel No: 05-56-01-11-0-001-006.001 Current Zoning: Unzoned BC District 14

Authorized Agent Information

Plat must be signed by the property owner before acceptance by the City of Fairhope

Name of Authorized Agent: Dewberry Phone Number: 251.929.9783
 Address: 25353 Friendship Rd
 City: Daphne State: AL Zip: 36526
 Contact Person: Justin Britt

Surveyor/Engineer Information

Name of Firm: Same as agent Phone Number: _____
 Address: _____
 City: _____ State: _____ Zip: _____
 Contact Person: _____

Plat Fee Calculation:

Reference: Ordinance 1269

Signatures:

I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

DR Horton, Inc. - Birmingham
 Property Owner/Leaseholder Printed Name

08/22/2023
 Date

Taylor Henseler
 Signature

 Fairhope Single Tax Corp. (If Applicable)

Summary of Request:

The owner is DR Horton, Inc. - Birmingham. The engineer and applicant is Dewberry Engineers. This application is for Phase 2, a 50-lot subdivision located on the east side of State Highway 181 and north of County Road 24. The subject property is outside the City of Fairhope municipal limits. The property received a Village Subdivision approval (SD 20.43) on September 10, 2020, and the preliminary plat (SD 20.52) was approved at the February 1, 2021, Planning Commission meeting. A 12-month extension was granted at the January 5, 2023, Planning Commission meeting. Excerpts of the site data table is included below:

<u>SITE DATA</u>	
CURRENT ZONING: UNZONED BC DISTRICT 14	
LIN. FT. STREETS: 1,943 LF	
NUMBER OF LOTS: 50	
SMALLEST LOT: 8,458 SF	
LARGEST LOT: 11,485 SF	
COMMON AREAS: 7.65 AC.	
TOTAL AREA: 20.64 AC.	
DENSITY: 2.42 LOTS/ACRE	
LOT COVERAGE: 40% OF PRINCIPLE STRUCTURE	
25% OF REQUIRED REAR YARD (ACCESSORY STRUCTURES)	
MAX. BLDG. HEIGHT: 30 FEET	
<u>REQUIRED SETBACKS:</u>	<u>UTILITY PROVIDERS</u>
FRONT: 30 FEET	WATER: CITY OF FAIRHOPE
REAR: 30 FEET	SEWER: CITY OF FAIRHOPE
SIDE: 10.5 FEET	GAS: CITY OF FAIRHOPE
STREET SIDE: 20 FEET	ELECTRIC: BALDWIN EMC
(UNLESS OTHERWISE SHOWN)	TELEPHONE: AT&T
*SEE LOT 95 FOR DETAIL	

Comments:

- Phase 1 of Laurelbrooke was approved at the September 7, 2023 Planning Commission Meeting. The plat is currently being circulated for signatures.
- The site is 90% vegetated.
- Invoices provided for:
 - o Street lights

*The City of Fairhope Subdivision Regulations contain the following criteria in Article V.B.2. **Approval Standards.***

"2. Consistency with Plans, Regulations and Laws - The Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:

a. The proposed subdivision is not consistent with the City's Comprehensive Plan, and/or the City's Zoning ordinance, where applicable;

- Not Applicable

b. The proposed subdivision is not consistent with the City's Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;

- Meets

c. The proposed subdivision is not consistent with these Regulations;

- Meets

d. The proposed subdivision is not consistent with other applicable state or federal laws and regulations;

- Meets

e. The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City.”

- Meets

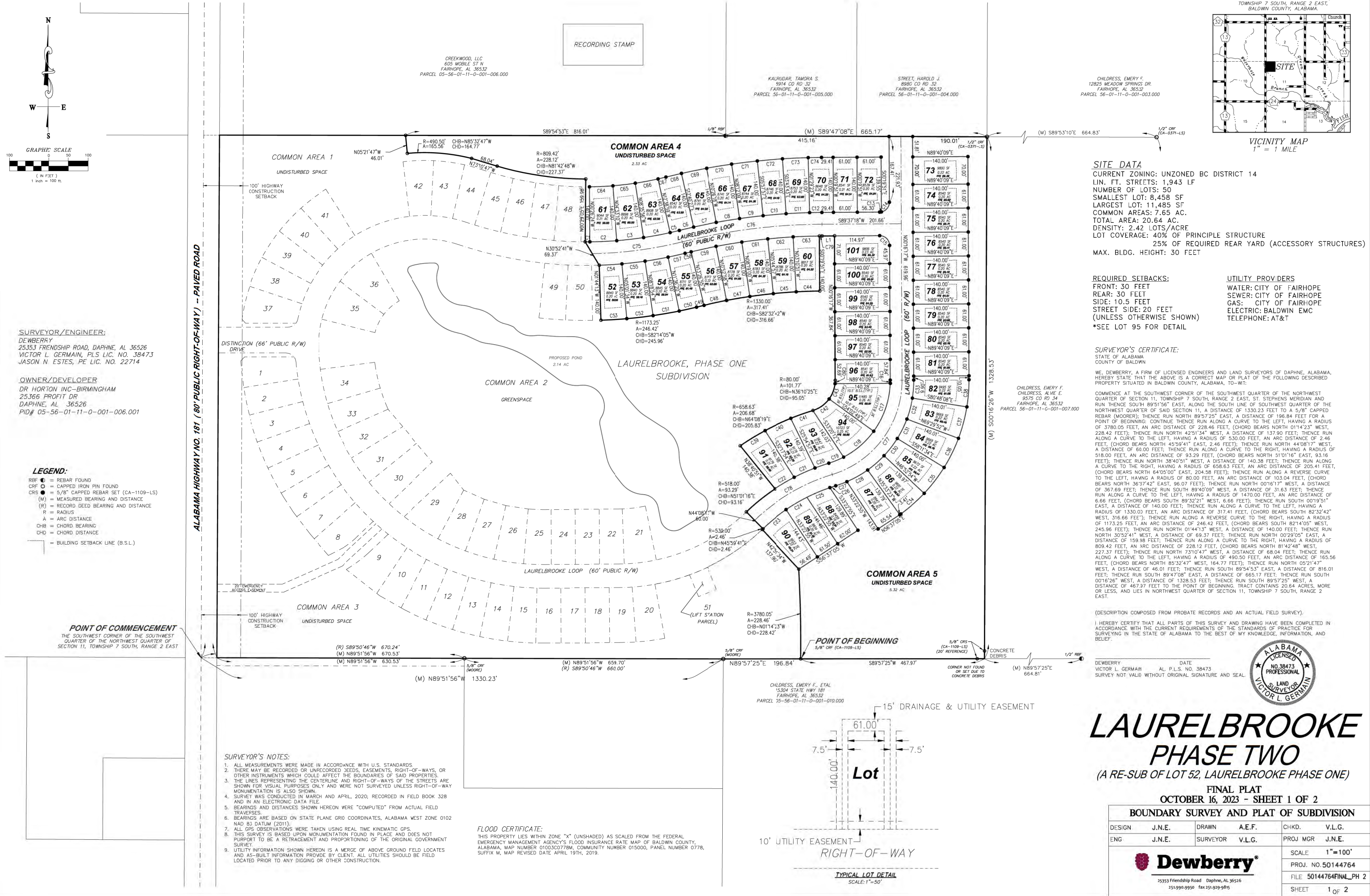
Follow-Up Activities Required by Staff and the Applicant:

- Copy of the recorded plat
- Copy of the recorded O&M Agreement
- Maintenance and Guaranty (M&G) Agreement executed by the developer – this document is not considered fully executed until the Mayor signs said agreement.
 - o Remember to include the instrument # from the recorded plat
 - o Please include 30 days in paragraph 3

Recommendation:

Staff recommends Conditional Approval of SD 23.30 Laurelbrooke, Phase 2 final plat with the following conditions:

1. Completion of the Follow-Up Activities listed above.
2. The Plat for Laurelbrooke Phase 1 is recorded.



SURVEYOR'S NOTES:

- ALL MEASUREMENTS WERE MADE IN ACCORDANCE WITH U.S. STANDARDS.
- THERE MAY BE RECORDED OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
- THE LINES REPRESENTING THE CENTERLINE AND RIGHT-OF-WAYS OF THE STREETS ARE SHOWN FOR VISUAL PURPOSES ONLY AND WERE NOT SURVEYED UNLESS RIGHT-OF-WAY MONUMENTATION IS ALSO SHOWN.
- SURVEY WAS CONDUCTED IN MARCH AND APRIL, 2020; RECORDED IN FIELD BOOK 328 AND IN AN ELECTRONIC DATA FILE.
- BEARINGS AND DISTANCES SHOWN HEREON WERE "COMPUTED" FROM ACTUAL FIELD TRAVERSES.
- BEARINGS ARE BASED ON STATE PLANE GRID COORDINATES, ALABAMA WEST ZONE 0102 NAD 83 DATUM (2011).
- ALL GPS OBSERVATIONS WERE TAKEN USING REAL TIME KINEMATIC GPS.
- THIS SURVEY IS BASED UPON MONUMENTATION FOUND IN PLACE AND DOES NOT PURPORT TO BE A RETRACEMENT AND PROPORTIONING OF THE ORIGINAL GOVERNMENT SURVEY.
- UTILITY INFORMATION SHOWN HEREON IS A MERGE OF ABOVE GROUND FIELD LOCATES AND AS-BUILT INFORMATION PROVIDED BY CLIENT. ALL UTILITIES SHOULD BE FIELD LOCATED PRIOR TO ANY DIGGING OR OTHER CONSTRUCTION.

FLOOD CERTIFICATE:

THIS PROPERTY LIES WITHIN ZONE "X" (UNSHADED) AS SCALED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF BALDWIN COUNTY, ALABAMA, MAP NUMBER 01003C0778M, COMMUNITY NUMBER 015000, PANEL NUMBER 0778, SUFFIX M, MAP REVISED DATE APRIL 19TH, 2019.

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	970.00'	11.83'	N89°54'34"E	11.83'
C2	970.00'	69.63'	S87°30'13"W	69.61'
C3	970.00'	68.50'	S83°25'27"W	68.48'
C4	970.00'	68.58'	S79°22'33"W	68.56'
C5	970.00'	23.94'	S76°39'30"W	23.94'
C6	1530.00'	37.11'	N76°37'52"E	37.10'
C7	1530.00'	59.70'	S78°26'37"W	59.70'
C8	1530.00'	59.70'	S80°40'46"W	59.70'
C9	1530.00'	59.73'	S82°54'57"W	59.72'
C10	1530.00'	59.74'	S85°09'10"W	59.74'
C11	1530.00'	59.79'	S87°23'27"W	59.78'
C12	1530.00'	30.95'	S89°05'23"W	30.95'
C13	25.00'	4.73'	S84°15'11"W	4.72'
C14	25.00'	34.52'	S39°18'58"W	31.84'
C15	25.00'	39.30'	N45°18'04"W	35.37'
C16	220.00'	8.16'	S00°47'29"W	8.16'
C17	220.00'	130.93'	N18°54'14"E	129.01'
C18	220.00'	101.82'	N49°12'45"E	100.92'
C19	220.00'	40.75'	N67°46'42"E	40.69'
C20	518.00'	37.28'	S71°01'23"W	37.27'
C21	518.00'	57.77'	N65°45'57"E	57.74'
C22	518.00'	57.77'	N59°22'32"E	57.74'
C23	458.00'	77.28'	S50°41'46"W	77.19'
C24	458.00'	61.62'	N59°23'04"E	61.57'
C25	458.00'	63.12'	S67°11'12"W	63.07'
C26	458.00'	15.59'	S72°06'36"W	15.59'
C27	280.00'	30.59'	N69°57'17"E	30.58'
C28	280.00'	60.50'	S60°38'02"W	60.39'
C29	280.00'	55.34'	S48°46'51"W	55.25'
C30	280.00'	55.28'	S37°27'46"W	55.19'
C31	280.00'	55.25'	S26°09'17"W	55.16'
C32	280.00'	55.24'	S14°51'00"W	55.15'
C33	280.00'	46.27'	S04°27'47"W	46.22'
C34	419.63'	79.60'	N48°34'38"E	79.48'
C35	419.63'	82.91'	S37°28'57"W	82.78'
C36	419.63'	82.87'	S26°09'52"W	82.74'
C37	419.63'	82.87'	S14°50'58"W	82.73'
C38	419.63'	69.41'	S04°27'11"W	69.33'
C39	658.63'	73.37'	N58°20'24"E	73.33'
C40	658.63'	73.37'	S84°43'21"W	73.33'
C41	658.63'	59.66'	S70°30'31"W	59.64'
C42	80.00'	51.48'	S54°23'17"W	50.60'
C43	80.00'	42.26'	S20°49'15"W	41.77'
C44	1330.00'	59.50'	S88°06'02"W	59.49'
C45	1330.00'	59.62'	N85°32'06"E	59.61'
C46	1330.00'	59.60'	N82°58'01"E	59.60'
C47	1330.00'	59.56'	N80°24'01"E	59.56'
C48	1330.00'	59.56'	N77°50'04"E	59.55'
C49	1330.00'	14.28'	N76°14'38"E	14.28'
C50	1170.00'	50.20'	N77°09'55"E	50.19'
C51	1170.00'	67.20'	N80°02'23"E	67.19'
C52	1170.00'	67.16'	N83°19'46"E	67.15'
C53	1170.00'	67.16'	N86°37'07"E	67.15'
C54	1030.00'	59.13'	N86°37'07"E	59.12'
C55	1030.00'	59.12'	S83°19'46"W	59.12'
C56	1030.00'	59.16'	S80°02'23"W	59.15'
C57	1030.00'	44.19'	S77°09'55"W	44.19'
C58	1470.00'	15.78'	N76°14'38"E	15.78'
C59	1470.00'	65.83'	S77°50'04"W	65.82'
C60	1470.00'	65.83'	S80°24'01"W	65.83'
C61	1470.00'	65.87'	S82°58'01"W	65.87'
C62	1470.00'	65.89'	N85°32'06"E	65.89'
C63	1470.00'	66.46'	S88°06'51"W	66.45'
C64	830.00'	59.58'	S87°30'13"W	59.57'
C65	830.00'	58.61'	S83°25'27"W	58.60'
C66	830.00'	58.68'	S79°22'33"W	58.67'
C67	830.00'	20.48'	S76°38'36"W	20.48'
C68	1670.00'	40.50'	S76°37'52"W	40.50'
C69	1670.00'	65.17'	S78°26'37"W	65.16'
C70	1670.00'	65.17'	S80°40'46"W	65.16'
C71	1670.00'	65.19'	N82°54'57"E	65.19'
C72	1670.00'	65.21'	N85°09'10"E	65.20'
C73	1670.00'	65.26'	N87°23'27"E	65.25'
C74	1670.00'	33.78'	S89°05'23"W	33.78'
C75	1000.00'	231.95'	S82°34'52"W	231.43'
C76	1500.00'	359.52'	S82°48'10"W	358.68'
C77	250.00'	320.08'	S36°24'24"W	298.66'
C78	488.00'	231.86'	N59°28'24"E	229.69'
C79	1470.00'	6.66'	S89°32'21"W	6.66'
C80	80.00'	8.32'	N02°42'31"E	8.32'

LINE	BEARING	DISTANCE
L1	N89°40'09"E	31.63'

CERTIFICATE OF APPROVAL BY THE CITY OF FAIRHOPE:(SEWER)

THE UNDERSIGNED, AS AUTHORIZED BY THE CITY OF FAIRHOPE HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY THE CITY OF FAIRHOPE:(GAS)

THE UNDERSIGNED, AS AUTHORIZED BY THE CITY OF FAIRHOPE HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY BALDWIN EMC:(ELECTRIC)

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN EMC HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY TELEPHONE (AT&T):

THE UNDERSIGNED, AS AUTHORIZED BY AT&T HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY THE CITY OF FAIRHOPE:(WATER)

THE UNDERSIGNED, AS AUTHORIZED BY THE CITY OF FAIRHOPE HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY THE FAIRHOPE PLANNING COMMISSION

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY PLANNING COMMISSION OF FAIRHOPE, ALABAMA, AND IS APPROVED BY SUCH COMMISSION.

THE CITY OF FAIRHOPE PLANNING COMMISSION

BY: _____ DATE: _____
SECRETARY

CERTIFICATION OF OWNERSHIP AND DEDICATION:

THIS IS TO CERTIFY THAT _____ OF DR HORTON INC - BIRMINGHAM, THE OWNER OF THE LAND SHOWN AND DESCRIBED IN THE PLAT, HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED, AND GRANT ALL EASEMENTS FOR THE PURPOSES NOTED HEREON AND DEDICATE ALL STREETS TO PUBLIC USE, AND ALL COMMON AREAS AND EASEMENTS TO PRIVATE USE, TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT.

DATED THIS _____ DAY OF _____, 20____.

OWNER (PRINT) _____

OWNER (SIGNATURE) _____

CERTIFICATION BY NOTARY PUBLIC:

STATE OF _____
COUNTY OF _____

I, _____, NOTARY PUBLIC IN AND FOR THE COUNTY OF BALDWIN, IN THE STATE OF ALABAMA, HEREBY CERTIFY THAT _____ WHOSE NAME AS _____ IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, AND AS SUCH OFFICER AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY FOR AND AS THE ACT OF SAID CORPORATION.

GIVEN UNDER MY HAND AND NOTORIAL SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____

CERTIFICATE OF APPROVAL BY THE E-911 ADDRESSING:

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY E-911 BOARD, HEREBY APPROVES THE ROAD NAMES AS DEPICTED ON THE WITHIN PLAT AND HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS DAY OF _____, 20____.

AUTHORIZED SIGNATURE _____

CERTIFICATE OF APPROVAL BY THE COUNTY ENGINEER

THE UNDERSIGNED, AS COUNTY ENGINEER OF BALDWIN COUNTY, ALABAMA, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

DATED THIS _____ DAY OF _____

COUNTY ENGINEER _____

ENGINEER'S CERTIFICATE

I, JASON N. ESTES, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF ALABAMA, LICENSE NO. 22714, HEREBY CERTIFY THAT I HAVE DESIGNED THE IMPROVEMENTS FOR THIS DEVELOPMENT IN CONFORMITY WITH APPLICABLE CODES AND LAWS AND WITH THE PRINCIPLES OF GOOD ENGINEERING PRACTICE, INCLUDING THE DRAINAGE DESIGN REQUIREMENTS OF THE FAIRHOPE SUBDIVISION REGULATIONS. I FURTHER CERTIFY THAT I HAVE PROVIDED OVERSIGHT OF THE CONSTRUCTION TO MY DESIGN, AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE AS-BUILTS PROVIDED TO THE CITY OF FAIRHOPE ARE A TRUE AND ACCURATE REPRESENTATION OF THE IMPROVEMENTS AS INSTALLED AND THAT SAID IMPROVEMENTS ARE HEREBY RECOMMENDED FOR ACCEPTANCE BY THE CITY OF FAIRHOPE, ALABAMA.

JASON N. ESTES, ENGINEER _____ DATE _____
DEWBERRY
LAURELBROOKE, AS-BUILT PLANS, WHICH ARE CERTIFIED, CONSIST OF PAGES _____ THRU _____, EACH OF WHICH BEARS MY SEAL AND SIGNATURE.

GENERAL NOTES:

- FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
- STORMWATER DETENTION AREAS ARE NOT THE RESPONSIBILITY OF CITY OF FAIRHOPE OR BALDWIN COUNTY TO MAINTAIN.
- ALL UTILITIES WILL BE CONSTRUCTED UNDERGROUND.
- THERE IS DEDICATED HERewith A 10 FOOT UTILITY EASEMENT ON ALL LOT LINES AND COMMON AREAS ADJACENT TO THE RIGHT-OF-WAYS.
- THERE IS DEDICATED HERewith A 15 FOOT UTILITY AND DRAINAGE EASEMENT ALONG THE REAR LOT LINES OF ALL LOTS (UNLESS SHOWN OTHERWISE) AND A 15 FOOT UTILITY AND DRAINAGE EASEMENT ON EACH SIDE LOT AND COMMON AREA LINES (7.5 FEET OFF EACH SIDE).
- NO FENCES AND NO STRUCTURES SHALL BE PLACED IN DRAINAGE AND OR UTILITY EASEMENTS.
- A PROPERTY OWNERS ASSOCIATION (POA) HAS BEEN FORMED FOR THE LAURELBROOKE DEVELOPMENT RESTRICTIONS WILL BE RECORDED IN THE PROBATE OFFICE TO INCLUDE THIS PHASE. THE POA IS REQUIRED TO MAINTAIN ANY AND ALL STORM WATER FACILITIES AND STRUCTURES LOCATED OUTSIDE OF THE PUBLICLY ACCEPTED RIGHTS-OF-WAY.
- ACCESSORY STRUCTURES MUST MAINTAIN A MINIMUM 10' SEPARATION FROM PRINCIPLE STRUCTURES AND MUST BE LOCATED BEHIND THE REAR BUILDING LINE OF THE PRINCIPLE STRUCTURE.
- ACCESSORY DWELLINGS ARE NOT PERMITTED.
- THERE IS DEDICATED HERewith A PUBLIC ACCESS AND USE EASEMENT ACROSS ALL GREENSPACE. GREENSPACE IS NOT DEDICATED TO THE CITY OF FAIRHOPE OR BALDWIN COUNTY AND NEITHER ARE RESPONSIBLE FOR MAINTENANCE OF ANY OR ALL GREENSPACE.

LAURELBROOKE PHASE TWO

(A RE-SUB OF LOT 52, LAURELBROOKE PHASE ONE)

FINAL PLAT
OCTOBER 16, 2023 - SHEET 2 OF 2

BOUNDARY SURVEY AND PLAT OF SUBDIVISION					
DESIGN	J.N.E.	DRAWN	A.E.F.	CHKD.	V.L.G.
ENG	J.N.E.	SURVEYOR	V.L.G.	PROJ. MGR	J.N.E.
 25353 Friendship Road Daphne, AL 36526 251-990-9950 fax 251-999-9815				SCALE	1"=100'
				PROJ. NO.	50144764
				FILE	50144764FINAL_PH 2
				SHEET	2 OF 2

A Landscape Development Plan for
Laurelbrooke
Fairhope, Alabama

GENERAL NOTES

TREE PLACEMENT NOTES:

- 1.) ALL TREES SHALL BE 15 GAL AND/OR 1.5"-2.5" DIA AT THE TIME OF PLANTING.
- 2.) TREES SHALL BE PLANTED EVERY 25' FROM INTERSECTIONS. A TREE SHALL BE PLANTED ONE PER LOT OR AT LEAST EVERY 50 FEET, BUT NO CLOSER THAN 10'. DEVELOPER RESERVES THE RIGHT TO UTILIZE EXISTING TREES TO MEET THIS REQUIREMENT.
- 3.) TREE SPECIES AND TREE PLACEMENT SHALL BE APPROVED BY THE CITY HORTICULTURIST.
- 4.) ALL TREES SHALL BE PRUNED SO THAT NOT FOLIAGE, LIMBS OR OTHER OBSTRUCTIONS EXISTING BETWEEN 2.5 AND 10 FEET FROM ADJACENT STREET GRADE.
- 5.) IN AREAS WHERE PLANTING STRIPS ARE OPTIONAL AND NOT PROVIDED, SIDEWALKS TEN FEET OR GREATER SHALL PROVIDE 4'X4' TREE WELLS ALONG THE CURB SO THE TREES MAY BE PLANTED IN CONFORMANCE WITH THESE REQUIREMENTS.
- 6.) PER TREE ORDINANCE, SMALL TREES WILL BE PLANTED IN BETWEEN WALK AND CURB AREAS LESS THAN 5 FEET. MEDIUM TREES CAN BE PLANTED BETWEEN 5-7 FEET AND LARGE GROWING TREES CAN BE PLANTED IF AREA BETWEEN WALK AND CURB IS 7 FEET OR MORE (SEE ORDINANCE FOR LIST).
- 7.) STREET TREES SHALL BE WATERED DURING THE 2-YEAR MAINTENANCE BOND PERIOD.

Revisions		Revisions / Submissions
No.	Date	
07.28.20		CITY SUBMITTAL
09.02.20		CITY RE-SUBMITTAL
10.27.20		COUNTY SUBMITTAL
11.24.20		CITY RE-SUBMITTAL
12.17.20		CITY RE-SUBMITTAL

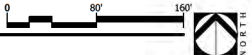
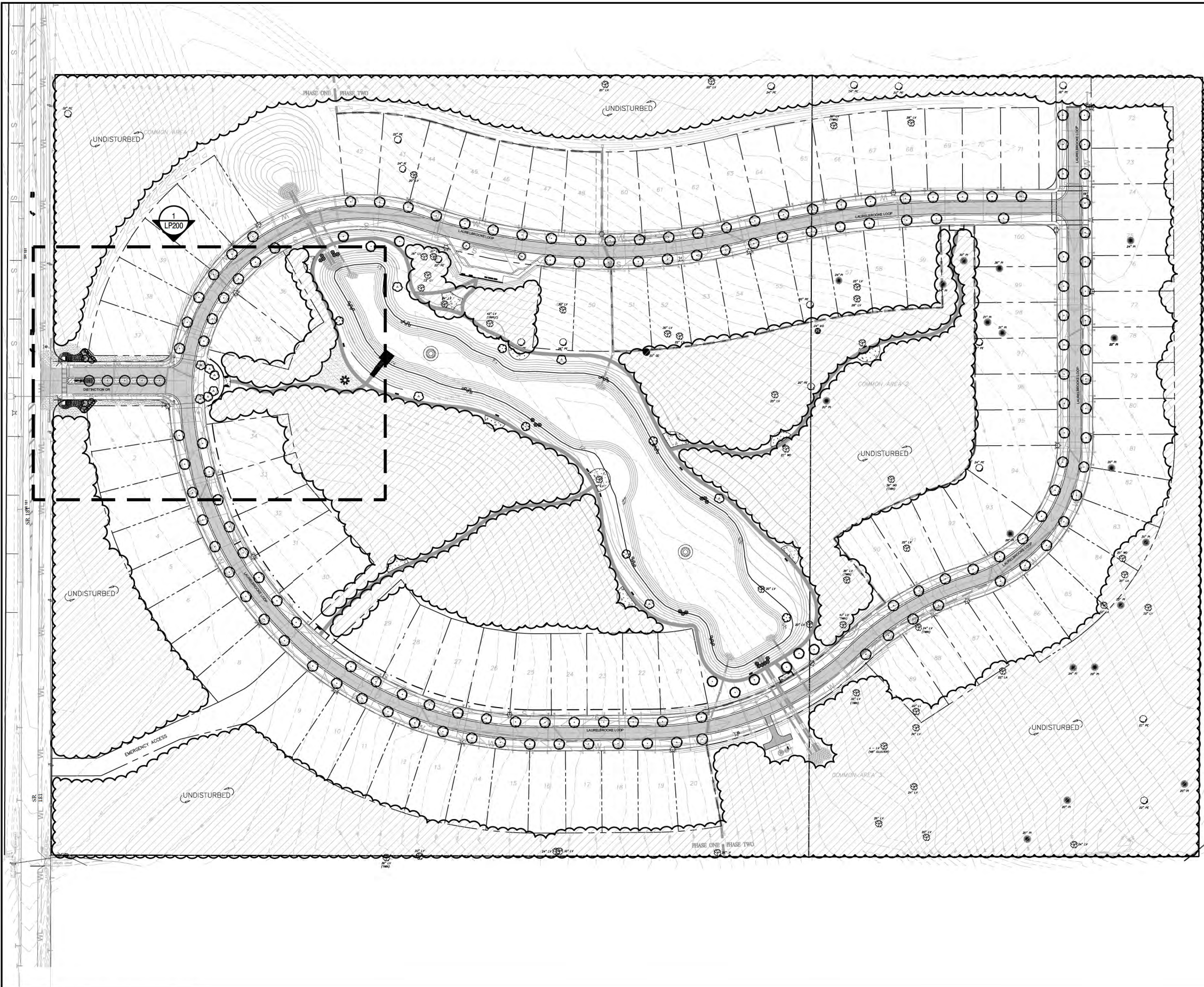
VTW	Drawn	
VTW	Checked	
203163-094	Project No.	
07.28.20	Date	

Sheet Title

**LANDSCAPE
PLANTING MASTER
PLAN**

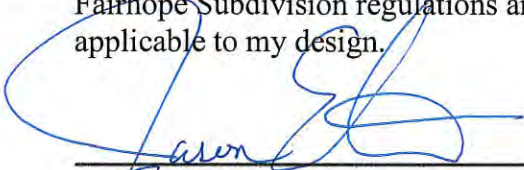
Sheet No.

LP100



ENGINEER'S CERTIFICATION**LAURELBROOKE PHASE 2**

I, JASON N. ESTES, PE the undersigned, a Registered Professional Engineer in the State of Alabama holding Certificate Number 22714, hereby certify that I have reviewed the design herein which was done under my direct control and supervision and that, to the best of my knowledge and to the best of my belief, substantially conforms to the requirements of the Fairhope Subdivision regulations and to all other rules, regulations, laws, and ordinances applicable to my design.



JASON N. ESTES, PE10-24-23

Date**LAURELBROOKE PHASE 2**

Plans which are certified consist of Pages A1 thru D5B, each of which bears my seal and signature.

Drainage calculations were designed in conjunction with construction plans for **LAURELBROOKE PHASE 2**. Additional construction information concerning drainage can be found in the referenced construction plans.

STAMP





BALDWIN COUNTY

HIGHWAY DEPARTMENT

P.O. Box 220

SILVERHILL, ALABAMA 36576

TELEPHONE: (251) 937-0371

FAX (251) 937-0201

MARK ACREMAN, P.E.
ASSISTANT COUNTY ENGINEER

October 24, 2023

Jason Estes, PE.
Dewberry
25353 Friendship Rd.
Daphne, AL. 36526

S-20087 – Laurelbrooke PH. 2 Subdivision – Final Inspection

Dr. Mr. Estes,

The above referenced subdivision was inspected for compliance with the submitted construction plans. There are no deficiencies at this time.

If you have any questions or concerns, do not hesitate to contact me at (251) 423-0339 or at Josh.Chiasson@baldwincountyal.gov.

Sincerely,

Josh Chiasson
Permit Inspector

Cc: Tucker Stuart, PE. Construction Manager

BALDWIN COUNTY ELECTRIC MEMBERSHIP CORPORATION

CONTRIBUTION IN AID OF CONSTRUCTION

NAME: Laurelbrooke Ph2DATE: 1/10/23

I hereby request the electric lines necessary to provide service to the following address or location:

HWY 181Work Order # 2306192

I also hereby acknowledge that I am required to pay in advance

\$57,512.50

for this electrical service and have attached such payment. I further

acknowledge that this contribution in aid of construction carries no interest/ownership

in the service and/or the plant/property of Baldwin County EMC.

CONTRIBUTION IN AID of CONSTRUCTION:

\$57,512.50

MEMBERSHIP FEE and/or ACCOUNT FEE:

DEPOSIT FOR SERVICE:

IMPACT FEE:

\$0.00

OTHER FEE: _____

OTHER FEE: _____

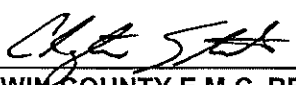
TOTAL: (Estimate is good for 60 days from date above.)

\$57,512.50Additional Comments: This ATC includes (10) street lights.

Property Owner's Name: _____

Property Owner's Signature: _____

Address: _____


BALDWIN COUNTY E.M.C. REPRESENTATIVE 1/10/23
BALDWIN COUNTY E.M.C. REPRESENTATIVE

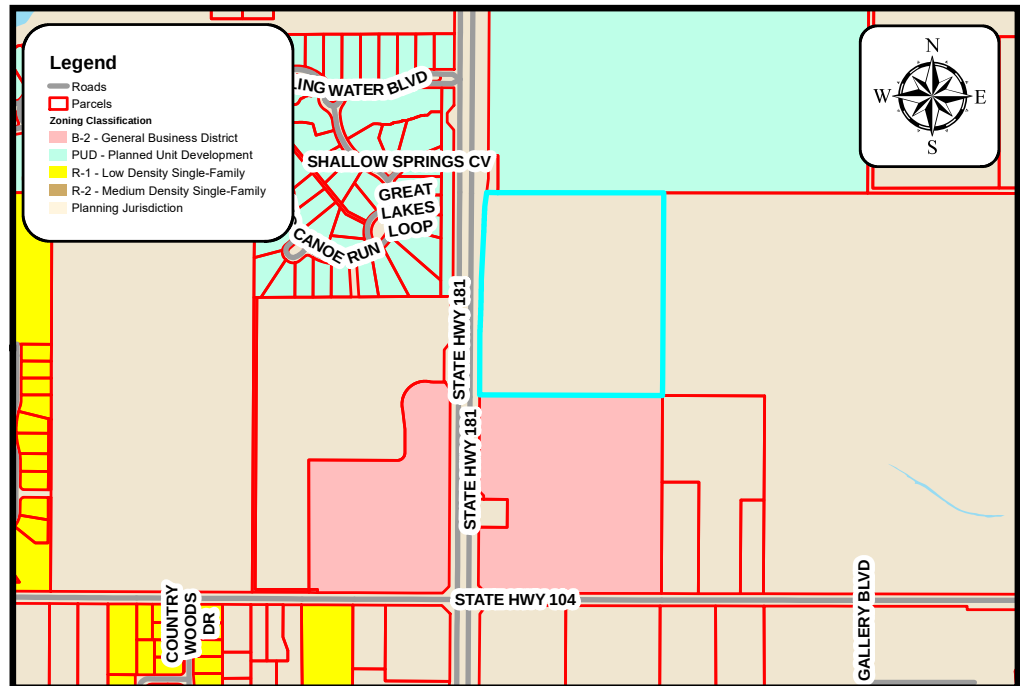
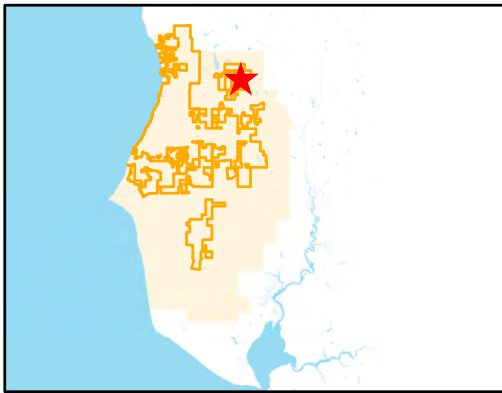
(Required if C.I.A.C. is over \$750)

City of Fairhope Planning Commission

November 6, 2023



SD 23.31 Rockwell Place Final Plat



Project Name:

Rockwell Place

Site Data:

36 acres

Project Type:

2 - Lot Major Subdivision Final Plat

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

Baldwin County

PPIN Number:

14535

General Location:

North of State Highway 104, East side of
State Highway 181

Surveyor of Record:

Sawgrass

Engineer of Record:

Sawgrass

Owner / Developer:

Rockwell LLC

School District:

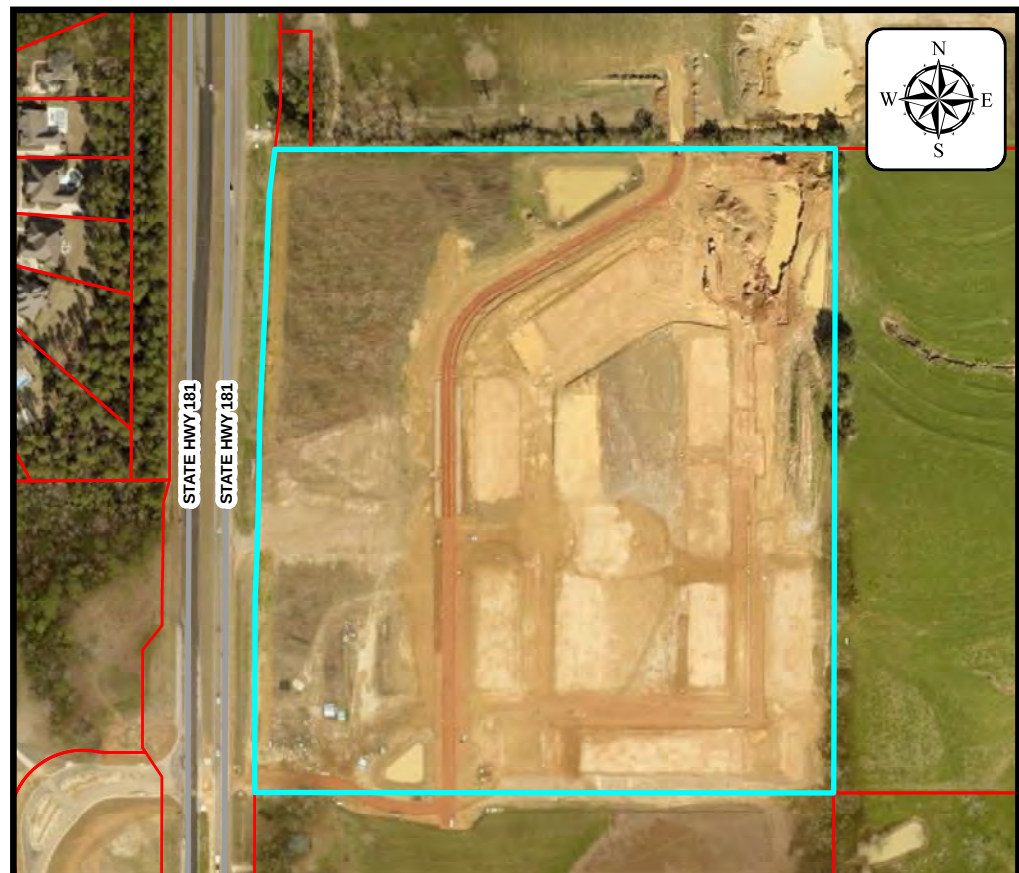
Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

Approve With Conditions

Prepared by:

Mike Jeffries





APPLICATION FOR SUBDIVISION PLAT APPROVAL

Application Type: ☐ Village Subdivision ☐ Minor Subdivision ☐ Informal (No Fee)
☐ Preliminary Plat ☒ Final Plat ☐ Multiple Occupancy Project
 Attachments: ☐ Articles of Incorporation or List all associated investors
 Date of Application: 09/25/2023

Property Owner / Leaseholder Information

Name of Property Owner: Rockwell, LLC Phone Number: 251-544-7900
 Address of Property Owner: P O Box 579
 City: Bay Minette State: AL Zip: 36507

Proposed Subdivision Name: Rockwell Place
 No. Acres in Plat: 36.02 No. Lots/Units: 2
 Parcel No: 05-46-01-02-0-000-001503 Current Zoning: HDR

Authorized Agent Information

Plat must be signed by the property owner before acceptance by the City of Fairhope

Name of Authorized Agent: Sawgrass Consulting LLC Phone Number: 251-544-7900
 Address: 30673 Sgt E.I. Boots Thomas Dr
 City: Spanish Fort State: AL Zip: 36527
 Contact Person: Tim Lawley, PE

Surveyor/Engineer Information

Name of Firm: Sawgrass Consulting LLC Phone Number: 251-544-7900
 Address: 30673 Sgt E.I. Boots Thomas Dr
 City: Spanish Fort State: AL Zip: 36527
 Contact Person: Tim Lawley, PE

Plat Fee Calculation:

Reference: Ordinance 1269

Signatures:

I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Tom Mitchell
 Property Owner/Leaseholder Printed Name

Date

4-25-23

Signature

[Signature]
 Fairhope Single Tax Corp. (If Applicable)

Summary of Request:

The owner is FST Rockwell, LLC. The engineer and applicant is Sawgrass Consulting, LLC. This application is for final plat approval of Rockwell Place, a 2-lot major subdivision. The property is approximately 36 acres and is located on the east side of State Highway 181, south of the Harvest Green East Subdivision and across from The Waters Subdivision. The subject property is outside the City of Fairhope municipal limits. The preliminary plat (SD 22.01) was approved at the February 7, 2022, Planning Commission meeting. Excerpts of the site data table is included below:

<u>SITE DATA</u>	
NUMBER OF LOTS: 2 LOTS	
SMALLEST LOT SIZE: 11.70 ACRES± (509,707 S.F.±)	
TOTAL AREA: 36.02 ACRES±	
DENSITY = 0.05 UNITS PER ACRE	
COMMON AREA: 1.27 ACRES± (55,248 S.F.±)	
LINEAR FEET OF ROAD = 2,004 L.F.	
PARCEL NO.: 05-46-01-02-0-000-001.503	
PPIN: 14535	
<u>CURRENT ZONING & SETBACKS:</u>	
LOT 1 (BALDWIN COUNTY PLANNING DISTRICT 37)	
RA - RURAL AGRICULTURE	
FRONT = 40 FEET	
REAR = 40 FEET	
SIDE = 15 FEET	
UNLESS OTHERWISE SHOWN HEREON	
LOT 2 (BALDWIN COUNTY PLANNING DISTRICT 37)	
HDR - HIGH DENSITY RESIDENTIAL DISTRICT	
FRONT = 30 FEET	
REAR = 30 FEET	
SIDE = 10 FEET	
UNLESS OTHERWISE SHOWN HEREON	
<u>REQUIRED BUFFERS:</u>	
LOT 1:	
20 FOOT LANDSCAPE BUFFER ALONG HIGHWAY 181	
UNLESS OTHERWISE SHOWN HEREON	
LOT 2:	
25 FOOT SCREENING BUFFER ALONG EAST PROPERTY LINE	
UNLESS OTHERWISE SHOWN HEREON	

Comments:

- Multiple Occupancy Approval was granted for case SD 22.02 on the proposed Lot-2 of this subdivision.
 - o A separate application for Final MOP approval is required to close it out.
- Once approved the intentions are to have proposed Lot-1, common areas, and future ROW conditionally annexed into the City and the City to accept said ROW.
- A separate agreement, the Completion and Maintenance Agreement, will be executed between the City of Fairhope, Baldwin County, and the developers to ensure completion of improvements satisfactory to the City of Fairhope, who intends to annex lots Lot 1, Common Areas 1 and 2, and Bushell Dr and Rockwell Blvd rights-of-way. The Completion and Maintenance Agreement shall be executed by all parties involved prior to signing of the Final Plat.
- A performance bond shall be required for the completion of Bushel Drive and Rockwell Boulevard, as well as any remaining infrastructure.
- A maintenance bond shall be required for all items to be dedicated to the City.
- Staff is coordinating a multi-use path with the developer and adjacent developments to create a uniformed path that will extend from HWY 104 north along or near HWY 181.
 - o This work will be added to the performance bond.
- The site is 90% vegetated, or otherwise accounted for in approved BMP plans.
- Invoices provided for:
 - o Street lights

Punchlist

- Replace dead street trees.
- Replace the dead sod on the northern retention pond slope.
- Provide As-Built Shapefiles.

*The City of Fairhope Subdivision Regulations contain the following criteria in Article V.B.2. **Approval Standards.***

“2. Consistency with Plans, Regulations and Laws - The Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:

a. The proposed subdivision is not consistent with the City’s Comprehensive Plan, and/or the City’s Zoning ordinance, where applicable;

- Not Applicable

b. The proposed subdivision is not consistent with the City’s Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;

- Meets

c. The proposed subdivision is not consistent with these Regulations;

- Meets

d. The proposed subdivision is not consistent with other applicable state or federal laws and regulations;

- Meets

e. The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City.”

- Meets

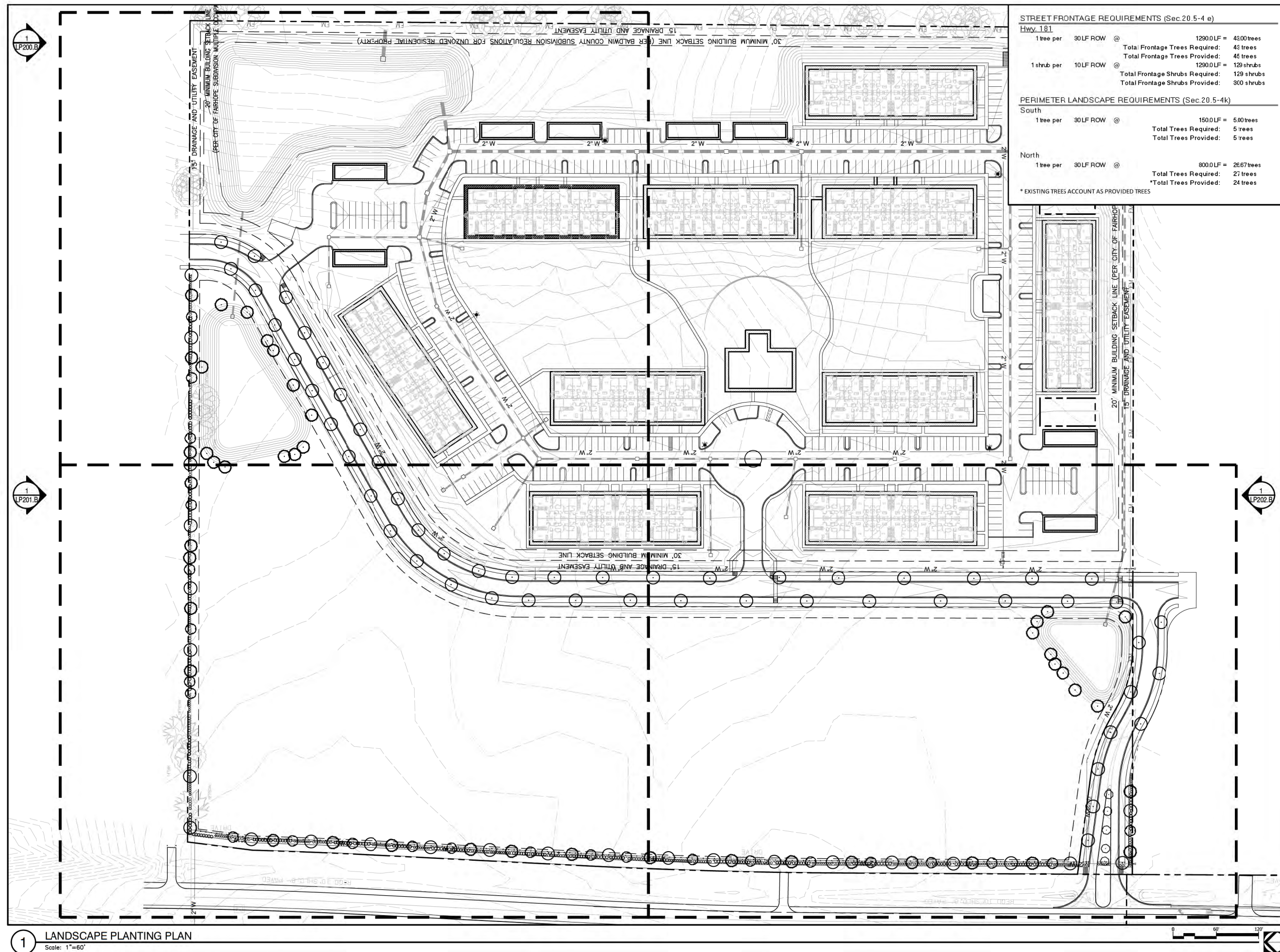
Follow-Up Activities Required by Staff and the Applicant:

- Copy of the recorded plat
- Copy of the recorded O&M Agreement

Recommendation:

Staff recommends Conditional Approval of SD 23.31 Rockwell Place with the following conditions:

1. Completion of the Follow-Up Activities listed above.
2. Public infrastructure installed as part of this project requires final inspections pursuant to the Completion and Maintenance Agreement. Punch lists items known now, or discovered in the future, shall be resolved prior to acceptance. Nothing within this Final Plat approval shall be construed to mean the City of Fairhope has performed final inspections on infrastructure intended to be dedicated to the City.
3. All governing bodies must approve of the terms set forth in the Completion and Maintenance Agreement related to the rights-of-way, public infrastructure and connection to Highway 181, including ALDOT and Baldwin County, and the Completion and Maintenance Agreement must be executed by all parties to the Agreement prior to execution of the final plat for recording by the City and/or a representative of the Planning Commission.



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A Landscape Development Plan for Rockwell Place Public Street

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	11.16.21	PERMIT RESUBMITTAL
	12.20.21	PERMIT RESUBMITTAL
	01.18.22	PERMIT RESUBMITTAL

YJ _____
Drawn _____
DM _____
Checked _____
212027-058 _____
Project No. _____
04.07.21 _____
Date _____

Registration

STATE OF ALABAMA
LESTER CHAD
MEMBER
518
REGISTERED LANDSCAPE ARCHITECT

Sheet Title

LANDSCAPE PLANTING PLAN

Sheet No.

LP100.B

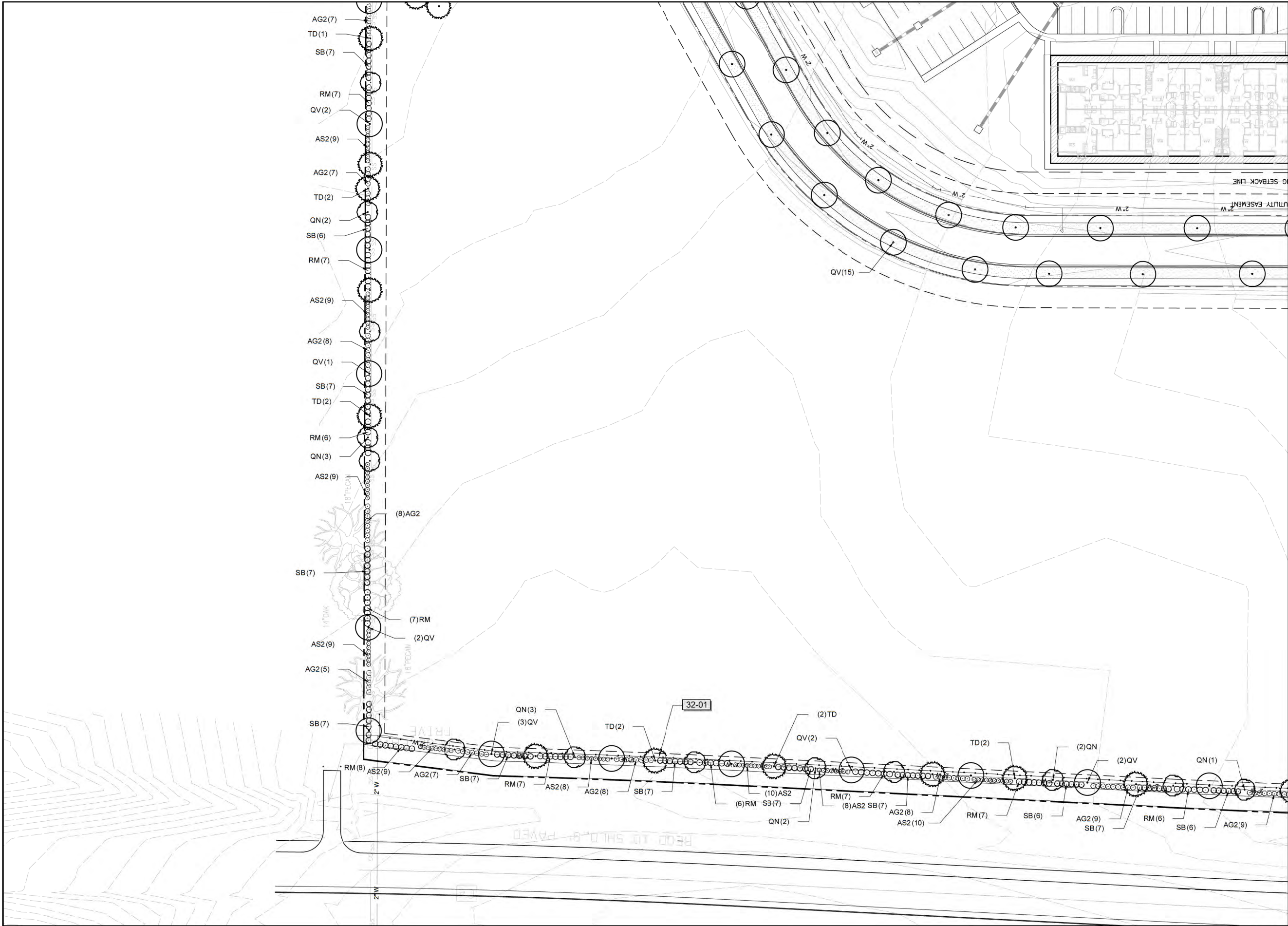


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Sheet Title

Sheet No.

1 LANDSCAPE PLANTING PLAN ENLARGEMENT
Scale: 1"=30'



1 LANDSCAPE PLANTING PLAN ENLARGEMENT
Scale: 1"=30'

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STATE OF ALABAMA
LESTER CHAPMAN
REGISTERED LANDSCAPE ARCHITECT
NUMBER 518

Sheet Title
**LANDSCAPE
PLANTING PLAN
ENLARGEMENT**

Sheet No.
LP201.B

PLANT SCHEDULE						
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	LN	5	Lagerstroemia indica 'Natchez' / 'Natchez' Crape Myrtle Standard trunk; full head	30 gal	1.25"	8'
	QN	24	Quercus nuttallii / Nuttall Oak Full head, specimen quality	Cont. or B & B	2"Cal	10'
	QV	80	Quercus virginiana / Southern Live Oak Full head, specimen quality	Cont. or B & B	2"Cal	10'
	TD	45	Taxodium distichum / Bald Cypress Full head, specimen quality	Cont. or B & B	2"Cal	10'
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HT	
	AS2	188	Acca sellowiana / Pineapple Guava	3 gal		
	RM	120	Rhododendron 'Mrs. G.G. Gerbing' / Mrs. G.G. Gerbing Azalea	3 gal		
	AG2	141	Rhododendron x 'George L. Taber' / George L. Taber Southern Indica Azalea	3 gal		
	SB	144	Viburnum odoratissimum / Sweet Viburnum	3 gal		
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
	SOD	51,499 sf	Cynodon dactylon 'Tifway 419' / Tifway 419 Bermuda Grass	sod		

REFERENCE NOTES SCHEDULE		
SYMBOL	32 EXTERIOR IMPROVEMENTS DESCRIPTION	QTY
	4' HT ORNAMENTAL METAL FENCE	1,312 lf

GENERAL NOTES

COMMON AREA TREATMENTS

1. ALL COMMON AREA SPACES TO BE LANDSCAPED WITH VARIOUS PLANTING MATERIALS SUCH AS TURF, PLANTINGS, CANOPY TREES AND UNDERSTORY TREES TO PROVIDE A BALANCED LANDSCAPE THROUGHOUT THE DEVELOPMENT.

DISTURBED AREAS

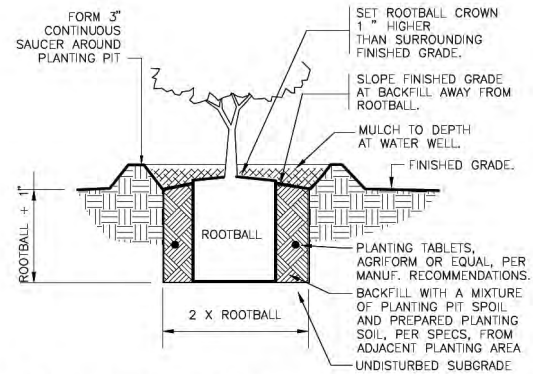
ANY DISTURBED AREAS SHALL RECEIVE SOD OR MULCH AS NECESSARY PER MUNICIPALITY REQUIREMENTS. ALL LANDSCAPE BEDS ARE TO RECEIVE 3" DEPTH LONG LEAF PINE STRAW, SETTLED

QUANTITY TAKEOFF DISCLAIMER

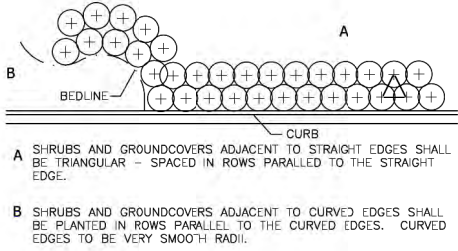
QUANTITIES NOTED ON PLANS ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.

800-292-8525
#DIG (Cellular)
Dig Safely.

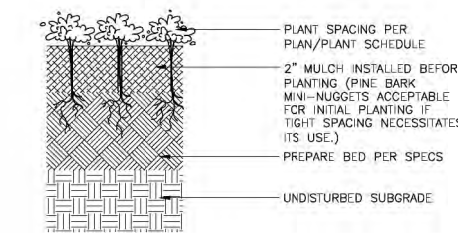
Alabama 1 Call



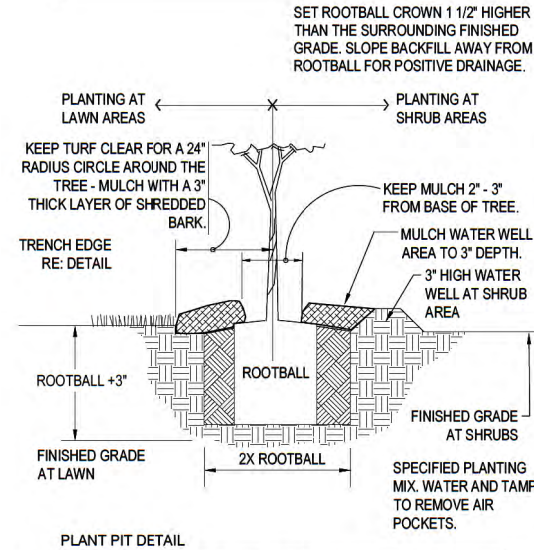
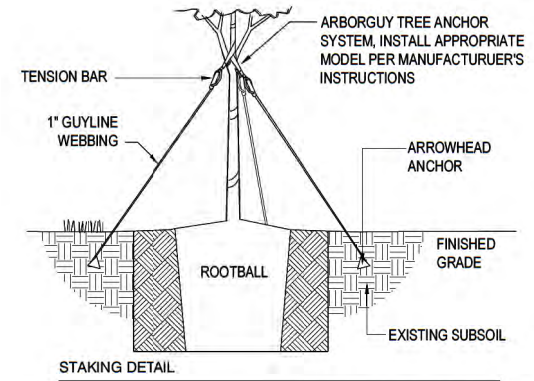
1 SHRUB PLANTING
1" = 1'-0"
329333.13-01



2 TYPICAL PLANT SPACING
NOT TO SCALE
329399-04



3 GROUNDCOVER PLANTING
3" = 1'-0"
329313-01



4 TREE PLANTING - GUY STRAP
1" = 1'-0"
329343.26-02

TREE NOTE:

NO HERIAGE PROTECTED TREES ON SITE.

GENERAL CONDITIONS

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO ACQUAINT HIMSELF WITH EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF LANDSCAPE MATERIAL AT ALL TIMES. LANDSCAPE CONTRACTOR TO COORDINATE SAFE STAGING AREA WITH GENERAL CONTRACTOR AND/OR OWNER.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, INCLUDING GRASS, FOR 365 CONSECUTIVE CALENDAR DAYS FROM SUBSTANTIAL COMPLETION OF THE WORK, AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT.
- ALL AREAS IMPACTED NEGATIVELY BY CONSTRUCTION PROCESSES SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER PRIOR TO SUBSTANTIAL COMPLETION.

LANDSCAPE AREA SOIL PREPARATION

- PLANTING SOIL SHALL BE CREATED BY AMENDING TOPSOIL WITH THE ADDITION OF COMPOST. COMPOST TYPE SHALL BE MUSHROOM COMPOST OR DECOMPOSED PINE BARK, AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE. COMPOST SHALL BE UNIFORMLY APPLIED OVER PLANTING BEDS AT AN AVERAGE DEPTH OF 2 INCHES AND OVER SOD AREAS AT AN AVERAGE DEPTH OF 3/4 INCH.
- INCORPORATE UNIFORMLY IN PLANTING BEDS TO A DEPTH OF 6 INCHES AND IN SOD AREAS TO A DEPTH OF 3 INCHES USING A ROTARY TILLER OR OTHER APPROPRIATE EQUIPMENT. PRE-PLANT FERTILIZER AND PH ADJUSTING AGENTS (E.G., LIME AND SULFUR) MAY BE APPLIED IN CONJUNCTION WITH COMPOST INCORPORATION, AS REQUIRED PER SOIL TEST (IF REQUESTED BY OWNER).
- RAKE SOIL SURFACE SMOOTH PRIOR TO PLANTING.
- REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- WATER THOROUGHLY AFTER PLANTING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 3% POSITIVE DRAINAGE IN ALL PLANTING BEDS. ANY OTHER PROPOSED DRAINAGE METHODS SHALL BE COORDINATED WITH PLANTING EFFORTS TO MINIMIZE CONFLICTS AND MAINTAIN PROPER FUNCTION OF DRAINAGE SYSTEMS.

PLANT MATERIAL AND PLANTING

- PLANT QUANTITIES ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR, AND ARE NOT ABSOLUTE. CONTRACTOR SHALL VERIFY PLANT COUNT FROM PLAN AND REPORT DIFFERENCES.
- ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL OR REFUSAL BY THE OWNER OR LANDSCAPE ARCHITECT AT ANY TIME.
- PLANTS SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM INJURY, INSECTS AND DISEASES. PLANTS SHALL EQUAL OR SURPASS QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERYMEN, INC.
- UNLESS NOTED SPECIFICALLY, ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
- FRONT ROW OF SHRUBS SHALL BE PLANTED FROM CENTER OF PLANT A MINIMUM OF 24" BEHIND BED LINE @ LAWNS OR WALKS AND A MINIMUM OF 36" BACK OF CURB @ PARKING SPACES.
- NO PRUNING SHOULD BE PERFORMED DURING FIRST GROWING SEASON EXCEPT FOR REMOVING DAMAGED OR DEAD GROWTH. WOUND PAINT IS NOT RECOMMENDED FOR ANY CUTS.
- ALL PLANTING AREAS, TREE PITS, AND OTHER AREAS INDICATED ON PLANS SHALL BE MULCHED WITH A SETTLED LAYER OF THE INDICATED MULCH:
 - 3" DEPTH PINE BARK
 - 4" DEPTH SHREDDED HARDWOOD MULCH
 - 3" DEPTH LONG LEAF PINESTRAW, SETTLED
- TRENCH EDGE TO BE LOCATED BETWEEN ALL PLANTING AREAS AND LAWN, UNLESS NOTED OTHERWISE.
- TREE STAKING SHALL BE PROVIDED TO KEEP TREES PLUMB AND PROTECTED FROM EXCESSIVE WINDS. ALL TREE-STAKING APPARATUS SHALL BE REMOVED AT THE END OF THE ONE-YEAR WARRANTY PERIOD.
- ONE YEAR OF LANDSCAPE MAINTENANCE FROM SUBSTANTIAL COMPLETION SHALL BE INCLUDED AS AN OPTIONAL BID ITEM TO THE OWNER.

5 GENERAL PLANTING NOTES
1" = 1"
329399-01



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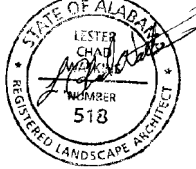
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A Landscape Development Plan for
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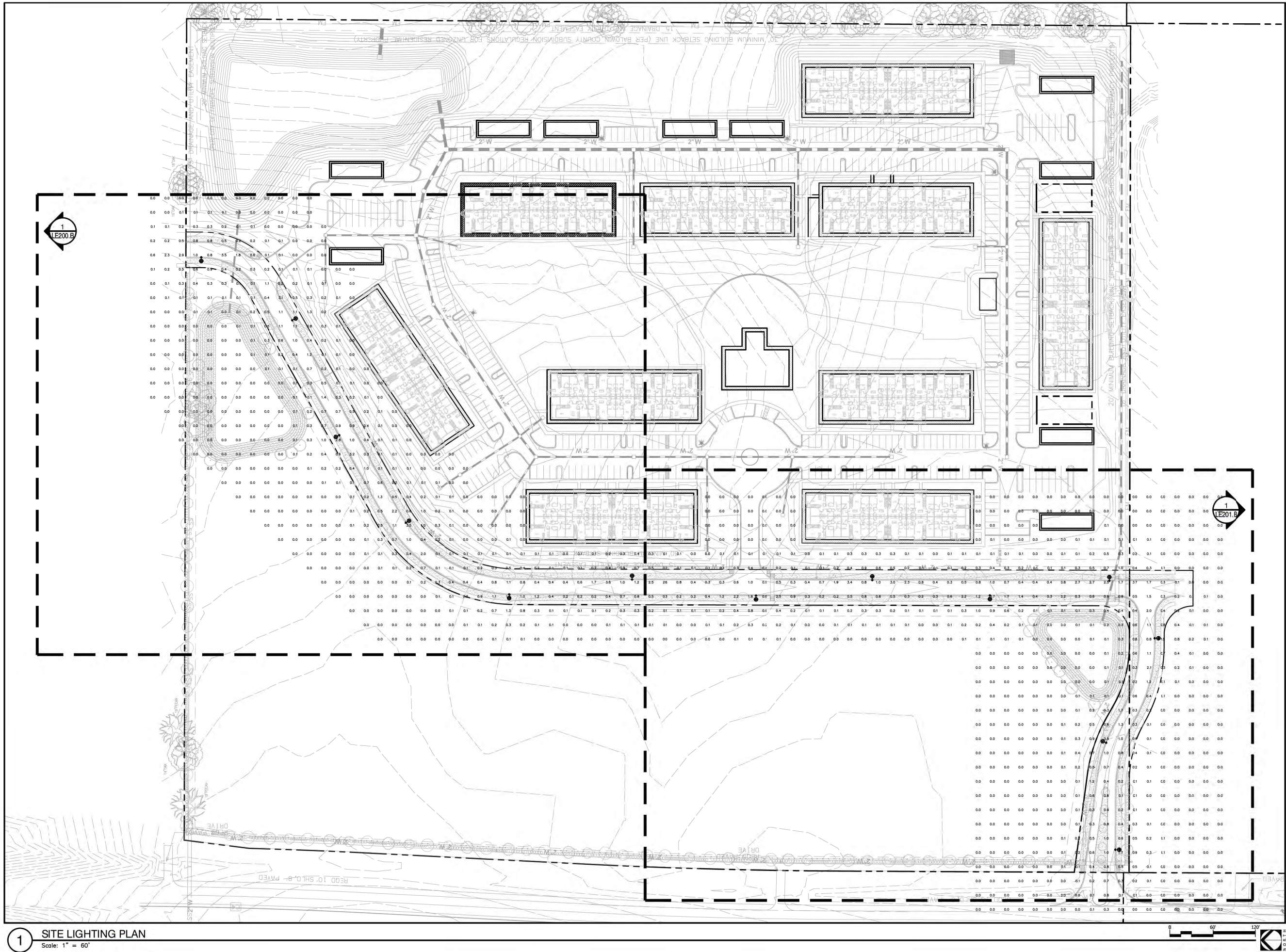
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LESTER CHAD
NUMBER
518
REGISTERED LANDSCAPE ARCHITECT

Sheet Title

**LANDSCAPE
PLANTING DETAILS**

Sheet No. **LP500.B**



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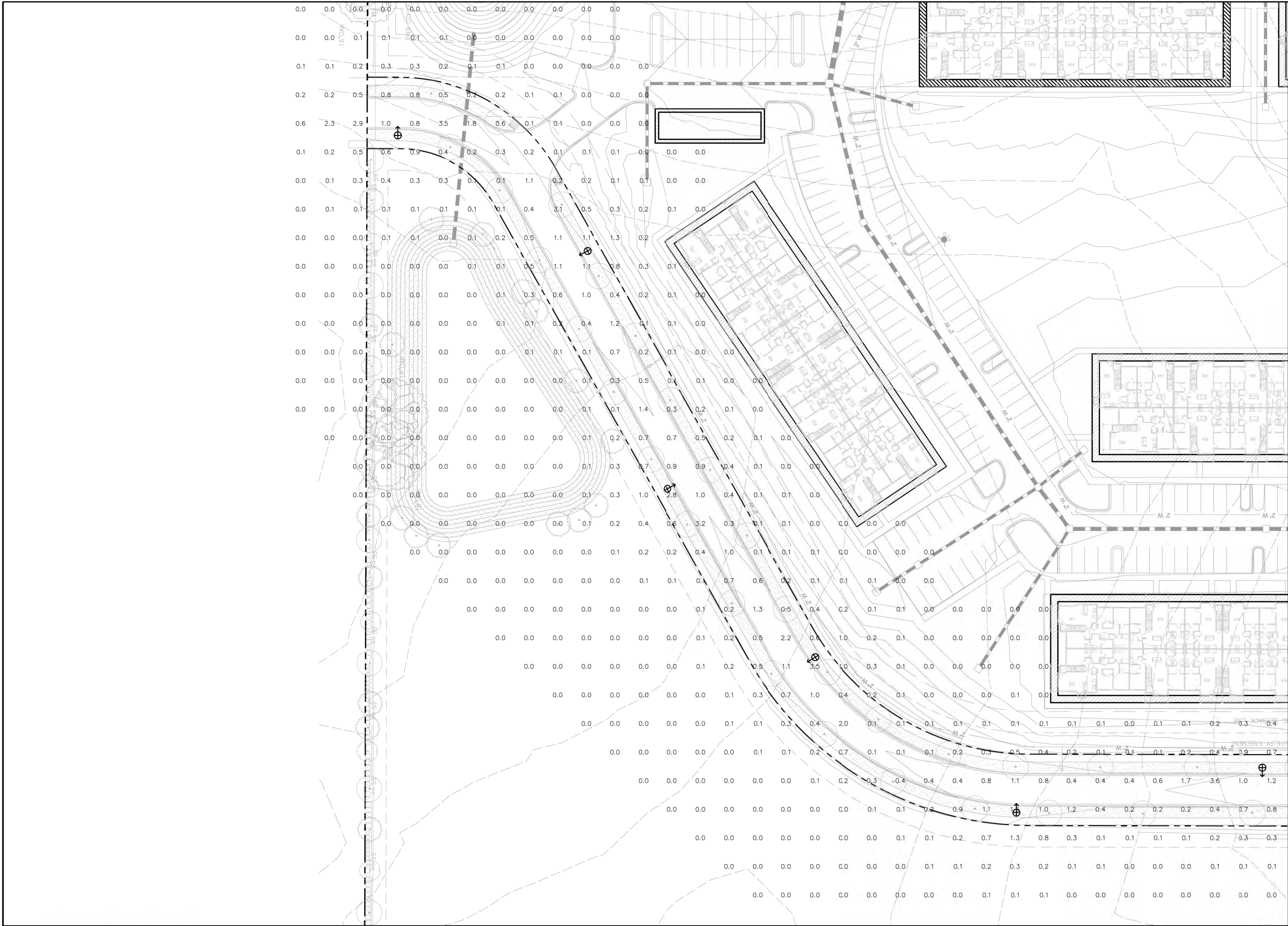
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STATE OF ALABAMA
LESTER CHAPMAN
REGISTERED LANDSCAPE ARCHITECT
518

Sheet Title

SITE LIGHTING PLAN



1 SITE LIGHTING PLAN ENLARGEMENT
Scale: 1" = 30'

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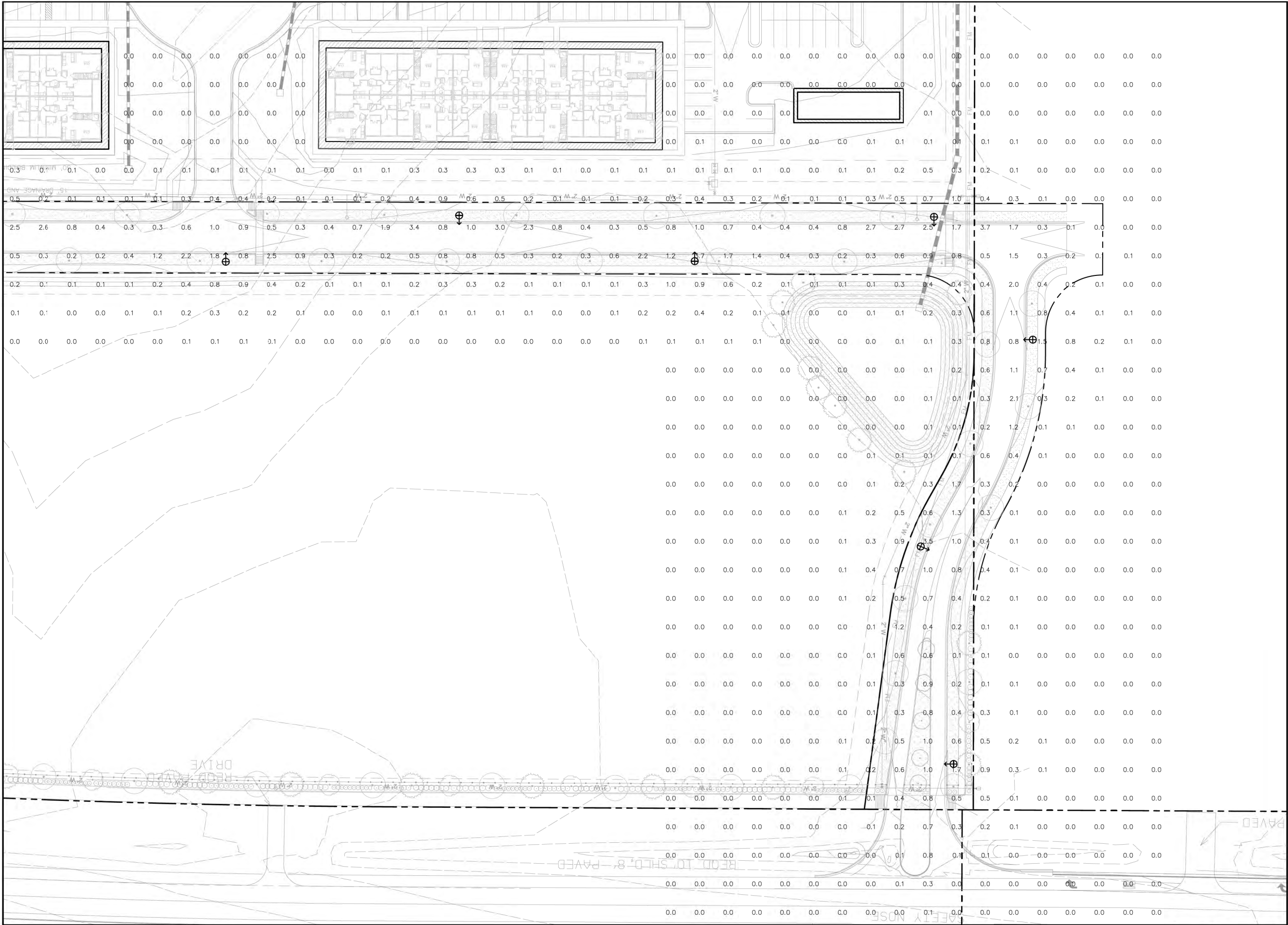
LESTER CHAD

518

REGISTERED LANDSCAPE ARCHITECT

Sheet Title
**SITE LIGHTING PLAN
ENLARGEMENT**

Sheet No.
LE200.B



1 SITE LIGHTING PLAN ELNARGEMENT
Scale: 1" = 30'

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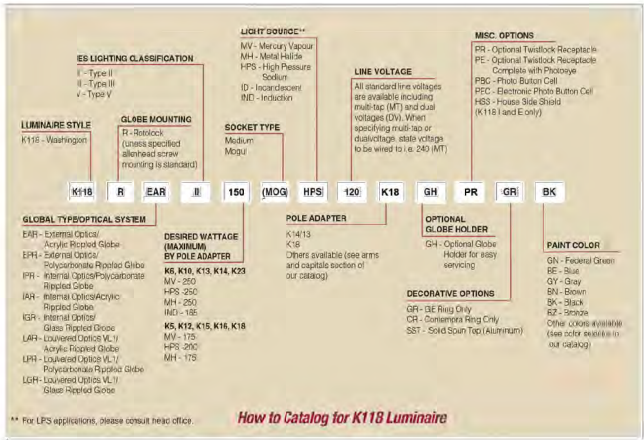
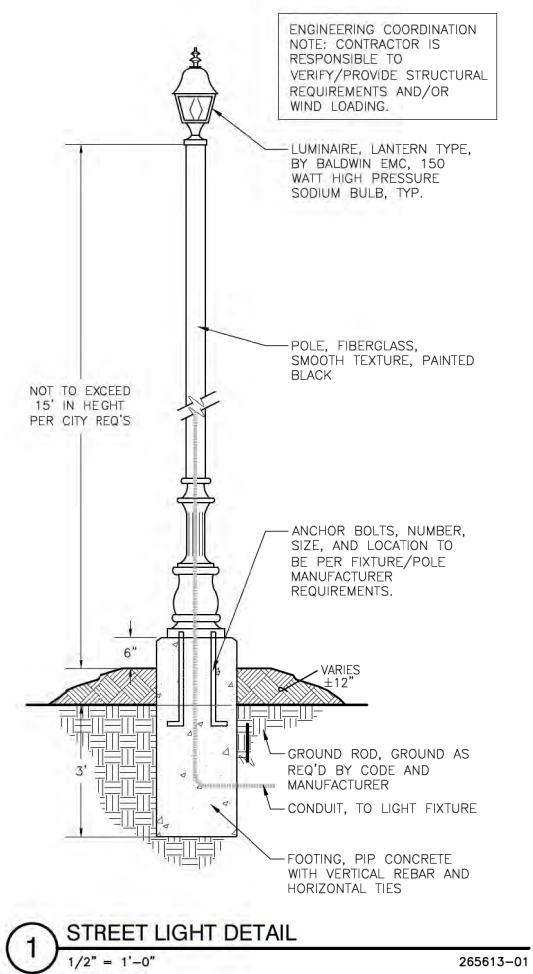
518

REGISTERED LANDSCAPE ARCHITECT

LUMINAIRE SCHEDULE								
CALLOUT	SYMBOL	LAMP	BALLAST	MOUNTING	VOLTS	NOTE 3	QUANTITY	DEFAULT ELEVATION
POLE		(1)	ELECTRONIC	POLE	120V 1P 2W	KING LUMINAIRE: WASHINGTON K118EO ACORN PRISMATIC LENS IN LOUVER PORTION, WITH FROSTED ACORN ABOVE ONE 150W CLEAR HPS LAMP (MOGAL BASE). LUMEN RATING = 16000 LMS. KING LUMINAIRE COMPANY INC. BURLINGTON, ONTARIO	13	15'-0"

STRUCTURAL ENGINEERING NOTE

STRUCTURAL ENGINEERING DESIGN IS NEITHER EXPRESSED NOR IMPLIED IN THIS DRAWING. STRUCTURAL ENGINEERING DESIGN RESPONSIBILITY IS DELEGATED TO THE CONTRACTOR, AND SHALL BE DONE BY A PROFESSIONAL ENGINEER OR OTHER QUALIFIED PROFESSIONAL AS REQUIRED FOR CODE COMPLIANCE. PERMITTING, ETC.



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A Member of The StressCrete Group of Companies.
www.kingluminaire.com
email: sales@kingluminaire.com

9200 Energy Lane
Northport, Alabama 35476-3442
(205) 339-0711
1-800-456-5563
Fax: (205) 339-4840

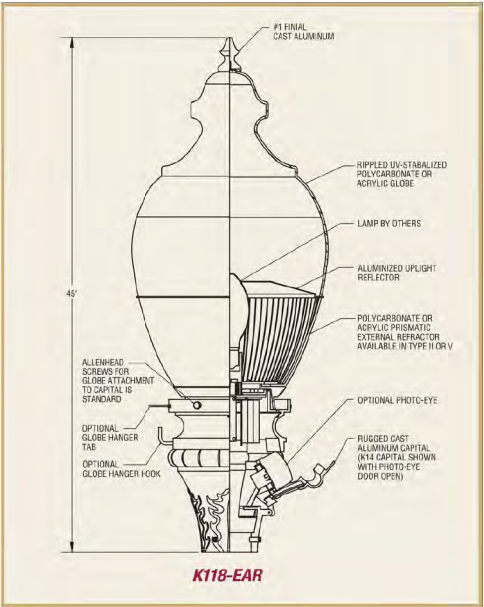
1153 State Route 46 North
P.O. Box 266
Jefferson, Ohio 44047
1-800-268-7809
Fax: (905) 632-6116

14503 Wallick Road
Atchison, Kansas 66002
(913) 255-3112
1-800-637-1024
Fax: (913) 255-3124

8401 Walters Lane, P.O. Box 7
Burlington, Ontario L7R 3X9
(905) 632-9301
1-800-266-7803
Fax: (905) 632-6116

K118-E Prismatic External Refractor

The use of the K118-E external enclosure as a prismatic refractor ensures that the light goes where directed, resulting in maximum spacing and lower energy usage.



Available Options for K118 Luminaire (cont'd)



GR - GE Decorative Ring

An optional accessory that adds to the historical look of the traditional Washington Globe - available in all King Coat colors



CR - Contempra Ring

An optional accessory that gives a clean decorative look to the traditional Washington Globe - available in all King Coat colors

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Project No.

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Sheet Title

SITE LIGHTING DETAILS

Sheet No.

LE500.B



CERTIFICATE OF COUNTY ZONING

To: Fairhope Planning Commission

This Zoning Certificate is issued for the subject lands the description of which has been furnished by the developer's surveyor/engineer.

<u>ROCKWELL, LLC</u> Subdivider's Name	<u>TIM LAWLEY, PE</u> Name of Designer
<u>ROCKWELL PLACE SUB</u> Name of Development	<u>05-46-01-02-0-000-001.</u> Tax Parcel I.D. #
Location of Subdivision proposed: <u>TOWNSHIP 65</u> <u>RANGE 26</u> <u>SECTION 2</u>	

503/PIN 14535

The subject property lies within Baldwin County Zoning District No. 37.

R-A RURAL AG

☒ Zoned _____ For HDR - HIGH DENSITY RESIDENTIAL
(Type of development)

☐ Currently has no zoning established

Name of Chairperson for this District: N/A - CONTACT PLANNING DIRECTOR

By: [Signature] FOR MATTHEW BROWN
 For the County Zoning Officer

9/21/2023
 Date

Date 01/30/2023 Engineer Stephen Tirador

Name And Address

ELE34427

Rockwell Place Phase 1

This invoice covers the Aide-To-Construction for the underground services to:

<u>1</u>	Aid-to-Construction	<u>\$246,399.99</u>
<u> </u>	Ft. of 200A U/G Secondary Service	<u>\$0.00</u>
<u> </u>	Ft. of 400A U/G Secondary Service	<u>\$0.00</u>
<u> </u>	# Utility Crossing @ \$100.00 ea.	<u>\$0.00</u>
<u>37</u>	# of Decorative Lights	<u>\$37,000.00</u>
<u>0</u>	# of lots for new subdivision	<u>\$0.00</u>
<u> </u>	Misc. Cost	<u> </u>

Total of all charges due: \$283,399.99

Account
455001784

Page
4 of 4

Rockwell, LLC PO Box 573 Bay Minn, AL 36507		The First A National Banking Association PO Box 15492 Nashville, TN 37215 86-35458		1081
PAY TO THE ORDER OF		Rivers Utilities		\$ 283,399.99
Two Hundred Eighty-Three Thousand Three Hundred Ninety-Nine and 99/100 DOLLARS				
Rivers Utilities				
ELE34-027 Rockwell Place Phase 1				
001081 0065301160 455001784				

04/28/23 1081 \$283399.99