



**City of Fairhope  
Planning Commission Agenda  
5:00 PM  
Council Chambers  
May 5, 2025**

Sherry Sullivan  
*Mayor*

*Council Members*

Kevin G. Boone

Jack Burrell, ACMO

Jimmy Conyers

Corey Martin

Jay Robinson

Lisa A. Hanks, MMC

*City Clerk*

Kimberly Creech

*City Treasurer*

1. Call to Order

2. Consent Agenda

Approval of Minutes - April 7, 2025

3. Regular Agenda

Old Business

**SD 23.04** Klumpp PUD - Request of applicant, S.E. Civil, for an extension of one-year for preliminary plat approval.

New Business

**A. SD 25.06** Public hearing to consider the request of the Applicant, S.E. Civil, LLC, on behalf of the Owner, FST 68V Harvest Green East 2022, LLC, for Final Plat Approval of Harvest Green East Phase 2, a 108-lot subdivision. The property is approximately 54.64 acres and is located on the east side of State Highway 181, across from The Waters Subdivision. **PPIN #: 17735, 77776**

**B. SD 25.07** Public hearing to consider the request of the Applicant, S.E. Civil, LLC, on behalf of the Owner, FST Fritz Harshberger DMD LLC, is requesting Preliminary Approval for Advanced Dental, an 11-unit Multiple Occupancy Project. The property is approximately 2.75 acres and is zoned B-4 – Business and Professional District. The property is located at 20252 State Highway 181 #A. **PPIN #: 14894**

4. Adjourn

161 North Section Street

P.O. Drawer 429

Fairhope, Alabama 36533

251-928-2136

251-928-6776 Fax

[www.fairhopeal.gov](http://www.fairhopeal.gov)

Printed on recycled paper

The Planning Commission met Monday, April 7, 2025, at 5:00 PM at the City Municipal Complex, 161 N. Section Street in the Council Chambers.

Present: Kevin Boone; Lee Turner; John Worsham; Harry Kohler; Paul Fontenot; Kim McCormick; Hollie MacKellar; Erik Cortinas; Hunter Simmons, Planning and Zoning Director; Mike Jeffries, Development Services Manager; Michelle Melton, Planner; Chris Williams, City Attorney, and Cindy Beaudreau, Planning Clerk.

Absent: Rebecca Bryant

Chairman Turner called the meeting to order at 4:58 PM.

### **Consent Agenda**

- Approval of the Minutes March 6, 2025
- **UR 25.06** Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 47,102 LF of buried fiber cable at 394 Pecan Avenue.

Mike Jeffries, Development Services Manager, shared the information for the Utility Reviews which have the following conditions:

1. The proposed utility construction falls within the corporate limits of the City of Fairhope. **Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the respective agency.**
2. A pre-construction meeting shall be held with the City prior to issuance of any permits.
3. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
4. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
  - a. An additional right-of-way permit may be required for the potholing procedures.
5. Follow-up activities below required by staff and the applicant:
  - a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS Supervisor for inclusion in GIS utility maps.
6. Provide draft door hanger for approval at time of pre-construction.
7. Approved door hangers shall be in place no later than **7 days** prior to construction.
8. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
9. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
10. Applicant shall contact Alabama One Call to locate all existing utilities (750ft max per day).
11. Utilities boxes shall be concentrated near existing boxes.
12. For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

John Worsham made a motion to approve the consent agenda including the minutes.

Kim McCormick seconded the motion and the motion carried unanimously with the following vote:

AYE: Kevin Boone; Lee Turner; John Worsham; Harry Kohler; Paul Fontenot; Kim McCormick; Hollie MacKellar; Erik Cortinas

Nay: None

### **Old Business**

- **SD 24.20** 104 Laurel – extension request

Hunter Simmons, Planning and Zoning Director, presented the request which included a sidewalk discussion and an extension. Mr. Simmons stated that it is too late to request an extension and that a new application would be required.

Chairman Turner had spoken with the applicant who explained that in order to put sidewalks in as required by the case conditions, AT&T would need to move six telephone poles, a heritage tree and the handicap entrance at Gambino's would need to be removed.

Sean Richmond, on behalf of the applicant, stated that a new application would be submitted with a waiver request to not install sidewalks and offer an easement in lieu of the sidewalk.

### **New Business**

**A. ZC 25.03** Public hearing to consider the request of the Applicant, Lieb Engineering Company, acting on behalf of the Owners, Deborah Moffett and 50 LLC, is requesting to rezone property from R-1, Low Density Single-Family Residential District to B-1, Local Shopping District. The property is approximately 0.81 acres and is located at 6125 Nelson Drive. **PPIN #: 44034**

Hollie MacKellar recused herself due to a conflict.

Hunter Simmons, Planning and Zoning Director, presented the request of the Applicant, Lieb Engineering Company, acting on behalf of the Owners, Deborah Moffett and 50 LLC, is requesting to rezone property from R-1, Low Density Single-Family Residential District to B-1, Local Shopping District. The property is approximately 0.81 acres and is located at 6125 Nelson Drive. Mr. Simmons shared the zoning map, aerial map and additional landscape buffers. Mr. Simmons explained the portion of property that would be rezoned and the parking challenges with Kingfisher success and how three of the businesses are only utilizing the minimum required parking. Mr. Simmons also addressed the citizen concerns that were received.

Staff recommends approval of ZC 25.03 with the following conditions:

1. Re-plat to mov property line to reflect subject property re-zoned as B-1.
2. City Council approval of Shared Parking Facility Agreement.

Chris Lieb, Lieb Engineering, stated that Kingfisher wants to be good neighbors, wants to provide pervious parking, no lighting spillover, will ensure a 20' buffer with fence and that there would be no access to Nelson from Kingfisher.

Chairman Turner asked how many parking spaces would be added. Mr. Lieb stated that there would be 32 at most.

Chairman Turner opened the public hearing at 5:40pm.

Steve Delamore, 6038 Nelson, opposes zoning change. Concerned with ecological stability, drainage, lighting, noise and trash.

Haymes Snedeker, 16617 Polo Club Road, speaking on behalf of Dr. Ray Hicks, is concerned with the policy and procedure behind the decision and a precedent being set along with devaluing the properties.

Bryant MacKellar, 6173 Nelson Drive, appreciates the time of the Planning Commission. Completely opposed to the rezoning and concerned with the lighting at night, property values, landscape buffers and trash pickup.

James Pittman, 313 Woodbridge, speaking on behalf of Dr. Ray Hicks, is concerned with the violation of the zoning ordinance due to this being a family subdivision, inability to find 50 LLC as a registered business, does not agree with the shared parking agreement, if Kingfisher goes out of business and the parking lot stays, drainage, trees, believes this creates a non-conformity and requests denial for this case.

Dan Zerbs is concerned with lighting at night and opposes the rezoning.

Chairman Turner closed the public hearing at 6:05pm.

Hunter Simmons, Planning and Zoning Director, explained that this is not a family subdivision. It is a minor subdivision, and wetland delineation was done at that time, and a good job was done on drainage.

Erik Cortinas stated that the drainage in the parking lot is the best that he's ever seen, and an O&M plan will not be required.

Chris Lieb added that there is no additional parking available in the existing lot, the property will be replatted with the common lot line moved and there is no reason to relocate the dumpster.

Chairman Turner asked for confirmation that this area can only be used for parking.

Chris Williams, City Attorney, stated that a shared parking agreement is a revocable license, but conditions could be added, i.e. the lot will meet zoning ordinance if rezoned.

Hunter Simmons, Planning and Zoning Director, stated that the shared parking agreement is a draft which will be finalized before the City Council meeting. The replat will also happen before the City Council meeting.

Kevin Boone stated that changing zoning is a choice and he does not think this is right or fair.

Kevin Boone made a motion to recommend denial of ZC 25.03 to the City Council.

Harry Kohler seconded the motion and the motion carried with the following vote:

AYE: Kevin Boone; John Worsham; Harry Kohler; Paul Fontenot; Kim McCormick

NAY: Lee Tuner and Erik Cortinas.

**Adjournment**

John Worsham made a motion to adjourn.

AYE: Kevin Boone; Lee Turner; John Worsham; Harry Kohler; Paul Fontenot; Kim McCormick; Erik Cortinas

NAY: None.

Adjourned at 6:11pm.

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Lee Turner, Chairman

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Cindy Beaudreau, Secretary

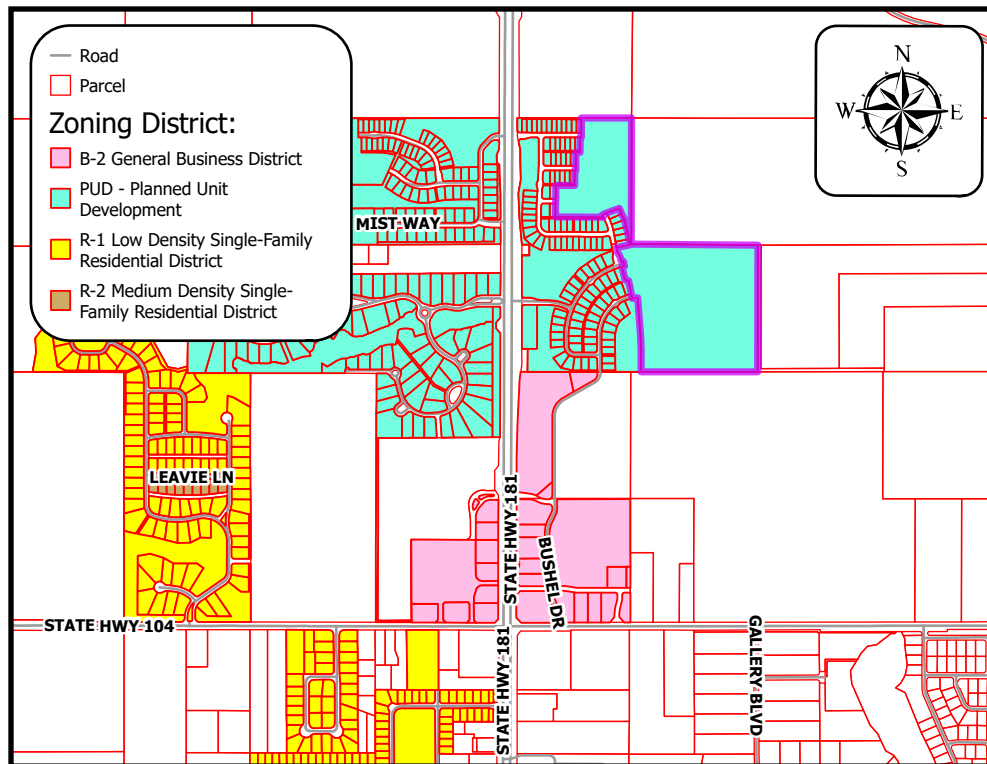
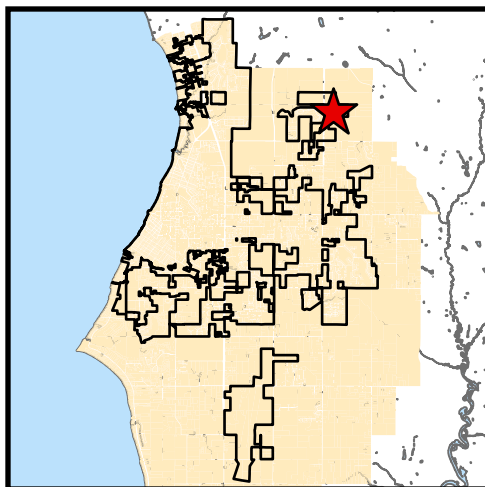


This digital package has been condensed for size and some documents may not contain all the original pages. All submittals were reviewed in full by staff in preparation for the reports prepared for the Planning Commission.

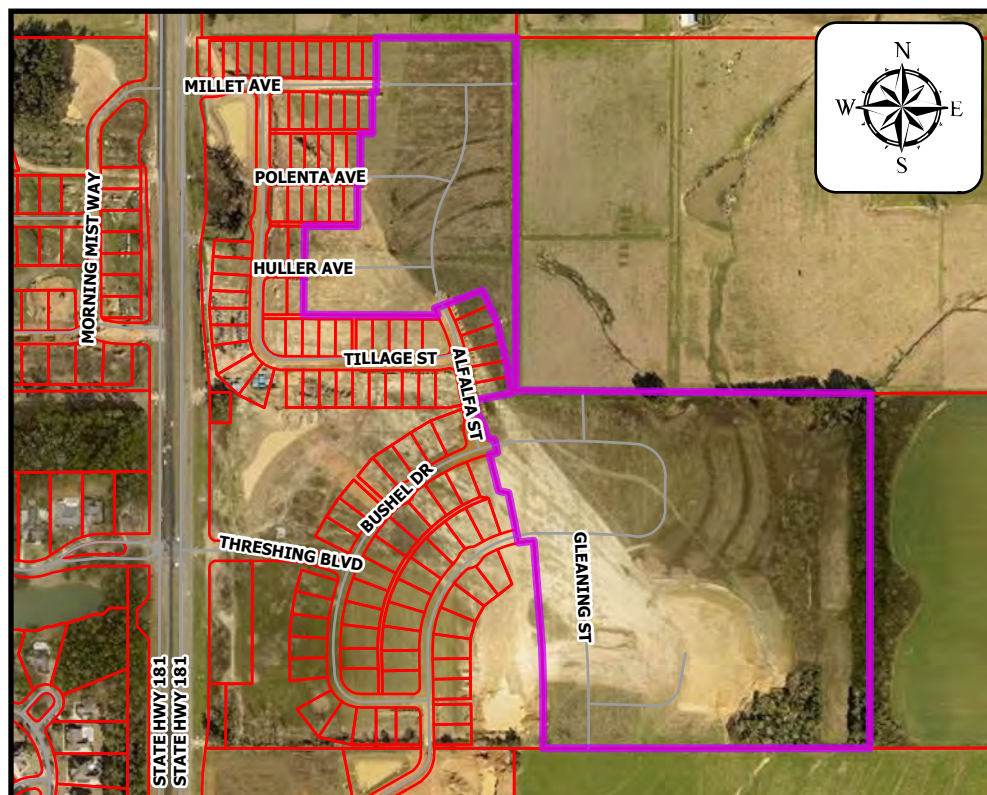
# City of Fairhope Planning Commission May 5, 2025



## SD 25.06 - Harvest Green East Phase Two



<b><u>Project Name:</u></b>	Harvest Green East Phase Two
<b><u>Site Data:</u></b>	54.64 acres
<b><u>Project Type:</u></b>	Final Plat Approval of 108-lot Subdivision
<b><u>Jurisdiction:</u></b>	Fairhope Planning Jurisdiction
<b><u>Zoning District:</u></b>	PUD
<b><u>PPIN Number:</u></b>	17735, 77776
<b><u>General Location:</u></b>	North side of State Highway 104, East side of State Highway 181
<b><u>Surveyor of Record:</u></b>	S.E. Civil, LLC
<b><u>Engineer of Record:</u></b>	S.E. Civil, LLC
<b><u>Owner / Developer:</u></b>	FST 68V Harvest Green East 2022, LLC
<b><u>School District:</u></b>	Fairhope Elementary School Fairhope Middle and High Schools
<b><u>Recommendation:</u></b>	Approved w/ Conditions
<b><u>Prepared by:</u></b>	Mike Jeffries





**APPLICATION FOR SUBDIVISION PLAT APPROVAL**

Application Type:     Village Subdivision                       Minor Subdivision                       Informal (No Fee)  
                                   Preliminary Plat                                       Final Plat                                       Multiple Occupancy Project

Attachments:                       Articles of Incorporation or List all associated investors  
 Date of Application: \_\_\_\_\_

Property Owner / Leaseholder Information		
Name of Property Owner:	FST 68V HARVEST GREEN EAST 2022, LLC	Phone Number: (251) 625-1198
Address of Property Owner:	707 Belrose Ave.	
City: Daphne	State: AL	Zip: 36526

Proposed Subdivision Name: Harvest Green East Phase 2  
 No. Acres in Plat: 54.64                      No. Lots/Units: 108  
 Parcel No: 05-46-01-02-0-000-002.000                      Current Zoning: PUD Ordinance # 1728  
                                  05-46-01-02-0-000-001.508

Authorized Agent Information		
<i>Plat must be signed by the property owner before acceptance by the City of Fairhope</i>		
Name of Authorized Agent:	Aaron Collins	Phone Number: 251-990-6566
Address:	9969 Windmill Road	
City: Fairhope	State: AL	Zip: 36532
Contact Person:	Aaron Collins	

Surveyor/Engineer Information		
Name of Firm:	S.E. CIVIL	Phone Number: 251-990-6566
Address:	9969 Windmill Road	
City: Fairhope	State: AL	Zip: 36532
Contact Person:	_____	

Plat Fee Calculation:  
**Reference: Ordinance 1269**

Signatures:  
 I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. \*If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Aaron Collins (as agent)  
 \_\_\_\_\_  
 Property Owner/Leaseholder Printed Name  
 3/5/2025  
 \_\_\_\_\_  
 Date

*Aaron S. Collins*  
 \_\_\_\_\_  
 Signature  
 x *REDOO*  
 \_\_\_\_\_  
 Fairhope Single Tax Corp. (If Applicable)  
*Reuben E. Davidson, III*  
*FSTC Secretary*



## Final Plat Application Checklist\*

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\*This checklist is intended for convenience purposes only.  
Refer to the Subdivision Regulations for a *complete* list of requirements.

- 2 Copies of the Plat
- 2 Sets of As-Builts
- 1 Copy of the Plat on PDF format on disk
- Proof of 911 approval of street names
- 1 Copy of As-Builts on GIS for Water/Sewer Department
- Water: bacteria tests, pressure test, flow test
- Sewer: video, pressure test, vacuum test
- Roads: core samples and test data
- Electric: street light invoice
- Financial Guaranty, if applicable (only after 90% complete)
- Errors and Omission Insurance
- Maintenance Bond
- Operations and Maintenance Plan for Storm Water Pond (stand alone document)
- Street Tree Plan
- Final Plans and calculations for utility layouts
- Certificate of County Engineer's approval for extra-territorial plats
- Certificate of County Zoning, (must be signed and zoning of property, if any, indicated)
- Memorandum of Transmittal signed indicating County's receipt of plat/plans for development being submitted before Planning Commission.
- Digital and/or video image, reflecting a date and time stamp, of the storm drains
- Engineer's Certificate of design conformance.

Please note that if your site is located outside the City of Fairhope limits, but in the planning jurisdiction, the County documentation is required and your application will be considered *incomplete* without the County documentation.

**Summary of Request:**

Public hearing to consider the request of the Applicant, S.E. Civil, LLC, on behalf of the Owner, FST 68V Harvest Green East 2022, LLC, for Final Plat Approval of Harvest Green East Phase 2, a 108-lot subdivision. The property is approximately 54.64 acres and is located on the east side of State Highway 181, across from The Waters Subdivision.

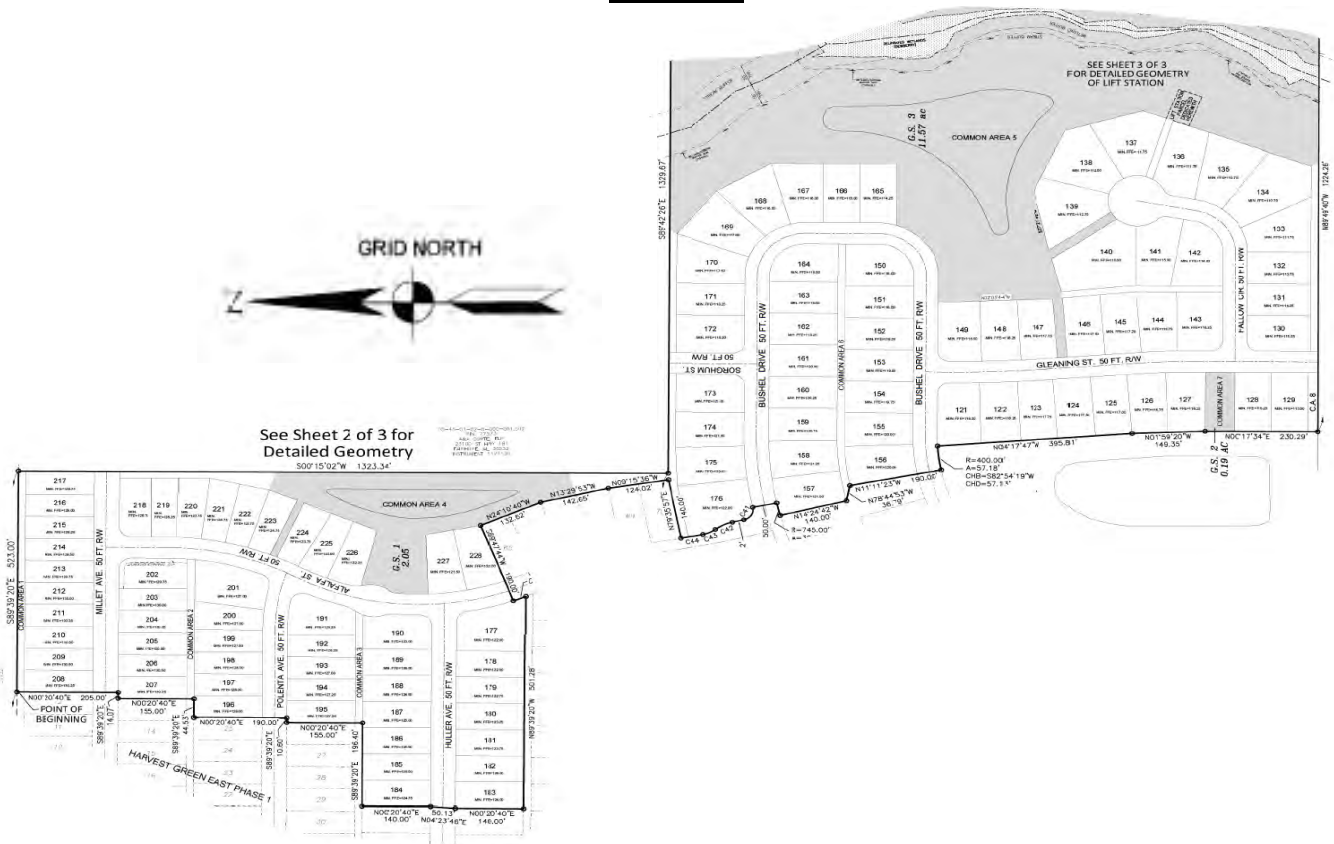
**Site Data**

Total Area	54.64 AC	Parcel Information
Zoning	PUD (Ordinance #1728)	Parcel Numbers:
Total Lots	108	05-46-01-02-0-000-002.000
Density	1.98 / AC	05-46-01-02-0-000-001.508
Smallest Lot	7,280 SF	Owners:
Largest Lot	20,829 SF (LOT 139)	FST AND 68V HARVEST GREEN EAST 2022, LLC
Max. Height	30 FT	707 BELROSE AVE
Street Length	5,168 LF	DAPHNE, AL 36526
Common Areas	23.15 AC (42%)	Developer:
Buffer Signs	15	68V HARVEST GREEN EAST 2022, LLC
		707 BELROSE AVE
		DAPHNE, AL 36526
Utility Providers:		
Water:	CITY OF FAIRHOPE	
Sewer:	CITY OF FAIRHOPE	
Power:	RIVIERA UTILITIES	
Telephone:	AT&T	

**BUILDING SETBACKS**

Lots 121 through 176	Lots 177 through 228
Front: 30 Ft.	Front: 30 Ft.
Rear: 30 Ft.	Rear: 30 Ft.
Side: 7.5 Ft.	Side: 5 Ft.
Side Street: 20 Ft.	Side Street: 20 Ft.

**Site Plan**



**Comments:**

The development, Harvest Green East, Phase 2 is one of four phases. Harvest Green West Phase 1 was finalized at the May 2024 Planning Commission meeting, Harvest Green East phase 1 was finalized at the July 2024 Planning Commission meeting and Harvest Green West Phase 2 is currently under construction. Harvest Green East, Phase 2 has been built in accordance with the design and engineered plans of the approved preliminary plat in November 2021. All conditions of the preliminary plat have been met.

**Utility Comments:**

The lift station for this development is located on a separate lot for dedication to the City.

*The subdivision regulations contain the following criteria in Article IV.B.2. Approval Standards.*

***“2. Consistency with Plans, Regulations and Laws - The Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:***

***a. The proposed subdivision is not consistent with the City’s Comprehensive Plan, and/or the City’s Zoning ordinance, where applicable;***

- ***Meets***

***b. The proposed subdivision is not consistent with the City’s Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;***

- ***Meets***

***c. The proposed subdivision is not consistent with these Regulations;***

- ***Meets***

***d. The proposed subdivision is not consistent with other applicable state or federal laws and regulations;***  
***or***

- ***Meets***

***e. The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City.”***

- ***Meets***

**Follow-Up Activities Required by Final Plat Process:**

- Copy of the recorded plat (Final Plat must be recorded within 120 days of acceptance)
- Maintenance and Guarantee Agreement executed by the subdivider – this document is not considered fully executed until the Mayor signs said agreement.
  - Remember to include the instrument # from the recorded plat
  - Remember to include 30 days in paragraph 3

**Recommendation:**

Staff recommends ***Conditional Approval*** of SD 25.06 Harvest Green East, Phase 2 Final Plat **subject to the following condition:**

1. Completion of Follow-Up Activities

CERTIFICATE OF APPROVAL BY CITY OF FAIRHOPE (SEWER):

THE UNDERSIGNED, AS AUTHORIZED BY THE CITY OF FAIRHOPE UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY CITY OF FAIRHOPE UTILITIES (WATER):

THE UNDERSIGNED, AS AUTHORIZED BY THE CITY OF FAIRHOPE UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES (ELECTRIC):

THE UNDERSIGNED, AS AUTHORIZED BY THE RIVIERA UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY AT&T (TELEPHONE):

THE UNDERSIGNED, AS AUTHORIZED BY AT&T HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY THE FAIRHOPE PLANNING DIRECTOR

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY PLANNING COMMISSION OF FAIRHOPE, ALABAMA, AND IS APPROVED BY SUCH COMMISSION.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY E-911 ADDRESSING:

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY E-911 BOARD, HEREBY APPROVES THE ROAD NAMES AS SHOWN ON THE WITHIN PLAT AND HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

AUTHORIZED SIGNATURE

GENERAL NOTES:

- 1. FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS. STORMWATER DETENTION AREAS ARE NOT THE RESPONSIBILITY OF CITY OF FAIRHOPE TO MAINTAIN.
2. ALL UTILITIES WILL BE CONSTRUCTED UNDERGROUND.
3. THERE IS DEDICATED HEREWITH A 10 FOOT UTILITY EASEMENT ON ALL LOT LINES AND COMMON AREAS ADJACENT TO THE RIGHT-OF-WAYS AND A 5 FOOT UTILITY EASEMENT ON EACH SIDE OF LOT AND COMMON AREA LINES, UNLESS OTHERWISE NOTED.
4. THERE IS DEDICATED HEREWITH A 10 FOOT DRAINAGE EASEMENT ALONG THE REAR OF ALL LOTS THAT DO NOT BACK UP TO A COMMON AREA CONTAINING DRAINAGE INFRASTRUCTURE AND A 10 FOOT DRAINAGE EASEMENT ALONG ALL SIDE LOT LINES (5 FOOT ON EACH SIDE).
5. NO FENCES OR STRUCTURES SHALL BE PLACED IN DRAINAGE OR UTILITY EASEMENTS.
6. MINIMUM FINISHED FLOOR ELEVATION SHALL BE 1" ABOVE THE HIGHEST GROUND ELEVATION 10 FEET OUTSIDE OF BUILDING. SEE THE FAIRHOPE BUILDING DEPARTMENT FOR SPECIFIC REQUIREMENTS.
7. ALL ACCESS STREETS TO ADJACENT PROPERTIES THAT ARE NOT CONNECTED AT THE TIME OF THE IMPROVEMENTS SHALL BE POSTED WITH A STOP SIGN BEARING "FUTURE THROUGH STREET".
8. A PROPERTY OWNERS' ASSOCIATION (POA) IS REQUIRED TO BE FORMED FOR THE PROJECT TO MAINTAIN ANY AND ALL STORM WATER FACILITIES AND STRUCTURES LOCATED OUTSIDE OF THE PUBLICLY ACCEPTED RIGHT-OF-WAY.
9. FUTURE DEVELOPMENT SHALL BE IN SUBSTANTIAL CONFORMANCE TO PUO ORDINANCE #1726.
10. ALL COMMON AREAS SHALL HAVE A BLANKET (ORANGE) AND UTILITY EASEMENT.
11. ALL SIDEWALKS AND STREET TREES SHALL BE INSTALLED PRIOR TO FINAL PLAT APPLICATION.

Total Area 54.64 AC
Zoning PUD (Ordinance #1728)
Total Lots 108
Density 1.98 / AC
Smallest Lot 7.28 SF
Largest Lot 20,829 SF (LOT 139)
Max. Height 30 FT
Street Length 5,168 LF
Common Areas 23.15 AC (42%)
Buffer Signs 15
Utility Providers:
Water: CITY OF FAIRHOPE
Sewer: CITY OF FAIRHOPE
Power: RIVIERA UTILITIES
Telephone: AT&T

Table with 2 columns: Building Setbacks, and 2 rows: Lots 121 through 176, Lots 177 through 228. Columns include Front, Rear, Side, and Side Street setbacks.

MORTGAGEE'S ACCEPTANCE - D.R.HORTON INC - BIRMINGHAM

IN WITNESS WHEREOF, TAYLOR HENSEL, THE OWNERS OF THE MORTGAGE OF D.R.HORTON, SHOWS HEREON HAS CAUSED THIS INSTRUMENT TO BE EXECUTED BY THE UNDERSIGNED OFFICERS, THEREUNTO DULY AUTHORIZED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

CERTIFICATION BY NOTARY PUBLIC

I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE HEREBY CERTIFY THAT TAYLOR HENSEL WHOSE NAME AS ASSISTANT TO D.R.HORTON IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENTS OF THIS INSTRUMENT, HE AS SUCH OFFICER, AND WITH FULL AUTHORITY EXECUTE THE SAME VOLUNTARILY FOR AND AS THE ACT OF SAID ENTITY.

ACKNOWLEDGEMENT STATE OF ALABAMA BALDWIN COUNTY

I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE HEREBY CERTIFY THAT TAYLOR HENSEL WHOSE NAME AS ASSISTANT TO D.R.HORTON IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENTS OF THIS INSTRUMENT, HE AS SUCH MEMBER, AND WITH FULL AUTHORITY EXECUTE THE SAME VOLUNTARILY FOR AND AS THE ACT OF SAID BANK.

MORTGAGEE'S ACCEPTANCE - LOT HV II, LLC

IN WITNESS WHEREOF, \_\_\_\_\_ THE OWNERS OF THE MORTGAGE OF LOT HV II, LLC, SHOWS HEREON HAS CAUSED THIS INSTRUMENT TO BE EXECUTED BY THE UNDERSIGNED OFFICERS, THEREUNTO DULY AUTHORIZED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

CERTIFICATION BY NOTARY PUBLIC

I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE HEREBY CERTIFY THAT \_\_\_\_\_ WHOSE NAME AS \_\_\_\_\_ OF LOT HV II, LLC IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENTS OF THIS INSTRUMENT, HE AS SUCH MEMBER, AND WITH FULL AUTHORITY EXECUTE THE SAME VOLUNTARILY FOR AND AS THE ACT OF SAID BANK.

ACKNOWLEDGEMENT STATE OF ALABAMA BALDWIN COUNTY

I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE HEREBY CERTIFY THAT \_\_\_\_\_ WHOSE NAME AS \_\_\_\_\_ OF LOT HV II, LLC IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENTS OF THIS INSTRUMENT, HE AS SUCH MEMBER, AND WITH FULL AUTHORITY EXECUTE THE SAME VOLUNTARILY FOR AND AS THE ACT OF SAID BANK.

See Sheet 2 of 3 for Detailed Geometry
500'15'02"W 1323.34'

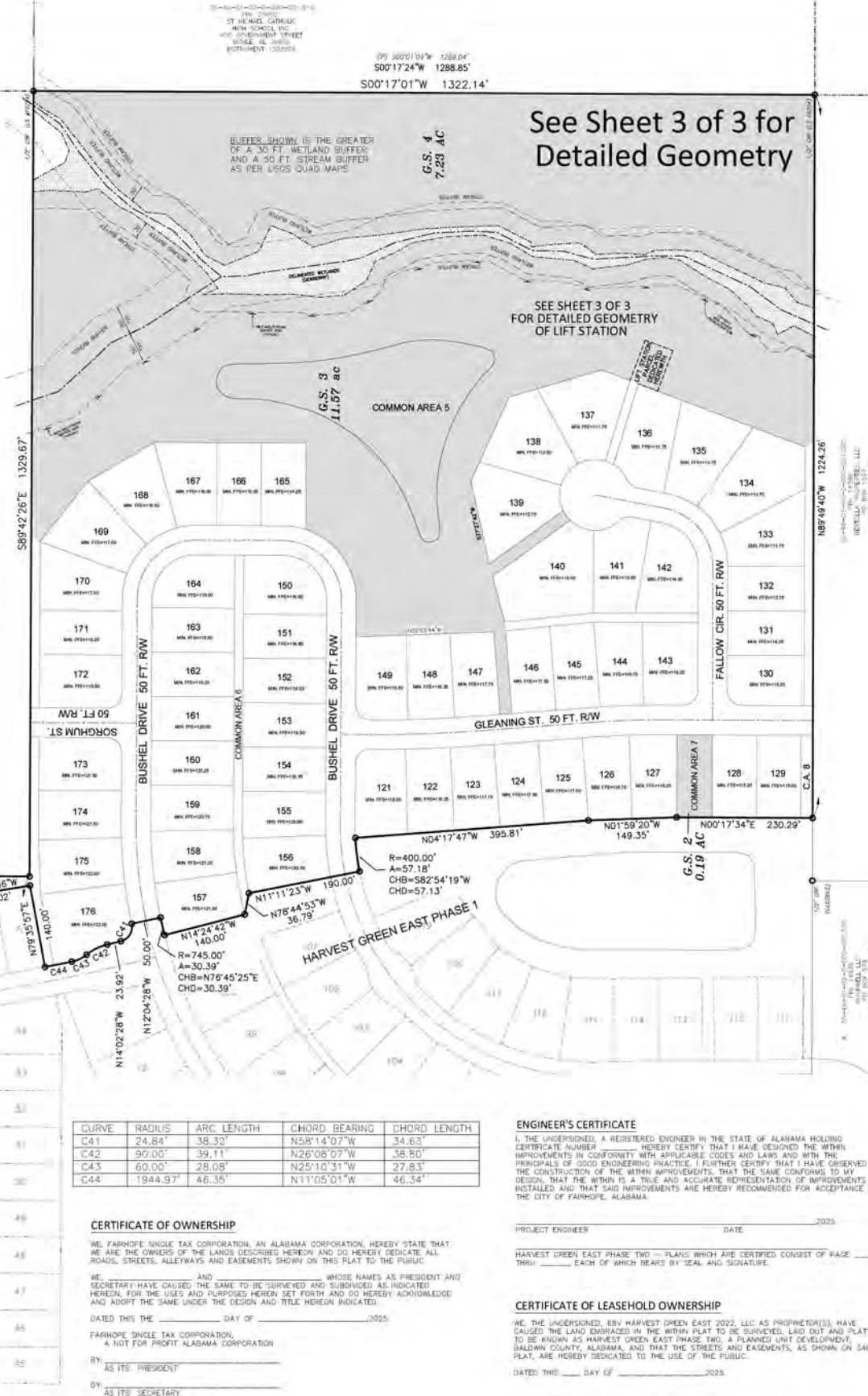


Table with 5 columns: CURVE, RADIUS, ARC LENGTH, CHORD BEARING, CHORD LENGTH. Rows C1 through C4.

CERTIFICATE OF OWNERSHIP

WE, FAIRHOPE SINGLE TAX CORPORATION, AN ALABAMA CORPORATION, HEREBY STATE THAT WE ARE THE OWNERS OF THE LANDS DESCRIBED HEREON AND DO HEREBY DEDICATE ALL ROADS, STREETS, ALLEYS AND EASEMENTS SHOWN ON THIS PLAT TO THE PUBLIC.

CERTIFICATE OF LEASEHOLD OWNERSHIP

WE, THE UNDERSIGNED, 68V HARVEST GREEN EAST 2022, LLC AS PROPRIETOR(S), HAVE CAUSED THE LAND DESCRIBED IN THE WITHIN PLAT TO BE SURVEYED, LAD AND PLATTED TO BE KNOWN AS HARVEST GREEN EAST PHASE TWO, A PLANNED UNIT DEVELOPMENT, BALDWIN COUNTY, ALABAMA, AND THAT THE STREETS AND EASEMENTS, AS SHOWN ON SAID PLAT, ARE HEREBY DEDICATED TO THE USE OF THE PUBLIC.

CERTIFICATE OF NOTARY PUBLIC

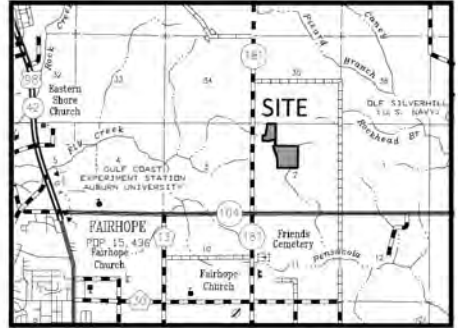
I, \_\_\_\_\_ NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY THAT \_\_\_\_\_ AS SECRETARY OF FAIRHOPE SINGLE TAX CORPORATION, AN ALABAMA CORPORATION, AS OWNER OF THE LANDS PLATTED HEREON IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENTS OF THE INSTRUMENT, AND IN THEIR CAPACITY AS SUCH OWNER AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY.

ACKNOWLEDGEMENT STATE OF ALABAMA BALDWIN COUNTY

I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN SAID STATE, HEREBY CERTIFY THAT \_\_\_\_\_ AS LEASEHOLD OWNER OF THE LANDS PLATTED HEREON IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENTS OF THE INSTRUMENT, AND IN THEIR CAPACITY AS SUCH LEASEHOLD OWNER AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY.

See Sheet 3 of 3 for Detailed Geometry

SEE SHEET 3 OF 3 FOR DETAILED GEOMETRY OF LIFT STATION



VICINITY MAP 1" = 1 MILE

- LEGEND:
C/A = COMMON AREA
R/W = RIGHT-OF-WAY
G.S. = GREEN SPACE
1/2" = 1/2" CAPPED REBAR FOUND (SE CIVIL CA-1167)-UNLESS OTHERWISE NOTED HEREON.
R = RADIUS
A = ARC LENGTH
B = BEARING
CHB = CHORD BEARING
CHD = CHORD DISTANCE

SURVEYOR'S CERTIFICATE:

I, DAVID E. DIEHL, A LICENSED SURVEYOR OF BALDWIN COUNTY, ALABAMA, HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY SHOWN HEREON, SITUATED IN BALDWIN COUNTY, ALABAMA AND DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SECTION 2, TOWNSHIP 8 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA; AND RUN THENCE SOUTH 89 DEGREES 39 MINUTES 20 SECONDS EAST, ALONG THE NORTH LINE OF SAID SECTION 2, A DISTANCE OF 803.91 FEET TO A 1/2 INCH CAPPED REBAR FOUND (SE CIVIL CA-1167) FOR THE POINT OF BEGINNING; THENCE CONTINUE, ALONG SAID NORTH LINE, SOUTH 89 DEGREES 39 MINUTES 20 SECONDS EAST, A DISTANCE OF 523.00 FEET TO A 1/2 INCH CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE, DEPARTING SAID NORTH LINE, RUN SOUTH 00 DEGREES 15 MINUTES 02 SECONDS WEST, A DISTANCE OF 1323.34 FEET TO A 1/2 INCH CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN SOUTH 89 DEGREES 42 MINUTES 28 SECONDS EAST, A DISTANCE OF 1329.67 FEET TO A 1/2 INCH CAPPED REBAR FOUND (19254); THENCE RUN SOUTH 00 DEGREES 17 MINUTES 01 SECONDS WEST, A DISTANCE OF 1322.14 FEET TO A 1/2 INCH CAPPED REBAR FOUND (19254); THENCE RUN NORTH 89 DEGREES 49 MINUTES 40 SECONDS WEST, A DISTANCE OF 1224.26 FEET TO A 1/2 INCH CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN NORTH 00 DEGREES 17 MINUTES 34 SECONDS EAST, A DISTANCE OF 230.29 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN NORTH 01 DEGREES 59 MINUTES 20 SECONDS WEST, A DISTANCE OF 149.35 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN NORTH 04 DEGREES 17 MINUTES 47 SECONDS WEST, A DISTANCE OF 395.81 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 400.00 FEET, AN ARC LENGTH OF 57.18 FEET, (CHORD BEARS SOUTH 82 DEGREES 54 MINUTES 19 SECONDS WEST, A DISTANCE OF 57.13 FEET) TO A 1/2 INCH CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN NORTH 11 DEGREES 23 SECONDS WEST, A DISTANCE OF 190.00 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN NORTH 78 DEGREES 44 MINUTES 53 SECONDS WEST, A DISTANCE OF 36.79 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN NORTH 14 DEGREES 24 MINUTES 42 SECONDS WEST, A DISTANCE OF 140.00 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 745.00 FEET, AN ARC LENGTH OF 30.39 FEET, (CHORD BEARS NORTH 11 DEGREES 05 MINUTES 25 SECONDS WEST, A DISTANCE OF 30.39 FEET) TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN NORTH 12 DEGREES 04 MINUTES 28 SECONDS WEST, A DISTANCE OF 50.00 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 36.79 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN NORTH 14 DEGREES 24 MINUTES 42 SECONDS WEST, A DISTANCE OF 140.00 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 90.00 FEET, AN ARC LENGTH OF 39.11 FEET, (CHORD BEARS NORTH 26 DEGREES 08 MINUTES 07 SECONDS WEST, A DISTANCE OF 38.80 FEET) TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 38.80 FEET, AN ARC LENGTH OF 28.08 FEET, (CHORD BEARS NORTH 25 DEGREES 31 SECONDS WEST, A DISTANCE OF 27.83 FEET) TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE ALONG A COMPOUND CURVE TO THE RIGHT, HAVING A RADIUS OF 1944.97 FEET, AN ARC LENGTH OF 46.35 FEET, (CHORD BEARS NORTH 11 DEGREES 05 MINUTES 25 SECONDS WEST, A DISTANCE OF 46.34 FEET) TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN NORTH 79 DEGREES 35 MINUTES 57 SECONDS EAST, A DISTANCE OF 140.00 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN NORTH 09 DEGREES 13 SECONDS WEST, A DISTANCE OF 140.00 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN NORTH 13 DEGREES 28 MINUTES 53 SECONDS WEST, A DISTANCE OF 142.65 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN NORTH 24 DEGREES 10 MINUTES 40 SECONDS WEST, A DISTANCE OF 132.62 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN SOUTH 89 DEGREES 47 MINUTES 44 SECONDS WEST, A DISTANCE OF 190.00 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 550.00 FEET, AN ARC LENGTH OF 27.50 FEET, (CHORD BEARS SOUTH 21 DEGREES 38 MINUTES 13 SECONDS EAST, A DISTANCE OF 27.50 FEET) TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN NORTH 89 DEGREES 39 MINUTES 20 SECONDS WEST, A DISTANCE OF 501.28 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN NORTH 00 DEGREES 20 MINUTES 40 SECONDS EAST, A DISTANCE OF 155.00 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN SOUTH 89 DEGREES 39 MINUTES 20 SECONDS EAST, A DISTANCE OF 10.60 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN NORTH 00 DEGREES 20 MINUTES 40 SECONDS EAST, A DISTANCE OF 190.00 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN NORTH 00 DEGREES 20 MINUTES 40 SECONDS EAST, A DISTANCE OF 155.00 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN SOUTH 89 DEGREES 39 MINUTES 20 SECONDS WEST, A DISTANCE OF 14.07 FEET TO A 1/2 CAPPED REBAR FOUND (SE CIVIL CA-1167); THENCE RUN SOUTH 89 DEGREES 39 MINUTES 20 SECONDS WEST, A DISTANCE OF 205.00 FEET TO THE POINT OF BEGINNING. TRACT CONTAINS 54.64 ACRES, MORE OR LESS.

AND THAT THE PLAT OR MAP CONTAINED HEREON IS A TRUE AND CORRECT MAP SHOWING THE SUBDIVISION INTO WHICH THE PROPERTY DESCRIBED IS DIVIDED GIVING THE LENGTH AND BEARINGS OF THE BOUNDARIES OF EACH LOT AND EASEMENT AND ITS NUMBER AND SHOWING THE STREETS, ALLEYS AND PUBLIC GROUNDS AND GIVING THE BEARINGS, LENGTH, WIDTH AND NAMES OF THE STREETS, SAID MAP FURTHER SHOWS THE RELATION OF THE LAND SO PLATTED TO THE GOVERNMENT SURVEY, AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED AT POINTS MARKED THIS (O) AS HEREBY SHOWN. I HEREBY CERTIFY (OR STATE) THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

WITNESS MY HAND THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

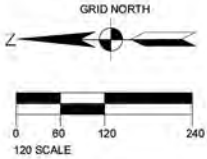
SURVEYOR: DAVID E. DIEHL, PLS ALABAMA LICENSE # 26014

SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL



HARVEST GREEN EAST PHASE TWO A PLANNED UNIT DEVELOPMENT

Table with 4 columns: DRAWN, JWG, ASC, PROJ/MGR, BJD, 1"=100', SCALE, 20210929, PROJECT, 1 OF 3, SHEET, FILE: HARVEST GREEN EAST PHASE 2



GREEN SPACE DENSITY CALCULATION
54.64 TOTAL GROSS ACRES
-9.15 ACRES, DETENTION, WETLANDS
45.49 ACRES
108/45.49 = 2.37 UNITS PER ACRE (G.S. DENSITY)
15% REQUIRED
QUALIFYING GREEN SPACE CALCULATION
2.05 AC G.S. 1 (EXCLUDES POND)
0.19 AC G.S. 2
11.57 AC G.S. 3 (EXCLUDES POND)
7.23 AC G.S. 4
23.04 AC TOTAL GREENSPACE (37.8%)

SURVEYOR'S NOTES:
1. THERE MAY BE RECORDS OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
2. THERE WAS NO ATTEMPT TO DETERMINE THE EXISTENCE, LOCATION, OR EXTENT OF ANY SUB-SURFACE FEATURES.
3. THE LINES REPRESENTING THE CENTERLINE AND RIGHT-OF-WAYS OF THE STREETS ARE SHOWN FOR VISUAL PURPOSES ONLY AND WERE NOT SURVEYED UNLESS RIGHT-OF-WAY MONUMENTATION IS ALSO SHOWN.
4. SURVEY WAS CONDUCTED ON AUGUST 2021, AND IS RECORDED IN AN ELECTRONIC FIELD BOOK.
5. BEARINGS AND DISTANCES SHOWN HEREON WERE COMPUTED FROM ACTUAL FIELD TRAVERSIES, AND ARE BASED ON THE STATE PLANE GRID, ALABAMA WEST ZONE USING GPS OBSERVATIONS.
6. THIS SURVEY HAS BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA.

FLOOD STATEMENT
PROPERTY LIES IN FLOOD ZONE "X" (UNSHADED) AS SCALED FROM FLOOD INSURANCE RATE MAP NUMBER Q10006, PANEL 0644, SUFFIX "M", DATED APRIL 19, 2019.



CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	525.00'	266.59'	S14°47'52"W	263.74'
C2	525.00'	454.02'	S04°34'14"W	440.01'
C3	25.00'	39.23'	S44°42'09"E	35.33'
C4	25.00'	39.31'	S45°17'51"W	35.38'
C5	550.00'	16.86'	N01°07'44"E	16.86'
C6	550.00'	49.31'	S04°34'32"W	49.29'
C7	550.00'	49.31'	S09°42'44"W	49.29'
C8	550.00'	49.31'	S14°50'57"W	49.29'
C9	550.00'	47.76'	S19°54'18"W	47.74'
C10	550.00'	47.82'	S26°26'46"W	47.81'
C11	550.00'	3.92'	S29°08'28"W	3.92'
C12	500.00'	61.65'	S25°48'46"W	61.62'
C13	500.00'	47.96'	S19°31'57"W	47.94'
C14	60.00'	25.08'	S04°48'32"W	24.90'
C15	60.00'	6.00'	S10°01'52"E	6.00'
C16	60.00'	55.00'	S13°21'59"W	53.10'
C17	25.00'	14.86'	S22°35'48"W	14.64'
C18	500.00'	65.91'	S01°47'21"W	65.86'
C19	500.00'	79.49'	S06°32'29"E	79.40'
C20	500.00'	79.49'	S15°39'00"E	79.40'
C21	525.00'	134.64'	N12°51'26"W	134.27'
C22	525.00'	319.38'	S11°55'03"W	314.48'
C23	550.00'	97.66'	N15°07'03"W	97.53'
C24	25.00'	34.74'	N49°50'35"W	32.01'
C25	25.00'	39.42'	N45°10'03"E	35.46'
C26	550.00'	49.77'	N02°34'59"E	49.76'
C27	60.00'	24.89'	N06°42'30"W	24.71'
C28	60.00'	41.43'	N01°11'15"E	40.61'
C29	60.00'	17.18'	N29°10'11"E	17.12'
C30	91.53'	32.89'	N27°04'44"E	32.71'
C31	550.00'	74.89'	N20°41'09"E	74.63'
C32	25.00'	45.62'	N27°41'13"W	39.55'
C33	400.00'	67.68'	N8°48'29"W	67.60'
C34	425.00'	138.48'	S80°19'15"E	137.87'
C35	450.00'	48.22'	S86°35'10"E	48.19'
C36	450.00'	55.58'	S79°58'41"E	55.55'
C37	25.00'	35.31'	N63°05'58"E	32.45'
C38	500.00'	141.84'	N14°30'42"E	141.36'
C39	500.00'	15.08'	N05°31'19"E	15.06'
C40	500.00'	38.47'	N02°27'17"E	38.46'

**LEGEND:**  
 C.A. = COMMON AREA  
 R/W = RIGHT-OF-WAY  
 G.S. = GREEN SPACE  
 ○ = 1/2" GAPPED REBAR FOUND (USE CIVIL CAA-11E7)-UNLESS OTHERWISE NOTED HEREON  
 Δ = ARC LENGTH  
 R = RADIUS  
 CHB = CHORD BEARING  
 CHD = CHORD DISTANCE



05-45-01-02-0-000-001.MXD  
 DATE: 7/8/13  
 AEA CORPTE. FLA.  
 23100 ST HWY 181  
 FAIRHOPE, AL 36532  
 INSTRUMENT 11271130

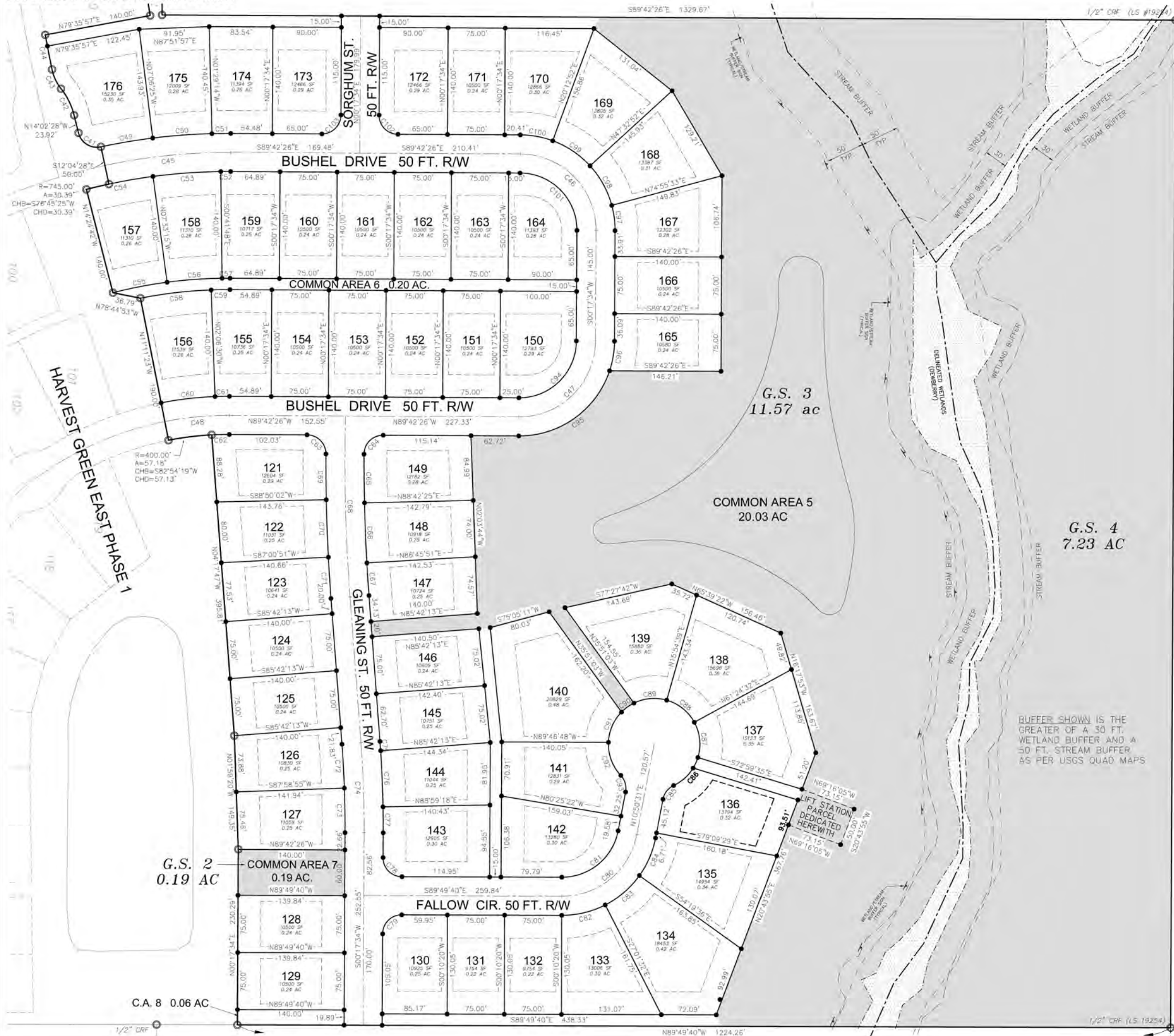


**HARVEST GREEN EAST  
 PHASE TWO  
 A PLANNED UNIT DEVELOPMENT**

DRAWN	JDG
CHKD	ASC
PROJ.MGR	DED
SCALE	1"=60'
PROJECT	20210029
FILE	HARVEST GREEN EAST PHASE 2

SHEET  
**2**  
 OF  
**3**

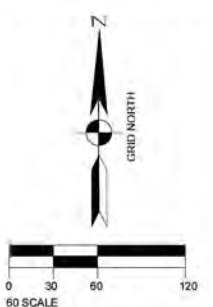
SEE SHEET 3 OF 3 FOR CONTINUATION



CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C41	24.84'	38.32'	N58°14'07"W	34.63'
C42	90.00'	39.11'	N26°08'07"W	38.80'
C43	60.00'	28.08'	N25°10'31"W	27.83'
C44	1944.97'	46.35'	N11°05'01"W	46.34'
C45	770.00'	166.20'	N84°06'33"E	165.88'
C46	100.00'	157.08'	S44°42'26"E	141.42'
C47	100.00'	157.08'	S45°17'34"W	141.42'
C48	425.00'	85.17'	S84°33'06"W	85.03'
C49	795.00'	68.92'	N80°24'34"E	68.90'
C50	795.00'	77.97'	N85°42'10"E	77.94'
C51	795.00'	24.70'	N89°24'10"E	24.70'
C52	745.00'	12.87'	S89°47'53"W	12.87'
C53	745.00'	89.17'	S85°52'28"W	89.11'
C54	745.00'	89.12'	S79°01'08"W	89.08'
C55	605.00'	155.27'	S82°56'26"W	154.84'
C56	605.00'	72.41'	N79°01'02"E	72.37'
C57	605.00'	72.41'	N85°52'28"E	72.37'
C58	605.00'	10.45'	N89°47'53"E	10.45'
C59	590.00'	93.51'	N83°21'03"E	93.42'
C60	590.00'	24.73'	N89°05'32"E	24.73'
C61	450.00'	90.18'	N84°33'06"E	90.03'
C62	450.00'	71.32'	N83°21'03"E	71.25'
C63	450.00'	18.86'	N89°05'32"E	18.86'
C64	400.00'	22.98'	N88°38'48"E	22.98'
C65	25.00'	39.26'	S44°42'46"E	35.35'
C66	25.00'	39.28'	S45°17'13"W	35.36'
C67	2325.00'	63.88'	N00°30'22"W	63.88'
C68	2325.00'	78.84'	S02°15'52"E	78.83'
C69	2325.00'	43.03'	S03°45'58"E	43.03'
C70	2350.00'	237.75'	S01°23'52"E	237.65'
C71	2375.00'	60.01'	S00°26'32"E	60.01'
C72	2375.00'	75.43'	S02°04'34"E	75.43'
C73	2375.00'	54.32'	S03°38'28"E	54.32'
C74	1450.00'	57.65'	S03°09'28"E	57.65'
C75	1450.00'	98.48'	S00°51'45"E	98.48'
C76	1475.00'	118.14'	S02°00'06"E	118.11'
C77	1500.00'	85.70'	N02°38'54"W	85.69'
C78	1500.00'	12.01'	S04°03'20"E	12.01'
C79	1500.00'	73.69'	S02°25'08"E	73.68'
C80	1500.00'	34.15'	S00°21'34"E	34.15'
C81	25.00'	39.32'	S44°46'03"E	35.39'
C82	25.00'	39.22'	N45°13'57"E	35.32'
C83	100.00'	138.46'	N50°30'26"E	127.66'
C84	75.00'	103.84'	N50°30'26"E	95.74'
C85	125.00'	59.34'	N76°34'24"E	58.78'
C86	125.00'	59.56'	N49°19'26"E	59.00'
C87	125.00'	54.17'	N23°15'28"E	53.75'
C88	25.00'	23.95'	N37°49'34"E	22.69'
C89	60.00'	50.06'	N40°54'31"E	48.62'
C90	60.00'	47.75'	N05°47'32"W	46.50'
C91	60.00'	47.65'	N51°20'24"W	46.40'
C92	60.00'	44.16'	S84°49'38"W	43.17'
C93	60.00'	44.30'	S54°08'57"W	20.00'
C94	60.00'	47.51'	S23°24'04"W	43.31'
C95	125.00'	117.81'	S20°26'22"E	46.28'
C96	125.00'	23.55'	S16°08'31"E	22.69'
C97	75.00'	117.81'	N45°17'34"E	106.07'
C98	125.00'	156.78'	N54°21'38"E	146.71'
C99	125.00'	39.57'	N09°21'38"E	39.40'
C100	125.00'	33.53'	N07°23'26"W	33.43'
C101	125.00'	59.73'	N28°45'47"W	59.16'
C102	125.00'	59.63'	N56°07'08"W	59.07'
C103	125.00'	43.46'	N79°44'47"W	43.24'
C104	75.00'	117.81'	N44°42'26"W	106.07'
C105	25.00'	39.27'	N44°42'26"W	35.36'
C106	25.00'	39.27'	N45°17'34"E	35.36'

BUFFER SHOWN IS THE GREATER OF A 30 FT. WETLAND BUFFER AND A 50 FT. STREAM BUFFER AS PER USGS QUAD MAPS

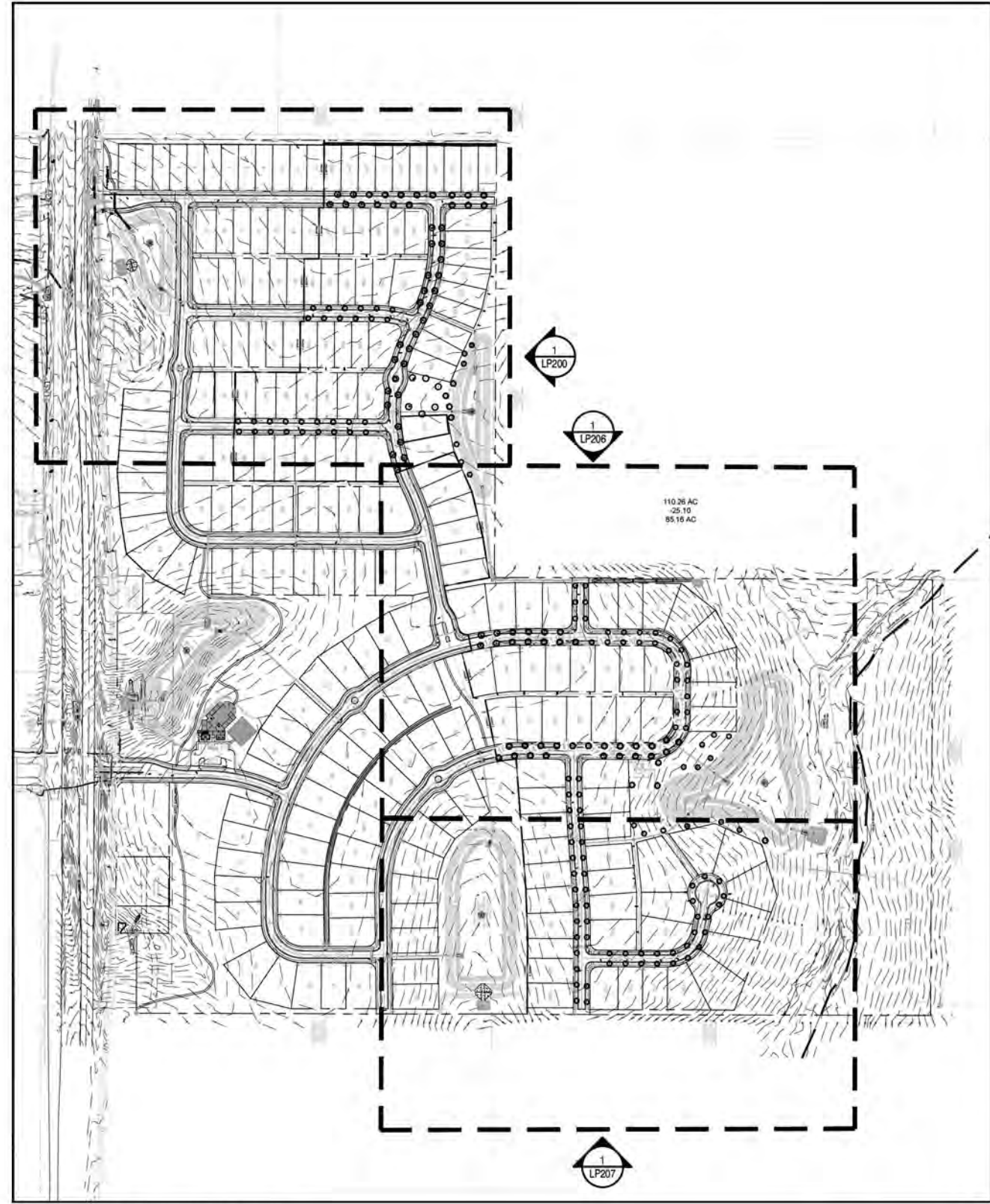
**LEGEND:**  
 C.A. = COMMON AREA  
 R/W = RIGHT-OF-WAY  
 G.S. = GREEN SPACE  
 ○ = 1/2" CAPRED REBAR FOUND  
 (SEE CIVIL CA-1167)-UNLESS OTHERWISE NOTED HEREON  
 A = ARC LENGTH  
 R = RADIUS  
 CHB = CHORD BEARING  
 CHD = CHORD DISTANCE



**HARVEST GREEN EAST  
 PHASE TWO  
 A PLANNED UNIT DEVELOPMENT**

DRAWN	JDG	ASC	DEB	1"=60'
CHKD	ASC	DEB	20210628	FILE HARVEST GREEN EAST PHASE 2
PROJ MGR	DEB	1"=60'	20210628	
SCALE	1"=60'	20210628		
PROJECT	20210628			
FILE	HARVEST GREEN EAST PHASE 2			

A Landscape Development Plan for  
**Harvest Green East**  
Fairhope, Alabama



**GENERAL NOTES**

**TREE PLACEMENT NOTES:**

- 1.) ALL TREES SHALL BE 15 GAL AND/OR 1.5"-2.5" DIA AT THE TIME OF PLANTING.
- 2.) TREES SHALL BE PLANTED EVERY 25' FROM INTERSECTIONS. A TREE SHALL BE PLANTED ONE PER LOT OR AT LEAST EVERY 50 FEET, BUT NO CLOSER THAN 10'. DEVELOPER RESERVES THE RIGHT TO UTILIZE EXISTING TREES TO MEET THIS REQUIREMENT.
- 3.) TREE SPECIES AND TREE PLACEMENT SHALL BE APPROVED BY THE CITY HORTICULTURIST.
- 4.) ALL TREES SHALL BE PRUNED SO THAT NOT FOLIAGE, LIMBS OR OTHER OBSTRUCTIONS EXISTING BETWEEN 2.5 AND 10 FEET FROM ADJACENT STREET GRADE.
- 5.) IN AREAS WHERE PLANTING STRIPS ARE OPTIONAL AND NOT PROVIDED, SIDEWALKS TEN FEET OR GREATER SHALL PROVIDE 4'X4' TREE WELLS ALONG THE CURB SO THE TREES MAY BE PLANTED IN CONFORMANCE WITH THESE REQUIREMENTS.
- 6.) PER TREE ORDINANCE, SMALL TREES WILL BE PLANTED IN BETWEEN WALK AND CURB AREAS LESS THAN 5 FEET. MEDIUM TREES CAN BE PLANTED BETWEEN 5-7 FEET AND LARGE GROWING TREES CAN BE PLANTED IF AREA BETWEEN WALK AND CURB IS 7 FEET OR MORE (SEE ORDINANCE FOR LIST).
- 7.) DEVELOPER SHALL BE RESPONSIBLE FOR WATERING TREES PRIOR TO SUBDIVISION ACCEPTANCE AND DURING 2-YEAR MAINTENANCE PERIOD.

**TREE PROTECTION NOTES:**

- 1.) TREES IN EXCESS OF 20" IN DIAMETER ARE CONSIDERED PROTECTED AND SHALL RECEIVE THE TREE PROTECTION AS DETAILED ON THIS SHEET. NO DIGGING, TRENCHING OR OTHER SOIL DISTURBANCE SHALL BE ALLOWED IN THE FENCED AREA.
- 2.) TREES SHALL NOT BE REMOVED PRIOR TO ISSUANCE OF PERMIT TO DO SO. THE CITY OF FAIRHOPE UTILIZED THE FOLLOWING RESTITUTION REQUIREMENTS FOR TREES THAT ARE REMOVED WITHOUT A PERMIT.
- 3.) ANY PERSON WISHING TO REMOVE OR RELOCATE A SIGNIFICANT TREE SHALL MAKE A WRITTEN APPLICATION WITH THE CITY HORTICULTURIST. THE APPLICATION SHALL INCLUDE A LANDSCAPE PLAN. THE CITY HORTICULTURIST MUST APPROVE OR DENY THE PERMIT WITHIN 14 WORKING DAYS AFTER RECEIPT OF APPLICATION.

**DISTURBED AREA NOTES:**  
ANY DISTURBED AREAS SHALL RECEIVE APPROPRIATE SOIL STABILIZATION MATERIAL AS NECESSARY.

**PLANT SCHEDULE COMMON AREA PHASE 2**

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT	REMARKS
<b>TREES</b>								
	BH	9	BETULA NIGRA MIN 3 TRUNKS	RIVER BIRCH	B&B OR CONT		8'-10'	MIN 3 TRUNKS
	LT	9	LIRIODENDRON TULIPIFERA FULL HEAD, SPECIMEN QUALITY	TULIP TREE	15 GAL		10'-12'	FULL HEAD, SPECIMEN QUALITY
	QS	4	QUERCUS SHUMARDII FULL HEAD, SPECIMEN QUALITY	SHUMARD RED OAK	15 GAL		8'-10'	FULL HEAD, SPECIMEN QUALITY
	QV	6	QUERCUS VIRGINIANA FULL HEAD, SPECIMEN QUALITY	SOUTHERN LIVE OAK	15 GAL		8'-10'	FULL HEAD, SPECIMEN QUALITY
	TD	8	TAXODIUM DISTICHUM FULL HEAD, SPECIMEN QUALITY	BALD CYPRESS	B&B OR CONT	3" CAL	10'	FULL HEAD, SPECIMEN QUALITY
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	SPACING	REMARKS
<b>SOD/SEED</b>								
	SOD	1,434 SF	CYNODON DACTYLON 'TIFWAY 419'	TIFWAY 419 BERMUDA GRASS	SOD			
	SE2	222,430 SF	PASPALUM NOTATUM	BAHIA GRASS (POND)	SOD			

**PLANT SCHEDULE PHASE 2 STREET TREES**

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT	REMARKS
<b>TREES</b>								
	LN	1	LAGERSTROEMIA INDICA 'NATCHEZ' MINIMUM 3 TRUNKS; FULL HEAD	'NATCHEZ' CRAPE MYRTLE	30 GAL		8'-10'	MINIMUM 3 TRUNKS; FULL HEAD
	LT	27	LIRIODENDRON TULIPIFERA FULL HEAD, SPECIMEN QUALITY	TULIP TREE	15 GAL		10'-12'	FULL HEAD, SPECIMEN QUALITY
	QN	81	QUERCUS NUTTALLII FULL HEAD, SPECIMEN QUALITY	NUTTALL OAK	15 GAL		8'-10'	FULL HEAD, SPECIMEN QUALITY
	QS	40	QUERCUS SHUMARDII FULL HEAD, SPECIMEN QUALITY	SHUMARD RED OAK	15 GAL		8'-10'	FULL HEAD, SPECIMEN QUALITY
	CP2	33	ULMUS AMERICANA 'FLORIDANA' FULL HEAD, SPECIMEN QUALITY	FLORIDA ELM	15 GAL	1.5" - 2"	10'-12'	FULL HEAD, SPECIMEN QUALITY
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	SPACING	REMARKS
<b>SHRUBS</b>								
	MC3	87	MYRICA CERIFERA SHRUB FORM, FULL TO GROUND	COMMON WAX MYRTLE	3 GAL		72" o.c.	SHRUB FORM, FULL TO GROUND

Revisions

No.	Date	Revisions / Submissions
09.25.21		CITY SUBMITTAL
01.24.22		DD SET
02.24.23		IFC SET
10.05.23		AMENITY & ALDOT REV.
12.19.23		SOUTH ENTRY REV.
01.05.24		SOUTH ENTRY CITY SUBMITTAL
01.25.24		WALKING PATH GRADING COORD.
01.31.24		WALKING PATH GRADING
03.21.24		PHASE 1 LANDSCAPE AS-BUILT
03.05.25		PHASE 2 LANDSCAPE AS-BUILT

SW  
Drawn  
VTW  
Checked  
213163-123  
Project No.  
09.24.21  
Date

Registration  
STATE OF ALABAMA  
LISTER CHAD  
REGISTERED LANDSCAPE ARCHITECT  
NUMBER 518

Sheet Title

**OVERALL  
LANDSCAPE PLAN**

Sheet No.  
**LP100**



1 LANDSCAPE PLANTING ENLARGEMENT PLAN  
Scale: 1" = 50'



A Landscape Development Plan for  
**Harvest Green East**  
Fairhope, Alabama

Revisions No.	Date	Revisions / Submissions
	09.25.21	CITY SUBMITTAL
	01.24.22	DD SET
	02.24.23	IFC SET
	10.05.23	AMENITY & ALDOT REV.
	12.19.23	SOUTH ENTRY REV.
	01.05.24	SOUTH ENTRY CITY SUBMITTAL
	01.25.24	WALKING PATH GRADING COORD.
	01.31.24	WALKING PATH GRADING
	03.21.24	PHASE 1 LANDSCAPE AS-BUILT
	03.05.25	PHASE 2 LANDSCAPE AS-BUILT

SW \_\_\_\_\_  
Drawn  
VTW \_\_\_\_\_  
Checked  
213163-123  
Project No.  
09.24.21  
Date

Registration  
**STATE OF ALABAMA**  
LISTER CHAD  
REGISTERED LANDSCAPE ARCHITECT  
NUMBER 518

Sheet Title

**LANDSCAPE PLANTING PLAN**

Sheet No.  
**LP200**



110.26 AC  
 -25.10  
 85.16 AC

1 LANDSCAPE PLANTING ENLARGEMENT PLAN  
 Scale: 1" = 50'

A Landscape Development Plan for  
**Harvest Green East**  
 Fairhope, Alabama

Revisions No.	Date	Revisions / Submissions
09.25.21		CITY SUBMITTAL
01.24.22		DD SET
02.24.23		IFC SET
10.05.23		AMENITY & ALDOT REV.
12.19.23		SOUTH ENTRY REV.
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01.31.24		WALKING PATH GRADING
03.21.24		PHASE 1 LANDSCAPE AS-BUILT
03.05.25		PHASE 2 LANDSCAPE AS-BUILT

SW \_\_\_\_\_  
 Drawn  
 VTW \_\_\_\_\_  
 Checked  
 213163-123  
 Project No.  
 09.24.21  
 Date

Registration  
 STATE OF ALABAMA  
 LISTER  
 CHAD  
 REGISTERED LANDSCAPE ARCHITECT  
 NUMBER  
 518

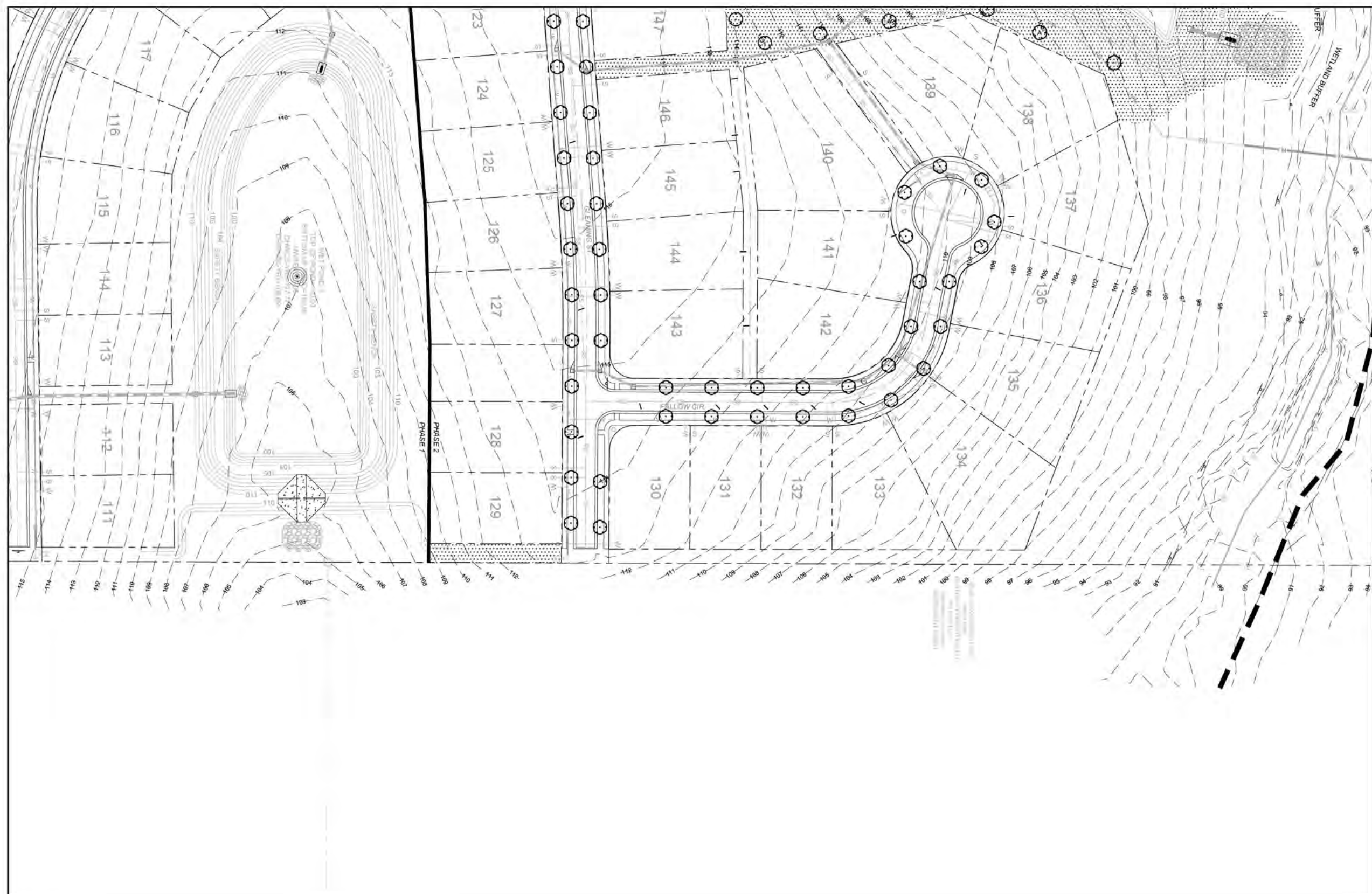
Sheet Title

LANDSCAPE  
 PLANTING PLAN

Sheet No.

LP206

A Landscape Development Plan for  
**Harvest Green East**  
Fairhope, Alabama



Revisions No.	Date	Revisions / Submissions
09.25.21		CITY SUBMITTAL
01.24.22		DD SET
02.24.23		IFC SET
10.05.23		AMENITY & ALDOT REV.
12.19.23		SOUTH ENTRY REV.
01.05.24		SOUTH ENTRY CITY SUBMITTAL
01.25.24		WALKING PATH GRADING COORD.
01.31.24		WALKING PATH GRADING
03.21.24		PHASE 1 LANDSCAPE AS-BUILT
03.05.25		PHASE 2 LANDSCAPE AS-BUILT

SW \_\_\_\_\_  
Drawn  
VTW \_\_\_\_\_  
Checked  
213163-123  
Project No.  
09.24.21  
Date

Registration  
**STATE OF ALABAMA**  
LISTER  
CHAD  
REGISTERED LANDSCAPE ARCHITECT  
NUMBER  
518

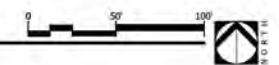
Sheet Title

**LANDSCAPE  
PLANTING PLAN**

Sheet No.

**LP207**

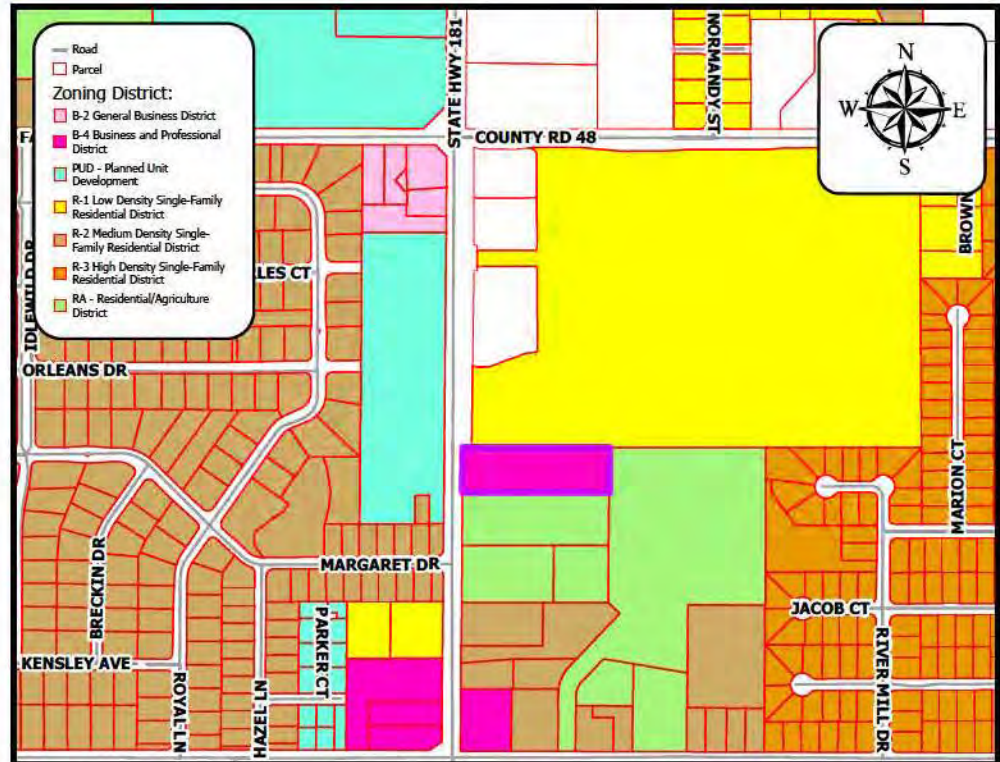
**1** LANDSCAPE PLANTING ENLARGEMENT PLAN  
Scale: 1" = 50'



# City of Fairhope Planning Commission May 5, 2025



## SD 25.07 - Advanced Dental



**Project Name:**

Advanced Dental

**Site Data:**

2.75 acres

**Project Type:**

11-unit Multiple Occupancy Project

**Jurisdiction:**

Fairhope Planning Jurisdiction

**Zoning District:**

B-4 - Business and Professional District

**PPIN Number:**

14894

**General Location:**

South side of Fairhope Ave/County Road 48, East side of State Highway 181

**Surveyor of Record:**

S.E. Civil, LLC

**Engineer of Record:**

S.E. Civil, LLC

**Owner / Developer:**

FST Fritz Harshberger DMD LLC

**School District:**

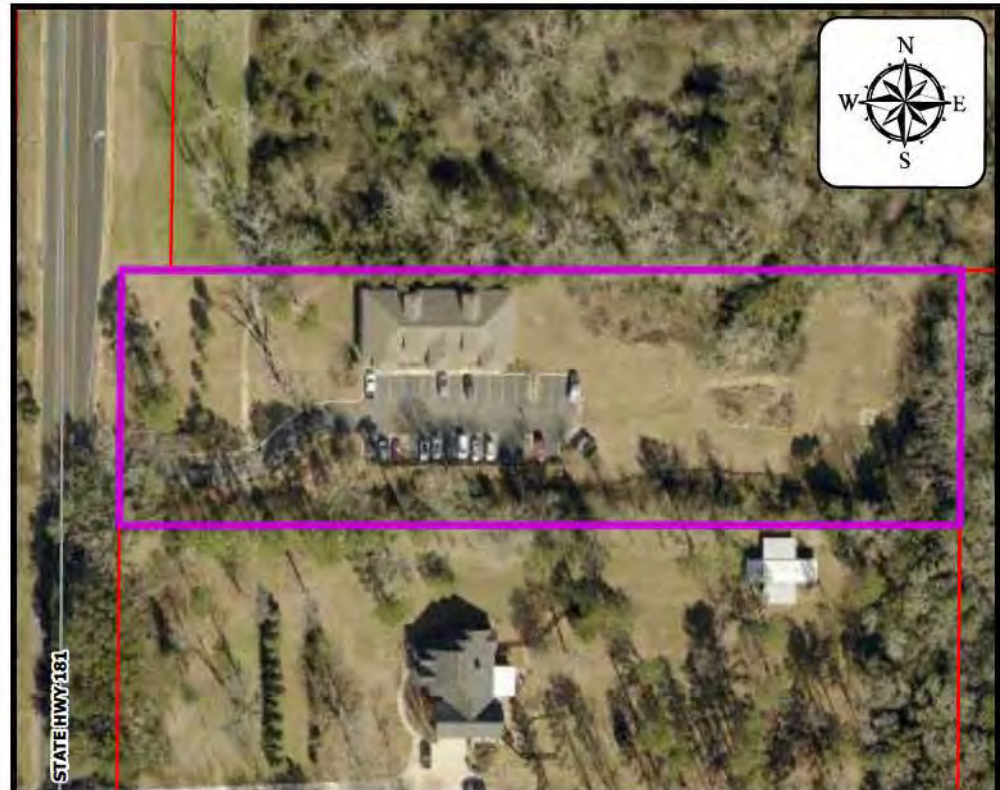
Fairhope Elementary School  
Fairhope Middle and High Schools

**Recommendation:**

Approved w/ Conditions

**Prepared by:**

Name : Michelle Melton





**APPLICATION FOR SUBDIVISION PLAT APPROVAL**

Application Type:  Village Subdivision  Minor Subdivision  Informal (No Fee)  
 Preliminary Plat  Final Plat  Multiple Occupancy Project

Attachments:  Articles of Incorporation or List all associated investors  
 Date of Application: 3/25/25

Property Owner / Leaseholder Information			
Name of Property Owner:	<u>FST FRITZ HARSHBERGER DMD LLC</u>	Phone Number:	<u>(251)-210-1777</u>
Address of Property Owner:	<u>20252 St. Hwy 181</u>		
City:	<u>Fairhope</u>	State:	<u>AL</u>
		Zip:	<u>36532</u>

Proposed Subdivision Name: Advanced Dental  
 No. Acres in Plat: 2.75 No. Lots/Units: 11  
 Parcel No: 05-46-06-14-0-000-001.502 Current Zoning: B-4

Authorized Agent Information			
<small>Plat must be signed by the property owner before acceptance by the City of Fairhope</small>			
Name of Authorized Agent:	<u>SE Civil, LLC</u>	Phone Number:	<u>(251)-990-6566</u>
Address:	<u>9969 Windmill Road</u>		
City:	<u>Fairhope</u>	State:	<u>AL</u>
		Zip:	<u>36532</u>
Contact Person:	<u>Larry Smith</u>		

Surveyor/Engineer Information			
Name of Firm:	<u>SE Civil, LLC</u>	Phone Number:	<u>(251)-990-6566</u>
Address:	<u>9969 Windmill Road</u>		
City:	<u>Fairhope</u>	State:	<u>AL</u>
		Zip:	<u>36532</u>
Contact Person:	<u>Larry Smith, PE</u>		

Plat Fee Calculation:  
**Reference: Ordinance 1269**

Signatures:  
 I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. \*If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Fritz Harshberger DMD LLC  
 Property Owner/Leaseholder Printed Name  
3/25/25  
 Date

[Signature]  
 Signature (Agent)  
 Fairhope Single Tax Corp. (If Applicable)

State of Alabama-Mobile County  
I certify this instrument was filed on:  
December 20, 2012 @ 11:59:49 AM  
RECORDING FEE \$50.00  
S.R. FEE \$2.00  
RECORDING FEES \$1.00  
TOTAL AMOUNT \$53.00

2012073645  
Don Davis, Judge of Probate

**CERTIFIED TRUE COPY**  
Probate Court of Mobile County, AL  
Don Davis, Judge

**ARTICLES OF ORGANIZATION**  
**OF**  
**FRITZ HARSHBERGER DMD, LLC.**

Signature [Signature]  
Joe McEachern, Chief Clerk  
Date 12/20/12

Pursuant to the Alabama Limited Liability Company Act, The undersigned hereby  
adopts the following Articles of Organization.

- FIRST:** The name of the Limited Liability Company is FRITZ HARSHBERGER DMD, LLC.
- SECOND:** The period of its duration is perpetual.
- THIRD:** The purpose or purposes for which the limited liability company is organized are:

To purchase or otherwise acquire, own, lease, use, improve, subdivide, sell. Let or otherwise dispose of and deal generally in and with all kinds of real estate or any interest therein;

To acquire or lease and operate shipping vehicles, stores and warehouses; to buy, sell trade or otherwise deal generally in and with, both at wholesale and retail, any and all kinds of building materials and supplies and other property, articles, goods, wares and merchandise of any and all kinds and character;

To acquire and use, sell and otherwise dispose of patents and patent rights of all kinds; and to manufacture and dispose of any kind of article under any patent or otherwise;

To acquire the good will, rights, property, and assets of any and all kinds, of any person, firm, association or corporation, or otherwise; and to assume and agree to pay the whole or any part of the liabilities of any such person, firm or association or corporation;

To loan, borrow money, make and receive promissory notes, bills of exchange, bonds, debentures, and other evidence of indebtedness of all kinds, whether secured by a mortgage, pledge or otherwise; to subscribe for, hold or otherwise acquire, sell, assign, transfer, mortgage, pledge or otherwise dispose of, share of the capital stock, bonds, debentures or other evidences of indebtedness issued by said corporation or any other corporation; and to guarantee the performance of any contract or obligation of any person, firm or corporation, and the payment of dividends of indebtedness;

To have, possess and exercise all the power, rights and privileges which may now or at any time hereafter be permitted unto any Limited Liability Company of this character; and

To enter into, make, perform and carry out all contract incidental to any objects herein declared; to do any and all things in these Articles of Organization to the same extent and as fully as natural persons might or could, and in any part of the world, as the

	Alabama
	Sec. Of State
	New Entity
	271-337 DLL
Date	12/26/2012
Time	17:00
File	130518 3 Pg
Ackn	\$100.00
Exp	\$.00
Total	\$100.00
	02/051

principals, agents, directors, trustees, or otherwise; and to do all and everything necessary convenient or proper for the accomplishment of any of the object herein mentioned.

FOURTH The address of the initial registered office of the Limited Liability Company is 5414 OLD SHELL ROAD, MOBILE, AL 36608, and the name of the initial registered agent at such address is FRITZ HARSHBERGER.

FIFTH The number of Members constituting the initial organizers of the Limited Liability Company is ONE (1) and the name and address of the person who is to serve as Member until the first annual meeting of the Members or until their successors are elected and shall qualify are:

<u>Name</u>	<u>Address</u>
FRITZ HARSHBERGER	5414 OLD SHELL ROAD MOBILE, AL 36608

Any provision that is not inconsistent with the law for the regulation of the internal affairs of the Limited Liability Company is permitted to be set forth in the operating agreement of the LLC.

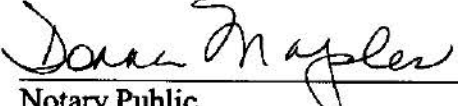
Dated this the 7 day of Dec 2012.

  
\_\_\_\_\_  
FRITZ HARSHBERGER (SEAL)

STATE OF ALABAMA)  
COUNTY OF MOBILE)

I, the undersigned Notary Public in and for said State and County, do hereby certify that FRITZ HARSHBERGER, whose name is signed to the foregoing instrument and who is known to me, acknowledged before me on this day, that being informed of the contents of said instrument, he executed the same voluntarily on the day the same bears date.

GIVEN under my hand and seal this the 7<sup>th</sup> day of Dec, 2012.

  
\_\_\_\_\_  
Notary Public  
My Commission Expires  
Nov 13, 2016

This instrument prepared by:  
R. Andrew Cook, CPA LLC  
4315 Downtowner Loop N Suite 200  
Mobile, AL 36609

Beth Chapman  
Secretary of State

P. O. Box 5616  
Montgomery, AL 36103-5616

# STATE OF ALABAMA

I, **Beth Chapman, Secretary of State of Alabama, having custody of the Great and Principal Seal of said State, do hereby certify that**

pursuant to the provisions of Title 10A, Chapter 1, Article 5, *Code of Alabama 1975*, and upon an examination of the entity records on file in this office, the following entity name is reserved as available:

**FRITZ HARSHBERGER DMD LLC**

This domestic limited liability company is proposed to be formed in Alabama and is for the exclusive use of **FRITZ HARSHBERGER, 5414 OLD SHELL RD, MOBILE, AL 36608** for a period of one hundred twenty days beginning December 7, 2012 and expiring April 7, 2013.

File	\$100.00
Rckn	\$1.00
Exp	\$1.00
Total \$103.00	

02/051	
271-337	New Entity
12/26/2012	Date
17:00	Time
3 Pg	
	DLL



616-150

In Testimony Whereof, I have hereunto set my hand and affixed the Great Seal of the State, at the Capitol, in the city of Montgomery, on this day.

December 7, 2012

Date

*Beth Chapman*

Beth Chapman

Secretary of State

**Summary of Request:**

Public hearing to consider the request of the Applicant, SE Civil, on behalf of the Owner, FST Fritz Harshberger DMD LLC, for Advanced Dental, an 11-unit Multiple Occupancy Project. Previously approved case SD 22.17 applies to this project because that case was for the second proposed building on site. The second building was not built in that timeframe; thus, this present case for the proposed second building on site. The property is approximately 2.75 acres and is located on the east side of State Highway 181, 0.25 miles south of County Road 48. The property is zoned B-4 and has an approved Site Plan that was reviewed in 2015 (SR 15.02).

SITE ANALYSIS		
<u>SITE ACREAGE (PROPOSED)</u> ±2.76 AC (120,183 SF)	<u>BUILDING HEIGHT</u> 27 FT	<u>BUILDING (UNDER ROOF)</u> 5,646 SF (EXISTING) 5,646 SF (PROPOSED)
<u>REQUIRED PARKING</u> 57 SPACES (SEE PARKING DATA)	<u>PROVIDED PARKING</u> 58 SPACES	
<u>JURISDICTION</u> CITY OF FAIRHOPE	<u>ZONING</u> B-4	
<u>IMPERVIOUS AREA</u> 0.863 AC (31.27%)	<u>PERVIOUS AREA</u> 1.897 AC (68.73%)	
<u>BUILDING SETBACKS:</u> FRONT YARD: SIDE YARD: REAR YARD:	<u>REQUIRED:</u> HCS 100 FT FROM CL ROW 10 FT 20 FT	
<u>MAXIMUM BUILDING HEIGHT:</u>	30'	
<u>MAX. GROUND COVERAGE RATIO:</u>	N/A	
<u>MAX. DENSITY:</u>	N/A	

**Comments:**

**Utilities:**

- All connections and work in ALDOT ROW will require permitting from ALDOT. Applicant sent permit application to ALDOT on February 12, 2025, for installation of a fire hydrant. To date there have not been any comments from ALDOT. Nonetheless, an ALDOT permit will be necessary for the installation of the fire hydrant.
- Baldwin EMC is the electric provider.
- Sewer is handled via on-site septic.
  - Health Department confirmed construction of existing building and infrastructure included a septic system permitted by the Health Department that includes the proposed second building.
- Fairhope Utilities is the gas provider.
- Fairhope Utilities is the water provider.
  - A fire hydrant must be added to meet subdivision requirements.
- AT&T can service the site for telecommunications and internet service.

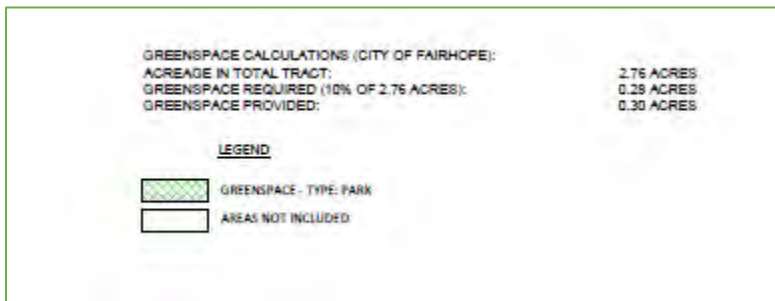
**Traffic:** A letter was provided by the Engineer of Record that the daily trips do not trigger a traffic study per the Subdivision Regulations

**Parking:** Required parking is 57 spaces. Fifty-eight (58) are provided, well within the permitted 20% over allowance of 67. Seven (7) permeable parking spaces are provided within this phase.

**Drainage:**

- A detention pond was constructed with the initial build and the Engineer of Record provided a letter stating the pond was built to conformance of the original design. The original design incorporated both buildings.
- An Operations and Maintenance Plan was provided and will need to be recorded holding the owner responsible for routine inspections and maintenance.



**Greenspace:** There is 0.3 of an acre provided as greenspace in the form of a preserve. This meets the requirements for a commercial MOP (10%). The “GS” sheet submitted mistakenly labels the greenspace type as a “park” in the Legend although “Preserve” is what is on the actual plan.



The image shows a table of greenspace calculations and a legend. The table is titled 'GREENSPACE CALCULATIONS (CITY OF FAIRHOPE):' and lists three rows: 'ACREAGE IN TOTAL TRACT: 2.76 ACRES', 'GREENSPACE REQUIRED (10% OF 2.76 ACRES): 0.28 ACRES', and 'GREENSPACE PROVIDED: 0.30 ACRES'. Below the table is a legend with two entries: a green hatched box labeled 'GREENSPACE - TYPE: PARK' and a white box labeled 'AREAS NOT INCLUDED'.

GREENSPACE CALCULATIONS (CITY OF FAIRHOPE):	
ACREAGE IN TOTAL TRACT:	2.76 ACRES
GREENSPACE REQUIRED (10% OF 2.76 ACRES):	0.28 ACRES
GREENSPACE PROVIDED:	0.30 ACRES

**LEGEND**

	GREENSPACE - TYPE: PARK
	AREAS NOT INCLUDED

**BMP:** A plan was submitted and reviewed. It is noted that south of the concrete washout area is a concern and that additional BMP measures may be required during construction.

**General Comments**

- The existing building contains 5 units. Approval of this application would allow up to 6 units in the proposed building.
- The building layout, parking, landscaping, and detention is in compliance with the approved Site Plan.

**Recommendation:**

Staff recommends **approval** SD 25.07 Advanced Dental MOP with the following conditions:

1. ALDOT permit for installation of fire hydrant.
2. Recorded O&M Plan provided to Staff.

# PROPOSED SITE IMPROVEMENT PLANS

for

## Advanced Dental Office Building Phase 2

20252 State Route 181  
Fairhope, Alabama 36532

Developer:  
Fritz Harshberger DMD, LLC  
20252 State Route 181  
Fairhope, Alabama 36532

### CONTACTS

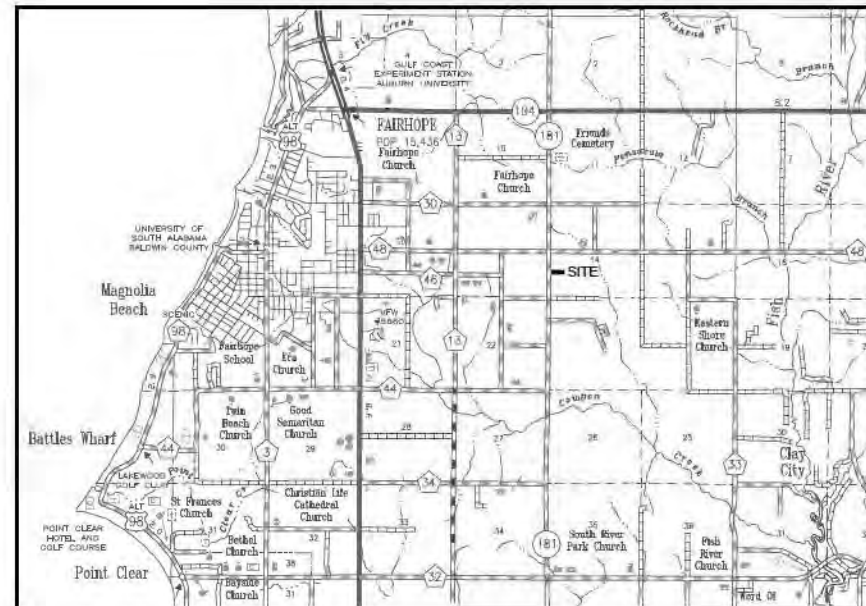
PLANNING/ZONING DEPARTMENT  
CITY OF FAIRHOPE  
MR. HUNTER SIMMONS  
555 SOUTH SECTION STREET  
FAIRHOPE, ALABAMA 36532  
251-928-8003

BUILDING DEPARTMENT  
CITY OF FAIRHOPE  
MR. ERIK CORTINAS  
555 SOUTH SECTION STREET  
FAIRHOPE, ALABAMA 36532  
251-928-8003

GAS DEPARTMENT  
CITY OF FAIRHOPE  
MR. TERRY HOLMAN  
555 SOUTH SECTION STREET  
FAIRHOPE, ALABAMA 36532  
251-928-8003

ELECTRICAL DEPARTMENT  
RIVIERA UTILITIES  
MR. SCOTT SLIGH  
P.O. DRAWER 2050  
FOLEY, AL 36536  
251-943-5001


WATER & SEWER DEPARTMENT  
CITY OF FAIRHOPE  
MR. JASON LANGLEY  
555 SOUTH SECTION STREET  
FAIRHOPE, ALABAMA 36532  
251-928-8003



VICINITY MAP  
N.T.S.

### ENGINEER'S CERTIFICATE

I, the undersigned, a Registered Professional Engineer in the State of Alabama holding Certificate Number 26348, hereby certify that I have reviewed the design herein which was done under my direct control and supervision and that, to the best of my professional knowledge and to the best of my belief, conforms to the requirements of Section 7-15 of the City of Fairhope Municipal Code and to all other rules, regulations, laws, and ordinances applicable to my design.

  
Project Engineer

February 12, 2025

Name of Project to which this Certificate Applies: Advanced Dental Office Building Phase 2  
Plans which are certified consist of Pages Cover Sheet thru Sheet C10



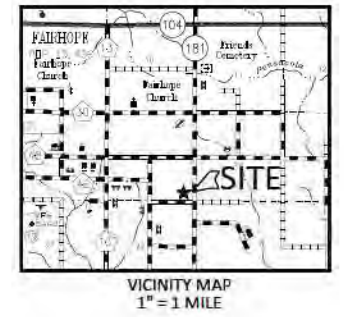
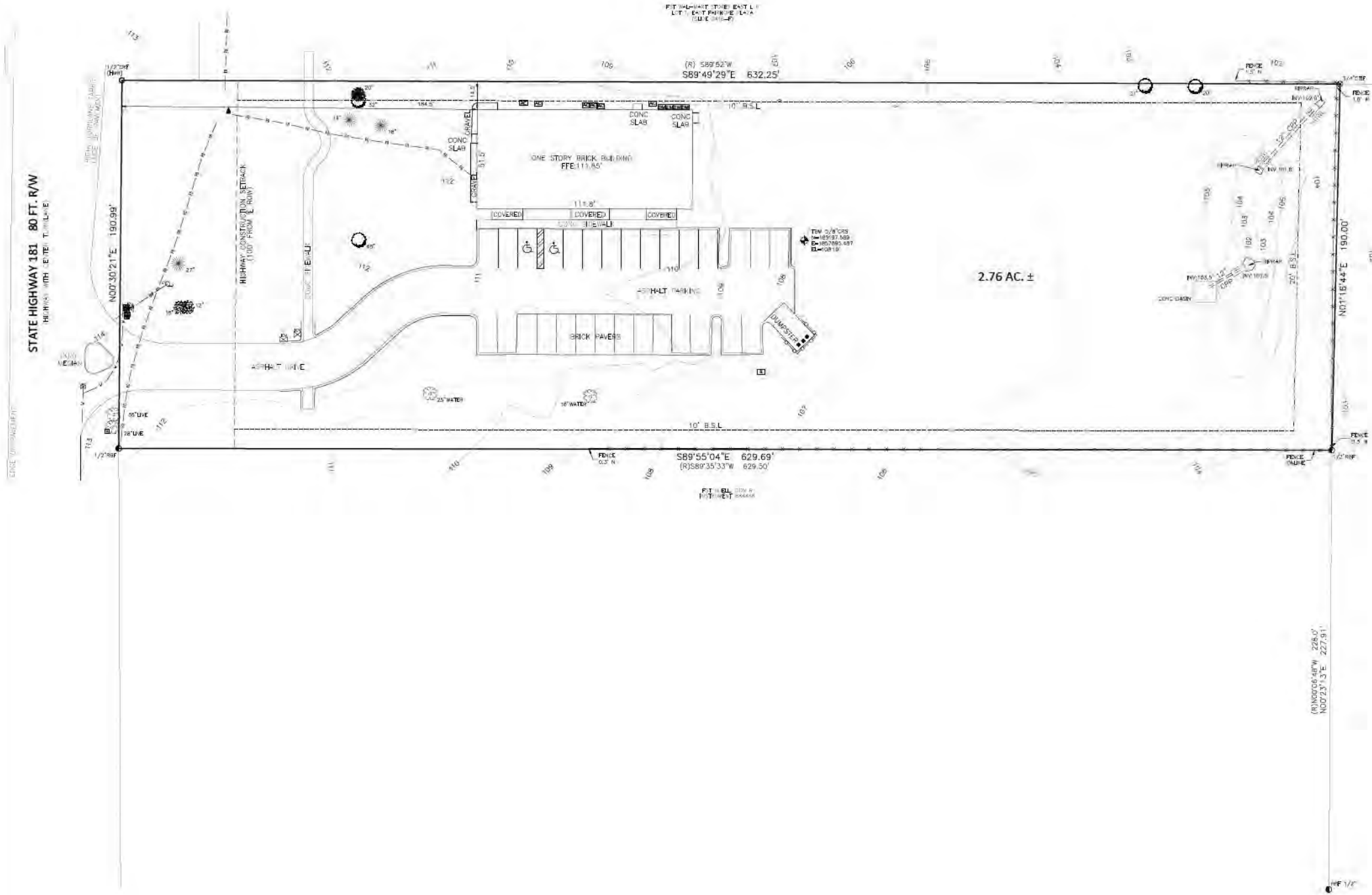
### TABLE OF CONTENTS

	COVER
	BOUNDARY AND TOPOGRAPHIC SURVEY
C01	SITE PLAN
C02	GRADING & DRAINAGE PLAN
C03	EROSION & SEDIMENT CONTROL PLAN
C04	UTILITY PLAN
C05-C10	CONSTRUCTION DETAILS

### REVISIONS

NO.	DATE	APPR.	REVISION
0	4/26/22	TLS	INITIAL CITY OF FAIRHOPE SUBMITTAL
1	5/18/22	TLS	RE-SUBMITTAL TO CITY OF FAIRHOPE
2	2/12/25	TLS	INITIAL ALDOT SUBMITTAL





- LEGEND:**
- B.S.L. = BUILDING SETBACK LINE
  - (R) = RECORD BEARING/DISTANCE
  - CRF = CAPPED REBAR FOUND
  - CTIF = CHAMP TOP IRON FOUND
  - RF = REBAR FOUND (NO CAP)
  - TSM = TEMPORARY BENCH MARK
  - CRS = CAPPED REBAR SET (SE CIVIL)
  - FAT = FAIRHOPE SINGLE TAX
  - CRP = CORRUGATED PLASTIC PIPE
  - BN = BENCH
  - H/WL = HEADWALL
  - (HMR) = HILTONS/MOORE & WAUGH
  - CONC = CONCRETE
  - = POST & WIRE FENCE
  - = WOOD FENCE
  - W— = OVERHEAD POWER LINE
  - R— = FIBER OPTIC LINE
  - V— = WATER MAIN
  - U— = UTILITY POLE
  - = TELEPHONE PESTAL
  - = AIR CONDITIONER
  - = ELECTRIC BOX
  - = ELECTRIC METER
  - = WATER METER
  - ▲ = UTILITY MARKER
  - ⊗ = IRRIGATION CONTROL VALVE
  - ⊙ = SEWER CLEAN OUT
  - ⊕ = HANDICAP PARKING
  - = BOLLARD
  - = OAK
  - = PINE
  - = PECAN
  - = BIRCH
  - = CEDAR

**SURVEYOR'S CERTIFICATE**  
 I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

North 190 feet of the Northwest Quarter (Northwest 1/4) of the Southwest Quarter (Southwest 1/4) of the Southwest Quarter (Southwest 1/4), less 40 feet for road on West from said Northwest 1/4 Southwest 1/4 Southwest 1/4, lands of the Fairhope Single Tax Corporation, Section 14, Township 6 South, Range 2 East, Baldwin County, Alabama.

(DESCRIPTION COPIED FROM THAT WARRANTY BILL OF SALE RECORDED IN INSTRUMENT 1501567, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA).

*David E. Diehl* 03-07-2022  
 DAVID E. DIEHL AL. P.L.S. NO. 26014 DATE  
 SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL



- SURVEYOR'S NOTES:**
1. THERE MAY BE RECORDED OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
  2. THERE WAS NO ATTEMPT TO DETERMINE THE EXISTENCE, LOCATION, OR EXTENT OF ANY SUB-SURFACE FEATURES.
  3. SURVEY WAS CONDUCTED ON FEBRUARY 23, 2022, AND IS RECORDED IN AN ELECTRONIC FIELD BOOK.
  4. BEARINGS AND DISTANCES SHOWN HEREON WERE "COMPUTED" FROM ACTUAL FIELD TRAVERSES AND ARE BASED ON STATE PLANE GRID, ALABAMA VERT CURVE (USNG) OBSERVATIONS.
  5. ELEVATIONS SHOWN HEREON ARE RELATED TO MEAN SEA LEVEL BASED ON N.A.S.D. 1985 DATUM.
  6. THE UTILITY INFORMATION SHOWN HEREON WAS OBTAINED BY SURVEYING AND FLOTTING THE VISIBLE ABOVE GROUND UTILITY FEATURES (FURNISHED WITH THE CEPTHOLOGICAL SURFACE MARKINGS BY OTHERS).
  7. THERE APPEARS TO BE AN EXISTING ON-SITE SEPTIC SYSTEM ALONG THE NORTHEAST BOUNDARY. THE LOCATION WAS NOT ABLE TO BE DETERMINED AT THE TIME OF SURVEY.
  8. NO TITLE SEARCH OR REPORT WAS PROVIDED FOR THIS SURVEY.
  9. THIS SURVEY HAS BEEN COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA EFFECTIVE JANUARY 1, 2017.

**BUILDING SETBACKS**  
 BUILDING SETBACKS AS PER B-4 BUSINESS AND PROFESSIONAL DISTRICT, FAIRHOPE ZONING ORDINANCE:  
 FRONT: 20 FT.  
 REAR: 20 FT.  
 SIDE: 10 FT.

**FLOOD STATEMENT**  
 PROPERTY LIES IN FLOOD ZONE "X" AS SCALED FROM FLOOD INSURANCE RATE MAP NUMBER 010030063M, COMMUNITY NUMBER 010006, PANEL 0663, SURVEY "M" MAP REVISION DATE APRIL 13, 2019.

PROPERTY BOUNDARY & TOPOGRAPHIC SURVEY		DRAWN	RDC
		CHKD.	JAF
HARSHBERGER		PROJ MGR.	DED
		SCALE	1"=30'
		PROJECT	20211082
		FILE	20211082
		SHEET	1 OF 1



### SITE PLAN LEGEND

EXISTING		PROPOSED
	HEADER CURB	
	RIBBON CURB	
	PARKING QUANTITY	
	ACCESSIBLE PARKING SPACE	
	PERVIOUS BRICK PAVER	
	CONCRETE PAVING	
	REMOVE AND REPLACE ASPHALT	
	MEDIUM DUTY ASPHALT PAVING	

X' SYSL - X' WIDE SINGLE YELLOW SOLID LINE  
 X' DYSL - X' WIDE DOUBLE YELLOW SOLID LINE  
 X' SWSL - X' WIDE SINGLE WHITE SOLID LINE

### LAND USAGE

DESCRIPTION	AREA	% OF PROPERTY AREA
PROPERTY AREA	2.78 ACRES	-
BUILDING AREA (UNDER ROOF)	0.259 ACRES	9.30%
IMPERVIOUS PAVING	0.604 ACRES	21.88%
PERVIOUS PAVING	0.070 ACRES	2.54%
GRASSED/LANDSCAPED AREA	1.827 ACRES	66.19%

### PARKING DATA

PARKING REQUIREMENT	SPACES
TOTAL REQUIRED (1 SPACE/200SF) =	57
TOTAL PROVIDED =	58

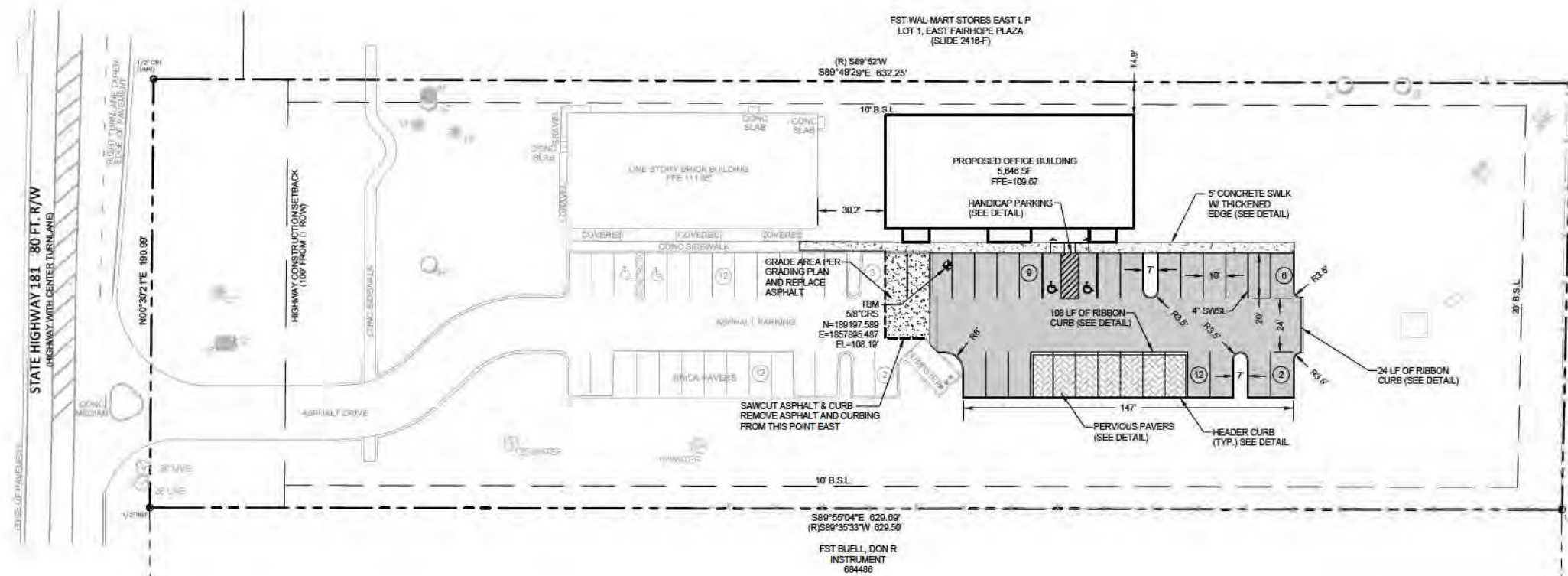
\*THE SITE IS ZONED B-4 WHICH ALLOWS PROFESSIONAL AND MEDICAL OFFICE SPACE. THESE TWO USES HAVE DIFFERENT ALLOWABLE PARKING RATIOS. THE UNITS ARE BUILT TO RENT SO THE FINAL USES ARE NOT KNOWN. IN ORDER TO NOT LIMIT THE TYPE OF USE FOR THE DEVELOPMENT, WE HAVE USED THE PARKING RATIO THAT GENERATES THE HIGHER PARKING REQUIREMENT.

### SITE ANALYSIS

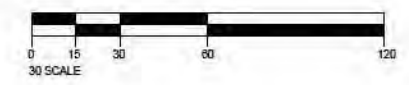
SITE ACREAGE (PROPOSED) 2.78 AC (120,183 SF)	BUILDING HEIGHT 27 FT	BUILDING (UNDER ROOF) 5,648 SF (EXISTING) 5,648 SF (PROPOSED)
REQUIRED PARKING 57 SPACES (SEE PARKING DATA)	PROVIDED PARKING 58 SPACES	
JURISDICTION CITY OF FAIRHOPE	ZONING B-4	
IMPERVIOUS AREA 0.863 AC (37,274%)	PERVIOUS AREA 1.887 AC (68.73%)	
BUILDING SETBACKS: FRONT YARD: SIDE YARD: REAR YARD:	REQUIRED: HCS 100 FT FROM CL ROW 10 FT 20 FT	
MAXIMUM BUILDING HEIGHT:	30'	
MAX. GROUND COVERAGE RATIO:	N/A	
MAX. DENSITY:	N/A	

### SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF FAIRHOPE REGULATIONS AND CODES AS WELL AS O.S.H.A. AND ALDOT STANDARDS.
- ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED.
- ALL CURBED OR STRIPED RADII ARE TO BE 3.5' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN THE BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR SITE WORK. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- THE SURVEY OF EXISTING CONDITIONS IS SHOWN WITHIN THESE PLANS. ALL EXISTING CONDITIONS SHALL BE VERIFIED TO BE TRUE AND ACCURATE PRIOR TO BEGINNING WORK.
- REFER TO THE LANDSCAPING PLANS FOR PLANTING LOCATIONS AND ISLAND DETAILS.
- PAINTED STRIPING SHALL BE BRIGHT AND CLEAR. STRIPES SHALL BE PER PLAN AND PAINTED ON CLEAN ASPHALT OR CONCRETE.
- CURBING SHALL BE FORMED AND POURED CONCRETE UNLESS OTHERWISE DETAILED WITHIN THE DRAWINGS. CONCRETE FOR CURBING SHALL BE 3000 PSI.
- HANDICAP RAMPS AND PARKING STALLS SHALL BE PER ADA REQUIREMENTS AND LOCAL REGULATIONS.
- THIS SITE IS ZONED B-4.
- TOTAL SITE ACREAGE = 2.78 ACRES.
- NOTIFY CITY OF FAIRHOPE INSPECTIONS 24 HOURS BEFORE THE BEGINNING OF EVERY PHASE OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED GOVERNMENTAL INSPECTIONS.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
- CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED R.O.W. AND MUST BE STORED WITHIN THE SITE.
- DURING CONSTRUCTION, ACCESS ROADWAYS CONSTRUCTED OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS GROSS WEIGHT SHALL BE PROVIDED. THE WIDTH OF THE ACCESS ROADWAY, DURING CONSTRUCTION, SHALL BE 20 FT PER STANDARD FIRE PREVENTION CODE, LATEST EDITION.
- ALL NON-HANDICAP PARKING SPACE LINES WILL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS USED ON THE SITE WILL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FHWA, LATEST EDITION. REFERENCE THE SIGN CODES CONTAINED IN THE MUTCD FOR ALL TRAFFIC CONTROL SIGNS. NOTE THE COLOR AND SIZE OF ALL PAVEMENT MARKINGS, REFERENCING DETAILS IN ALDOT'S ROADWAY AND TRAFFIC DESIGN STANDARDS WHERE APPLICABLE.
- NO "PROTECTED TREES" WILL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN, OR EXCESSIVELY PRUNED DURING CONSTRUCTION ACTIVITIES.
- FIRE LANES AND SIGNAGE TO MEET REQUIREMENTS OF NFPA 1 CHAPTER 18.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL OF THE EXISTING CONDITIONS AT THE SITE, INCLUDING UTILITIES, SURFACES, ETC. AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THEY CAUSE TO NEW AND EXISTING CONSTRUCTION, PROPERTY AND ANY UNAUTHORIZED DISRUPTION TO UTILITIES ON SITE AND TO ADJACENT PROPERTIES.
- PRIOR TO CONSTRUCTION, EXISTING UTILITIES AT PROPOSED CONNECTIONS AND CROSSINGS SHALL BE FIELD EXCAVATED TO VERIFY LOCATIONS, ELEVATION AND SIZE. NOTIFY THE ENGINEER IMMEDIATELY WITH ANY DEVIATIONS OR CONFLICTS.
- CONTRACTOR SHALL REFER TO THE ARCH. PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES; PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- THE DIMENSIONS SHOWN ARE TO THE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO STRUCTURAL PLANS FOR THE COLUMN GRID LAYOUT AND INFORMATION REQUIRED TO LAYOUT THE BUILDING WITHIN THE FOUNDATIONS.
- NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.



FST WESLEY, I  
LOT 5, OLSON  
(MAP BOOK 11, I)



REVISION	DATE



### SITE PLAN

Advanced Dental Office Building  
Phase 2  
2025 State Route 181  
Fairhope, Alabama 36532



JOB No. 20211082	DATE 2/12/25
DRAWN TJS	SCALE 1"=30'

SHEET  
**C01**





**EROSION CONTROL PRACTICES**

CODE	PRACTICE
CEP	CONSTRUCTION EXIT PAD
SB	SEDIMENT BARRIER
MU	MULCHING
TS	TEMPORARY SEEDING
PS	PERMANENT SEEDING
W	STRAW WATTLES

**EROSION CONTROL NOTES**

1. THE EXISTING SITE IS DEVELOPED.
2. CONTACT DAVID KINS, FE 251-660-6966.
3. AREA TO BE DISTURBED = 0.74 ACRES
4. ALL VEGETATION SHALL BE PLANTED AND MAINTAINED PER THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS (ALABAMA HANDBOOK).
5. ALL EROSION CONTROL MEASURES SHALL BE PER THE DIRECTION OF THE ENGINEER, SOIL AND WATER CONSERVATION COMMITTEE OFFICER, AND THE FEDERAL E.P.A. GUIDELINES FOR THE NPDES PROGRAM.
6. ABSOLUTELY NO SEDIMENT SHALL BE PERMITTED TO LEAVE THE SITE DURING CONSTRUCTION. IF HEAVY RAINS OR UNUSUAL SITE CONDITIONS RESULT IN THE POLLUTION OF ROADWAYS OR ADJACENT PARCELS THEN THE GRADING CONTRACTOR SHALL CLEAN THE DISTURBED AREAS IMMEDIATELY AND RESTORE THE AREAS TO THE ORIGINAL CONDITION WITHIN 24 HOURS.
7. ALL DISTURBED AREAS SHALL BE TEMPORARILY AND PERMANENTLY SEEDED WITH "SOUTH" TYPE SEEDINGS PER THE ALABAMA HANDBOOK.
8. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE GOVERNING OFFICIALS. IT IS THE RESPONSIBILITY OF THE GRADING CONTRACTOR TO BE INTIMATE WITH THE LOCAL EROSION CONTROL LAWS AND TO REFLECT THIS KNOWLEDGE IN HIS/HER ACTIONS AND QUOTATIONS.
9. REFERENCE THE CONSTRUCTION SEQUENCE FOR THE RELATIONSHIP BETWEEN THE INSTALLATION OF EROSION CONTROL FEATURES AND GENERAL CONSTRUCTION.
10. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
11. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE GOVERNING OFFICIAL OR ENGINEER OF RECORD.
12. ALL SILT BARRIERS SHALL BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL THE SEDIMENT BARRIERS HAVE BEEN CONSTRUCTED.
13. CONTRACTOR SHALL REMOVE EROSION CONTROL DEVICES AFTER PERMANENT GRASSING IS IN PLACE AND ESTABLISHED.
14. THE CONSTRUCTION EXIT PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE OR SITE ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
15. DISTURBED AREAS LEFT IDLE FOR TEN DAYS OR LONGER ARE TO BE SEEDED AND MULCHED.
16. SEDIMENT / EROSION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED 1/2 OF THE CAPACITY OF THE DEVICE.
17. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE OWNER'S CONTRACTOR.
18. THE CONTRACTOR SHALL PREVENT THE LOSS OF SEDIMENT DUE TO WIND VIA WATERING DRY SOILS. CAUTION SHOULD BE TAKEN TO ENSURE THAT THE SITE IS NOT OVER WATERED.
19. THE SITE IS TO BE CLEARED AND GRADED AS TO MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ONE TIME.
20. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
21. CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND CLEARING ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION.
22. BMP'S SHALL BE INSTALLED AS PER THE ALABAMA HANDBOOK STANDARDS.
23. BMP'S SHALL BE INSTALLED WITH MINIMAL CLEARING ACTIVITY.
24. REFER TO THE LANDSCAPE PLANS FOR FINAL STABILIZATION MEASURES.
25. ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN 7 DAYS OF THEIR CONSTRUCTION.
26. ALL FILL SLOPES HAVE SILT FENCE AT THE TOE OF SLOPES.
27. EXISTING TREES, TO BE SAVED, SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. CARE SHALL BE TAKEN IN ALL GRADING ACTIVITIES TO REMAIN OUTSIDE THE DRIP LINES OF EXISTING TREES. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPAIRED AS NEEDED.
28. TREE PROTECTION DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CLEARING, GRUBBING, OR GRADING.
29. CONTRACTOR TO CLEAN OUT ACCUMULATED SEDIMENT IN THE DETENTION POND AT THE END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
30. SEDIMENT STORAGE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3 FULL VOLUME.
31. ALL SLOPES STEEPER THAN 3H:1V MUST BE MATTED AND STAKED WITH AMERICAN EXCELSIOR JUTE MAT, OR EQUAL.

**CONSTRUCTION SEQUENCE - PHASE 1**

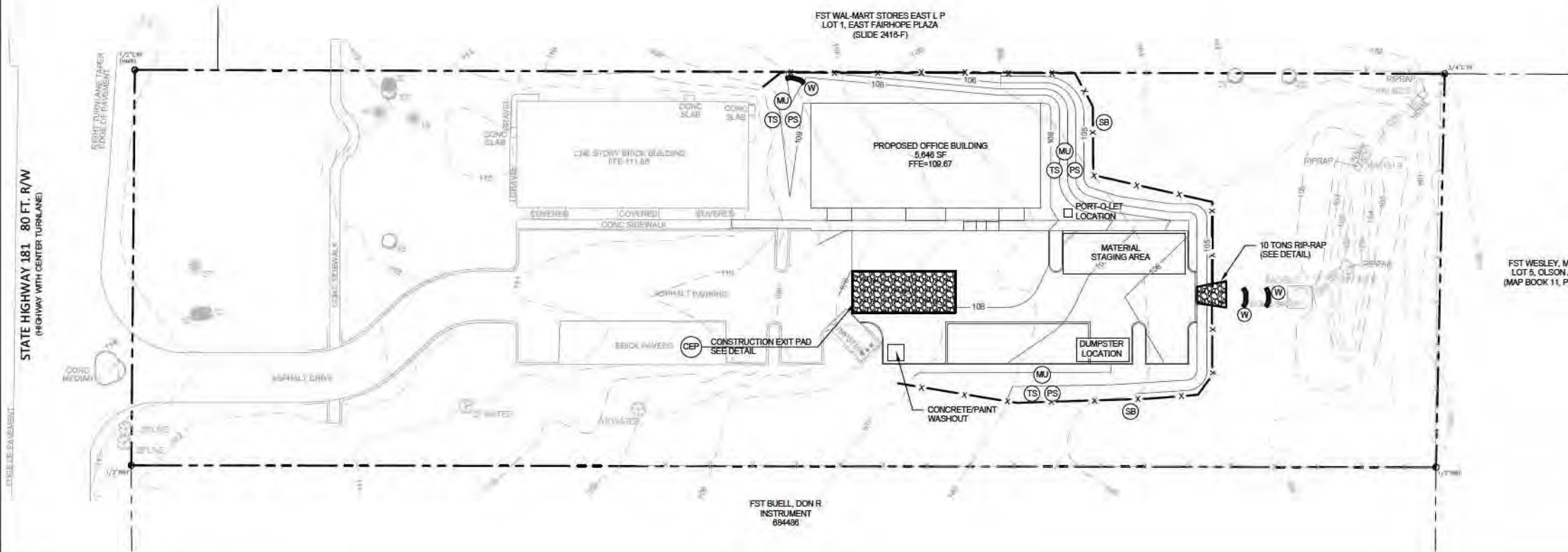
1. INSTALL TREE PROTECTION FENCING PER TREE PROTECTION ORDINANCE.
2. REMOVE VEGETATION ONLY IN AREAS OF THE PERIMETER SEDIMENT BARRIERS AND CONSTRUCTION EXIT.
3. INSTALL THE CONSTRUCTION EXIT PER DETAILS.
4. INSTALL PERIMETER SEDIMENT BARRIERS PER DETAILS.
5. REQUEST BMP & TREE PROTECTION INSPECTION PRIOR TO CLEARING.
6. ONCE INSPECTION IS COMPLETE AND APPROVED, CLEARING & SITE WORK CAN BEGIN (PHASE 2).

**CONSTRUCTION SEQUENCE - PHASE 2**

1. PERFORM CLEARING & ROUGH GRADING ON THE LOT AND ESTABLISH COVER ON AREAS WHEN BROUGHT TO GRADE.
2. INSTALL UTILITIES AND CONSTRUCT BUILDING.
3. INSTALL CURBING AND BASE.
4. ESTABLISH VEGETATION ON AREAS NOT IMPACTED BY PAVING OPERATIONS.

**CONSTRUCTION SEQUENCE - PHASE 3**

1. INSTALL PAVING AND FINAL LANDSCAPING.
2. CALL FOR AN INSPECTION FROM THE QCP.
3. ONCE THE QCP HAS CERTIFIED THAT ALL AREAS ARE STABILIZED, REMOVE BMP'S AND TREE PROTECTION.
4. STABILIZE ANY AREAS DISTURBED BY BMP AND TREE PROTECTION REMOVAL.



**USDA SOIL SURVEY CLASSIFICATIONS**

No6 - NORFOLK FINE SANDY LOAM, 2 TO 5 PERCENT SLOPES.



**EROSION & SEDIMENT CONTROL PLAN**

Advanced Dental Office Building  
Phase 2  
30252 State Route 181  
Fairhope, Alabama 36532



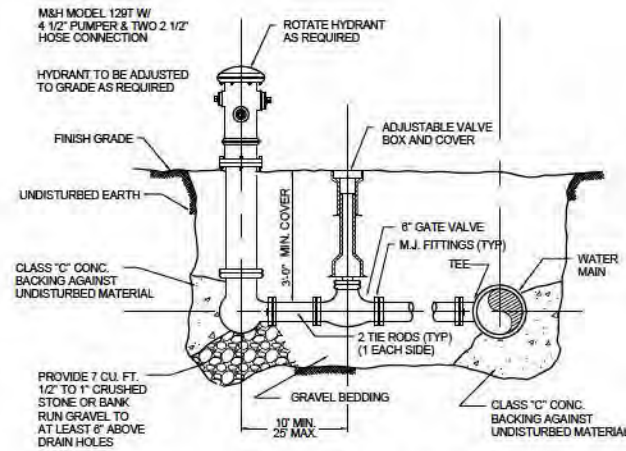
JOB No. 20211062 DATE 2/12/25

DRAWN T.L.S. SCALE 1"=30'

SHEET **C03**

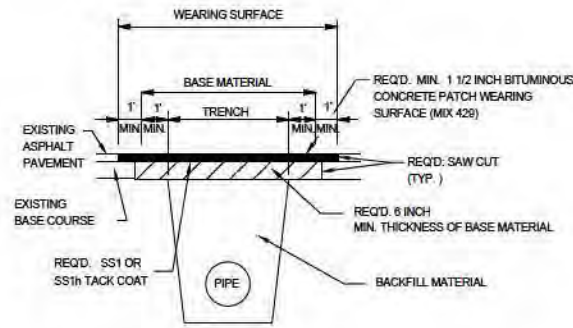


Know what's below.  
Call before you dig.



TYPICAL HYDRANT AND VALVE

SCALE: NTS



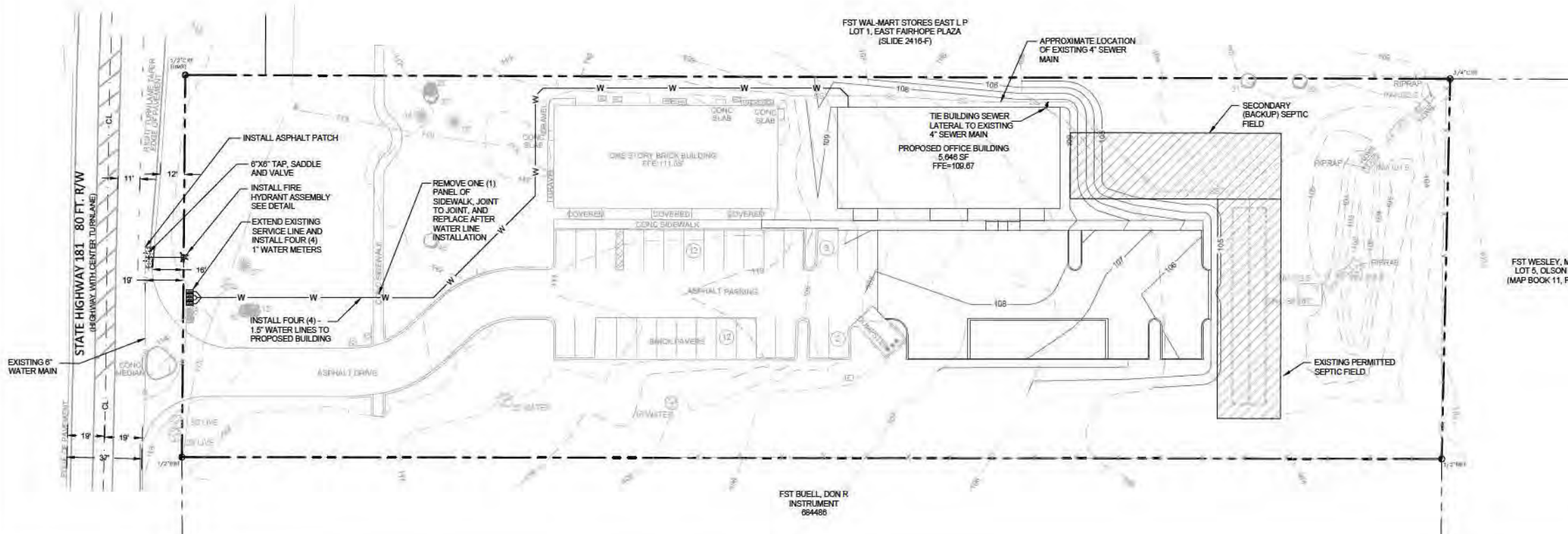
PAVEMENT PATCH

SCALE: NTS

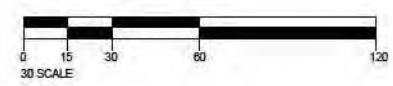
EXISTING		PROPOSED	
	GAS		G
	WATER		W
	FIBER OPTIC LINE		FOL
	OVERHEAD POWER		OHP
	UNDERGROUND ELECTRIC		UGE
	SANITARY SEWER MAIN		SSM
	THRUST BLOCK		TB
	FIRE HYDRANT ASSEMBLY		FHA
	MANHOLE		MH
	VALVE		V
	WATER METER		WM
	ELECTRIC METER		EM
	CLEAN OUT		C.O.

UTILITY NOTES

1. THE PROPOSED WATER SERVICE SHALL BE INSTALLED BY A LICENSED PLUMBING CONTRACTOR AND CERTIFIED TO BE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS OF FAIRHOPE PUBLIC UTILITIES (FPU) PRIOR TO COMPLETION OF THE PROJECT. ALL PIPING, VALVES, FITTINGS AND DEVICES SHALL BE IN ACCORDANCE WITH FPU SPECIFICATIONS.
2. ALL NEW UTILITY SERVICES SHALL BE INSTALLED PER THE SPECIFICATIONS, DETAILS, AND REQUIREMENTS OF FPU AND OTHER UTILITY PROVIDERS. THE CONTRACTOR SHALL BE INTIMATE WITH THE LOCAL CODES AND REQUIREMENTS AND SHALL BE RESPONSIBLE FOR THE COMPLIANCE OF ALL SYSTEMS WITH THESE CODES.
3. THE SANITARY SEWER LINE SHALL BE TESTED FOR INFILTRATION/EXFILTRATION IN ACCORDANCE WITH FPU STANDARDS & SPECIFICATIONS.
4. ALL PVC PIPE SHALL BE MARKED USING DETECTABLE UNDERGROUND UTILITY MARKER TAPE. TAPE SHALL BE A MINIMUM OF 5 MILS THICK AND 3 INCHES IN WIDTH. MINIMUM TENSILE STRENGTH SHALL BE 35 POUNDS AND TAPE SHALL ELONGATE NOT LESS THAN 80 PERCENT BEFORE BREAKING. TAPE SHALL BE PERMANENTLY IMPRINTED WITH AN APPROPRIATE LEGEND TO IDENTIFY THE CONTENTS OF THE PIPE.
5. ALL PVC PIPE INSTALLATIONS REQUIRE THAT METALIZED MARKER TAPE BE BURIED IN THE BACKFILL APPROXIMATELY 12 INCHES ABOVE THE PIPE. THE TAPE SHALL BE ATTACHED TO FITTINGS, VALVES, HYDRANTS, ETC. TO PROVIDE A LOCATION ABOVE GROUND TO TRANSMIT THE SIGNAL TO THE TAPE WITHOUT HAVING TO DIG DOWN TO THE PIPE.
6. THRUST BLOCKING AND PIPE RESTRAINTS SHALL BE INSTALLED AND SIZED IN ACCORDANCE WITH NFPA-24. THESE RESTRAINTS SHALL BE APPROVED BY THE ENGINEER AND FPU PRIOR TO BACKFILLING AND TESTING.
7. WATER MAINS UNDER 4" SHALL CONFORM TO THE REQUIREMENTS OF ASTM D2241. PIPE SHALL HAVE A MINIMUM PRESSURE RATING OF 200 PSI, SDR 21 OR HEAVIER. WATER MAINS 4"-12" SHALL BE DUCTILE IRON PIPE PER COF SPECIFICATIONS.
8. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
9. ALL O.S.H.A. CONSTRUCTION REQUIREMENTS SHALL BE STRICTLY ADHERED TO.
10. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER TRAFFIC CONTROL FOR PUBLIC SAFETY ADJACENT TO THE CONSTRUCTION SITE.
11. THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN BARRICADES, WARNING SIGNS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES IN CONFORMITY WITH THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION.
12. THE GAS SERVICE SHALL BE INSTALLED TO THE METER BY THE LOCAL GAS UTILITY. REFER TO THE MECHANICAL/PLUMBING PLANS FOR THE METER LOCATION.
13. THE CONTRACTOR WILL PROVIDE AND INSTALL ALL SECONDARY WIRING AND CONDUIT FROM THE PAD MOUNTED TRANSFORMER TO THE LOCATION OF THE METERS.
14. THE PROPOSED WATER MAIN SHALL BE PRESSURE TESTED, CLEANED, AND DISINFECTED WITH THE NEW PIPING SYSTEM TO THE MAIN SYSTEM. WATER MAINS TO BE INSTALLED AND TESTED PER AWWA STANDARDS. LEAKAGE TEST PERFORMED AT 200PSI FOR MINIMUM OF 2 HOURS.
15. CONTRACTOR TO VERIFY EXACT UTILITY ENTRANCE LOCATIONS WITH THE ARCHITECTURAL PLANS.



FST WESLEY, MICHAEL  
LOT 5, OLSON ACRES  
(MAP BOOK 11, PAGE 198)



REVISION	DATE



UTILITY PLAN

Advanced Dental Office Building  
Phase 2  
2025 State Route 181  
Fairhope, Alabama 36525



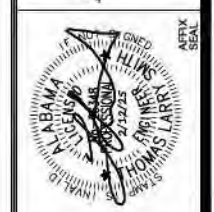
JOB No. 20211082	DATE 2/12/25
DRAWN T.L.S.	SCALE 1"=30'
SHEET <b>C04</b>	

REVISION	
DATE	

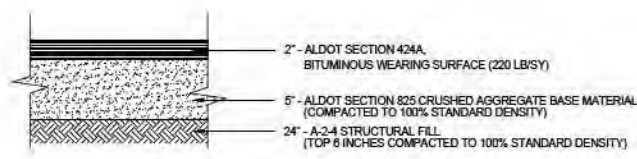


CONSTRUCTION DETAILS

Advanced Dental Office Building  
Phase 2  
30255 State Route 181  
Enterprise, Alabama 36032



JOB No. 20211082	DATE 2/12/25
DRAWN T.L.S.	SCALE N.T.S.
SHEET <b>C05</b>	

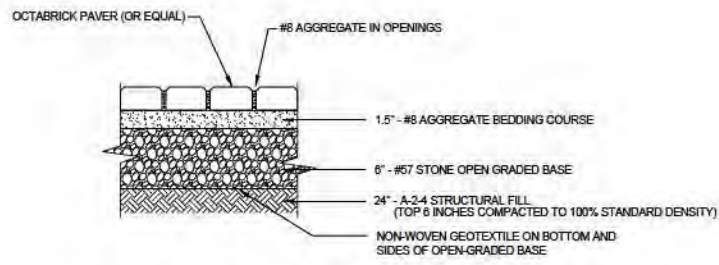


**MEDIUM DUTY SECTION**

NOTE: PAVING SECTION / DESIGN PROVIDED BY OTHERS. S.E. CIVIL EXPRESSES NO WARRANTY FOR THE USE OF THIS PAVING SECTION. ALL ASPHALT MATERIAL AND PAVING OPERATIONS SHOULD MEET APPLICABLE SPECIFICATIONS OF THE ASPHALT INSTITUTE AND ALABAMA DEPARTMENT OF TRANSPORTATION.

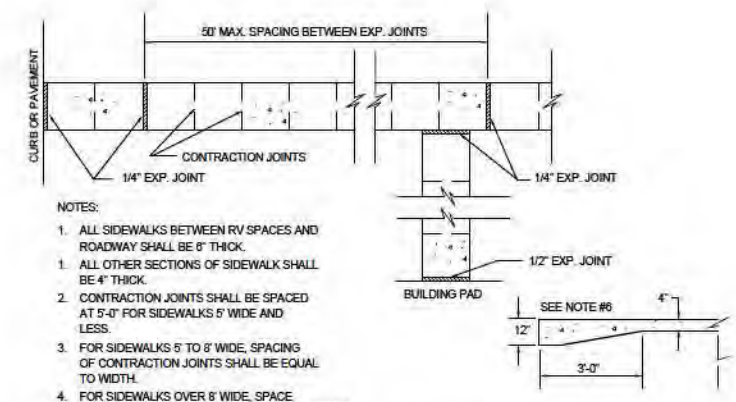
**ASPHALTIC CEMENT PAVEMENT DETAIL**

SCALE: NTS



**PERVIOUS PAVERS SECTION**

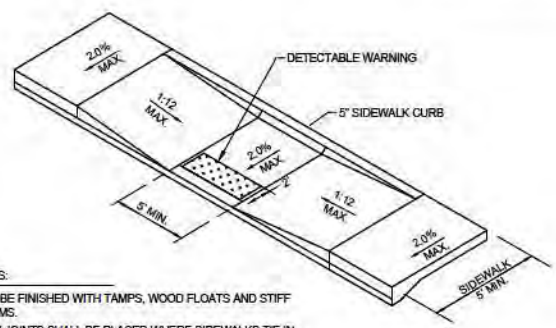
SCALE: NTS



- NOTES:
- ALL SIDEWALKS BETWEEN RV SPACES AND ROADWAY SHALL BE 6" THICK.
  - ALL OTHER SECTIONS OF SIDEWALK SHALL BE 4" THICK.
  - CONTRACTION JOINTS SHALL BE SPACED AT 5'-0" FOR SIDEWALKS 5' WIDE AND LESS.
  - FOR SIDEWALKS 5' TO 8' WIDE, SPACING OF CONTRACTION JOINTS SHALL BE EQUAL TO WIDTH.
  - FOR SIDEWALKS OVER 8' WIDE, SPACE CONTRACTION JOINTS AS SHOWN ON DRAWINGS.
  - CONTRACTION JOINTS SHALL BE 1" DEEP AND EDGED WITH 1/8" RADIUS.
  - FOR SIDEWALKS 10' OR GREATER OR WHEN SIDEWALKS ABUT PARKING WHERE THERE IS NOT A CURB, THICKEN WALK TO 12" IN 3'.
  - PROVIDE 1/2" EXPANSION MATERIAL WHERE SIDEWALK ABUTS CONCRETE STRUCTURE.
  - A LAYER OF #15 FELT IS REQUIRED BETWEEN WALK AND ADJACENT PARALLELING CONCRETE CURB.
  - SIDEWALKS SHALL BE INSTALLED BY THE HOME BUILDER DURING HOME CONSTRUCTION.
  - ALL SIDEWALKS LOCATED IN COMMON AREAS SHALL BE INSTALLED DURING SUBDIVISION CONSTRUCTION.
  - SEE PLAN FOR LOCATION OF SIDEWALK & HANDICAP RAMPS.
  - ALL HANDICAP ACCESS AREAS SHALL COMPLY WITH ADA REGULATIONS.
  - TACTILE STRIPS ON RAMPS ARE REQUIRED.
  - SIDEWALK TO HAVE MAX CROSS SLOPE=2%.
  - CONCRETE TO HAVE MIN. 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.

**TYPICAL SIDEWALK DETAIL**

SCALE: NTS

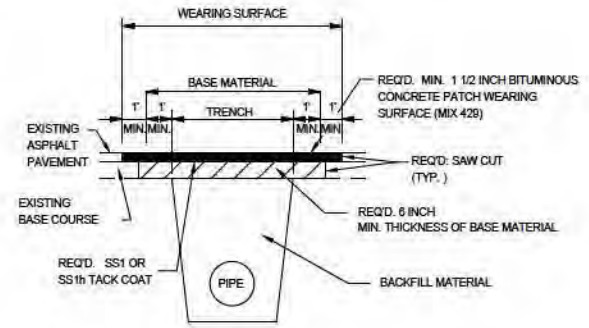


**NOTES FOR RAMPS:**

- CONCRETE TO BE FINISHED WITH TAMPS, WOOD FLOATS AND STIFF BRISTLE BROOMS.
- 1/2" EXPANSION JOINTS SHALL BE PLACED WHERE SIDEWALKS TIE IN TO A STRUCTURE OR TERMINATE AT CURB, RAMPS OR DRIVEWAYS.
- DETECTABLE WARNING MATS TO BE PLACED PER ADA REQUIREMENTS.

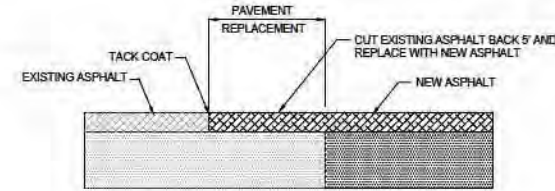
**HANDICAP RAMP DETAIL**

SCALE: NTS



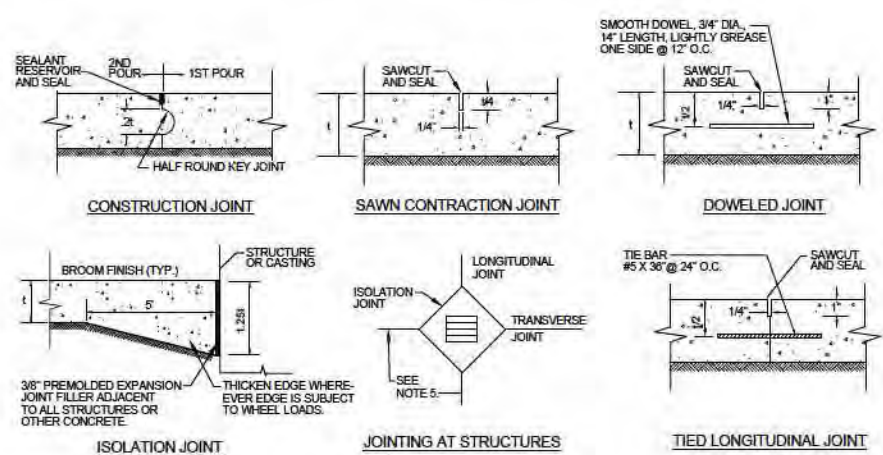
**PAVEMENT PATCH**

SCALE: NTS



**PAVEMENT JOINT DETAIL**

SCALE: NTS

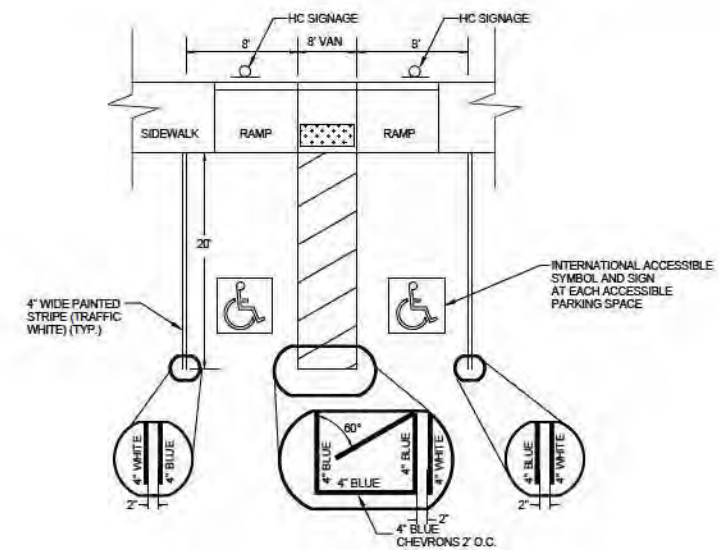


**NOTES:**

- CONSTRUCTION JOINTS ARE REQUIRED BETWEEN ALL POURS SEPARATED BY MORE THAN 30 MINUTES TIME.
- PLACE LONGITUDINAL CONSTRUCTION JOINT AT CENTERLINE OF ROADWAYS WHEN PAVEMENT IS WIDER THAN 12'.
- TEN FEET (10') SPACING BETWEEN CONTRACTION JOINTS OR AS SHOWN ON PLANS.
- FILL JOINTS TO WITHIN 1/8" OF SURFACE WITH JOINT SEALER.
- WHEN A JOINT FALLS WITHIN 5' OF A MANHOLE, LIGHT POLE BASE, OR OTHER STRUCTURE, SHORTEN ONE OR MORE PANELS ON EITHER SIDE OF STRUCTURE TO ALLOW CONTROL JOINTS TO FALL AT STRUCTURE.
- CONCRETE PAVEMENTS SHALL BE CONSTRUCTED, JOINTED, REINFORCED, AND FINISHED TO MEET ACI GUIDELINES.

**CONCRETE PAVEMENT JOINTS DETAILS**

SCALE: NTS

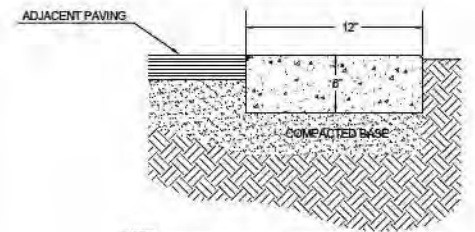


**NOTES:**

- DIMENSIONS ARE TO THE CENTERLINE OF MARKINGS.
- CRITERIA FOR PAVEMENT MARKINGS ONLY. NOT PUBLIC SIDEWALK CURB RAMP LOCATIONS. FOR RAMP LOCATIONS REFER TO PLANS.
- BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595A.
- DIAGONAL OR PERPENDICULAR PARKING SPACES SHALL BE A MINIMUM OF NINE (9) FEET WIDE MEASURED FROM CENTER TO CENTER OF THE BLUE DEMARCATION LINES.

**HANDICAP PARKING DETAIL**

SCALE: NTS



**NOTE:**

- PROVIDE #8 X 18" LONG, SMOOTH DOWELS AT ALL EXPANSION JOINTS.
- 3/4" EXPANSION JOINTS WITH BITUMINOUS SEALANT AT 100 FEET INTERVALS AND AT ALL RADII AND AT DRAINAGE STRUCTURES.
- CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
- LIGHT BROOM FINISH ON ALL SURFACES, ALL RADII TO BE TRUE ARCS.
- PROVIDE (2) #4 BARS, 10' LONG, CENTERED OVER ALL TRENCH CROSSINGS.
- PROVIDE (2) #8 X 2' 5" LONG BARS TO CONNECT EXISTING AND NEW CURBS.
- GUTTER SHALL PITCH AS REQUIRED TO CONVEY DRAINAGE.

**12" RIBBON CURB**

SCALE: NTS





SPECIES	SEEDING RATE/ACRE	NORTH	CENTRAL SEEDING DATES	SOUTH
MILLET, BROWNTOP OR GERMAN	40 LBS	MAY 1-AUG 1	APR 1-AUG 15	APR 1-AUG 15
RYE	3 BU	SEPT 1-NOV 15	SEPT 15-NOV 15	SEPT 15-NOV 15
RYEGRASS	30 LBS	AUG 1-SEPT 15	SEPT 1-OCT 15	SEPT 1-OCT 15
SORGHUM-SUDAN HYBRIDS	40 LBS	MAY 1-AUG 1	APR 15-AUG 1	APR 1-AUG 15
SUDANGRASS	40 LBS	MAY 1-AUG 1	APR 1-AUG 1	APR 1-AUG 15
WHEAT	3 BU	SEPT 1-NOV 1	SEPT 15-NOV 15	SEPT 15-NOV 15
COMMON BERMUDAGRASS	10 LBS	APR 1-JULY 1	MAR 15-JULY 15	MAR 1-JULY 15
CRIMSON CLOVER	10 LBS	SEPT 1-NOV 1	SEPT 1-NOV 1	SEPT 1-NOV 1

LIME RATE:  
1 TON PER ACRE ON COARSE TEXTURED SOILS  
3 TONS PER ACRE ON FINE TEXTURED SOILS

FERTILIZER RATE:  
APPLY 8-24-24 FERTILIZER PER MANUFACTURER'S RECOMMENDATIONS  
WHEN VEGETATION HAS EMERGED TO A STAND AND IS GROWING, FERTILIZE WITH 30 TO 40 LBS/ACRE OF 28-0-0

MULCH RATE:  
PER MULCHING DETAIL

**TS** TEMPORARY SEEDING  
SCALE: NTS

MATERIAL	RATE PER ACRE & (PER 1000 SF)	NOTES
STRAW WITH SEED	1 1/2 - 2 TONS (70 LBS-90 LBS)	SPREAD BY HAND OR MACHINE; ANCHOR WHEN SUBJECT TO BLOWING
STRAW ALONE (NO SEED)	2 1/2 - 3 TONS (115 LBS-160 LBS)	SPREAD BY HAND OR MACHINE; ANCHOR WHEN SUBJECT TO BLOWING
WOOD CHIPS	5-6 TONS (225 LBS-270 LBS)	TREAT WITH 12 LBS NITROGEN/TON
BARK	35 CUBIC YARDS (0.8 CUBIC YARDS)	CAN APPLY WITH MULCH BLOWER
PINE STRAW	1-2 TONS (45 LBS-90 LBS)	SPREAD BY HAND OR MACHINE; WILL NOT BLOW LIKE STRAW
PEANUT HULLS	10-20 TONS (450 LBS-900 LBS)	WILL WASH OFF SLOPES. TREAT WITH 12 LBS NITROGEN/TON

**MU** MULCHING  
SCALE: NTS

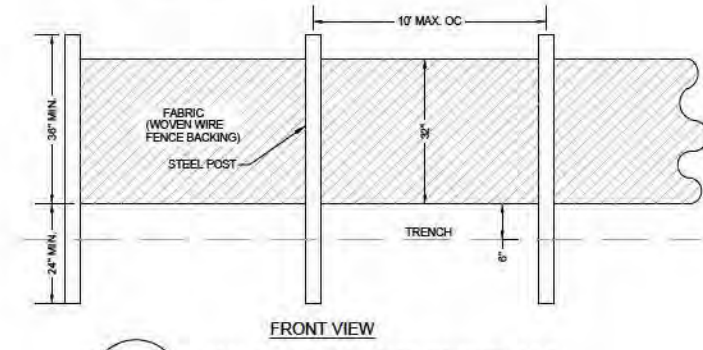
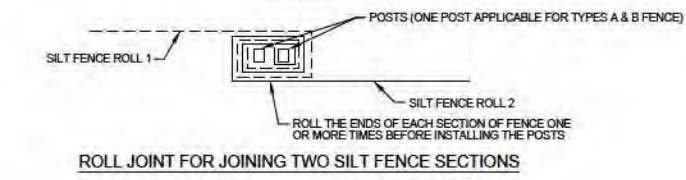
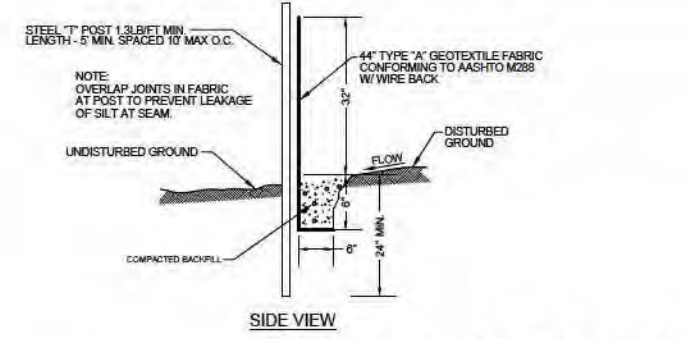
SPECIES	SEEDING RATE/ACRE	NORTH	CENTRAL SEEDING DATES	SOUTH
BAHAGRASS, PENSACOLA	40 LBS	-	MAR 1-JULY 1	FEB 1-NOV 1
BERMUDAGRASS, COMMON	10 LBS	APR 1-JULY 1	MAR 15-JULY 15	MAY 1-JULY 15
BAHAGRASS, PENSACOLA	30 LBS	-	MAR 1-JULY 1	MAR 1-JULY 15
BERMUDAGRASS, COMMON	5 LBS	-	MAR 1-JULY 1	MAR 1-JULY 15
BERMUDAGRASS, HYBRID (LAWN TYPES)	SOLID 500	ANYTIME	ANYTIME	ANYTIME
BERMUDAGRASS, HYBRID (LAWN TYPES)	SPRIGS 1/SQ FT	MAR 1-AUG 1	MAR 1-AUG 1	FEB 15-SEPT 1
FESCUE, TALL	40-50 LBS	SEPT 1-NOV 1	SEPT 1-NOV 1	-
SERICEA	40-60 LBS	MAR 15-JULY 15	MAR 1-JULY 15	FEB 15-JULY 15
SERICEA & COMMON BERMUDAGRASS	40-80 LBS 10 LBS	MAR 15-JULY 15	MAR 1-JULY 15	FEB 15-JULY 15

LIME RATE:  
1 TON PER ACRE ON LIGHT-TEXTURED, SANDY SOILS (IF THE COVER WILL BE TALL FESCUE AND CLOVER USE 2 TONS/ACRE.)  
2 TONS PER ACRE ON HEAVY-TEXTURED, CLAYEY SOILS

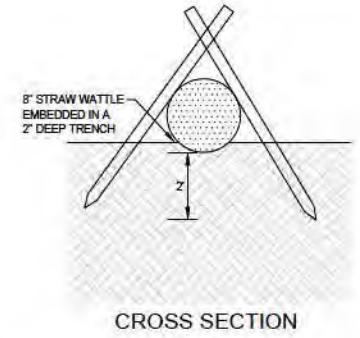
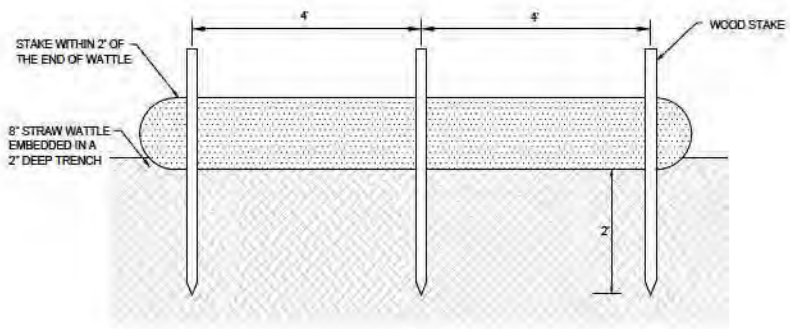
FERTILIZER RATE:  
GRASSES ALONE: 400 LB/ACRE OF 8-24-24  
WHEN VEGETATION HAS EMERGED TO A STAND AND IS GROWING, FERTILIZE WITH 30 TO 40 LBS/ACRE OF 28-0-0  
GRASS-LEGUME MIXTURES: 600 TO 1200 LB/ACRE OF 5-10-10 OR THE EQUIVALENT  
LEGUMES ALONE: 600 TO 1200 LB/ACRE OF 0-10-10 OR THE EQUIVALENT

MULCH RATE:  
PER MULCHING DETAIL

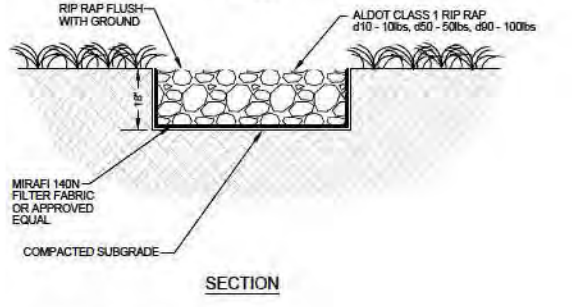
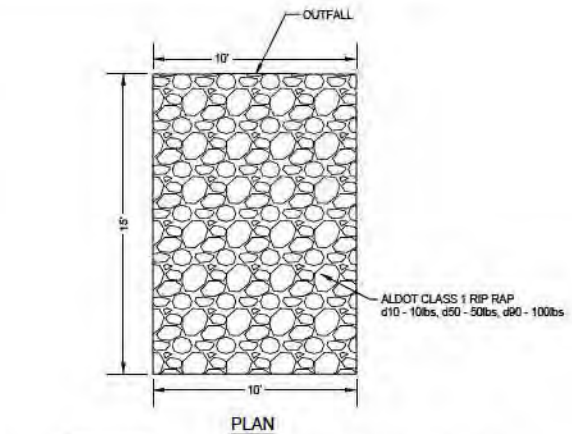
**PS** PERMANENT SEEDING  
SCALE: NTS



**SB** SILT BARRIER TYPE "A"  
SCALE: NTS



**WATTLE INSTALLATION DETAIL**  
SCALE: NTS



**RIP RAP**  
SCALE: NTS

REVISION	DATE



CONSTRUCTION DETAILS

Advanced Dental Office Building  
Phase 2  
20532 State Route 181  
Fayetteville, Arkansas 72717



JOB No.: 20211062	DATE: 2/12/25
DRAWN: TLS	SCALE: N.T.S.

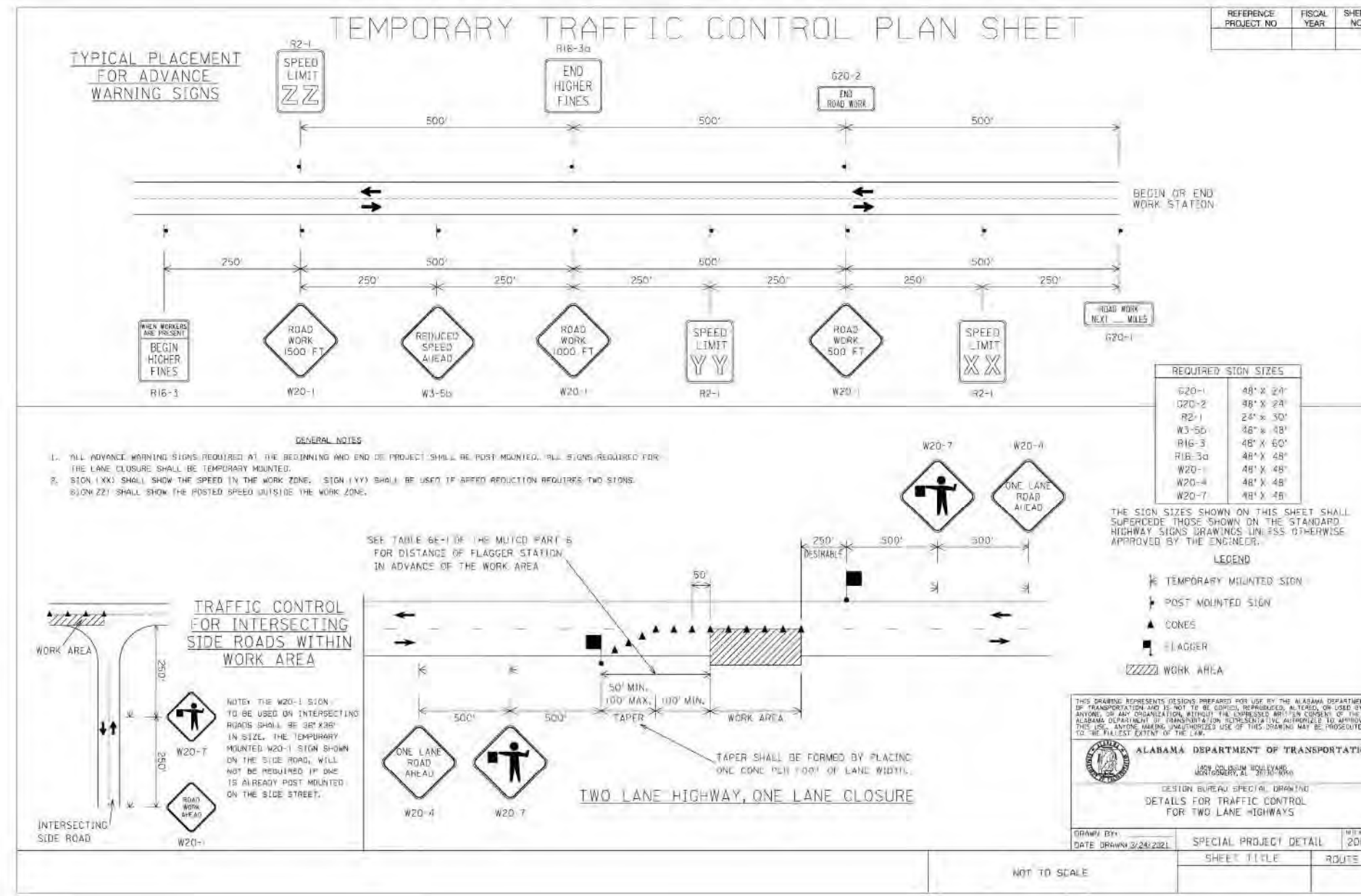
SHEET  
**C07**





**ALDOT NOTES**

- ALL METERS TO BE INSTALLED OFF OF ALDOT RIGHT-OF-WAY.
- ALL MANHOLES, VALVE BOXES, AND HAND HOLES SHOULD BE FLUSH WITH EXISTING GROUND.
- APPLICANT SHALL CONTACT THE DISTRICT ADMINISTRATOR 48 HOURS PRIOR TO BEGINNING WORK ON ALDOT RIGHT-OF-WAY (BALDWIN COUNTY - DAVID M. STYRON @ 251-937-2086).
- THE ENGINEER OF RECORD SHALL PROMPTLY WRITE AN AS-BUILT CERTIFICATION LETTER TO THE DISTRICT ADMINISTRATOR REQUESTING AN INSPECTION UPON COMPLETION OF THE PERMITTED WORK. ANY PUNCH LIST ITEMS SHALL BE COMPLETED PRIOR TO PROVISIONAL ACCEPTANCE OF WORK.
- BONDS SUBMITTED FOR PERMITS SHALL BE HELD FOR A (1) ONE-YEAR MAINTENANCE PERIOD WHICH BEGINS ON THE PROVISIONAL ACCEPTANCE DATE ISSUED BY THE DEPARTMENT. DURING THIS TIME ANY FAILURES, DEFICIENCIES, OR MAINTENANCE CARE SHALL BE THE RESPONSIBILITY OF THE APPLICANT. AT THE END OF THE MAINTENANCE PERIOD THE APPLICANT OR ENGINEER OF RECORD SHALL SUBMIT A BOND RELEASE REQUEST LETTER TO THE DISTRICT ADMINISTRATOR. BONDS ARE NOT RELEASED WITHOUT REQUEST.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH PART 6 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) 2008 EDITION. (IF PROJECT NECESSITATES LANE CLOSURE, LANE CLOSURE MUST BE MADE PART OF THE PERMIT.)
- ONSITE REPRESENTATIVES & CONTRACT INFORMATION: DAVID KING - (251) 990-6566
- ON-SITE REPRESENTATIVE WILL HAVE ON HAND, AT ALL TIMES:
  - APPROVED PERMIT AND PLANS STAMPED BY REGION ENGINEER
  - TRAFFIC CONTROL PLANS
  - EROSION CONTROL PLANS
- ALL DISTURBED AREAS ON ROW SHALL RECEIVE 4" OF TOPSOIL AND BE SODDED OR SEEDED AS DIRECTED BY THE DEPARTMENT.
- ALL WORK ON THE ROW WILL BE IN CONFORMANCE WITH THE LATEST EDITION OF ALDOT STANDARD SPECIFICATIONS.
- ELECTRIC POWER AND COMMUNICATION FACILITIES WILL CONFORM WITH THE CURRENT APPLICABLE NATIONAL ELECTRICAL SAFETY CODE.
- A BEST MANAGEMENT PLAN SHALL AT MINIMUM RETURN ALL EXPOSED AREAS TO ORIGINAL OR BETTER CONDITION AND REQUIRE STAND OF GRASS AND/OR SOD BEFORE ACCEPTANCE. SILT FENCE AND ANY OTHER EROSION CONTROL ITEMS NEEDED SHALL BE USED TO PREVENT EROSION. (NO HAYBALES ARE ALLOWED IN ROW)
- ALL TREES OVER 4" DBH SHALL NOT BE CUT/REMOVED WITHOUT WRITTEN PERMISSION FROM ALDOT.
- ABSOLUTELY NO BORE PITS SHALL BE ALLOWED TO BE UNFILLED AND/OR UNCOVERED OVERNIGHT UNLESS PROTECTED. (BORE PITS HAVE A MAXIMUM OF 72 HOURS TO BE OPEN BEFORE FILLED)
- UPON COMPLETION & ANY TIME THEREAFTER, ALDOT RETAINS THE RIGHT TO REQUEST AN AS-BUILT PLAN OF ANY PERMITTED WORK WITHIN THE DEPARTMENT'S RIGHTS-OF-WAY (ROW).
- WARNING: DO NOT DISTURB SURVEY MARKERS LOCATED ON ALDOT RIGHT-OF-WAY. ANY PROPERTY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE RE-ESTABLISHED BY AN ALABAMA LICENSED PROFESSIONAL LAND SURVEYOR AT THE EXPENSE OF THE PERMIT APPLICANT.
- THE TOTAL AREA TO BE DISTURBED DURING CONSTRUCTION OF THIS PERMIT: .40 74 ACRES. (ON & OFF ROW COMBINED)
- WATER LINES SHALL CONFORM WITH THE CURRENTLY APPLICABLE STANDARDS OF AMERICAN WATER WORKS ASSOCIATION.
- PRESSURE PIPE LINES SHALL CONFORM TO THE CURRENTLY APPLICABLE SECTIONS OF AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).
- AS REQUIRED BY ALABAMA ACT 94-487: CALL TWO WORKING DAYS BEFORE EXCAVATION 1-800-292-8525, ALABAMA LINE LOCATION CENTER, INC.
- ALL EXISTING UTILITY FACILITIES IN THE PROPOSED WORK AREA HAVE BEEN PHYSICALLY LOCATED BOTH HORIZONANTLY AND VERTICALLY.
  - THE UTILITY FACILITIES IN THE AREA OF WORK ARE REPRESENTED TO THE BEST OF MY KNOWLEDGE, ACCORDING TO LOCATES PROVIDED BY 811 AND INDIVIDUAL DUE DILIGENCE ENGINEER'S INITIALS.
  - 811 LOCATE REQUEST #220810000
- ANY ORNAMENTAL VEGETATIVE LANDSCAPING (SHRUBS, FLOWERS, ORNAMENTAL GRASS, ETC.) DISTURBED DURING CONSTRUCTION SHALL BE REPLACED, TRANSPLANTED OR SODDED BY THE APPLICANT AS DIRECTED BY THE ALABAMA DEPARTMENT OF TRANSPORTATION DISTRICT ADMINISTRATOR.
- ALL FILL MATERIAL OR ONSITE DEBRIS DEPOSITED IN THE RIGHT-OF-WAY SHALL BE REMOVED PRIOR TO ISSUANCE OF FINAL ACCEPTANCE TO BEGIN THE ONE YEAR MAINTENANCE PERIOD OF THE PERMIT CONTRACT.
- THE APPLICANT SHALL SEE THAT ALL SOLID WASTE (I.E. WOOD, STUMPS, ETC.) IS DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE ALABAMA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (ADEM).
- PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE, SUCH AS HISTORICAL STRUCTURES, TREES, DRAINS, WATER OR GAS PIPES, POLES, WALL, ETC., ARE NOT TO BE DISTURBED UNLESS NOTED AND APPROVED BY SHPO, ALDOT, ADEM, EPA, ETC.
- THE APPLICANT IS RESPONSIBLE TO SEE THAT STREETS ARE CLEANED IMMEDIATELY AFTER CONCRETE OR OTHER DELIVERY TRUCKS LEAVE THE SITE. MUD AND DEBRIS ARE TO BE KEPT OFF STREETS, INLETS, DITCHES, ETC.
- FUEL TANKS SHALL NOT BE STORED ON THE RIGHT-OF-WAY OVERNIGHT. VEHICLES TRANSPORTING FUEL, CHEMICALS, FERTILIZERS, ETC. ONTO RIGHT-OF-WAY SHALL NOT BE LEFT UNATTENDED.
- THE APPLICANT OR ENGINEER OF RECORD SHALL PROMPTLY NOTIFY ALDOT OF ANY PERCEIVED CONFLICTS, AMBIGUOUS ITEMS OR DEFICIENCIES IN THE PLANS, SPECIFICATIONS, GENERAL NOTES OR RELATED CONTRACT DOCUMENTS.
- FOR WORK WITHIN INTERSTATE ROW, ALL INGRESS AND EGRESS TO WORKSITE SHALL BE FROM APPLICANT'S PROPERTY. NO ACCESS SHALL BE GAINED FROM THE INTERSTATE ROW. EQUIPMENT AND MATERIALS SHALL NOT BE STORED ON INTERSTATE ROW.
- MILEPOST(S) 6.98 TO 6.99 SPEED LIMIT 45 STOPPING SITE DISTANCE >800.
- IS DRAINAGE/RUNOFF FROM THIS SITE DIRECTED ONTO STATE ROW? YES OR **(NO)** ENGINEER'S INITIALS *JK*
- ARE UTILITY, SIGNAL OR LIGHT POLE, RELATED CONFLICTS PRESENT OR ARE ANY RELOCATIONS REQUIRED FOR THIS PROJECT TO BE CONSTRUCTED AS PROPOSED IN THESE PLANS? YES OR **(NO)** ENGINEER'S INITIALS *JK*
- MINIMUM COVER OVER UTILITIES SHALL BE MAINTAINED UPON COMPLETION OF WORK. **(YES)** OR NO ENGINEER'S INITIALS *JK*
- THE LEGAL PERMIT APPLICANT IS HELD RESPONSIBLE AND LIABLE FOR ALL DAMAGES, ACTIONS, OR RESPONSIBILITIES OF THEIR APPOINTED CONTRACTORS, ASSIGNS, OR APPOINTEES.



REVISION	DATE



**CONSTRUCTION DETAILS**

**Advanced Dental Office Building Phase 2**

3825 State Route 1811, Prichard, Alabama 36071



JOB No.: 20211062 DATE: 3/12/25

DRAWN: TJS SCALE: N.T.S.

SHEET **C09**

REFERENCE PROJECT NO.	FISCAL YEAR	SHEET NO.

700 THE TRAFFIC CONTROL PLAN IS DEVELOPED IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PART 6, 2003 EDITION. THE TRAFFIC CONTROL DEVICES INDICATED REPRESENT CONDITIONS KNOWN DURING PLAN DEVELOPMENT. IN THE EVENT ACTUAL PHYSICAL CONDITIONS WARRANT ADDITIONAL TRAFFIC CONTROL DEVICES, THEY SHALL BE INSTALLED IN CONFORMANCE WITH THE M.U.T.C.D. PART 6 AS DIRECTED BY THE ENGINEER. COST SHALL BE PAID FOR UNDER THE APPROPRIATE PAY ITEM.

701 ALL BLACK ON ORANGE CONSTRUCTION SIGNS SHALL BE FABRICATED USING TYPES IV, VII OR VIII FLUORESCENT ORANGE REFLECTIVE SHEETING MATERIAL FOR THE SIGN BACKGROUND.

702 DURING NON-WORKING HOURS NO EQUIPMENT OR MATERIAL SHALL BE PARKED OR STORED CLOSER THAN 30 FEET TO THE EDGE OF ANY ROADWAY CARRYING TRAFFIC. WHEN THIS IS NOT PRACTICAL, IT SHALL BE PLACED IN AN AREA DESIGNATED BY THE ENGINEER AND DELINEATED BY REFLECTORIZED DRUMS. THIS INCLUDES STORAGE OF TRAFFIC CONTROL DEVICES SUCH AS TRAILER MOUNTED OR OTHER TEMPORARY SIGNS, BARRICADES, DRUMS, ETC., WHICH ARE NOT IN USE DURING NON-WORKING HOURS. TO BE FURNISHED BY THE CONTRACTOR WITHOUT COST TO THE ALDOT. (SEE SKETCH ON SHEET \_\_\_\_\_)

703 WHERE THE LOCATION OF A REQUIRED SIGN FALLS IN A DRIVEWAY, SIDEWALK, BRIDGE, ETC. OR WHERE THE VISIBILITY OF A SIGN IS LIMITED TO THE TRAVELING PUBLIC, THE LOCATION SHALL BE ADJUSTED AS DIRECTED BY THE ENGINEER.

704 THE CONTRACTOR IS TO REMOVE, RELOCATE OR COVER DURING CONSTRUCTION AND THEN RESET OR UNCOVER UPON COMPLETION OF A PARTICULAR SECTION ANY CONFLICTING IN-PLACE ROADWAY SIGNS AND DELINEATORS, AS DIRECTED BY THE ENGINEER. SIGNS REQUIRING REMOVAL SHALL BE STOCKPILED AS DIRECTED BY THE ENGINEER AND SHALL BECOME PROPERTY OF THE ALDOT. COST SHALL BE A SUBSIDIARY OBLIGATION OF ITEM 740B.

705 DURING ALL PHASES OF WORK, NON-APPLICABLE PAVEMENT STRIPING OR MARKINGS SHALL BE REMOVED AND APPROPRIATE PAVEMENT STRIPING OR MARKINGS SHALL BE PLACED AS EXPEDITIOUSLY AS PRACTICAL, BUT IN ALL CASES, SHALL BE IN PLACE BY NIGHTFALL ON ANY ROADWAY CARRYING TRAFFIC, EXCEPT ON SHORT TERM OPERATIONS WHERE IT IS DETERMINED BY THE ENGINEER, THAT SUCH REMOVAL AND REPLACEMENT IS MORE HAZARDOUS THAN LEAVING EXISTING MARKINGS IN PLACE. COST OF ANY REMOVAL SHALL BE PAID FOR UNDER ITEM 701D OR AS A SUBSIDIARY OBLIGATION OF ITEM 701C.

706 OMIT

707 THE CONTRACTOR SHALL PLACE ALL ADVANCE WARNING SIGNS BEFORE PROCEEDING WITH HIS WORK. SIGNS SHALL BE PLACED IN ORDER, IN THE DIRECTION OF TRAFFIC AND REMOVED IN REVERSE ORDER.

708 ALL VEHICLES, EQUIPMENT, PERSONNEL (EXCEPT FLAGGERS), AND THEIR ACTIVITIES, ARE RESTRICTED AT ALL TIMES TO ONE SIDE OF THE PAVEMENT UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER.

709 THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE ACCESS TO BUSINESSES AND RESIDENCES DURING ALL PHASES OF CONSTRUCTION.

710 CONSTRUCTION SIGNS MOUNTED ON TEMPORARY SUPPORTS SHALL BE MOUNTED AT A MINIMUM HEIGHT OF 5 FEET.

711 FLAGGERS SHALL BE PROPERLY ATTIRED, EQUIPPED WITH STAFF MOUNTED STOP/SLOW PADDLES IN SIGHT OF EACH OTHER, OR HAVE DIRECT COMMUNICATION AT ALL TIMES. FLAGGER STATION LOCATION MAY BE VARIED FROM THOSE SHOWN BASED ON ROADWAY ALIGNMENT AND CONDITIONS AT THE TIME OF THE LANE CLOSURE.

712 FLAGGERS ARE TO BE USED WHEN DIRECTED BY THE ENGINEER. SIGNS SHALL BE PLACED AT THE APPROPRIATE TIME, AND SHALL BE COVERED OR REMOVED WHEN FLAGGERS ARE NOT ON DUTY AND DURING NON-WORKING HOURS.

713 FOR MOVING OPERATIONS, THE TRAFFIC CONES MAY BE DELETED IF THE FLAGGERS ARE IN SIGHT OF EACH OTHER, OR IF A PILOT CAR IS USED ON A TWO LANE ROADWAY.

714 OMIT

715 ALL CONTRACTOR'S EMPLOYEES' PERSONAL VEHICLES, AND CONTRACTOR'S EQUIPMENT NOT IN OPERATION, SHALL BE PARKED A MINIMUM OF THIRTY (30) FEET FROM THE TRAVELED WAY DURING WORKING HOURS, AS NOT TO CREATE A HAZARD.

716 THE TRAFFIC CONTROL PLAN IS NOT ALL INCLUSIVE. THE TCP PROVIDES SEVERAL DETAILED DRAWINGS INDICATING THE MINIMUM TRAFFIC CONTROL NECESSARY FOR THE DIFFERENT CONSTRUCTION ACTIVITIES ANTICIPATED FOR THIS PROJECT. THE CONTRACTOR SHALL SELECT THE DETAILED DRAWING THAT BEST FITS THE ACTIVITY TO BE PERFORMED.

717 OMIT

718 REQUIRED TEMPORARY ROUTE MARKER ASSEMBLIES THAT ARE TO BE LOCATED IN THE VICINITY OF EXISTING ROUTE MARKERS SHOULD BE PLACED ALONG SIDE OF THOSE ALREADY IN PLACE. SOME EXISTING ROUTE MARKERS MAY HAVE TO BE COVERED OR REMOVED, AS DIRECTED BY THE ENGINEER. COST SHALL BE A SUBSIDIARY OBLIGATION OF ITEM 740B.

719 THE CONTRACTOR WILL BE PERMITTED TO DEVELOP HIS OWN TRAFFIC CONTROL PLAN TO BE USED IN LIEU OF THIS TRAFFIC CONTROL PLAN IF APPROVED BY THE STATE CONSTRUCTION ENGINEER. ANY PROPOSED TRAFFIC CONTROL PLAN SHOULD MAINTAIN TRAFFIC OPERATIONS AS GOOD AS OR BETTER THAN THE TRAFFIC CONTROL PLAN SHOWN IN THE PLANS. THE CONTRACTOR MAY BE REQUESTED BY THE ENGINEER TO PROVIDE TRAFFIC ANALYSIS PREPARED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF ALABAMA JUSTIFYING THE PROPOSED REVISION. COST OF CONTRACTOR'S TRAFFIC CONTROL PLAN SHALL NOT EXCEED THE COST OF THE TRAFFIC CONTROL PLAN AS SHOWN.

720 ALL TRAFFIC CONTROL DEVICES THAT ARE NOT APPLICABLE AT ANY SPECIFIC TIME SHALL BE COVERED OR REMOVED AS DIRECTED BY THE ENGINEER.

721 OMIT

722 OMIT

723 THE CONTRACTOR SHALL MAKE PROVISIONS FOR THE SAFETY OF PEDESTRIAN TRAFFIC CROSSING THE WORK ZONES DURING CONSTRUCTION.

724 OMIT

725 ALL SIGNS SHALL BE POST-MOUNTED IF THE WORK PERIOD EXCEEDS FOUR DAYS, EXCEPT FOR THOSE SIGNS WHICH ARE MOUNTED ON BARRICADES. FOR REPEATED DAY OPERATIONS, SIGNS MAY BE MOUNTED ON TEMPORARY SUPPORTS AND REMOVED AT THE COMPLETION OF THE DAY'S OPERATION.

726 OMIT

727 DURING THE WIDENING OR RESURFACING OF ANY ROADWAY CARRYING TRAFFIC, THE CONTRACTOR SHALL ADVISE THE MOTORISTS OF ANY EDGE OF PAVEMENT DROP-OFFS 3 INCHES OR GREATER BY PLACING SHOULDER DROP-OFF SIGNS EVERY 1/2 MILE BEGINNING PRIOR TO THE WIDENING OR RESURFACING. REQUIRED SHOULDER WORK TO ELIMINATE THE DROP-OFFS SHALL BE PURSUED IN AN EXPEDITIOUS MANNER FOLLOWING THE WIDENING AND/OR RESURFACING.

728 A DIFFERENCE IN ELEVATION OF APPROXIMATELY 2 INCHES OR LESS AT THE CENTERLINE MAY BE ALLOWED DURING NON-WORKING HOURS WITHOUT ADDITIONAL TRAFFIC CONTROL. EXIST WHERE PROTECTION SHOULD BE PROVIDED WHERE THE DIFFERENCE IS 2 INCHES OR LESS.

729 SIGNS ON TEMPORARY SUPPORTS ARE TO BE REMOVED OR COVERED WHEN NO WORK IS BEING PERFORMED OR AT THE COMPLETION OF THE DAY'S OPERATION.

730 OMIT

731 OMIT

732 CHANNELIZING DRUMS SHOULD BE PLACED ON 10 FOOT INTERVALS IN RADII.

733 CHANNELIZING DRUMS PLACED TO PROTECT COMPLETED WORK NOT OPEN TO TRAFFIC SHOULD BE SPACED AT 50 FOOT INTERVALS.

734 CHANNELIZING DRUMS PLACED IN THE EXCAVATED AREA AHEAD OF PAVING OPERATIONS SHOULD BE SPACED AT 50 FOOT INTERVALS.

735 CHANNELIZING DRUMS PLACED ON PAVEMENT DURING WORKING HOURS SHALL BE SHIFTED TO THE EDGE OF SHOULDER DURING NON-WORKING HOURS AND DURING PEAK PERIODS.

736 CHANNELIZING DRUMS SHOULD BE PLACED ON 25 FOOT INTERVALS THROUGHOUT ALL TAPERS.

737 CHANNELIZING DEVICES ARE TO BE EXTENDED TO A POINT WHERE THEY ARE VISIBLE TO APPROACHING TRAFFIC.

738 OMIT

739 THE QUANTITIES SHOWN IN THE TRAFFIC CONTROL SUMMARY BOX ARE CONSIDERED TO BE THE MINIMUM REQUIREMENT FOR HANDLING TRAFFIC AT ANY GIVEN TIME DURING CONSTRUCTION.

740 LIGHTWEIGHT TYPE B WARNING LIGHTS (WEIGHING 3.3 POUNDS OR LESS) WITH DETACHABLE HEADS MAY BE USED ON DRUMS IN SPECIAL SITUATIONS AS SHOWN ON THE PLANS. TYPE B WARNING LIGHTS WITH DETACHABLE HEADS USED ON BARRICADES SHALL BE LIGHTWEIGHT (WEIGHING 3.3 POUNDS OR LESS) ANY HEAVYWEIGHT WARNING LIGHTS ON BARRICADES MUST BE CERTIFIED BY THE VENDOR AS TO CRASHWORTHINESS OF THE BARRICADE AND WARNING LIGHT COMBINATION.

741 FOR DIVIDED ROADWAYS, THE REQUIRED ADVANCE WARNING SIGNS SHALL BE POSTED ON BOTH THE RIGHT AND LEFT SIDE OF THE ROADWAY.

742 THE CONTRACTOR SHALL CLOSE THE LANE ADJACENT TO THE WORK AREA ANYTIME WORK OUTSIDE THE EXISTING TRAVEL LANES ENCLOSES WITHIN 2 FEET OF THE EXISTING TRAVEL LANES.

743 OMIT

744 THE TRANSITION TAPER LENGTH (L) IS SHOWN IN TABLE 6C-4, AND THE BUFFER LENGTH IS SHOWN IN TABLE 6C-2 OF THE MUTCD, PART 6, 2003 EDITION.

745 OMIT

746 UNEVEN LANES SIGNS SHALL BE COVERED OR REMOVED WHEN NO UNEVEN PAVEMENT CONDITIONS EXIST.


747 MOVING OPERATIONS SHALL BE CONFINED TO ONE LANE IN THE DIRECTION OF TRAFFIC.

748 R18-3 AND R18-4 SIGNS SHALL BE REQUIRED FOR EVERY PROJECT ON STATE ROUTES AND INTERSTATE HIGHWAYS. THEY SHALL BE POSTED AT THE BEGINNING AND END OF THE PROJECT. AN R2-1 SIGN SHALL ALWAYS BE REQUIRED FOLLOWING AN R18-3 SIGN. ADDITIONAL R18-3 SIGNS SHALL BE POSTED AT MAXIMUM THREE MILE INTERVALS THROUGHOUT THE PROJECT LIMITS. ADDITIONAL R18-3 SIGNS SHALL BE REQUIRED WITH A W3-5b (REDUCED SPEED AHEAD) SIGN AND R2-1 SIGNS IF REDUCTION OF SPEED IS REQUIRED FOR A WORK AREA SUCH AS A LANE CLOSURE WITHIN THE PROJECT LIMITS. THE CONTRACTOR SHALL COVER OR REMOVE THE R2-1 (REGULATORY SPEED SIGNS) AND THE W3-5b (REDUCED SPEED AHEAD) SIGNS WHEN A SPEED REDUCTION THROUGH THE CONSTRUCTION WORK ZONE IS NOT REQUIRED AND THE CONSTRUCTION ACTIVITY AND/OR LOCATION OF WORK ACTUALLY BEING PERFORMED DOES NOT PRESENT A CLEAR AND PRESENT DANGER TO CONSTRUCTION WORKERS OR THE TRAVELING PUBLIC.

749 DURING REPLACEMENT OF GUARDRAIL AND/OR GUARDRAIL END ANCHORS, A REFLECTORIZED DRUM WITH A LIGHTWEIGHT TYPE B WARNING LIGHT (WEIGHING 3.3 POUNDS OR LESS) WITH A DETACHABLE HEAD SHALL BE PLACED BEFORE THE END OF ANY EXPOSED GUARDRAIL AT NIGHT WHERE THE GUARDRAIL END ANCHOR CANNOT BE REPLACED IN ONE DAY'S TIME.

750 CONSTRUCTION SIGNS MOUNTED ON A SINGLE OR DUAL SQUARE TUBULAR OR U-CHANNEL POST SHALL BE INSTALLED AS SHOWN ON SPECIAL DRAWING NOS. IHS-710-21 AND IHS-710-23. SINGULAR OR DUAL 4 X 4 WOOD POSTS ARE CONSIDERED BREAKAWAY.

NOTE: DAILY LANE CLOSURES ALLOWED M-F 6AM TO 3PM UNLESS OTHERWISE PRIOR APPROVED BY ALDOT.

<p align="center">---SPECIFICATIONS---</p> <p align="center">CURRENT ALABAMA DEPARTMENT OF TRANSPORTATION</p>		
<p align="center">THIS DRAWING REPRESENTS DESIGNS PREPARED FOR USE BY THE ALABAMA DEPARTMENT OF TRANSPORTATION AND IS NOT TO BE COPIED, REPRODUCED, ALTERED, OR USED BY ANYONE OR ANY ORGANIZATION, WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ALABAMA DEPARTMENT OF TRANSPORTATION REPRESENTATIVE AUTHORIZED TO APPROVE THIS USE. ANY UNAUTHORIZED USE OF THIS DRAWING MAY BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.</p>		
 <p align="center"><b>ALABAMA DEPARTMENT OF TRANSPORTATION</b> 1408 COLLEGE BOULEVARD MONTGOMERY, AL 36104-1000</p>	<p>DESIGN BUREAU SPECIAL DRAWING</p> <p align="center"><b>GENERAL TRAFFIC CONTROL PLAN NOTES</b></p>	
	<p>SPECIAL DRAWING NO.</p> <p><b>SPECIAL PROJECT DETAIL</b></p>	<p>NO. 2000</p>
<p>DATE: 1-1-2008</p>		

REVISION	DATE



CONSTRUCTION DETAILS

Advanced Dental Office Building  
Phase 2  
3025 Stone Dam Road, Bldg. 101  
Montgomery, Alabama 36132



JOB No.: 20211062	DATE: 2/12/25
DRAWN: TJS	SCALE: N.T.S.

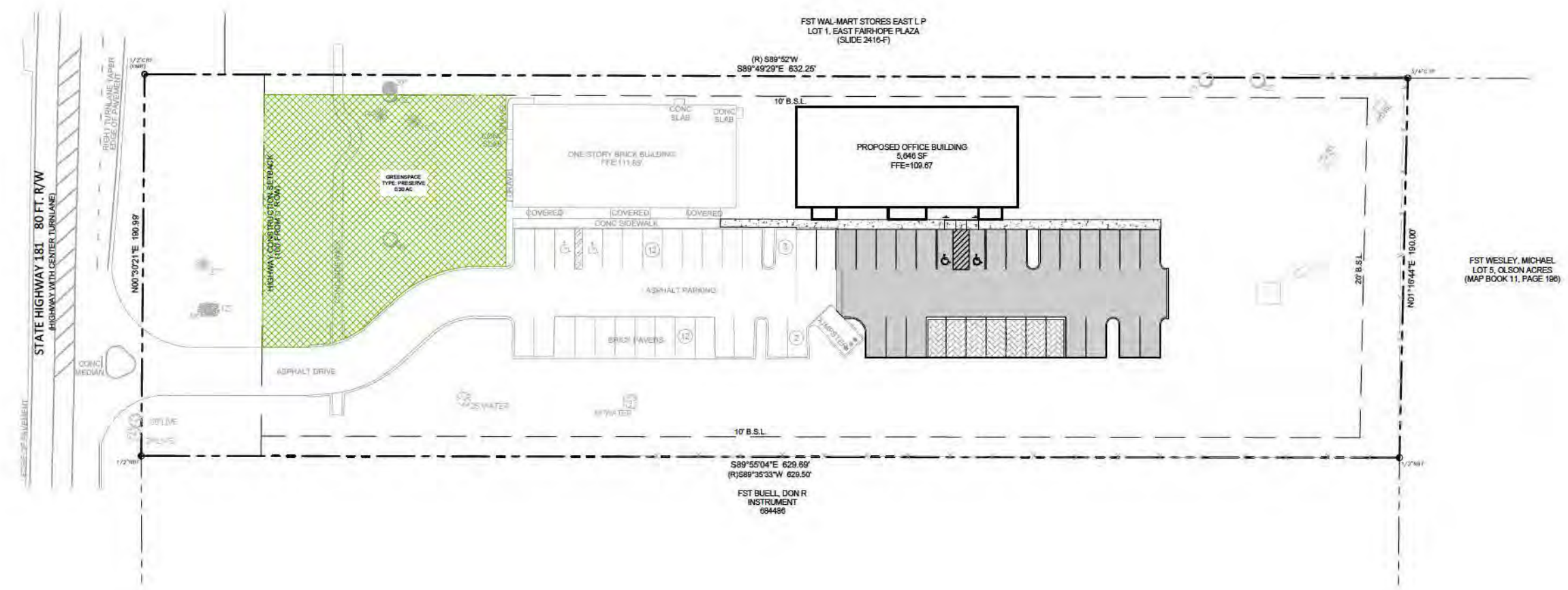
SHEET  
**C10**





GREENSPACE CALCULATIONS (CITY OF FAIRHOPE):  
 ACREAGE IN TOTAL TRACT: 2.76 ACRES  
 GREENSPACE REQUIRED (10% OF 2.76 ACRES): 0.28 ACRES  
 GREENSPACE PROVIDED: 0.30 ACRES

LEGEND  
 GREENSPACE - TYPE: PARK  
 AREAS NOT INCLUDED



FST WESLEY, MICHAEL  
 LOT 5, OLSON ACRES  
 (MAP BOOK 11, PAGE 196)

FST BUELL, DON R  
 INSTRUMENT  
 694486



REVISION	DATE



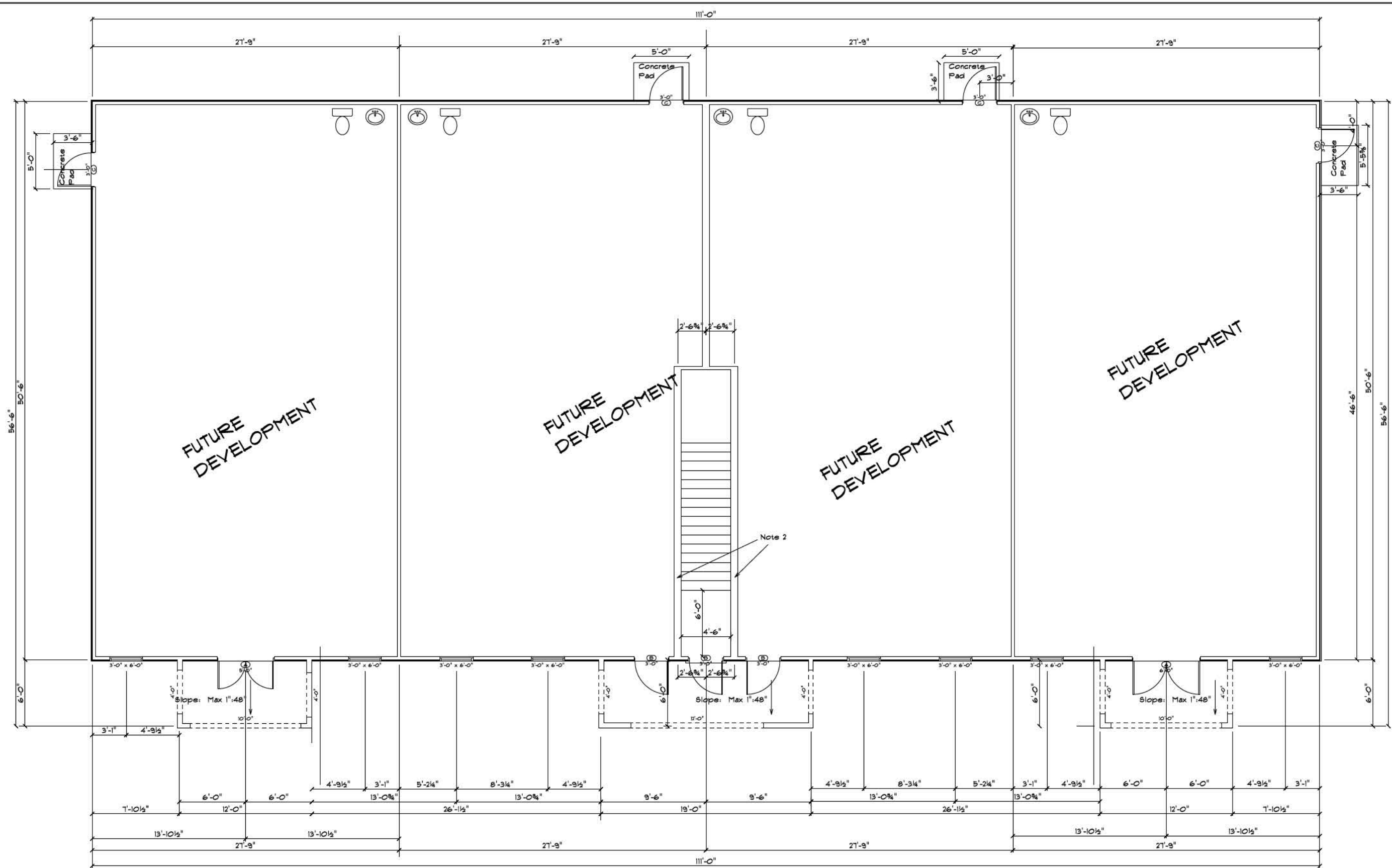
# GREENSPACE PLAN

Advanced Dental Office Building  
 Phase 2  
 2025 State Route 181  
 Fairhope, Alabama 36532



JOB No. 20211062	DATE 2/12/25
DRAWN TLS	SCALE 1"=30'

SHEET  
**GS**



FUTURE DEVELOPMENT

FUTURE DEVELOPMENT

FUTURE DEVELOPMENT

FUTURE DEVELOPMENT

**MAIN FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**NOTES:**

1. 1st Floor Ceiling to comply with UL L528 1-hour fire wall requirements. (See 3/A2)
2. Partition walls to comply with UL U305 1-hour fire wall requirements (See 4/A2)
3. All exterior door thresholds to be flush with max. 1/2" high threshold saddle.
4. See 1/A2 for ADA bathroom grab bars.
5. Install National Gypsum GoldBond 5/8" Soundbreak XP Gypsum Board or equivalent.

**WINDOW SCHEDULE**

No.	Size	Type
•	3'-0" x 6'-0"	Single Hung Vinyl, Low-E, DP-50, Impact
•	3'-0" x 5'-0"	Single Hung Vinyl, Low-E, DP-50, Impact
•	5'-0" x 2'-0"	Fixed, Vinyl, Low-E, DP-50, Impact

**ADVANCED DENTAL COMFORT #2**

20252 STATE HIGHWAY 181  
FAIRHOPE, ALABAMA

MAIN FLOOR PLAN

JOB NUMBER:  
**030-22**

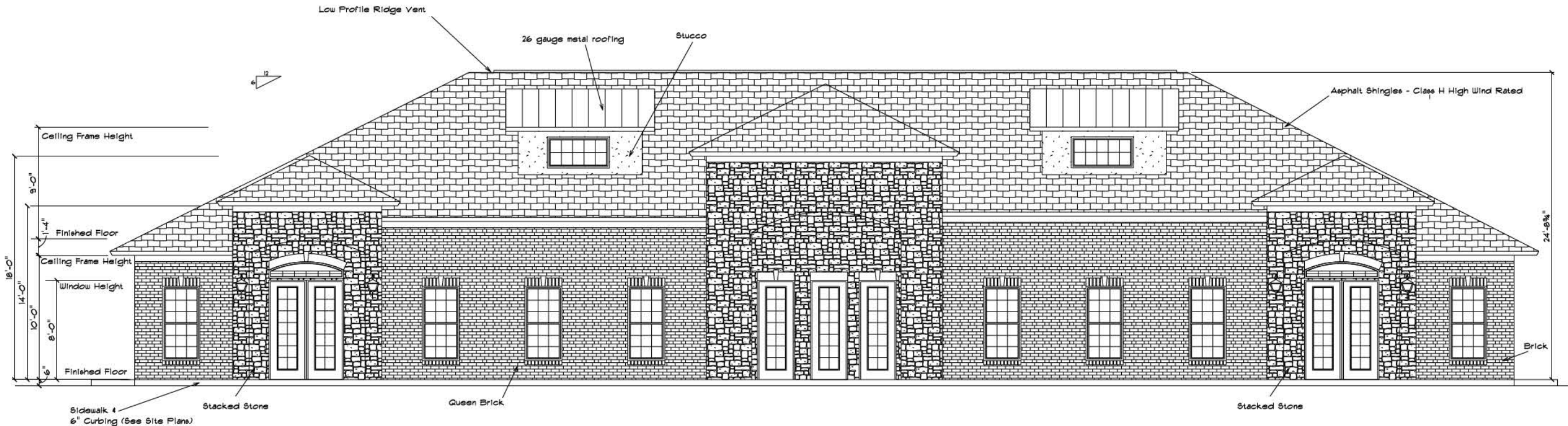
DATE:  
**4/2/2022**

DRAWN: JRM  
CHECKED:  
REVISION:

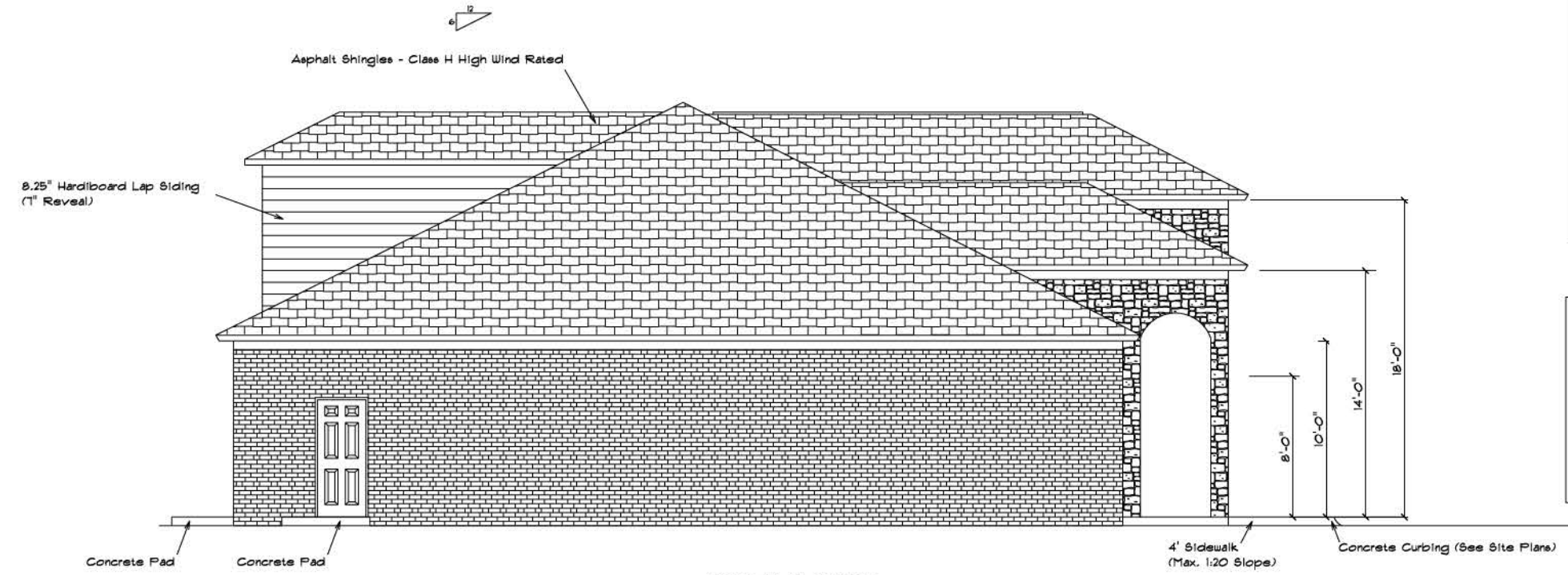
SCALE:  
**1/4" = 1'-0"**

SHEET NO:

**A1**



**FRONT ELEVATION**



**LEFT ELEVATION**

**EXTERIOR ELEVATION NOTES:**

1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AS PER CODE.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIAL TO BE VERIFIED BY CONTRACTOR.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQUIRED BY CURRENT CODES.

**EXPOSURE B CATEGORY**  
ALL WINDOW AND EXTERIOR DOOR OPENINGS TO BE IMPACT RATED

SHINGLE ROOF COVERING MUST BE CLASS H HIGH WIND RATED 130 MPH

ROOF MOUNTED VENTS INCLUDING BUT NOT LIMITED TO RIDGE VENTS AND TURBINES MUST BE FLORIDA BUILDING CODE TAB 100(A) APPROVED

**ADVANCED DENTAL COMFORT #2**

20252 STATE HIGHWAY 181  
FAIRHOPE, ALABAMA

ELEVATIONS #1

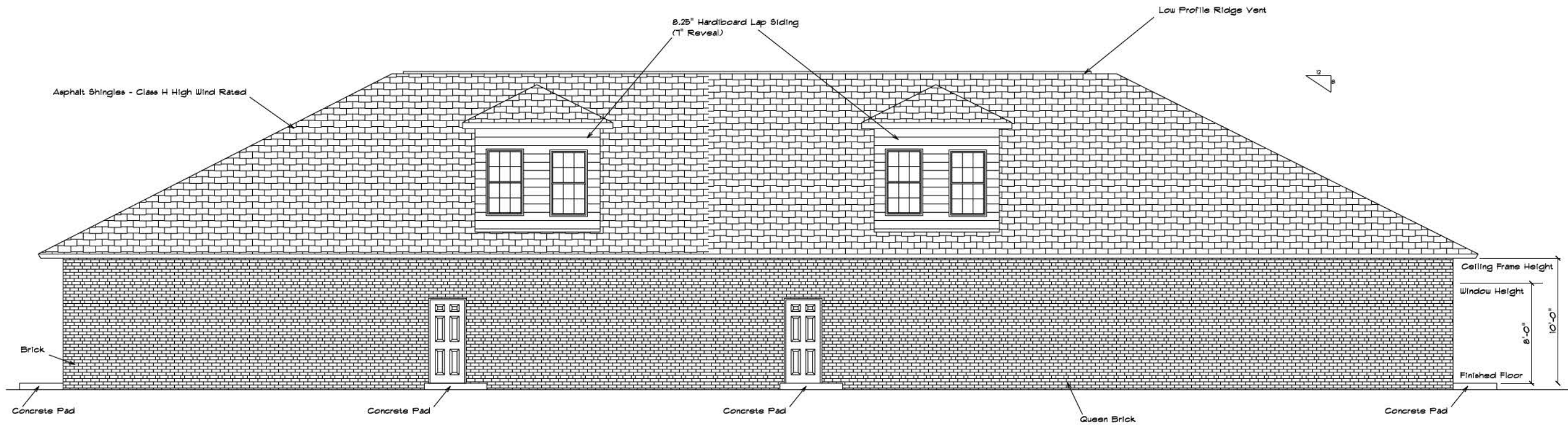
JOB NUMBER:  
**030-22**

DATE:  
**04/02/2022**

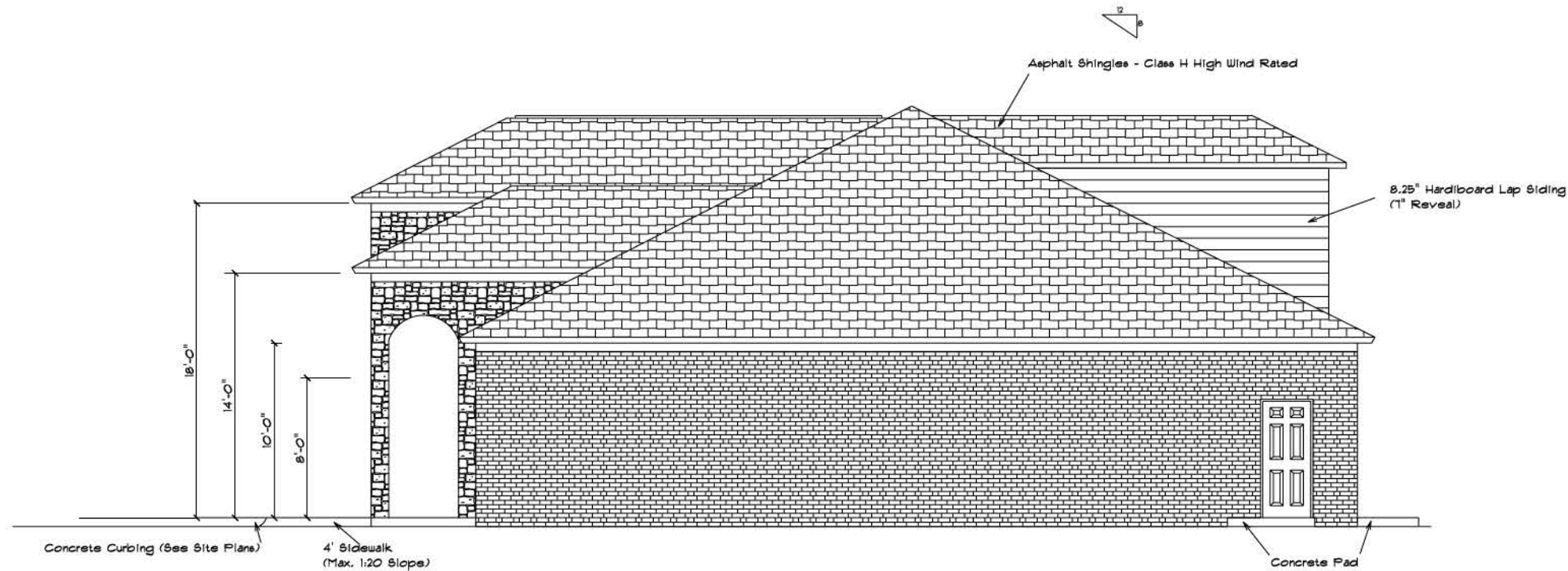
DRAWN: JRM  
CHECKED:  
REVISION:

SCALE:  
**1/4" = 1'-0"**

SHEET NO:  
**A3**



**REAR ELEVATION**



**RIGHT ELEVATION**

**ADVANCED DENTAL COMFORT #2**

20252 STATE HIGHWAY 181  
FAIRHOPE, ALABAMA

ELEVATIONS #2

JOB NUMBER:  
030-22

DATE:  
04/02/2022

DRAWN: JRM  
CHECKED:  
REVISION:

SCALE:  
1/4" = 1'-0"

SHEET NO:  
**A4**



March 24, 2025

**Hunter Simmons**  
**Fairhope Planning Department**  
**555 S. Section Street**  
**Fairhope, AL 36532**

**Re: Advanced Dental MOP – Drainage Letter**

Dear Hunter:

The existing detention pond was designed and permitted by HMR during the initial building construction. The design calculations took into account the future building and parking lot. As part of our design process we have reviewed the original plans and drainage calculations to make sure the original area assumptions were still valid. Based upon the original site plan, we are not increasing the impervious areas. We have also surveyed the existing detention pond to verify that the minimum required volume per the original design is provided. Below are those results:

Minimum Detention Storage Required (per HMR): 3,307 cy  
Detention Storage Provided (as surveyed): 3,492 cy

If you have any questions, please let me know.

Sincerely,

**Larry Smith, PE**  
[lsmith@secivileng.com](mailto:lsmith@secivileng.com)



Attachments: Original Drainage Calculations by HMR



## Narrative:

The purpose of this project is to construct 2 professional offices east of SH 481, south of Wal-Mart located wholly in the corporate limits of the City of Fairhope

The pre-development lot consists of a house and sloping, prairie style terrain located in flood zone "X" unshaded. The natural topography slopes to the east and this will remain unchanged.

## Existing Conditions:

$$t_c = ?$$
$$L = 470.95'$$
$$h = 10'$$

$$t_c = \left( \frac{3.35 \cdot 10^{-6} L^3}{h} \right)^{0.385}$$
$$t_c = \left( \frac{3.35 \cdot 10^{-6} \cdot 470.95^3}{10} \right)^{0.385}$$
$$t_c = 3.93 \text{ min}$$

$\therefore$  use  $t_c = 5 \text{ min}$

$$\therefore i_{100} = 11 \text{ in/hr (from Page 2)}$$

$$\therefore 3307 \text{ ft}^3 \text{ of storage is needed}$$
$$6929.54 \text{ ft}^3 \text{ of storage is provided}$$

$$\left( \frac{681.75 \text{ ft}^2 + 3330.17 \text{ ft}^2}{2} \right)^3 = 6017.880 \text{ ft}^3$$

But the actual pipe to be installed is an 18"  $\phi$  A-2000 pipe with a full flow capacity of 6.07 cfs (See Page 4), meaning that the needed detention is 3420  $\text{ft}^3$  but  $6017.88 \text{ ft}^3 > 3420 \text{ ft}^3$   
 $\therefore$  enough detention is provided

Time	2 yrs	5 yrs	10 yrs	25 yrs	50 yrs	100 yrs
5	6.05	7.45	8.75	9.10	10.10	11.00
6	5.90	7.20	8.42	9.00	9.90	10.90
7	5.70	7.00	8.13	8.85	9.70	10.50
8	5.40	6.90	7.86	8.50	9.50	10.20
9	5.30	6.60	7.61	8.35	9.20	10.00
10	5.10	6.40	7.38	8.00	9.00	9.80
11	5.00	6.10	7.15	7.90	8.65	9.50
12	4.90	6.00	6.95	7.75	8.50	9.20
13	4.70	5.90	6.75	7.60	8.40	9.00
14	4.50	5.70	6.57	7.40	8.15	8.70
15	4.40	5.60	6.40	7.10	7.90	8.50
16	4.30	5.46	6.26	6.95	7.72	8.30
17	4.20	5.32	6.12	6.80	7.54	8.10
18	4.10	5.18	5.98	6.65	7.36	7.90
19	4.00	5.04	5.84	6.50	7.18	7.70
20	3.90	4.90	5.70	6.35	7.00	7.50
21	3.82	4.82	5.59	6.20	6.89	7.38
22	3.74	4.74	5.49	6.05	6.78	7.26
23	3.66	4.66	5.38	5.90	6.67	7.14
24	3.58	4.58	5.28	5.75	6.56	7.02
25	3.50	4.50	5.17	5.60	6.45	6.90
26	3.44	4.40	5.09	5.50	6.31	6.78
27	3.38	4.30	5.00	5.40	6.17	6.66
28	3.32	4.20	4.92	5.30	6.03	6.54
29	3.26	4.10	4.83	5.20	5.89	6.42
30	3.20	4.00	4.75	5.10	5.75	6.30
31	3.15	3.94	4.69	5.03	5.67	6.22
32	3.10	3.88	4.62	4.96	5.58	6.14
33	3.05	3.82	4.56	4.89	5.50	6.06
34	3.00	3.76	4.49	4.82	5.41	5.98
35	2.95	3.70	4.43	4.75	5.33	5.90
36	2.90	3.64	4.36	4.68	5.24	5.82
37	2.85	3.58	4.30	4.61	5.16	5.74
38	2.80	3.52	4.23	4.54	5.07	5.66
39	2.75	3.46	4.17	4.47	4.99	5.58
40	2.70	3.40	4.10	4.40	4.90	5.50
41	2.67	3.35	4.05	4.34	4.85	5.42
42	2.64	3.30	4.00	4.28	4.80	5.34
43	2.61	3.25	3.95	4.22	4.75	5.26
44	2.58	3.20	3.90	4.16	4.70	5.18
45	2.55	3.15	3.86	4.10	4.65	5.10
46	2.52	3.10	3.81	4.04	4.60	5.02
47	2.49	3.05	3.76	3.98	4.55	4.94
48	2.46	3.00	3.71	3.92	4.50	4.86
49	2.43	2.95	3.66	3.86	4.45	4.78

**Advanced Dentistry**  
**DRAINAGE STUDY**  
 Prepared By: Cummings

**DRAINAGE CALCULATIONS (100 yr. design storm)**

**PRE-DEVELOPED SITE CONDITIONS (100 YEAR STORM)**

	S.F.	Acres	C Factor
Buildings/Pond	3,136	0.00	0.95
Woods	0	0.00	0.18
Dirt Area	0	0.00	0.20
Grassed/Cultiv.	114,934	2.64	0.25
Gravel Area	0	0.00	0.60
<u>Paved Area</u>	<u>2,130</u>	<u>0.05</u>	<u>0.90</u>
Total Area	120,200	2.69	
Weighted C			0.26

Time of conc. 5 (from nomograph)  
 Intensity 11 (from 100 Year IDF Table)  
 Intensity 8.75 (from 10 Year IDF Table)

Pre-Development Peak Flow:  $Q = ciA$   
 Allowable Release Rate= 6.21 (10 Year Storm)

**POST DEVELOPED SITE CONDITIONS (100 YEAR STORM)**

	S.F.	Acres	C Factor
Buildings/Pond	11,292	0.26	0.95
Woods	0	0.00	0.18
Grassed Area	89,523	2.06	0.25
Gravel Area	0	0.00	0.60
<u>Paved Area</u>	<u>19,386</u>	<u>0.45</u>	<u>0.90</u>
Total Area	120,200	2.76	
Weighted C=			0.42

**REQUIRED STORAGE FOR 100 YR. STORM (CF) = 3,307**

$T_c$ (min.)	$i_{100}$ (in/hr)	$Q_{in}=ciA$	Volume in= $T_c \cdot 60 \cdot Q_{in}$	Volume out= $Q_{pre} \cdot T_c \cdot 60$	Req'd Storage
5	11.00	12.77	3,830	1,862	1,968
6	10.90	12.65	4,554	2,234	2,320
7	10.50	12.19	5,118	2,607	2,512
8	10.20	11.84	5,682	2,979	2,703
9	10.00	11.61	6,267	3,351	2,916
10	9.80	11.37	6,824	3,724	3,101
11	9.50	11.03	7,277	4,096	3,181
12	9.20	10.68	7,688	4,468	3,219
13	9.00	10.45	8,147	4,841	3,307
14	8.70	10.10	8,482	5,213	3,268
15	8.50	9.86	8,878	5,586	3,293
16	8.30	9.63	9,248	5,958	3,290
17	8.10	9.40	9,589	6,330	3,258
18	7.90	9.17	9,902	6,703	3,199
19	7.70	8.94	10,188	7,075	3,113
20	7.50	8.70	10,445	7,447	2,998
21	7.38	8.57	10,792	7,820	2,972
22	7.26	8.43	11,122	8,192	2,930
23	7.14	8.29	11,435	8,564	2,871
24	7.02	8.15	11,732	8,937	2,795
25	6.90	8.01	12,012	9,309	2,703
30	6.30	7.31	13,161	11,171	1,990
35	5.90	6.85	14,380	13,033	1,347
40	5.50	6.38	15,320	14,895	425
45	5.10	5.92	15,981	16,757	-775
50	4.70	5.45	16,364	18,618	-2,254
55	4.50	5.22	17,235	20,480	-3,246
60	4.30	4.99	17,966	22,342	-4,376
120	2.70	3.13	22,562	44,684	-22,123
240	2.40	2.79	40,110	89,369	-49,259

4

Roughness Coefficient: 0.009  
Channel Slope: 0.00160 ft/ft  
Normal Depth: 1.50 ft  
Diameter: 1.50 ft  
Discharge: 6.07 ft<sup>3</sup>/s

Flow Area: 1.77 ft<sup>2</sup>  
Wetted Perimeter: 4.71 ft  
Top Width: 0.00 ft  
Critical Depth: 0.95 ft  
Percent Full: 100.0 %  
Critical Slope: 0.00300 ft/ft  
Velocity: 3.43 ft/s  
Velocity Head: 0.18 ft  
Specific Energy: 1.68 ft  
Froude Number: 0.00  
Maximum Discharge: 6.53 ft<sup>3</sup>/s  
Discharge Full: 6.07 ft<sup>3</sup>/s  
Slope Full: 0.00160 ft/ft  
Flow Type: SubCritical

Downstream Depth: 0.00 ft  
Upstream Depth: 0.00 ft  
Length: 0.00 ft  
Number Of Steps: 0

Profile Description:  
Profile Headloss: 0.00 ft  
Average End Depth Over Rise: 0.00 %  
Normal Depth Over Rise: 100.00 %  
Downstream Velocity: Infinity ft/s  
Upstream Velocity: Infinity ft/s  
Normal Depth: 1.50 ft  
Normal Depth Conjugate: 1.50 ft  
Critical Depth: 0.95 ft  
Channel Slope: 0.00160 ft/ft  
Critical Slope: 0.00300 ft/ft

Messages:  
Notes:



**Advanced Dentistry**  
**DRAINAGE STUDY**  
 Prepared By: Cummings

**DRAINAGE CALCULATIONS (100 yr. design storm)**

**PRE-DEVELOPED SITE CONDITIONS (100 YEAR STORM)**

	S.F.	Acres	C Factor
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Gravel Area	0	0.00	0.60
<u>Paved Area</u>	<u>2,130</u>	<u>0.05</u>	<u>0.90</u>
Total Area	120,200	2.69	
Weighted C			0.26

Time of conc. 5 (from nomograph)  
 Intensity 11 (from 100 Year IDF Table)  
 Intensity 8.75 (from 10 Year IDF Table)

Pre-Development Peak Flow:  $Q = ciA$   
 Allowable Release Rate= 6.07 (10 Year Storm)

**POST DEVELOPED SITE CONDITIONS (100 YEAR STORM)**

	S.F.	Acres	C Factor
Buildings/Pond	11,292	0.26	0.95
Woods	0	0.00	0.18
Grassed Area	89,523	2.06	0.25
Gravel Area	0	0.00	0.60
<u>Paved Area</u>	<u>19,386</u>	<u>0.45</u>	<u>0.90</u>
Total Area	120,200	2.76	
Weighted C=			0.42

**REQUIRED STORAGE FOR 100 YR. STORM (CF) = 3,420**

$T_c$ (min.)	$i_{100}$ (in/hr)	$Q_{in}=ciA$	Volume in= $T_c \cdot 60 \cdot Q_{in}$	Volume out= $Q_{pre} \cdot T_c \cdot 60$	Req'd Storage
5	11.00	12.77	3,830	1,821	2,009
6	10.90	12.65	4,554	2,185	2,369
7	10.50	12.19	5,118	2,549	2,569
8	10.20	11.84	5,682	2,914	2,769
9	10.00	11.61	6,267	3,278	2,989
10	9.80	11.37	6,824	3,642	3,182
11	9.50	11.03	7,277	4,006	3,271
12	9.20	10.68	7,688	4,370	3,317
13	9.00	10.45	8,147	4,735	3,413
14	8.70	10.10	8,482	5,099	3,383
15	8.50	9.86	8,878	5,463	3,415
16	8.30	9.63	9,248	5,827	3,420
17	8.10	9.40	9,589	6,191	3,397
18	7.90	9.17	9,902	6,556	3,347
19	7.70	8.94	10,188	6,920	3,268
20	7.50	8.70	10,445	7,284	3,161
21	7.38	8.57	10,792	7,648	3,144
22	7.26	8.43	11,122	8,012	3,110
23	7.14	8.29	11,435	8,377	3,059
24	7.02	8.15	11,732	8,741	2,991
25	6.90	8.01	12,012	9,105	2,907
30	6.30	7.31	13,161	10,926	2,235
35	5.90	6.85	14,380	12,747	1,633
40	5.50	6.38	15,320	14,568	752
45	5.10	5.92	15,981	16,389	-408
50	4.70	5.45	16,364	18,210	-1,846
55	4.50	5.22	17,235	20,031	-2,796
60	4.30	4.99	17,966	21,852	-3,886
120	2.70	3.13	22,562	43,704	-21,142
240	2.40	2.79	40,110	87,408	-47,298

# OPERATIONS & MAINTENANCE PLAN

For:

*Advanced Dental Office Building Phase 2  
for  
Fritz Harshberger DMD, LLC*

Prepared By:



Project # 20211062

## ENGINEER'S CERTIFICATE

I, the undersigned, a Registered Professional Engineer in the State of Alabama holding Certificate Number 26348, hereby certify that I have reviewed the design herein which was done under my direct control and supervision and that, to the best of my professional knowledge and to the best of my belief, conforms to the requirements of the Fairhope Subdivision Regulations and to all other rules, regulations, laws, and ordinances applicable to my design.

---

Project Engineer

April 18, 2025

Name of Project to which this Certificate Applies: Advanced Dental Office Building Phase 2

Plans which are certified consist of Page Cover thru C10.

This Instrument Prepared By:

S.E. Civil, LLC

9969 Windmill Road

Fairhope, AL 36532

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**City of Fairhope, Alabama**  
**Storm Water Facility Maintenance Agreement**

THIS STORM WATER FACILITY MAINTENANCE AGREEMENT (this "Agreement") is made, executed and entered into this \_\_\_\_ day of \_\_\_\_\_, 2025, by Fritz Harshberger DMD LLC (hereinafter called "Landowner"), to and for the benefit of the City of Fairhope, Alabama, a municipal corporation organized under the laws of the State of Alabama (hereinafter called the "City").

Recitals:

WHEREAS, Landowner is the owner of that certain real property located in Baldwin County, Alabama and more particularly described on Exhibit "A" attached hereto and by reference made a part hereof (the "Property");

WHEREAS, Landowner is in the process and constructing and developing a subdivision on the Property to be known as Advanced Dental MOP (the "Subdivision");

WHEREAS, Landowner has applied with the City for preliminary plat approval for the plat of the Subdivision, a copy of which is attached hereto as Exhibit "B" (the "Plat");

WHEREAS, as a condition to the preliminary approval of the Plat, the City requires the construction and improvement of certain storm water management facilities as shown and referenced on the Plat and/or otherwise approved by the City in writing (the "Facilities");

WHEREAS, as a further condition to the approval of the Plat, the City requires that the Facilities be constructed and adequately maintained by Landowner, its grantees, successors and assigns, including any association formed by Landowner for purposes of managing and maintaining any common areas of the Subdivision (the "Association");

Agreement:

NOW THEREFORE, for and in consideration of the premises and other good and valuable consideration, the receipt, adequacy and sufficiency of which are hereby acknowledged, Landowner and the City, intending to be legally bound, hereby covenant and agree as follows:

1. Landowner or its grantees shall construct and improve the Facilities strictly in accordance with the plans and specifications therefor (a) set forth on the Plat and/or (b) otherwise approved by the City in writing. Landowner acknowledges and agrees that the completion of construction of the Facilities is a condition to the City's final approval of the Plat; provided, however, that in the event the City allows Landowner to provide a bond or other guarantee of

completion of the Facilities, the Facilities shall be completed at least thirty (30) days prior to the expiration of said bond or other guarantee.

2. Landowner or its grantees shall maintain the Facilities in such condition that the Facilities properly operate, function and perform (as designed by a professional engineer) for their intended purpose(s), which maintenance shall include, at a minimum, all maintenance required by all laws and ordinances of the City, the maintenance plan attached hereto as Exhibit "C", all items set forth on the Maintenance Checklist (hereinafter defined), and such other maintenance as is customary in Baldwin County, Alabama with respect to substantially similar stormwater management facilities. As used herein, the term "Facilities" shall include, without limitation, all pipes, channels or other conveyances built to convey storm water to the Facilities, as well as all storm water structures, improvements, and vegetation provided to control the quantity and quality of storm water that discharges from the Property. In connection with Landowner's maintenance of the Facilities, Landowner or its grantees shall follow and comply with the Storm Water Structural Control Maintenance Checklists attached hereto as Exhibit "D" and incorporated herein by reference ("Maintenance Checklist").

3. Landowner or its grantees shall inspect the Facilities and submit an inspection report every five years. Said inspections shall be conducted at the sole expense of Landowner by a professional engineer registered in the State of Alabama and reasonably acceptable to the City and which inspection report shall be certified by said engineer to the City, which form of certification shall be reasonably acceptable to the City. The first inspection report is due by December 31st of the fifth year after completion of construction of the Facilities and subsequent inspection reports are due by December 31st of every successive fifth year thereafter. Each inspection report shall detail the then-current state of

effectiveness of the Facilities and shall note any deficiencies in the Facilities and/or any portion or component thereof. The purpose of the inspection reports is to assure safe and proper operation and functioning of the Facilities.

4. Landowner hereby grants an irrevocable license to the City and its authorized agents and employees to enter upon the Property and to inspect the Facilities whenever the City deems necessary. The City shall provide Landowner copies of any inspection findings of the City. In the event the City finds any deficiencies in the Facilities, whether as a result of the inspection reports required under Paragraph 3 hereof or as a result of a City inspection conducted in accordance with this Paragraph, the City shall have the right, but not the obligation, to issue a written notice to Landowner of any such deficiencies. In the event the City issues any such deficiency notice, Landowner shall cure any such deficiencies within the time set forth for such deficiencies required by applicable law (whether federal, state, local or otherwise) and in any event within thirty (30) days of its receipt of such notice.

5. In the event Landowner or its grantees fail to maintain the Facilities in good working condition acceptable to the City and in accordance with the terms and conditions hereof, the City shall have the right, but not the obligation, to enter upon the Property and take whatever steps are necessary to correct and bring the Facilities into good working condition and to charge the costs of such repairs to Landowner; provided, however, that in no event shall the foregoing be construed as to allow the City to erect any structure of permanent nature on the Property outside of the easement or other areas for the Facilities as shown on the Plat. It is expressly understood and agreed that the City is under no obligation to maintain or repair the Facilities and in no event shall this Agreement be construed to impose any such obligation on the City.

6. In the event the City pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, Landowner or its grantees shall reimburse the City for all such costs and expenses within thirty (30) days of Landowner's or its grantees receipt of the City's written demand therefor. Any sums not reimbursed to the City within said thirty (30) day period shall accrue interest at the rate of twelve percent (12%) per annum.

7. In the event of the employment of an attorney for the collection of any amount due hereunder or for the institution of any valid suit for the enforcement of any of the terms and conditions hereof, or on account of or for any other reason in connection herewith, Landowner or its grantees covenant and agree to pay and reimburse the City for its reasonable attorney's fees incurred in connection therewith.

8. This Agreement imposes no liability of any kind whatsoever on the City and Landowner or its grantees covenant and agree to defend, indemnify and hold the City harmless from and against any and all liability, loss, cost, damage and expense (including reasonable attorney's fees) in the event the Facilities fail to operate properly, whether as a result of improper design, maintenance or otherwise.

9. This Agreement shall be recorded in the records of the Probate Court of Baldwin County, Alabama and shall constitute a covenant running with the land, and shall be binding on Landowner and its grantees, successors and assigns with regard to any interest in the Property, including, without limitation, the Association. It is expressly contemplated hereby that Landowner may convey the Facilities to the Association in which event the Association shall be obligated to perform all duties and obligations of "Landowner" hereunder.

10. Landowner represents and warrants to the City that Landowner is the sole and absolute owner of the Property and is properly authorized to enter into this Agreement.

11. This Agreement shall be construed in accordance with the laws of the State of Alabama.

12. This Agreement may be executed in multiple counterparts by original or facsimile signatures, and each such counterpart shall be considered an original, but all of which together shall constitute one and the same agreement.

13. In the event of a default by Landowner hereunder, the City shall be entitled to all rights and remedies provided under applicable state law, including the right of specific performance.

14. This Agreement shall be binding upon and inure to the benefit of the parties hereto and their respective grantees, successors, and assigns.

15. This Agreement shall not be construed more strictly against one party than against the other merely by virtue of the fact that it may have been prepared by counsel for one of the parties, it being recognized that all parties have contributed substantially and materially to the preparation of this Agreement.

16. Each notice, request, and communication required under this Agreement shall be in writing. It will be deemed to have been received: (i) on personal delivery; (ii) on the second business day after its deposit for overnight delivery with a recognized overnight delivery service; (iii) if by facsimile, on receipt of electronic confirmation of its receipt (but only if the facsimile is followed

by delivery by United States mail); or (iv) if mailed, on actual receipt (but only if sent by registered or certified mail, with return receipt requested, addressed to the other party's address below):

If to the City:           City of Fairhope, Alabama  
                                  Attn: Planning Director  
                                  555 South Section Street  
                                  Fairhope, Alabama 36532

If to Landowner:       Fritz Harshberger DMD LLC  
                                  Attn: Fritz Harshberger  
                                  20252 St. Hwy 181  
                                  Fairhope, AL 36532

Any party hereto may change its address for notice hereunder by giving notice to the other party in accordance with the foregoing. Any such change in address shall be effective ten (10) days following receipt of such notice by the receiving party.

17. Time is of the essence with respect to each obligation of the parties hereto under this Agreement.

18. The foregoing constitutes the entire agreement between the parties with respect to the subject matter hereof and may not be modified or amended except in a writing signed by all of the parties hereto. To the extent that this Agreement differs in any manner whatsoever from prior written or oral agreements regarding the subject matter hereof, or from any documents which are attached hereto, the terms and conditions of this Agreement shall control.

[Remainder of Page Intentionally Left Blank]

IN WITNESS WHEREOF, Landowner have caused this Agreement to be executed by and through its duly authorized representatives effective as of the date first set forth above.

Fritz Harshberger DMD LLC

By: \_\_\_\_\_

Name: Fritz Harshberger

As Its: President

STATE OF \_\_\_\_\_:

COUNTY OF \_\_\_\_\_:

I, the undersigned Notary Public in and for said County in said State, hereby certify that Fritz Harshberger, whose name as President of Fritz Harshberger DMD LLC, is signed to the foregoing instrument and who is known to me, acknowledged before me on this day that, being informed of the contents of the instrument, he, as such managing member and with full authority, executed the same voluntarily on the day the same bears date for and as the act of said managing member.

Given under my hand and official notarial seal this \_\_\_\_ day of \_\_\_\_\_, 2022.

{SEAL} \_\_\_\_\_  
NOTARY PUBLIC  
My Commission Expires: \_\_\_\_\_

Exhibit List:

Exhibit A – Description of the Property

Exhibit B – Copy of the Plat

Exhibit C – Copy of Maintenance Plan

Exhibit D – Maintenance Checklist

## **Exhibit A – Description of the Property**

North 190 feet of the Northwest Quarter (Northwest $\frac{1}{4}$ ) of the Southwest Quarter (Southwest $\frac{1}{4}$ ) of the Southwest Quarter (Southwest $\frac{1}{4}$ ), less 40 feet for road on West from said Northwest $\frac{1}{4}$  Southwest $\frac{1}{4}$  Southwest $\frac{1}{4}$ , lands of the Fairhope Single Tax Corporation, Section 14, Township 6 South, Range 2 East, Baldwin County, Alabama.

## **Exhibit B – Copy of Plat**



## Exhibit C – Copy of Maintenance Plan

The pond will be privately owned and maintained by the property owner. The Fairhope Planning Director or his authorized representative must be notified of any change in ownership. It is the responsibility of property owner to inspect and repair the pond per the following schedule:

- Once Construction is complete and vegetation is established, an inspection shall be done every three years by a Professional Engineer or after a major storm event. The Professional Engineer shall inspect the pond and structures per the schedule below (monthly and annually designations).
- The owner shall inspect the pond monthly and after moderate and major storm events (>0.75 Inches). The owner shall inspect the pond and structures per the schedule below (monthly designations).
- During construction the ponds should be inspected monthly and after every rainfall event greater than 0.75 inches.

All deficiencies should be addressed immediately.

### **Detention Maintenance Schedule:**

Re-planting (when sod dies) – If sod dies, re-sod bare areas to prevent erosion of the banks.

Weeding (twice a year) – Weeding should decrease over time as vegetation establishes.

Inspect sod (monthly until establishment, then twice a year) – Inspect for diseased or insect infested vegetation.

Fertilization (at planting) – Most BRCs are used in nutrient sensitive watersheds. Fertilizing beyond plant establishment will increase nutrients leaving the BRC.

Sediment Removal (as needed) – If sediment clogs the media, the top few inches may need to be removed and replaced. Sediment should be tested for heavy metals and contaminants prior to removal. If heavy metals or contaminants are present, the sediment should be disposed of at an ADEM approved facility.

Trash Removal (as needed) – In high traffic areas, frequent trash removal will be necessary.

### **Vegetated Swale Maintenance Schedule:**

Erosion Inspection (during and after major storm events for first 2 years, annually thereafter) – Ruts, holes, or gullies should be repaired with soil and vegetation cover.

Inspection (after 0.5” or greater rainfall event) – Visually inspect all components including any stone, vegetation, and evidence of erosion or ponding.

Trash Removal (at least annually) – Trash removal frequency is dependent on location of the swale.

Sediment Removal from the Channel (when it reaches 2") – Sediment should be removed from the channel when it reaches a depth of 2" or when vegetation is covered.

Mowing of Turfgrass (every other week in growing season) – Mowing should be done more often during the growing season; dense, low growing vegetation is best to maintain diffuse flow.

Mowing of Native Grasses (annually) – Most native grasses should be mowed before new growth appears in spring.

Herbaceous and Woody Vegetation Pruning (annually) – Leaves dropped from the deciduous shrubs and herbaceous plants should be collected to decrease clogging of mulch or any damming that might occur in the channel. Woody shrubs should be pruned based on the May Rule.

Removal of Invasive Plants (twice a year) – Infiltration swales and vegetated swales will require mulch removal and replacement. Replenish bare areas as they occur.

Plant Replacement (when dead plants are noted) – Sod or other plants should be replaced when they are choked out by sediment. Replant as needed to maintain dense cover.

**See the attached Stormwater Pond Inspections and Maintenance Checklist.**

## **Exhibit D – Maintenance Checklist**

## Stormwater Pond Inspections and Maintenance Checklist

Site Name: \_\_\_\_\_ Owner change since last inspection? Y N

Location: \_\_\_\_\_

Owner Name: \_\_\_\_\_

Address: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Site Status: \_\_\_\_\_

Date: \_\_\_\_\_ Time: \_\_\_\_\_ Site conditions: \_\_\_\_\_

Stormwater Pond Type: Wet Pond  Wet ED Pond  Micropool Pond   
Multiple Pond System  Dry Pond

Inspection Frequency Key: A=annual; M=monthly; S=after major storms

Inspection Items	Inspection Frequency	Inspected? (Yes/No)	Maintenance Needed? (Yes/No)	Comments/Description
<b>Embankment and Emergency Spillway</b>				
Vegetation healthy?	A/S			
Erosion on embankment?	A/S			
Animal burrows in embankment?	A/S			
Cracking, sliding, bulging of dam?	A/S			
Drains blocked or not functioning?	A/S			
Leaks or seeps on embankment?	A/S			
Slope protection failure functional?	A/S			
Emergency spillway obstructed?	A/S			
Erosion in/around emergency spillway?	A/S			
Other (describe)	A/S			
<b>Riser and Principal Spillway</b> (describe type: concrete pipe, slotted weir, channel, etc.)				
Low-flow orifice functional?	A/S			
Trash rack (Debris removal needed? Corrosion noted?)	A/S			
Sediment buildup in riser?	A			
Concrete/masonry condition (Cracks or displacement? Spalling?)	A			
Metal pipe in good condition?	A			
Control valve operation?	A			
Pond drain valve operation?	A			

Inspection Items	Inspection Frequency	Inspected? (Yes/No)	Maintenance Needed? (Yes/No)	Comments/Description
Outfall channels function, not eroding?	A			
Other (describe)	A			
<b>Permanent Pool Areas (if applicable)</b>				
Undesirable vegetation growth?	M			
Visible pollution?	M			
Shoreline erosion?	M			
Erosion at outfalls into pond?	M			
Headwalls and endwalls in good condition?	M			
Encroachment into pond or easement area by other activities?	M			
Evidence of sediment accumulation?	M			
<b>Dry Pond Areas? (if applicable)</b>				
Vegetation adequate?	M			
Undesirable vegetation or woody plant growth?	M			
Excessive sedimentation?	A			
<b>Hazards</b>				
Have there been complaints from residents?	M			
Public hazards noted?	M			

Inspector Comments:

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Overall Condition of Facility:     Acceptable                       Unacceptable

If any of the inspection items above are checked "yes" for "maintenance needed," list maintenance actions and the completion dates below:

Maintenance Action Needed	Due Date

The next routine inspection is scheduled for approximately: \_\_\_\_\_  
(date)

Inspected by: (signature) \_\_\_\_\_

Inspected by: (printed) \_\_\_\_\_

## Enhanced Swales / Grass Channels / Filter Strips Inspections and Maintenance Checklist

Site Name: \_\_\_\_\_ Owner change since last inspection?  Y  N

Location: \_\_\_\_\_

Owner Name: \_\_\_\_\_

Address: \_\_\_\_\_ Phone Number: \_\_\_\_\_

Site Status: \_\_\_\_\_

Date: \_\_\_\_\_ Time: \_\_\_\_\_ Inspector: \_\_\_\_\_

*Inspection Frequency Key: A=annual; M=monthly; S=after major storms*

Inspection Items	Inspection Frequency	Inspected? (Yes/No)	Maintenance Needed? (Yes/No)	Comments/Description
<b>Debris Removal</b>				
Facility and adjacent area free of debris?	M			
Inlets and outlets free of debris?	M			
Any dumping of yard wastes into facility?				
Litter (branches) removed?	M			
<b>Vegetation</b>				
Surrounding area fully stabilized? (no evidence of eroding material into swale, channel or filter strip)	M			
Grass mowed?	M			
Plant height not less than design water depth?	M			
Fertilized per specifications?	M			
Plan composition according to approved plan?	M			
Unauthorized or inappropriate plantings?	A			
Plants healthy? (no diseased or dying vegetation)	M			
Evidence of plants stressed from inadequate watering?	M			
<b>Filtration Capacity</b>				
Clogging from oil or grease?	M			
Facility dewaterers between storms?	M			

Inspection Items	Inspection Frequency	Inspected? (Yes/No)	Maintenance Needed? (Yes/No)	Comments/Description
<b>Check dams and energy dissipators/sumps</b>				
Any evidence of sedimentation build up?	A/S			
Are sumps greater than 50% full of sediment?	A/S			
Any evidence of erosion and down stream toe of drop structures?	A/S			
<b>Sediment Deposition</b>				
Swale clean of sediments	A			
Sediment not >20% of swale design depth	A			
<b>Outlet/Overflow Spillway</b>				
In good condition?	A			
Any evidence of erosion?	A			
Any evidence of blockages?	A			
Has facility been filled or blocked inappropriately?	A			

Inspector Comments:

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Overall Condition of Facility:     Acceptable                       Unacceptable

If any of the above Inspection Items are checked "yes" for "maintenance needed," list maintenance actions and their completion dates below:

Maintenance Action Needed	Due Date

The next routine inspection is scheduled for approximately: \_\_\_\_\_ (date)

Inspected by: (signature) \_\_\_\_\_

Inspected by: (printed) \_\_\_\_\_



March 24, 2025

**Hunter Simmons**  
**Fairhope Planning Department**  
**555 S. Section Street**  
**Fairhope, AL 36532**

**Re: Advanced Dental MOP – Traffic Letter**

Dear Hunter:

This letter is to serve as back up information as to why a Traffic Impact Study is not warranted for this project. According to the subdivision regulations a traffic impact study is required if a project will increase the average daily traffic by 1,000 trips or generate 50 trips or more during any peak hour period. Attached is the ITE Trip Generation Report. The proposed development will consist of 5,646 sq. ft of office lease space. We have also included the existing building in our numbers which is an additional 5,646 sq. ft. of office lease space. We have assumed a use of professional office space based upon what is in the existing building and the existing zoning. When plugging in this information into the ITE Trip Generation Report, we come up with 750 daily trips and 43 peak hour trips. This does not meet the threshold for a traffic study. Please refer to the attached ITE Trip Generation Report.

If you have any questions, please let me know.

Sincerely,

A handwritten signature in black ink, appearing to read 'L. Smith', written over a white background.

**Larry Smith, PE**  
lsmith@secivileng.com



**Instructions:**  
Enter Numbers into the "Expected Units" in the Corresponding Yellow Column

**Trip Generation Rates from the 8th Edition ITE Trip Generation Report**  
 NA: Not Available      KSF<sup>2</sup>: Units of 1,000 square feet  
 DU: Dwelling Unit      Fuel Position: # of vehicles that could be fueled simultaneously  
 Occ.Room: Occupied Room

Description / ITE Code	Units	Rate Weekday Daily Traffic	PM Peak Period Rate	% PM In	% PM Out	Expected Units (independent variable)	Calculated Daily Trips	PM Peak Trips - Total	PM In	PM Out
Waterport/Marine Terminal 010	Berths	171.52	NA	NA	NA		0	NA	NA	NA
Commercial Airport 021	Employees	13.40	0.80	54%	46%		0	0	NA	NA
Commercial Airport 021	Avg Flights/Day	104.73	5.75	56%	44%		0	0	NA	NA
Commercial Airport 021	Com. Flights/Day	122.21	6.88	54%	46%		0	0	NA	NA
General Aviation Airport 022	Employees	14.24	1.03	45%	55%		0	0	NA	NA
General Aviation Airport 022	Avg. Flights/Day	1.97	NA	NA	NA		0	NA	NA	NA
General Aviation Airport 022	Based Aircraft	5.00	0.37	45%	55%		0	0	NA	NA
Truck Terminal 030	Acres	81.90	6.55	43%	57%		0	0	NA	NA
Park&Ride w/ Bus Service 090	Parking Spaces	4.50	0.62	22%	78%		0	0	NA	NA
Park&Ride w/ Bus Service 090	Occ. Spaces	9.62	0.81	28%	72%		0	0	NA	NA
Light Rail Station w/ Park 093	Parking Space	2.51	1.24	58%	42%		0	0	NA	NA
Light Rail Station w/ Park 093	Occ. Spaces	3.91	1.33	58%	42%		0	0	NA	NA
General Light Industrial 110	KSF <sup>2</sup>	6.97	0.97	12%	88%		0	0	NA	NA
General Light Industrial 110	Employees	3.02	0.42	21%	79%		0	0	NA	NA
General Heavy Industrial 120	KSF <sup>2</sup>	1.50	0.68	NA	NA		0	0	NA	NA
General Heavy Industrial 120	Employees	0.82	0.88	NA	NA		0	0	NA	NA
Industrial Park 130	KSF <sup>2</sup>	6.96	0.86	21%	79%		0	0	NA	NA
Industrial Park 130	Employees	3.34	0.46	20%	80%		0	0	NA	NA
Manufacturing 140	KSF <sup>2</sup>	3.82	0.74	36%	64%		0	0	NA	NA
Manufacturing 140	Employees	2.13	0.36	44%	56%		0	0	NA	NA
Warehousing 150	KSF <sup>2</sup>	3.56	0.32	25%	75%		0	0	NA	NA
Warehousing 150	Employees	3.89	0.59	35%	65%		0	0	NA	NA
Mini Warehouse 151	KSF <sup>2</sup>	2.50	0.26	51%	49%		0	0	NA	NA
Mini Warehouse 151	Storage Units	0.25	0.02	NA	NA		0	0	NA	NA
Mini Warehouse 151	Employees	61.90	6.04	52%	48%		0	0	NA	NA
High-Cube Warehouse 152	KSF <sup>2</sup>	1.44	0.10	33%	67%		0	0	NA	NA
High-Cube Warehouse 152	Employees	NA	0.66	35%	65%		0	0	NA	NA
Utilities 170	KSF <sup>2</sup>	NA	0.76	45%	55%		0	0	NA	NA
Utilities 170	Employees	NA	0.76	90%	10%		0	0	NA	NA
Single Family Homes 210	DU	9.57	1.01	63%	37%		0	0	NA	NA
Single Family Homes 210	Vehicles	6.02	0.67	66%	34%		0	0	NA	NA
Apartment 220	DU	6.65	0.62	65%	35%		0	0	NA	NA
Apartment 220	Persons	3.31	0.40	NA	NA		0	0	NA	NA
Apartment 220	Vehicles	5.10	0.60	NA	NA		0	0	NA	NA
Low Rise Apartment 221	Occ.DU	6.59	0.58	65%	35%		0	0	NA	NA
High Rise Apartment 222	DU	4.20	0.35	61%	39%		0	0	NA	NA
Mid-Rise Apartment 223	DU	NA	0.39	58%	42%		0	0	NA	NA
Rental Townhouse 224	DU	NA	0.72	51%	49%		0	0	NA	NA
Resd. Condo/Townhouse 230	DU	5.81	0.52	67%	33%		0	0	NA	NA
Resd. Condo/Townhouse 230	Persons	2.49	0.24	67%	33%		0	0	NA	NA
Low Rise Resd. Condo 231	DU	NA	0.78	58%	42%		0	0	NA	NA
High Rise Resd. Condo 232	DU	4.18	0.38	62%	38%		0	0	NA	NA
Luxury Condo/Townhouse 233	Occ. DU	NA	0.55	63%	37%		0	0	NA	NA
Mobile Home Park 240	DU	4.99	0.59	62%	38%		0	0	NA	NA

Mobile Home Park 240	Persons	2.46	0.26	63%	37%		0	0	NA	NA
Retirement Community 250	DU	NA	0.27	56%	44%		0	0	NA	NA
Elderly Housing-Detached 251	DU	3.71	0.27	61%	39%		0	0	NA	NA
Congregate Care Facility 253	Occ.DU	2.15	0.17	56%	44%		0	0	NA	NA
Elderly Housing- Attached 252	Occ.DU	3.48	0.16	60%	40%		0	0	NA	NA
Recreational Homes 260	DU	3.16	0.26	41%	59%		0	0	NA	NA
Residential PUD 270	DU	7.50	0.62	65%	35%		0	0	NA	NA
Hotel 310	Occ. Room	8.92	0.70	49%	51%		0	0	NA	NA
Hotel 310	Rooms	8.17	0.59	53%	47%		0	0	NA	NA
Hotel 310	Employees	14.34	0.80	54%	46%		0	0	NA	NA
All Suites Hotel 311	Occ.Room	6.24	0.55	42%	58%		0	0	NA	NA
All Suites Hotel 311	Rooms	4.90	0.40	45%	55%		0	0	NA	NA
Business Hotel 312	Occ. Room	7.27	0.62	60%	40%		0	0	NA	NA
Business Hotel 312	Employees	72.67	7.60	60%	40%		0	0	NA	NA
Motel 320	Occ.Room	9.11	0.58	53%	47%		0	0	NA	NA
Motel 320	Rooms	5.63	0.47	54%	46%		0	0	NA	NA
Motel 320	Employees	12.81	0.73	54%	46%		0	0	NA	NA
Resort Hotel 330	Occ. Room	13.43	0.49	43%	57%		0	0	NA	NA
Resort Hotel 330	Rooms	NA	0.42	43%	57%		0	0	NA	NA
City Park 411	Picnic Sites	5.87	NA	NA	NA		0	NA	NA	NA
County Park 412	Acres	2.28	0.06	41%	59%		0	0	NA	NA
State Park 413	Picnic Sites	9.95	0.65	43%	57%		0	0	NA	NA
State Park 413	Employees	NA	4.67	43%	57%		0	0	NA	NA
Water Slide Park 414	Parking Space	2.27	NA	NA	NA		0	NA	NA	NA
Beach Park 415	Acres	29.81	1.30	29%	71%		0	0	NA	NA
Campground/RV Park 416	Acres	74.38	0.39	NA	NA		0	0	NA	NA
Regional Park 417	Picnic Sites	61.62	9.60	41%	59%		0	0	NA	NA
Regional Park 417	Employees	79.77	10.26	45%	55%		0	0	NA	NA
National Monument 418	Employees	31.05	5.58	NA	NA		0	0	NA	NA
Marina 420	Berths	2.96	0.19	60%	40%		0	0	NA	NA
Golf Course 430	Employees	20.52	1.48	48%	52%		0	0	NA	NA
Golf Course 430	Holes	35.74	2.78	45%	55%		0	0	NA	NA
Miniature Golf Course 431	Holes	NA	0.33	33%	67%		0	0	NA	NA
Golf Driving Range 432	Tees	NA	1.25	45%	55%		0	0	NA	NA
Multipurpose Rec. Facility 435	Acres	90.38	5.77	NA	NA		0	0	NA	NA
Live Theater 441	Seats	NA	0.02	50%	50%		0	0	NA	NA
Movie Theater w/o matinee 443	KSF <sup>2</sup>	78.06	6.16	94%	6%		0	0	NA	NA
Movie Theater w/o matinee 443	Movie Screens	220.00	24.00	41%	59%		0	0	NA	NA
Movie Theater w/o matinee 443	Seats	1.76	0.07	75%	25%		0	0	NA	NA
Movie Theater w/o matinee 443	Employees	53.12	4.20	NA	NA		0	0	NA	NA
Movie Theater w/ matinee 444	KSF <sup>2</sup>	NA	3.80	64%	36%		0	0	NA	NA
Movie Theater w/ matinee 444	Movie Screens	153.33	20.22	40%	60%		0	0	NA	NA
Movie Theater w/ matinee 444	Seats	NA	0.14	53%	47%		0	0	NA	NA
Horse Track 452	Employees	2.60	NA	50%	50%		0	NA	NA	NA
Dog Track 454	Attendees	1.09	0.13	66%	34%		0	0	NA	NA
Arena 460	Employees	10.00	NA	50%	50%		0	NA	NA	NA
Ice Rink 465	Seats	1.26	0.12	NA	NA		0	0	NA	NA
Casino/Video Lottery Establishment 473	KSF <sup>2</sup>	NA	13.43	56%	44%		0	0	NA	NA
Amusement Park 480	Employees	8.33	0.50	61%	39%		0	0	NA	NA
Zoo 481	Acres	114.88	NA	50%	50%		0	NA	NA	NA
Zoo 481	Employees	23.93	NA	50%	50%		0	NA	NA	NA
Tennis Courts 490	Courts	31.04	3.88	NA	NA		0	0	NA	NA
Tennis Courts 490	Employees	66.67	5.67	NA	NA		0	0	NA	NA
Racquet Club 491	Courts	38.70	3.35	NA	NA		0	0	NA	NA
Racquet Club 491	KSF <sup>2</sup>	14.03	1.06	NA	NA		0	0	NA	NA
Racquet Club 491	Employees	45.71	4.95	NA	NA		0	0	NA	NA
Health Club 492	KSF <sup>2</sup>	32.93	3.53	57%	43%		0	0	NA	NA

Bowling Alley 494	KSF <sup>2</sup>	33.33	3.54	35%	65%		0	0	NA	NA
Recreational Com. Center 495	KSF <sup>2</sup>	22.88	1.45	37%	63%		0	0	NA	NA
Recreational Com. Center 495	Employees	27.25	3.16	44%	56%		0	0	NA	NA
Military Base 501	Employees	1.78	0.39	NA	NA		0	0	NA	NA
Elementary School 520	Students	1.29	0.15	49%	51%		0	0	NA	NA
Elementary School 520	KSF <sup>2</sup>	15.43	1.21	45%	55%		0	0	NA	NA
Elementary School 520	Employees	15.71	1.81	49%	51%		0	0	NA	NA
Private School (K-12) 536	Students	2.48	0.17	43%	57%		0	0	NA	NA
Middle/ JR. High School 522	Students	1.62	0.16	49%	51%		0	0	NA	NA
Middle/ JR. High School 522	KSF <sup>2</sup>	13.78	1.19	52%	48%		0	0	NA	NA
High School 530	Students	1.71	0.13	47%	53%		0	0	NA	NA
High School 530	KSF <sup>2</sup>	12.89	0.97	54%	46%		0	0	NA	NA
High School 530	Employees	19.74	1.55	54%	46%		0	0	NA	NA
Junior/ Comm. College 540	Students	1.20	0.12	64%	36%		0	0	NA	NA
Junior/ Comm. College 540	KSF <sup>2</sup>	27.49	2.54	58%	42%		0	0	NA	NA
Junior/ Comm. College 540	Employees	15.55	1.39	58%	42%		0	0	NA	NA
University/College 550	Students	2.38	0.21	30%	70%		0	0	NA	NA
University/College 550	Employees	9.13	0.88	29%	71%		0	0	NA	NA
Church 560	KSF <sup>2</sup>	9.11	0.55	48%	52%		0	0	NA	NA
Synagogue 561	KSF <sup>2</sup>	10.64	1.69	47%	53%		0	0	NA	NA
Daycare Center 565	KSF <sup>2</sup>	79.26	12.46	47%	53%		0	0	NA	NA
Daycare Center 565	Students	4.48	0.82	47%	53%		0	0	NA	NA
Daycare Center 565	Employees	28.13	4.79	47%	53%		0	0	NA	NA
Cemetery 566	Employees	58.09	7.00	33%	67%		0	0	NA	NA
Prison 571	KSF <sup>2</sup>	NA	2.91	NA	NA		0	0	NA	NA
Prison 571	Employees	NA	0.23	28%	72%		0	0	NA	NA
Library 590	KSF <sup>2</sup>	56.24	7.30	48%	52%		0	0	NA	NA
Library 590	Employees	52.52	5.40	47%	53%		0	0	NA	NA
Lodge/Fraternal Organization 591	Members	0.29	0.03	NA	NA		0	0	NA	NA
Lodge/Fraternal Organization 591	Employees	46.90	4.05	NA	NA		0	0	NA	NA
Hospital 610	KSF <sup>2</sup>	16.50	1.14	42%	58%		0	0	NA	NA
Hospital 610	Beds	11.81	1.31	38%	64%		0	0	NA	NA
Hospital 610	Employees	5.20	0.33	31%	69%		0	0	NA	NA
Nursing Home 620	Beds	2.37	0.22	33%	67%		0	0	NA	NA
Nursing Home 620	Employees	4.03	NA	26%	74%		0	NA	NA	NA
Clinic 630	KSF <sup>2</sup>	31.45	5.18	NA	NA		0	0	NA	NA
Clinic 630	Employees	7.75	1.23	41%	59%		0	0	NA	NA
General Office 710 (Equation)	KSF <sup>2</sup>	Equation	Equation	17%	83%		0	0	NA	NA
General Office 710	KSF <sup>2</sup>	11.01	1.49	17%	83%		0	0	NA	NA
Corporate Headquarters 714	KSF <sup>2</sup>	7.98	1.40	10%	90%		0	0	NA	NA
Corporate Headquarters 714	Employees	7.98	1.40	10%	90%		0	0	NA	NA
Single Tenant Office Bldg 715	KSF <sup>2</sup>	11.57	1.72	15%	85%		0	0	NA	NA
Single Tenant Office Bldg 715	Employees	3.62	0.50	15%	85%		0	0	NA	NA
Medical Dental Office 720	KSF <sup>2</sup>	36.13	3.46	27%	73%		0	0	NA	NA
Medical Dental Office 720	Employees	8.91	1.06	34%	66%		0	0	NA	NA
Government Office Building 730	KSF <sup>2</sup>	68.93	1.21	31%	69%		0	0	NA	NA
Government Office Building 730	Employees	11.95	1.91	74%	26%		0	0	NA	NA
State Motor Vehicles Dept. 731	KSF <sup>2</sup>	166.02	17.09	NA	NA		0	0	NA	NA
State Motor Vehicles Dept. 731	Employees	44.54	4.58	NA	NA		0	0	NA	NA
US Post Office 732	KSF <sup>2</sup>	108.19	11.12	51%	49%		0	0	NA	NA
US Post Office 732	Employees	28.32	2.84	51%	49%		0	0	NA	NA

Gov. Office Complex 733	KSF <sup>2</sup>	27.92	2.85	31%	69%		0	0	NA	NA
Gov. Office Complex 733	Employees	7.75	0.79	31%	69%		0	0	NA	NA
R&D Center 760	KSF <sup>2</sup>	8.11	1.07	15%	85%		0	0	NA	NA
R&D Center 760	Employees	2.77	0.41	10%	90%		0	0	NA	NA
Building Materials/Lumber 812	KSF <sup>2</sup>	45.16	4.49	47%	53%		0	0	NA	NA
Building Materials/Lumber 812	Employees	32.12	2.77	51%	49%		0	0	NA	NA
Free-Standing Discount Superstore 813	KSF <sup>2</sup>	53.13	4.61	49%	51%		0	0	NA	NA
Free-Standing Discount Store 815	KSF <sup>2</sup>	57.24	5.00	50%	50%		0	0	NA	NA
Free-Standing Discount Store 815	Employees	28.84	3.48	50%	50%		0	0	NA	NA
Hardware/Paint Store 816	KSF <sup>2</sup>	51.29	4.84	47%	53%		0	0	NA	NA
Hardware/Paint Store 816	Employees	53.21	5.05	NA	NA		0	0	NA	NA
Nursery (Garden Center) 817	KSF <sup>2</sup>	36.08	3.80	NA	NA		0	0	NA	NA
Nursery (Garden Center) 817	Employees	22.13	1.99	NA	NA		0	0	NA	NA
Nursery (Wholesale) 818	KSF <sup>2</sup>	39.00	5.17	NA	NA		0	0	NA	NA
Nursery (Wholesale) 818	Employees	23.40	0.47	NA	NA		0	0	NA	NA
Shopping Center 820 (Equation)	KSF <sup>2</sup>	Equation	Equation	49%	51%		0	0	NA	NA
Shopping Center 820 Rate	KSF <sup>2</sup>	42.94	3.37	49%	51%		0	0	NA	NA
Factory Outlet Center 823	KSF <sup>2</sup>	26.59	2.29	47%	53%		0	0	NA	NA
Quality Restaurant 931	KSF <sup>2</sup>	89.95	7.49	67%	33%		0	0	NA	NA
Quality Restaurant 931	Seats	2.86	0.26	67%	33%		0	0	NA	NA
High Turnover/Sit Down Rest 932	KSF <sup>2</sup>	127.15	11.15	59%	41%		0	0	NA	NA
High Turnover/Sit Down Rest 932	Seats	4.83	0.41	57%	43%		0	0	NA	NA
Fast Food w/o Drive Thru 933	KSF <sup>2</sup>	716.00	26.15	51%	49%		0	0	NA	NA
Fast Food w/o Drive Thru 933	Seats	42.12	2.13	64%	36%		0	0	NA	NA
Fast Food w/ Drive Thru 934	KSF <sup>2</sup>	496.12	33.48	52%	48%		0	0	NA	NA
Fast Food w/ Drive Thru 934	Seats	19.52	0.94	53%	47%		0	0	NA	NA
Drive Thru Only 935	KSF <sup>2</sup>	NA	153.85	54%	46%		0	0	NA	NA
Drinking Place 925	KSF <sup>2</sup>	NA	11.34	66%	34%		0	0	NA	NA
Quick Lube Shop 941	Service Bays	40.00	5.19	55%	45%		0	0	NA	NA
Automobile Care Center 942	Service Bays	12.48	2.17	NA	NA		0	0	NA	NA
Automobile Care Center 942	KSF <sup>2</sup>	15.86	3.38	50%	50%		0	0	NA	NA
New Car Sales 841	KSF <sup>2</sup>	33.34	2.59	39%	61%		0	0	NA	NA
New Car Sales 841	Employees	21.14	0.96	48%	52%		0	0	NA	NA
Automobile Parts Sales 843	KSF <sup>2</sup>	61.91	5.98	49%	51%		0	0	NA	NA
Gasoline/Service Station 944	Fuel Position	168.56	13.87	50%	50%		0	0	NA	NA
Serv. Station w/ Conven. Mkt 945	Fuel Position	162.78	13.38	50%	50%		0	0	NA	NA
Serv. Stat. w/Conv. Mkt. & Carwash 946	Fuel Position	152.84	13.94	51%	49%		0	0	NA	NA
Self-Service Carwash 947	Stalls	108.00	5.54	51%	49%		0	0	NA	NA
Tire Store 848	Service Bays	NA	3.54	42%	58%		0	0	NA	NA
Tire Store 848	KSF <sup>2</sup>	24.87	4.15	43%	57%		0	0	NA	NA
Wholesale Tire Store 849	Service Bays	30.55	3.17	47%	53%		0	0	NA	NA
Supermarket 850	KSF <sup>2</sup>	102.24	10.50	51%	49%		0	0	NA	NA
Convenien. Mkt. (Open 24 hrs) 851	KSF <sup>2</sup>	737.99	52.41	51%	49%		0	0	NA	NA
Convenien. Mkt. (Open 16 Hrs) 852	KSF <sup>2</sup>	NA	34.57	49%	51%		0	0	NA	NA
Convenien. Mkt w/ Gas Pumps 853	KSF <sup>2</sup>	845.60	59.69	50%	50%		0	0	NA	NA
Discount Supermarket 854	KSF <sup>2</sup>	96.82	8.90	50%	50%		0	0	NA	NA
Wholesale Market 860	KSF <sup>2</sup>	6.73	0.88	53%	47%		0	0	NA	NA

Discount Club 857	KSF <sup>2</sup>	41.80	4.24	50%	50%		0	0	NA	NA
Home Improvement Store 862	KSF <sup>2</sup>	29.80	2.37	48%	52%		0	0	NA	NA
Electronics Superstore 863	KSF <sup>2</sup>	45.04	4.50	49%	51%		0	0	NA	NA
Toy/Children's Superstore 864	KSF <sup>2</sup>	NA	4.99	50%	50%		0	0	NA	NA
Apparel Store 876	KSF <sup>2</sup>	66.40	3.83	50%	50%	11.3	750	43	22	22
Drugstore w/o Drive-Thru 880	KSF <sup>2</sup>	90.06	8.42	50%	50%		0	0	NA	NA
Drugstore w/ Drive-Thru 881	KSF <sup>2</sup>	88.16	10.35	50%	50%		0	0	NA	NA
Furniture Store 890	KSF <sup>2</sup>	5.06	0.45	48%	52%		0	0	NA	NA
Video Arcade 895	KSF <sup>2</sup>	NA	56.81	52%	48%		0	0	NA	NA
Video Rental Store 896	KSF <sup>2</sup>	NA	31.54	50%	50%		0	0	NA	NA
Walk-in Bank 911	KSF <sup>2</sup>	156.48	12.12	44%	56%		0	0	NA	NA
Drive-in Bank 912	Drive-in Windows	139.25	27.41	49%	51%		0	0	NA	NA
Drive-in Bank 912	KSF <sup>2</sup>	148.15	25.82	50%	50%		0	0	NA	NA

NA: Not Available  
DU: Dwelling Unit

KSF<sup>2</sup>: Units of 1,000 square feet

Fuel Position: # of vehicles that could be fueled simultaneously



March 17, 2025

**Re: Advanced Dental**

Dear Fairhope Resident:

The City of Fairhope Resolution No. 2018-03 requires all property owners adjacent to property being considered for development approval to be notified by mail. The Baldwin County Revenue Office provided your information as a current adjacent property owner to the proposed development request described below.

FST Fritz Harshberger DMD, LLC is requesting approval for The Advanced Dental Project. This development will consist of a M.O.P (Multiple Occupancy Project). The property is located on the east side of State Hwy. 181, North of Windmill Road in Fairhope, Alabama. The parcel number for this project is **05-46-06-14-0-000-001.502**.

S.E. Civil Engineering will hold a Community Meeting at 12:00 PM at S.E. Civil, 9969 Windmill Road, Fairhope, Alabama, on Monday, March 24, 2025. Please note this is an informational meeting only. The city staff and Planning Commission will not be present and will not be voting on this project at this time.

Should you have any questions or concerns, please contact me at (251)-990-6566.

Sincerely,

A handwritten signature in black ink, appearing to read 'Larry Smith', written in a cursive style.

**Larry Smith, PE**  
lsmith@secivileng.com





**Advanced Dental MOP  
Community Meeting  
Meeting Notes**

Meeting Date: March 24, 2025

Meeting Time: 12:00 PM

Meeting Location: SE Civil Conference Room (9969 Windmill Rd, Fairhope, AL)

Hosted By: Larry Smith, PE, S.E. Civil

In Attendance

Larry Smith, PE and Colton Chapman with SE Civil, LLC. No adjacent property owners or citizens from the community were present. After twenty minutes past the time the meeting was scheduled to start, we ended the meeting since no one from the community was in attendance. Please see attached sign-in sheet.


Next Steps:

- City of Fairhope Planning Commission will present the MOP application on Monday, May 5, 2025 at 5 PM.

Attachment:

- Sign In Sheet

# ADVANCED DENTAL

Property	Signature	Email Address
FST FRITZ HARSHBERGER DMD L L C		
FST WESLEY, MICHAEL J ETUX ROBIN MARIA		
FST BUELL, DON R (LIFE ESTATE)		
FST WAL-MART STORES EAST LP		
S.E. CIVIL		CChapman@secivileng.com
FAIRHOPE, THE CITY OF		



**EROSION CONTROL PRACTICES**

CODE	PRACTICE
CEP	CONSTRUCTION EXIT PAD
SB	SEDIMENT BARRIER
MU	MULCHING
TS	TEMPORARY SEEDING
PS	PERMANENT SEEDING
W	STRAW WATTLES

**EROSION CONTROL NOTES**

1. THE EXISTING SITE IS DEVELOPED.
2. CONTACT DAVID KINS, FE 251-660-6966.
3. AREA TO BE DISTURBED = 0.74 ACRES
4. ALL VEGETATION SHALL BE PLANTED AND MAINTAINED PER THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS (ALABAMA HANDBOOK).
5. ALL EROSION CONTROL MEASURES SHALL BE PER THE DIRECTION OF THE ENGINEER, SOIL AND WATER CONSERVATION COMMITTEE OFFICER, AND THE FEDERAL E.P.A. GUIDELINES FOR THE NPDES PROGRAM.
6. ABSOLUTELY NO SEDIMENT SHALL BE PERMITTED TO LEAVE THE SITE DURING CONSTRUCTION. IF HEAVY RAINS OR UNUSUAL SITE CONDITIONS RESULT IN THE POLLUTION OF ROADWAYS OR ADJACENT PARCELS THEN THE GRADING CONTRACTOR SHALL CLEAN THE DISTURBED AREAS IMMEDIATELY AND RESTORE THE AREAS TO THE ORIGINAL CONDITION WITHIN 24 HOURS.
7. ALL DISTURBED AREAS SHALL BE TEMPORARILY AND PERMANENTLY SEEDED WITH "SOUTH" TYPE SEEDINGS PER THE ALABAMA HANDBOOK.
8. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE GOVERNING OFFICIALS. IT IS THE RESPONSIBILITY OF THE GRADING CONTRACTOR TO BE INTIMATE WITH THE LOCAL EROSION CONTROL LAWS AND TO REFLECT THIS KNOWLEDGE IN HIS/HER ACTIONS AND QUOTATIONS.
9. REFERENCE THE CONSTRUCTION SEQUENCE FOR THE RELATIONSHIP BETWEEN THE INSTALLATION OF EROSION CONTROL FEATURES AND GENERAL CONSTRUCTION.
10. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
11. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE GOVERNING OFFICIAL OR ENGINEER OF RECORD.
12. ALL SILT BARRIERS SHALL BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL THE SEDIMENT BARRIERS HAVE BEEN CONSTRUCTED.
13. CONTRACTOR SHALL REMOVE EROSION CONTROL DEVICES AFTER PERMANENT GRASSING IS IN PLACE AND ESTABLISHED.
14. THE CONSTRUCTION EXIT PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE OR SITE ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
15. DISTURBED AREAS LEFT IDLE FOR TEN DAYS OR LONGER ARE TO BE SEEDED AND MULCHED.
16. SEDIMENT / EROSION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED 1/2 OF THE CAPACITY OF THE DEVICE.
17. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE OWNER'S CONTRACTOR.
18. THE CONTRACTOR SHALL PREVENT THE LOSS OF SEDIMENT DUE TO WIND VIA WATERING DRY SOILS. CAUTION SHOULD BE TAKEN TO ENSURE THAT THE SITE IS NOT OVER WATERED.
19. THE SITE IS TO BE CLEARED AND GRADED AS TO MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ONE TIME.
20. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
21. CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND CLEARING ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION.
22. BMP'S SHALL BE INSTALLED AS PER THE ALABAMA HANDBOOK STANDARDS.
23. BMP'S SHALL BE INSTALLED WITH MINIMAL CLEARING ACTIVITY.
24. REFER TO THE LANDSCAPE PLANS FOR FINAL STABILIZATION MEASURES.
25. ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN 7 DAYS OF THEIR CONSTRUCTION.
26. ALL FILL SLOPES HAVE SILT FENCE AT THE TOE OF SLOPES.
27. EXISTING TREES, TO BE SAVED, SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. CARE SHALL BE TAKEN IN ALL GRADING ACTIVITIES TO REMAIN OUTSIDE THE DRIP LINES OF EXISTING TREES. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPAIRED AS NEEDED.
28. TREE PROTECTION DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CLEARING, GRUBBING, OR GRADING.
29. CONTRACTOR TO CLEAN OUT ACCUMULATED SEDIMENT IN THE DETENTION POND AT THE END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
30. SEDIMENT STORAGE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3 FULL VOLUME.
31. ALL SLOPES STEEPER THAN 3H:1V MUST BE MATTED AND STAKED WITH AMERICAN EXCELSIOR JUTE MAT, OR EQUAL.

**CONSTRUCTION SEQUENCE - PHASE 1**

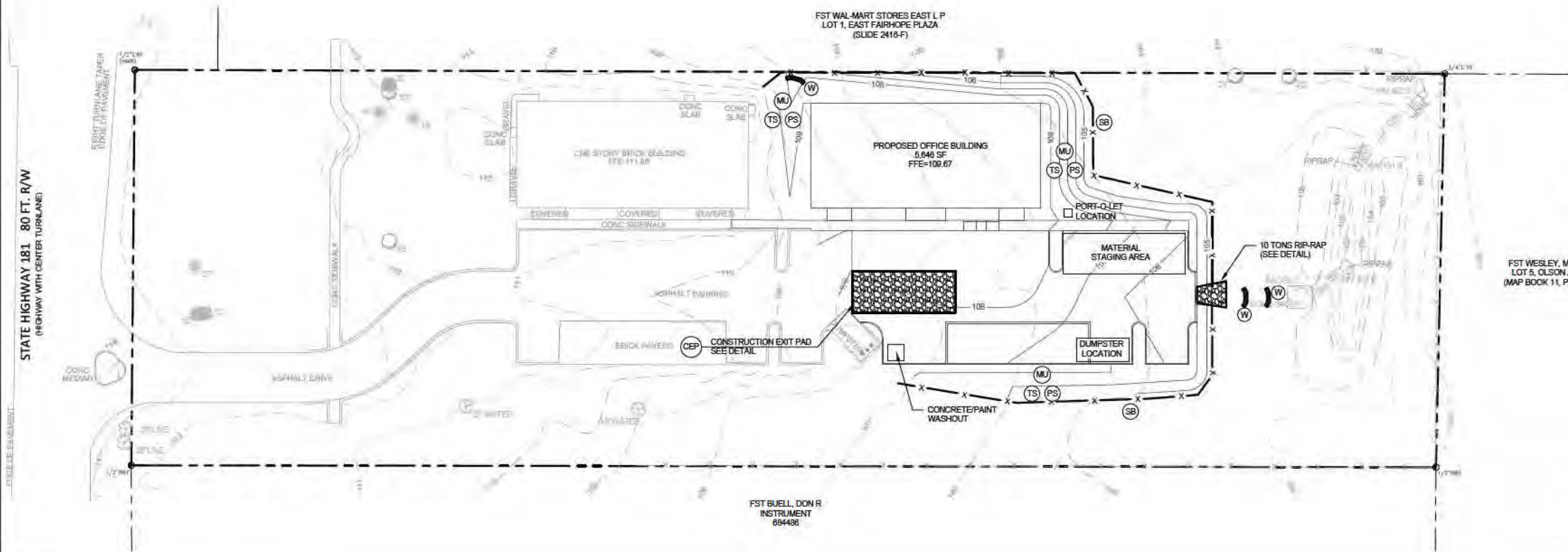
1. INSTALL TREE PROTECTION FENCING PER TREE PROTECTION ORDINANCE.
2. REMOVE VEGETATION ONLY IN AREAS OF THE PERIMETER SEDIMENT BARRIERS AND CONSTRUCTION EXIT.
3. INSTALL THE CONSTRUCTION EXIT PER DETAILS.
4. INSTALL PERIMETER SEDIMENT BARRIERS PER DETAILS.
5. REQUEST BMP & TREE PROTECTION INSPECTION PRIOR TO CLEARING.
6. ONCE INSPECTION IS COMPLETE AND APPROVED, CLEARING & SITE WORK CAN BEGIN (PHASE 2).

**CONSTRUCTION SEQUENCE - PHASE 2**

1. PERFORM CLEARING & ROUGH GRADING ON THE LOT AND ESTABLISH COVER ON AREAS WHEN BROUGHT TO GRADE.
2. INSTALL UTILITIES AND CONSTRUCT BUILDING.
3. INSTALL CURBING AND BASE.
4. ESTABLISH VEGETATION ON AREAS NOT IMPACTED BY PAVING OPERATIONS.

**CONSTRUCTION SEQUENCE - PHASE 3**

1. INSTALL PAVING AND FINAL LANDSCAPING.
2. CALL FOR AN INSPECTION FROM THE QCP.
3. ONCE THE QCP HAS CERTIFIED THAT ALL AREAS ARE STABILIZED, REMOVE BMP'S AND TREE PROTECTION.
4. STABILIZE ANY AREAS DISTURBED BY BMP AND TREE PROTECTION REMOVAL.



**USDA SOIL SURVEY CLASSIFICATIONS**

No6 - NORFOLK FINE SANDY LOAM, 2 TO 5 PERCENT SLOPES.



**EROSION & SEDIMENT CONTROL PLAN**

Advanced Dental Office Building  
Phase 2  
30252 State Route 181  
Fairhope, Alabama 36532



JOB No. 20211062 DATE 2/12/25

DRAWN T.L.S. SCALE 1"=30'

SHEET C03



SPECIES	SEEDING RATE/ACRE	NORTH	CENTRAL SEEDING DATES	SOUTH
MILLET, BROWNTOP OR GERMAN	40 LBS	MAY 1-AUG 1	APR 1-AUG 15	APR 1-AUG 15
RYE	3 BU	SEPT 1-NOV 15	SEPT 15-NOV 15	SEPT 15-NOV 15
RYEGRASS	30 LBS	AUG 1-SEPT 15	SEPT 1-OCT 15	SEPT 1-OCT 15
SORGHUM-SUDAN HYBRIDS	40 LBS	MAY 1-AUG 1	APR 15-AUG 1	APR 1-AUG 15
SUDANGRASS	40 LBS	MAY 1-AUG 1	APR 1-AUG 1	APR 1-AUG 15
WHEAT	3 BU	SEPT 1-NOV 1	SEPT 15-NOV 15	SEPT 15-NOV 15
COMMON BERMUDAGRASS	10 LBS	APR 1-JULY 1	MAR 15-JULY 15	MAR 1-JULY 15
CRIMSON CLOVER	10 LBS	SEPT 1-NOV 1	SEPT 1-NOV 1	SEPT 1-NOV 1

LIME RATE:  
1 TON PER ACRE ON COARSE TEXTURED SOILS  
3 TONS PER ACRE ON FINE TEXTURED SOILS

FERTILIZER RATE:  
APPLY 8-24-24 FERTILIZER PER MANUFACTURER'S RECOMMENDATIONS  
WHEN VEGETATION HAS EMERGED TO A STAND AND IS GROWING, FERTILIZE WITH 30 TO 40 LBS/ACRE OF 28-0-0

MULCH RATE:  
PER MULCHING DETAIL

**TS** TEMPORARY SEEDING  
SCALE: NTS

MATERIAL	RATE PER ACRE & (PER 1000 SF)	NOTES
STRAW WITH SEED	1 1/2 - 2 TONS (70 LBS-90 LBS)	SPREAD BY HAND OR MACHINE; ANCHOR WHEN SUBJECT TO BLOWING
STRAW ALONE (NO SEED)	2 1/2 - 3 TONS (115 LBS-160 LBS)	SPREAD BY HAND OR MACHINE; ANCHOR WHEN SUBJECT TO BLOWING
WOOD CHIPS	5-6 TONS (225 LBS-270 LBS)	TREAT WITH 12 LBS NITROGEN/TON
BARK	35 CUBIC YARDS (0.8 CUBIC YARDS)	CAN APPLY WITH MULCH BLOWER
PINE STRAW	1-2 TONS (45 LBS-90 LBS)	SPREAD BY HAND OR MACHINE; WILL NOT BLOW LIKE STRAW
PEANUT HULLS	10-20 TONS (450 LBS-900 LBS)	WILL WASH OFF SLOPES. TREAT WITH 12 LBS NITROGEN/TON

**MU** MULCHING  
SCALE: NTS

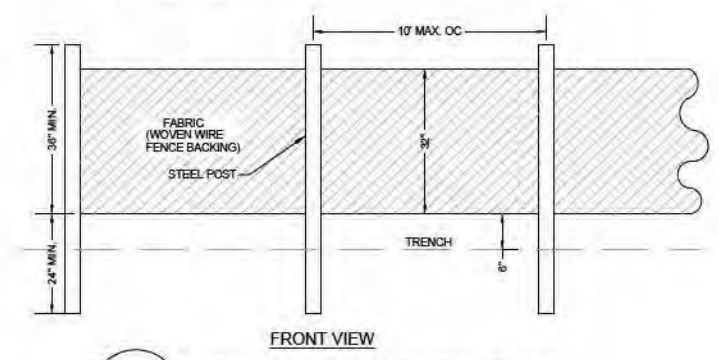
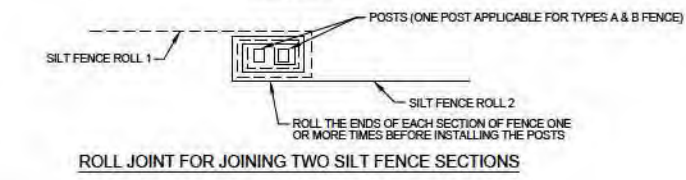
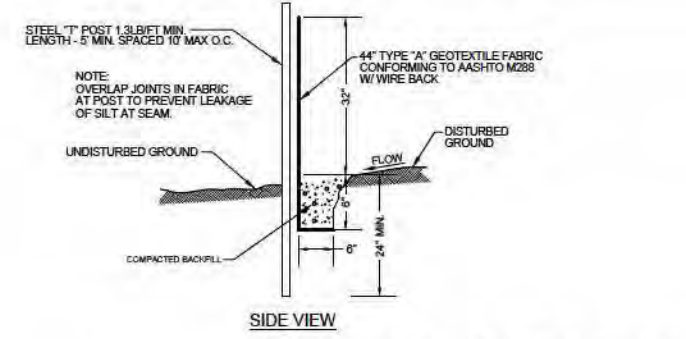
SPECIES	SEEDING RATE/ACRE	NORTH	CENTRAL SEEDING DATES	SOUTH
BAHAGRASS, PENSACOLA	40 LBS	-	MAR 1-JULY 1	FEB 1-NOV 1
BERMUDAGRASS, COMMON	10 LBS	APR 1-JULY 1	MAR 15-JULY 15	MAY 1-JULY 15
BAHAGRASS, PENSACOLA	30 LBS	-	MAR 1-JULY 1	MAR 1-JULY 15
BERMUDAGRASS, COMMON	5 LBS	-	MAR 1-JULY 1	MAR 1-JULY 15
BERMUDAGRASS, HYBRID (LAWN TYPES)	SOLID 500	ANYTIME	ANYTIME	ANYTIME
BERMUDAGRASS, HYBRID (LAWN TYPES)	SPRIGS 1/SQ FT	MAR 1-AUG 1	MAR 1-AUG 1	FEB 15-SEPT 1
FESCUE, TALL	40-50 LBS	SEPT 1-NOV 1	SEPT 1-NOV 1	-
SERICEA	40-60 LBS	MAR 15-JULY 15	MAR 1-JULY 15	FEB 15-JULY 15
SERICEA & COMMON BERMUDAGRASS	40-80 LBS 10 LBS	MAR 15-JULY 15	MAR 1-JULY 15	FEB 15-JULY 15

LIME RATE:  
1 TON PER ACRE ON LIGHT-TEXTURED, SANDY SOILS (IF THE COVER WILL BE TALL FESCUE AND CLOVER USE 2 TONS/ACRE.)  
2 TONS PER ACRE ON HEAVY-TEXTURED, CLAYEY SOILS

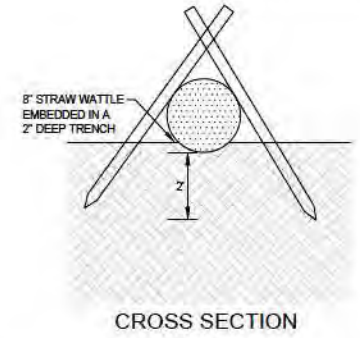
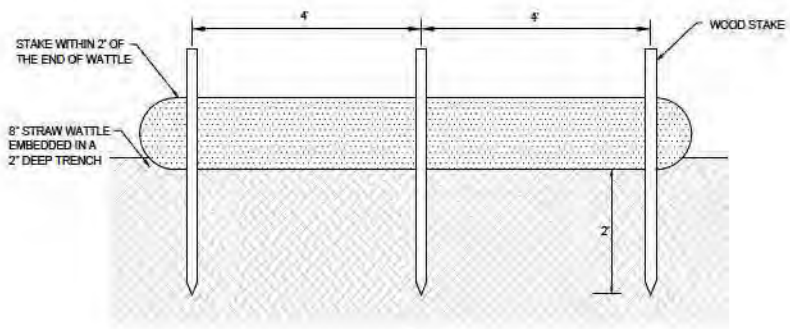
FERTILIZER RATE:  
GRASSES ALONE: 400 LB/ACRE OF 8-24-24  
WHEN VEGETATION HAS EMERGED TO A STAND AND IS GROWING, FERTILIZE WITH 30 TO 40 LBS/ACRE OF 28-0-0  
GRASS-LEGUME MIXTURES: 600 TO 1200 LB/ACRE OF 8-10-10 OR THE EQUIVALENT  
LEGUMES ALONE: 600 TO 1200 LB/ACRE OF 0-10-10 OR THE EQUIVALENT

MULCH RATE:  
PER MULCHING DETAIL

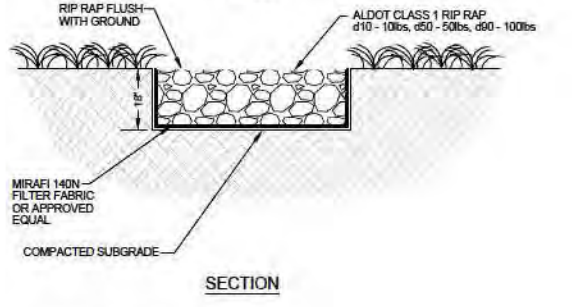
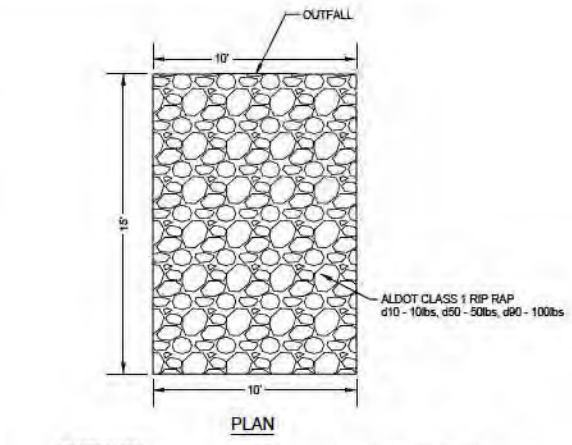
**PS** PERMANENT SEEDING  
SCALE: NTS



**SB** SILT BARRIER TYPE "A"  
SCALE: NTS



**WATTLE INSTALLATION DETAIL**  
SCALE: NTS



**RIP RAP**  
SCALE: NTS

REVISION	DATE



**CONSTRUCTION DETAILS**

Advanced Dental Office Building  
Phase 2  
20532 State Route 181  
Fayetteville, Arkansas 72717



JOB No.: 20211062	DATE: 2/12/25
DRAWN: TLS	SCALE: N.T.S.

SHEET  
**C07**





P.O. Box 220  
Summerdale, AL  
36580-0220

April 16, 2025

S.E. Civil Engineering & Surveying  
Colton Chapman  
9969 Windmill Road  
Fairhope, AL 36532

Re: Advanced Dental Phase 2, PPIN # 14894

Dear Coltan Chapman:

This letter is to confirm that the referenced development is in Baldwin E.M.C.'s service territory. Also, this letter is confirming that the referenced has been submitted to Baldwin EMC.

Baldwin EMC is willing to service the development as long as the necessary easements are granted using our standard easement form and all other appropriate documents and fees are finalized in advance. Baldwin EMC must be given proper notice and planning time with respect to required system upgrades (transmission line, substation and distribution line). All system upgrades and line extensions will be in accordance with Baldwin EMC's current Line Extension Policy.

Please contact me to discuss necessary easements and fees.

Below is our typical required easements for subdivisions:

There is a dedicated herewith a 10 foot utility easement on all lot lines and common areas adjacent to the right-of-ways and a 10 foot utility easement on each side of lot and common area lines, unless otherwise noted.

If you have any questions or if I can be of further assistance, please do not hesitate to contact me at 251-989-0106.

Sincerely,

A handwritten signature in black ink, appearing to read "Clayton Stewart".

Clayton Stewart  
Supervisor of Staking  
CS/nn

**HEADQUARTERS**  
19600 State Highway 59  
Summerdale, AL 36580

**NORTH BALDWIN**  
47525 Highway 59  
Bay Minette, AL 36507

**SOUTH BALDWIN**  
21801 University Lane  
Orange Beach, AL 36561



P.O. Box 220  
Summerdale, AL  
36580-0220

April 16, 2025

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Colton Chapman  
9969 Windmill Road  
Fairhope, AL 36532

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21801 University Lane  
Orange Beach, AL 36561



April 17, 2025

Colton Chapman  
S.E. Civil Engineering & Surveying

RE: Service Availability – Parcel 05-46-06-14-0-000-001.502 , PPIN 14894

Dear Mr. Chapman,

This letter is in response to your request for information on the availability of service at the above location by AT&T.

This letter acknowledges that the above referenced property is located in an area served by AT&T. Any service arrangements for this location will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to this location.

Please contact me at the phone number included in this letter with any questions.  
Thank you for contacting AT&T.

Sincerely,

A handwritten signature in black ink, appearing to read "Wade Mitchell".

Wade Mitchell  
Senior – OSP Design Engineer  
AT&T Alabama  
2155 Old Shell Rd  
Mobile, Alabama 36607  
Gulf District/ Mobile Office  
(251) 680-7402



March 28, 2025

Sherry Sullivan  
*Mayor*

*Council Members:*

Kevin G. Boone  
Jay Robinson  
Jack Burrell, ACOMO  
Jimmy Conyers  
Corey Martin

Lisa A. Hanks, MMC  
*City Clerk*

Kimberly Creech  
*Treasurer*

**Re:** PIN# 14894, Advance Dental Office (Phase 2)

This letter of availability is only valid based on what was proposed at the utility review meeting. Any changes or deviations of the proposed plan will require another utility review. This statement of availability remains effective for twelve (12) months from the date of this letter, at which time it shall expire and automatically be withdrawn.

**Water:** Based upon review of the proposed development, water service by Fairhope Public Utilities is currently available and active. All tap fees and system development charges (SDC's) will apply, and all necessary infrastructure improvements will be at the developer's expense.

Sincerely,



---

Daryl Morefield  
Water/Wastewater Superintendent

161 North Section St.  
PO Drawer 429  
Fairhope, AL 36533

251-928-2136 (p)  
251-928-6776 (f)  
[www.fairhopeal.gov](http://www.fairhopeal.gov)



March 24, 2025

**Mr. Daryl Morefield**  
**Fairhope Public Utilities**  
**555 S. Section Street**  
**Fairhope, Alabama 36532**

**Re: Advanced Dental MOP - Fire Flow Test**

Dear Daryl:

We have historical data for the fire flow at the corner of Windmill and SR 181 for a previous project we did in this area. Below are the results from that test. The static and residual hydrant is the hydrant at the SW corner of Windmill Road and SR 181. The flow hydrant was located on Windmill Road.

Static Pressure – 52 psi  
Residual Pressure – 48 psi  
Pitot Pressure – 25 psi  
Flow – 840 gpm

The standard condition for Determining Fire Flow available in a system is calculating the flow available at a residual pressure of 20 psi. This can be done by the following equation:

$Q_r = Q_f \times (h_r^{0.54} / h_f^{0.54})$ , where

$Q_r$  = the flow available at the desired residual pressure, gpm

$Q_f$  = the sum of the flows from all hydrants, gpm

$h_r$  = the difference in pressure between the static pressure measured at the residual hydrant and the desired residual pressure, psi

$h_f$  = the difference in pressure between the static pressure and the residual pressure measured at the residual hydrant, psi

$Q_r$  = unknown

$Q_f$  = 840 gpm

$h_r$  = 52 psi – 20 psi = 33 psi

$h_f$  = 52 psi – 48 psi = 4 psi

$h_r^{0.54} = 6.50$

$h_f^{0.54} = 2.11$

$Q_r = 840 \text{ gpm} \times (6.50/2.11) = 2581 \text{ gpm}$

Based on the above calculations, the calculated fire flow at a residual pressure of **20 psi** is **2581 gpm**. The minimum allowable suggested fire flow is 1750 gpm. Based on this requirement, the existing fire flow **IS** adequate.

Sincerely,



**Larry Smith, PE**  
lsmith@secivileng.com





March 24, 2025

**Hunter Simmons**  
**Fairhope Planning Department**  
**555 S. Section Street**  
**Fairhope, Alabama 36532**

**Re: Advanced Dental MOP – ADEM Letter**

Dear Hunter:

This project falls under one (1) acre disturbed area threshold to require an ADEM permit. That being said, we have provided an Erosion and Sediment Control Plan that meets the City's Erosion and Sediment Control Ordinance.

If you have any questions, please let me know.

Sincerely,

A handwritten signature in black ink, appearing to read 'Larry Smith', written in a cursive style.

**Larry Smith, PE**  
**Partner**

