



Sherry Sullivan
Mayor

Council Members

Kevin G. Boone
Jack Burrell, ACO
Jimmy Conyers
Corey Martin
Jay Robinson

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

Fairhope Planning Commission Agenda

October 6, 2025 – 5:00 PM

1. CALL TO ORDER

| | |
|-------------------------------|------------------|
| Lee Turner, Chairman | Paul Fontenot |
| Rebecca Bryant, Vice Chairman | Kim McCormick |
| Cindy Beaudreau, Secretary | John Worsham |
| Harry Kohler | Erik Cortinas |
| Hollie MacKellar | Kevin Boone (CC) |

(CC) City Council Representative

2. CONSENT AGENDA

- Election of Officers
- Approval of 2026 Meeting Schedule
- Approval of Minutes – September 4, 2025
- **UR 25.12** Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 13,479 LF of fiber cable at 539 Salem Street.

3. REGULAR AGENDA

OLD BUSINESS

ZC 25.06 8505 County Road 34 – no updates

NEW BUSINESS

- A. IR 25.01** Request of the Applicant, Core Development and Construction of Alabama, LLC, for an Informal Review of Colony Village.
- B. SR 25.05** Request of the Applicant, Chris Lieb, on behalf of the Owner, Wendelta Property Holdings LLC, for Site Plan Approval of Wendy's Fairhope. The property is approximately 1.07 acres and is zoned B-2 – General Business District. The property is located on Lot 1 of Rockwell Place on State Highway 181 north of State Highway 104. **PPIN #: 625448**



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C. SR 25.07 Request of the Applicant, Jade Consulting, LLC, on behalf of the Owner, Planters Pointe Partners LLC, for Site Plan Approval of Advanced Auto Parts. The property is approximately 1.09 acres and is zoned B-2 – General Business District. The property is located on Lot 9 of the Planters Pointe Development on the northwest corner of State Highway 181 and State Highway 104. **PPIN #: 626314**

D. ZC 25.09 Public hearing to consider the request of the Applicant, Jade Consulting, LLC, on behalf of the Owner, Achee Properties, for conditional annexation to R-1, Low Density Single-Family Residential District for Hill Top North. The property is approximately 14 acres and is located at 6796 Twin Beech Road. **PPIN #: 3747**

4. PUBLIC FORUM

5. ADJOURN

FAIRHOPE PLANNING COMMISSION DEADLINES 2026

AGENDA IS SUBJECT TO CHANGE BY PLANNING COMMISSION

Meeting Date, 5:00 PM

Submittal Deadline, 9:00 AM

Monday, January 5, 2026

Tuesday, November 25, 2025

Monday, February 2, 2026

Tuesday, December 23, 2025

Monday, March 2, 2026

Tuesday, January 20, 2026

Monday, April 6, 2026

Tuesday, February 24, 2026

Monday, May 4, 2026

Tuesday, March 24, 2026

Monday, June 1, 2026

Tuesday, April 28, 2026

Monday, July 6, 2026

Tuesday, May 26, 2026

Monday, August 3, 2026

Tuesday, June 23, 2026

Thursday, September 10, 2026

Tuesday, July 28, 2026

*Moved due to Labor Day Holiday

Monday, October 5, 2026

Tuesday, August 25, 2026

Thursday, November 5, 2026

Tuesday, September 22, 2026

*Moved due to City Council Organizational Meeting

Monday, December 7, 2026

Tuesday, October 27, 2026

Monday, January 4, 2027

Monday, November 24, 2026

PLANNING COMMISSION MEETINGS ARE HELD IN THE COUNCIL CHAMBERS, FAIRHOPE MUNICIPAL COMPLEX AT 161 N. SECTION STREET.

IT IS THE RESPONSIBILITY OF THE APPLICANT TO SEE THAT ALL SUBMITTALS ARE MADE IN A COMPLETE AND TIMELY SEQUENCE, AND TO HAVE THE CASE PRESENTED BEFORE THE COMMISSION AT SCHEDULED MEETINGS.

****INCOMPLETE SUBMITTALS WILL NOT BE PLACED ON THE AGENDA.****

The Planning Commission met Thursday, September 4, 2025, at 5:00 PM at the City Municipal Complex, 161 N. Section Street in the Council Chambers.

Present: Lee Turner; John Worsham; Harry Kohler; Paul Fontenot; Kim McCormick; Hollie MacKellar; Erik Cortinas; Hunter Simmons, Planning and Zoning Director; Mike Jeffries, Development Services Manager; Payton Rogers, Planning and Zoning Manager; Michelle Melton, City Planner; Chris Williams, City Attorney, and Cindy Beaudreau, Planning Clerk.

Absent: Rebecca Bryant and Kevin Boone

Chairman Turner called the meeting to order at 5:02 PM.

Consent Agenda

- Approval of the Minutes August 4, 2025

John Worsham made a motion to approve the consent agenda including the minutes.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; John Worsham; Harry Kohler; Paul Fontenot; Kim McCormick; Hollie MacKellar; Erik Cortinas
Nay: None

Old Business

- **SD 22.18** Greenfields – Request of Applicant, S.E. Civil, for an additional one-year extension for preliminary plat approval

Mike Jeffries, Development Services Manager, explained that the project is currently and actively under construction.

John Worsham made a motion to approve the extension of SD 22.18 for an additional one-year extension for preliminary plat approval.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; John Worsham; Harry Kohler; Paul Fontenot; Kim McCormick; Hollie MacKellar; Erik Cortinas
Nay: None

New Business

A. SD 25.13 Public hearing to consider the request of the Applicant, Jay Broughton, on behalf of the Owner, Acre Investments, for preliminary plat approval of Ashford Court Subdivision, a 9-lot subdivision. The property is zoned R-1, Low Density Single-Family Residential District. The property is approximately 5.20 acres and is located at 0 Gayfer Road Extension. **PPIN #: 13818**

Payton Rogers, Planning and Zoning Manager, presented the request of the Applicant, Jay Broughton, on behalf of the Owner, Acre Investments, for preliminary plat approval of Ashford Court Subdivision, a 9-lot subdivision. The property is zoned R-1, Low Density Single-Family Residential District. The property is approximately 5.20 acres and is located at 0 Gayfer Road Extension. Mr. Rogers shared the zoning map and aerial map. Mr. Rogers explained how the greenspace is not compliant with this project and how it could be fixed.

Jay Broughton stated that he will work with staff to ensure the green space and sidewalks are compliant.

Staff recommends approval of SD 25.13 with the following conditions:

1. Revision of the Final Plat to remove Surveyor's Note numbers two (2) and three (3) and provision of a separate data table detailing compliant front, rear and side yard setbacks.
2. Provision of a note on the Final Plat stating that no structures shall be constructed in any easement without permission of the easement holder(s).
3. Revision of all plans to relocate the proposed sidewalk east of the Gayfer Road entrance, moving it off the right-of-way and onto the property, with corresponding adjustments to the Tree and Landscape Plan to ensure compliance with greenspace standards.
4. Revision of the Tree and Landscape Plan prior to issuance of any development permits to illustrate accurate labeling and calculations for greenspace types and their area as well as provision of sufficient detail within the areas being counted for greenspace to demonstrate compliance with Article V Section C Table 4-1 of the Subdivision Regulations.
5. After installation of all roadways but prior to submittal for Final Plat approval, the Applicant shall coordinate with Planning staff to perform a site inspection for the purposes of evaluating the existing vegetation buffer around the detention area. If staff determines the buffer to be insufficient, the City of Fairhope reserves the right to require new plantings to bring the screening into compliance with the Trees and Landscaping Ordinance.

Chairman Turner opened the public hearing at 5:19pm. Having no one to speak, the public hearing was closed at 5:19pm.

Chairman Turner asked what will happen with the water in the dry detention pond? Mr. Broughton explained that the water will perc into the soil and will discharge into the existing wetlands after being treated.

John Worsham made a motion to approve SD 25.13 with staff recommendations 1-5.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; John Worsham; Harry Kohler; Paul Fontenot; Kim McCormick; Hollie MacKellar; Erik Cortinas

Nay: None

B. SR 25.04 Request of the Applicant, Chris Lieb, on behalf of the Owner, Avrend, LLC, for Site Plan Approval of Rock Creek Commercial. The property is approximately 2.23 acres and is zoned PUD – Planned Unit Development. The property is located on Rock Creek Parkway east of US 98. **PPINs #: 347922, 242236**

Mike Jeffries, Development Services Manager, presented the request of the Applicant, Chris Lieb, on behalf of the Owner, Avrend, LLC, for Site Plan Approval of Rock Creek Commercial. The property is approximately 2.23 acres and is zoned PUD – Planned Unit Development. The property is located on Rock Creek Parkway east of US 98. Mr. Jeffries shared the zoning map and aerial map.

Harry Kohler stated that the Rock Creek residents are concerned with traffic and that traffic should be looked at in that area.

Noah Byrd, Lieb Engineering, stated that they would look at it.

Staff recommends approval of SR 25.04 to the City Council with the following conditions:

1. A re-plat is completed combining the property together.
2. Revise the site plan to reflect the wetland buffer signs at the wetland buffer line and not the wetland line according to the wetland established by a current wetland delineation.
3. Approval of SD 25.14 Rock Creek Commercial MOP.

Hunter Simmons, Planning and Zoning Director, explained the differences between Site Reviews and Multiple Occupancy Projects.

John Worsham made a motion to recommend approval of SR 25.04 to City Council with staff recommendations.

Harry Kohler seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; John Worsham; Harry Kohler; Paul Fontenot; Kim McCormick; Hollie MacKellar; Erik Cortinas

Nay: None

C. SD 25.14 Public hearing to consider the request of the Applicant, Chris Lieb, on behalf of the Owner, Avrend LLC, for preliminary plat approval of Rock Creek Commercial, a 4-unit multiple occupancy project. The property is zoned PUD, Planned Unit Development. The property is approximately 2.23 acres and is located on Rock Creek Parkway east of US 98. **PPINs #: 347922, 242236**

Mike Jeffries, Development Services Manager, presented the request of the Applicant, Chris Lieb, on behalf of the Owner, Avrend LLC, for preliminary plat approval of Rock Creek Commercial, a 4-unit multiple occupancy project. The property is zoned PUD, Planned Unit Development. The property is approximately 2.23 acres and is located on Rock Creek Parkway east of US 98. Mr. Jeffries shared the zoning map and aerial map.

Chairman Turner asked if the detention pond has been physically inspected. Mr. Jeffries stated that the pond will be redone to remove the invasive plants.

Paul Fontenot asked where the outfall would go. Mr. Jeffries replied that it will go into Rock Creek on the east side of the pond.

Noah Byrd, Lieb Engineering, stated that they will make sure that the pond is adequately designed.

Staff recommends approval of SD 25.14 with the following conditions:

1. A re-plat is completed combining the property together.
2. An O&M plan is recorded reflecting the drainage and maintenance requirements.
3. Provide a stormwater inspection report from the EOR certifying the improvements and maintenance to the stormwater pond have been completed.
4. Revise the site plan to reflect the wetland buffer signs at the wetland buffer line and not the wetland line according to the wetland established by a current wetland delineation.
5. Provide a revised drainage letter confirming the restoration and excavation of the existing pond meets the current stormwater requirements of the Subdivision Regulations.
6. Approval of the Site Plan SR 25.04 Rock Creek Commercial by City Council.

Chairman Turner opened the public hearing at 5:42pm.

Julie Hart, 114 N Creek Circle, asked if this is contingent on traffic, drainage and wetlands with protected wildlife? Mr. Turner stated that staff is requiring a drainage letter and that wetland issues will be addressed.

The public hearing was closed at 5:45pm.

Mr. Kohler requested that a traffic engineer examine the entrance to Rock Creek.

Mr. Turner was concerned with the velocity of the water hitting Rock Creek.

Mr. Simmons explained the types of traffic studies.

Harry Kohler made a motion to approve SD 25.14 with staff recommendations and the addition of the following two conditions:

7. Provide a traffic engineering review of the ingress/egress at the entrance of Rock Creek during rush hour, subject to staff approval to move forward.
8. Address the velocity of the stormwater exiting the detention pond into Rock Creek, subject to staff approval to move forward.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; John Worsham; Harry Kohler; Paul Fontenot; Kim McCormick; Hollie MacKellar; Erik Cortinas

Nay: None

D. SD 25.15 Public hearing to consider the request of the Applicant, Chris Lieb, on behalf of the Owner, G Real Estate LLC, for preliminary plat approval of Ross Givens Office Building, a 4-unit multiple occupancy project. The property is zoned M-1, Light Industrial District. The property is approximately 0.53 acres and is located on Nichols Avenue east of Greeno Road. **PPIN #: 276903**

Mike Jeffries, Development Services Manager, presented the request of the Applicant, Chris Lieb, on behalf of the Owner, G Real Estate LLC, for preliminary plat approval of Ross Givens Office Building, a 4-unit multiple occupancy project. The property is zoned M-1, Light Industrial District. The property is approximately 0.53 acres and is located on Nichols Avenue east of Greeno Road. Mr. Jeffries shared the zoning map and aerial map. Mr. Jeffries explained the waiver request made by the Applicant regarding the types of green space.

Staff recommends approval of the waiver request to allow the landscaped area adjacent to the ROW to count as a “Natural Greenspace” type and be utilized for the green space.

Staff recommends approval of SD 25.15 with the following conditions:

1. Planning Commission approval of Greenspace waiver.
2. An O&M plan is recorded reflecting the drainage and maintenance requirements.

Chairman Turner opened the public hearing at 6:06pm.

Eugene Levert, 116 Spring Park Drive, shared his concern regarding the stormwater runoff, night lighting, noise at night and elimination of greenspace.

Kenneth Williams, 208 Hawthorne Circle, shared his concern regarding floods during storms and speeding cars.

The public hearing was closed at 6:14pm.

Mr. Turner stated that offices are allowed in M-1, but what happens if they want to change to retail or a restaurant. Mr. Jeffries stated that retail is not allowed in M-1. A restaurant is allowed with special conditions and approval by the Board of Adjustments.

Mr. Turner shared his concern about there being no sidewalks along Nichols Avenue.

Noah Byrd, Lieb Engineering, stated that the site has been designed pervious and a bio-retention swale will be backfilled with a porous medium. Mr. Byrd added that they will add dense landscaping towards the back of the project.

Mr. Simmons stated that the lighting for the project has already been vetted but a fence may be allowed that would help with headlights.

John Worsham made a motion to approve the waiver request for SD 25.15.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; John Worsham; Harry Kohler; Paul Fontenot; Kim McCormick; Hollie MacKellar;
Erik Cortinas
Nay: None

Erik Cortinas made a motion to approve SD 25.15 with staff recommendations of condition 2.

Kim McCormick seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; John Worsham; Harry Kohler; Paul Fontenot; Kim McCormick; Hollie MacKellar;
Erik Cortinas
Nay: None

E. ZC 25.06 Public hearing to consider the request of the Applicant, Lieb Engineering, on behalf of the Owner, Katrina Schonemann, for conditional annexation to R-1B, Low Density Single-Family Residential District. The property is approximately 30 acres and is located at 8505 County Road 34.
PPIN #: 5735

Noah Byrd, Lieb Engineering, requested that this item be tabled.

John Worsham made a motion to table ZC 25.06 at the applicant's request.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; John Worsham; Harry Kohler; Paul Fontenot; Kim McCormick; Hollie MacKellar;
Erik Cortinas
Nay: None

F. ZC 25.07 Public hearing to consider the request from the City of Fairhope Planning and Zoning Department, for various proposed amendments to the City of Fairhope's Zoning Ordinance.

Hunter Simmons, Planning and Zoning Director, presented the request from the City of Fairhope Planning and Zoning Department, for various proposed amendments to the City of Fairhope's Zoning Ordinance.

Mr. Simmons explained the following sections of proposed amendments:

1. Changes to Site Plan Review requirements
2. Impervious Surface Maximum added to Residential
3. Recreational Zoning Districts
4. Townhouses
5. Multi-Family/Apartments
6. Mixed-Use Buildings
7. Planned Unit Developments (PUD's)
8. Village Districts
9. Use Table
10. General Maintenance and Definitions

Staff recommends approval of ZC.07 to the City Council.

Chairman Turner opened the public hearing at 6:34pm.

Donald DeGutz, 110 Blakeney Avenue, stated that he was pleased with the building height and compliance with the Comp Plan and asked if there is a conflict with removing NVC, etc. Mr. Turner replied no.

Melissa Hadley, Goodwyn Mills Cawood, shared her concerns with Table 3.2 and an R-2 town home at 20,000 sq. ft. Mr. Simmons explained that the town home will be 3,600 sq. ft on a 20,000 sq. ft. lot. Mr. Hadley continued her concern about the lot size for a town house and the density for multi-family. Mr. Turner stated that where there is high density there are so many more cars and it creates an issue of what to do with those vehicles. Ms. Hadley is worried that these amendments may kill multi-family developments and feels like 8,000 free standing retail seems small. Mr. Simmons stated that requirement has always been in the regulations with the exception of the Greeno Road Village.

Taylor Henseler, 355 Patlynn Drive, shared his concern with the commercial percentage in a PUD and the commercial being required to be developed up front. Mr. Turner suggested going with straight zoning.

The public hearing was closed at 6:54pm.

Mr. Cortinas asked how the impervious areas are calculated. Mr. Simmons explained.

John Worsham made a motion to recommend approval of ZC 25.07 to City Council.

Kim McCormick seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; John Worsham; Harry Kohler; Paul Fontenot; Kim McCormick; Hollie MacKellar;
Erik Cortinas
Nay: None

Adjournment

Erik Cortinas made a motion to adjourn.

AYE: Lee Turner; John Worsham; Harry Kohler; Paul Fontenot; Kim McCormick; Hollie MacKellar;
Erik Cortinas
Nay: None

Adjourned at 7:00pm.

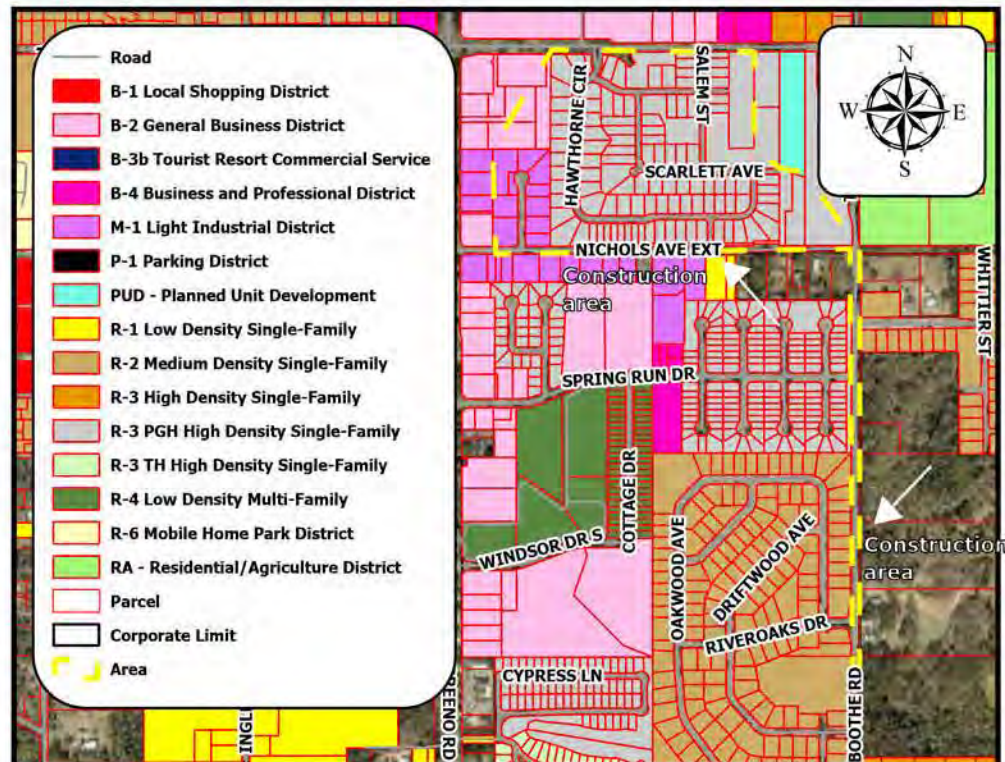
Lee Turner, Chairman

Cindy Beaudreau, Secretary

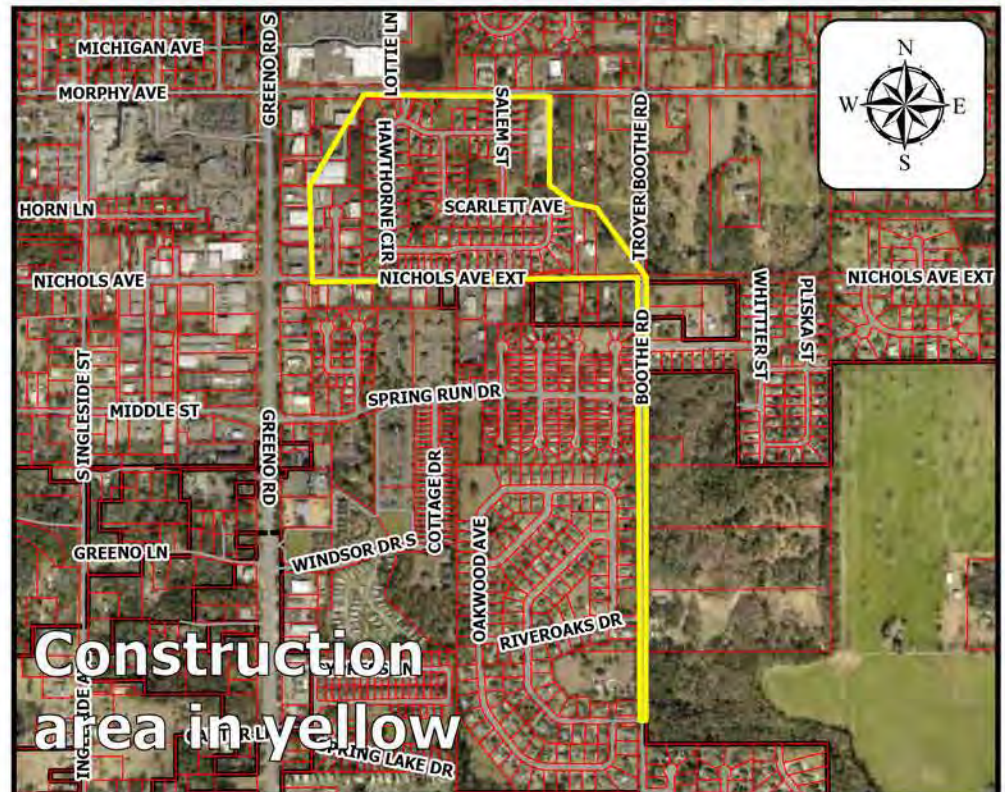
City of Fairhope Planning Commission October 6, 2025



UR 25.12 - 539 Salem Street



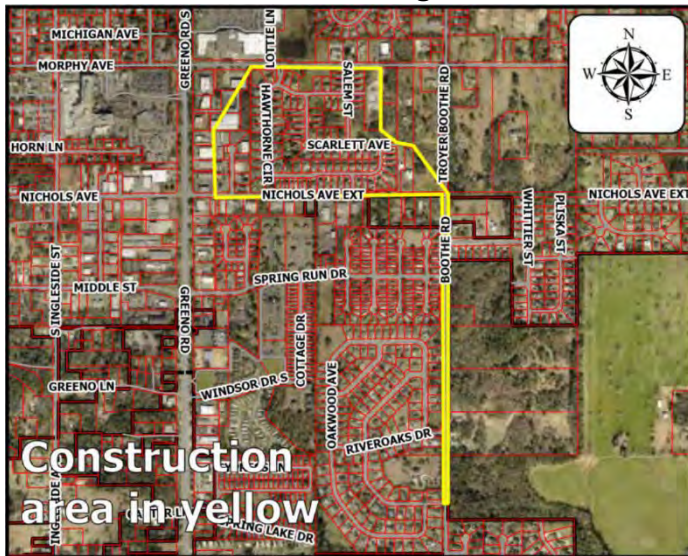
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|----------------------------|--|
| Project Name: | UR 25.12, 539 Salem Street |
| Site Data: | 13,479 LF of fiber cable |
| Project Type: | Install fiber cable |
| Jurisdiction: | Fairhope Planning Jurisdiction |
| Zoning District: | N/A |
| PPIN Number: | N/A |
| General Location: | Hawthorne Glenn area |
| Surveyor of Record: | N/A |
| Engineer of Record: | N/A |
| Owner / Developer: | C-Spire |
| School District: | Fairhope Elementary School Fairhope Middle and High Schools |
| Recommendation: | Approved w/ Conditions |
| Prepared by: | Mike Jeffries |



SUMMARY OF REQUEST

Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 13,479 LF of fiber cable at 539 Salem Street.

Locator Image



STAFF COMMENTS

The proposed utility construction falls within the corporate limits of the City of Fairhope. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the respective agency.

This site shall comply with all State, Federal and local requirements, including, but not limited to the following City of Fairhope Ordinances:

- 1) City of Fairhope Wetland Ordinance (#1370), which regulates activity within 20' of wetlands;
- 2) City of Fairhope Red Soil & Clay Ordinance (#1423), which prohibits the use of red soil / clay within 100' of critical areas;
- 3) City of Fairhope Erosion and Sediment Control Ordinance (#1398); and
- 4) Chapter 19 Article VI: ROW Construction and Administration, Ordinance (1754).

Permitting, Locating, and Phasing

- Subsurface Utility Engineering may be required for sensitive locations within the city as required by the ROW supervisor.
- An additional right-of-way permit may be required for the potholing procedures needed for SUE.
- A traffic control plan shall be submitted with all permits that affect the flow of traffic.
- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department. Permit not valid until approved and paid for on Citizen Serve online portal.
- The City's ROW inspector is to be notified 24 hours prior to any activity within the ROW. The prior notice applied to all activity within the ROW including but not limited to trenching, boring, concrete placement.

- Hand holes/boxes shall not be allowed to be installed in sidewalks. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate with the ROW inspector to resolve any conflicts.
- The applicant shall contact Alabama One Call 811 to locate all existing utilities in the ROW (750 LF maximum daily allocation for COF utility locates per day).
- A pre-construction meeting shall be held with the City prior to issuance of any permits.

Construction

- A minimum horizontal clearance (separation) of 36” must be maintained from water, sewer, gas, stormwater, and other city utility infrastructure.
- A minimum depth for all telecommunication lines shall be 30”.
- Conduit shall match the 811-color code for communication, electric, gas etc. No blue/blue striped conduit is to be used for telecommunications.
- The contractor responsible for *excavating inside right of way will be required to provide video documentation of the integrity of any sanitary sewer line (including laterals) within 3 feet of work being performed. This can be videoed prior to work being performed if locations, including depths, are clearly established by contractor, and said work is not within 3 ft of sewer mains or laterals within right of way. This does not apply to laterals on private property not “publicly maintained” (Private infrastructure).
- Water, sewer, and gas mains/services must be potholed prior to bore/missile crossings. If street cuts are necessary please contact Right of Way inspector for restoration.
- If sidewalk panels need to be removed, the subgrade must be compacted to the satisfaction of the ROW inspector. Cold patch asphalt shall be used as a temporary walking surface until the permanent repair can be done.
- Sidewalk panels shall be a minimum of 4000 psi and be inspected within 24 hours of pouring concrete. Anything over one sidewalk panel shall be poured via concrete truck (no bag mix allowed).

Horticultural

- Handholes shall not be located within driplines of trees within City property, to include the right of ways, without explicit written permission from the City Horticulturalist.
- Any proposed trenching shall not be within the dripline of trees.
- If within tree dripline, consult the City of Fairhope Horticulturist prior to earth work.
- Trees shall not be negatively impacted.
- Consultation with the City’s horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. The contractor is responsible for any damaged trees.
- Any work done within the critical root zone shall be done to meet or exceed Internal Society Arboriculture (ISA) standards.
- All roots to be removed shall be severed cleanly at the perimeter of the protected radius.
- Protective barriers shall be used for all trees, barricades shall be erected a minimum of 20’ from the trunk.

Erosion Control

- Any ROW cuts shall be stabilized (covered) at the end of each day & disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project. Sod shall be watered to ensure survival.
- Any excess soil shall be removed and disposed of properly. Dumping on private property without approval will not be tolerated.

- Mulch / seed shall only be acceptable as temporary cover.
- Inlets shall be protected. BMPs shall be placed at all affected storm inlets.
- If the site is within 100' of a critical area (wetland, etc.), red soil/clay shall not be allowed as fill material, per the City's Red Clay/Soil Ordinance.
- BMPs shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.

Project Completion, Punch List Walk, and As-Built

- The applicant shall provide as-built drawings of all installed lines depicting depths.
- Damage to any City's infrastructure (storm, sewer, water, ditches etc. shall be the responsibility of the permittee to repair to city standards at no cost to the city.
- Any damage that occurs needs to be reported to the city as soon as possible.
- Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency.

UTILITY REVIEW CONSIDERATIONS

Standards of Review:

Alabama Code Section 11-52-11 grants review authority to the Planning Commission for all proposed construction of utilities within public right-of-way.

Recommendation:

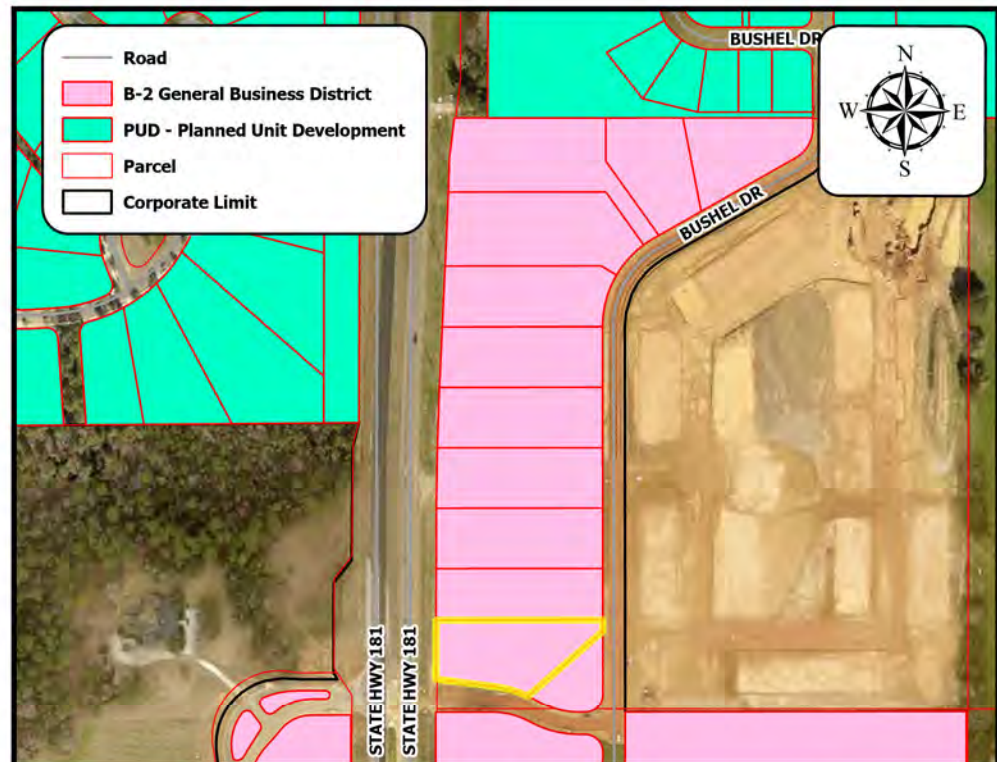
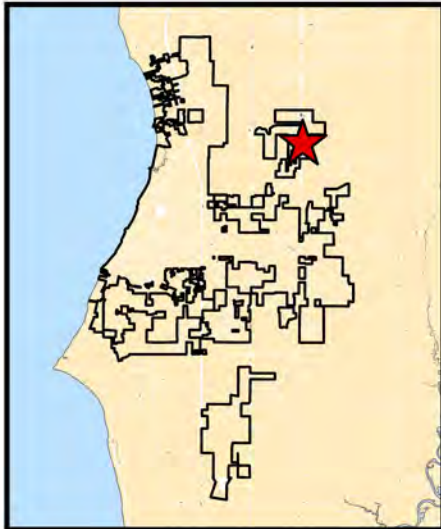
Staff recommends **APPROVAL** of UR 25.12 – 539 Salem St. Utility Review with the following conditions:

1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. The contractor is responsible for any damaged trees.
3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
 - a. An additional right-of-way permit may be required for the potholing procedures.
4. Follow-up activities below required by staff and the applicant:
 - a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS technician for inclusion in GIS utility maps.
5. Provide draft door hanger for approval at time of pre-construction.
6. Approved door hangers shall be in place no later than 7 days prior to construction.
7. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
8. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
9. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).
10. Utilities boxes shall be concentrated near existing boxes.
11. For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

City of Fairhope Planning Commission October 6, 2025



SR 25.05 - Wendy's



| | |
|-----------------------------------|--|
| <u>Project Name:</u> | Wendy's |
| <u>Site Data:</u> | 1.07 acres |
| <u>Project Type:</u> | Site plan approval |
| <u>Jurisdiction:</u> | Fairhope Planning Jurisdiction |
| <u>Zoning District:</u> | B-2 General Business District |
| <u>PPIN Number:</u> | 625448 |
| <u>General Location:</u> | Between Bushel Drive and State Highway 181 |
| <u>Surveyor of Record:</u> | Chris Lieb |
| <u>Engineer of Record:</u> | Chris Lieb |
| <u>Owner / Developer:</u> | Wendelta Property Holdings, LLC |
| <u>School District:</u> | Fairhope Elementary School Fairhope Middle and High Schools |
| <u>Recommendation:</u> | Approved w/ Conditions |
| <u>Prepared by:</u> | Michelle Melton |



SUMMARY OF REQUEST

Request of the Applicant, Chris Lieb, on behalf of the Owner, Wendelta Property Holdings LLC, for Site Plan Approval of Wendy’s Fairhope. The property is approximately 1.07 acres and is zoned B-2 – General Business District. The property is located on Lot 1 of Rockwell Place on State Highway 181 north of State Highway 104.

SITE HISTORY

The subject site has had numerous Subdivision, Multiple Occupancy Project (MOP), and Zoning Change applications before both the City of Fairhope and County Planning Commissions. Most recently the subject site was before the Planning Commission at its July 7, 2025 meeting included as part of a request for approval of a 10-Lot Major Subdivision to resubdivide Rockwell Place Lot 1.

STAFF COMMENTS

Site Plan

The proposed site plan is attached to the end of this report as an exhibit.

Buildings - COMPLIANT

The building takes up 5.17% of Lot 1 and is 20’2” tall. The total impervious area excluding the building is 52.50% (24,422 sf). Building materials consist of a knotwood wall system with metal flashing. Building elevations have been attached to the end of this report as an exhibit.

Traffic - COMPLIANT

A traffic study was conducted for Rockwell Place Subdivision, and the road infrastructure was designed in accordance with the recommendations from the traffic study. Shared access points are on the plat to limit the number of curb cuts on Bushel Drive.

Parking - NON-COMPLIANT

The site plan illustrates a surplus of parking with an acceptable 19 spaces. Twenty percent (20%) overage is allowed and is required to utilize pervious surfacing in accordance with Article IV Section E.4.c(2) of the Zoning Ordinance. The site plan does not provide any pervious parking spaces; whereas at least three (3) need to be pervious. There are six (6) compact parking spaces.

Connectivity - COMPLIANT

The site plan includes interior concrete sidewalks along Bushel Drive and Rockwell Boulevard. The concrete sidewalk also connects with an existing asphalt path parallel to State Highway 181. The Pedestrian Circulation Plan can be found on Sheet C8.0 in the Complete Plans.

Drainage - COMPLIANT

Drainage has been accounted for the entire commercial portion of Rockwell Place in accordance with SD 25.08; thus, there are no retention/detention facilities required on individual lots. Lot 1 utilizes Common Area 1 for its drainage and is detailed as such within a note on the site plan.

Exterior Lighting - COMPLIANT

As proposed, all exterior lighting is compliant with Article IV Section B.3 of the Zoning Ordinance.

Mechanical Equipment - COMPLIANT

Mechanical equipment has been finalized, and all appear on the Site Plan.

Dumpster - COMPLIANT

The site plan illustrates a double dumpster adjacent to Common Area 1 with compliant screening. A 1000-gallon grease trap is also illustrated on site.

Tree & Landscaping - MORE INFO NEEDED

A landscaping plan was submitted and is included in the packet. No comments have been received.

Signage - COMPLIANT

Signage will be reviewed at time of a sign permit submittal.

Utilities - COMPLIANT

A utility plan was submitted and has been reviewed and approved by the appropriate providers. No utility upgrades are required.

ADA Standards - COMPLIANT

ADA requirements per the Architect are met and at time of building permit will be further verified.

Comprehensive Plan - COMPLIANT

Rockwell Place is in a newly recognized Suburban Mixed-Use Center in the proposed Comprehensive Plan.

Impacts on Surrounding Neighborhood - COMPLIANT

As previously stated, the subject site is zoned B-2. Directly adjacent to the site are the Rockwell Place Apartments. Proper buffers are included in the plans to mitigate the conflicting land uses.

Benefits to the Community - COMPLIANT

There are a lot of residential units being built in the immediate surrounding area, especially to the North. A commercial retail center with a variety of retail/restaurant/office/commercial units will be a benefit to the residential subdivisions.

SITE PLAN CONSIDERATIONS

Standards of Review:

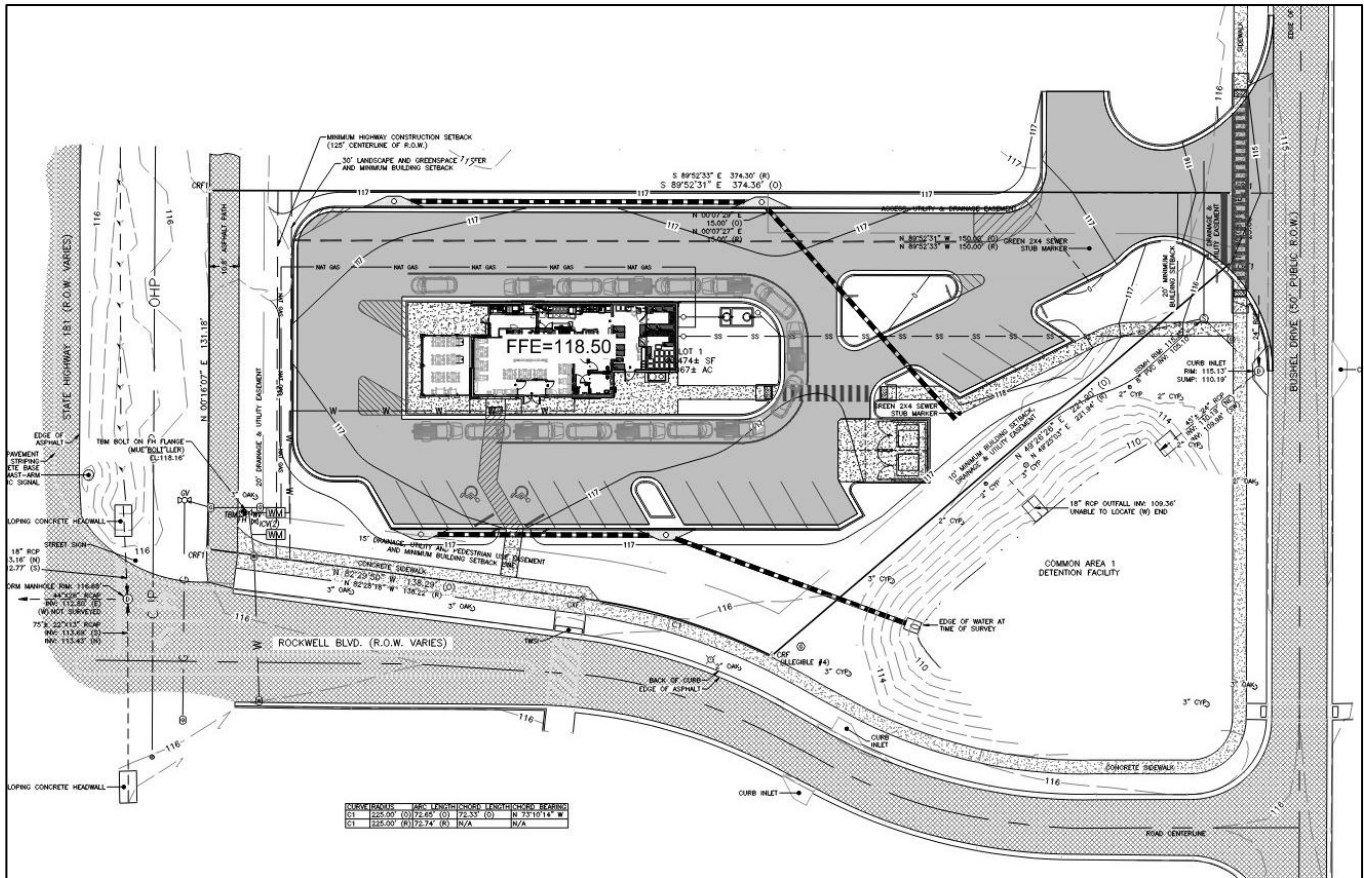
Article II Section C.2.d of the City of Fairhope Zoning Ordinance sets forth criteria for reviewing rezoning requests.

Recommendation:

Staff recommends **APPROVAL** of SR 25.05 – Wendy’s at Rockwell Place Site Plan with the following conditions:

1. Revision of the Site Plan to include pervious parking in compliance with Article IV Section E.4.c(2) of the Zoning Ordinance ;
2. Coordination with City Horticulturalist on submittal of a compliant tree and landscaping plan; and
3. All signage shall conform to the City of Fairhope Sign Ordinance.

Proposed Site Plan



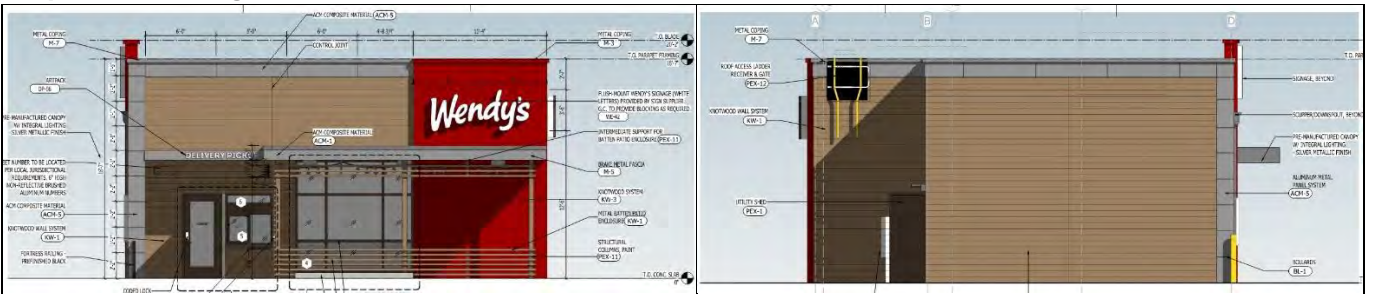
SITE DATA:

| | |
|--|---------------------------------|
| 1. PROPOSED USE: | RESTAURANT |
| 2. ZONING: | B-2 GENERAL BUSINESS |
| 3. TOTAL AREA: | 1.07± AC. (46,474 S.F.) |
| 4. BUILDING S.F.: | 2,370 S.F. |
| 5. PARKING SPACES REQUIRED: | 14 (68 SEATS) |
| 6. PARKING SPACES PROVIDED: | 19 (6 ARE COMPACT) |
| 7. BUILDING HEIGHT: | 20'-2" |
| 8. TOTAL GROSS FLOOR AREA: | 2,370 S.F. (0.05 AC.) (05.17%) |
| 9. PROPOSED BUILDING COVERAGE: | 2,370 S.F. (0.05 AC.) (05.17%) |
| 10. PERCENTAGE IMPERVIOUS AREA EXCLUDING BUILDING: | 24,422 S.F. (0.61 AC.) (52.50%) |
| 11. PERCENTAGE LANDSCAPING: | 19,682 S.F. (0.45 AC.) (42.33%) |
| 12. PERCENTAGE GREENSPACE: | 19,682 S.F. (0.45 AC.) (42.33%) |

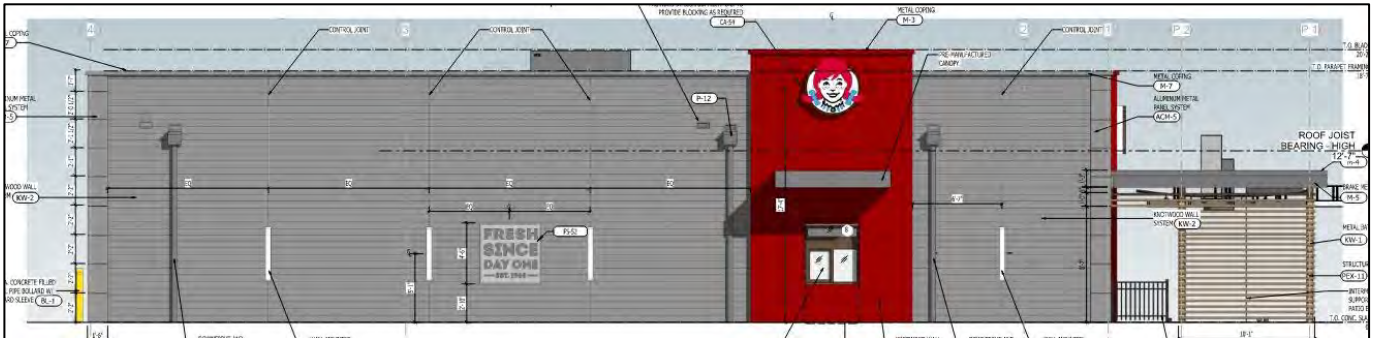
Proposed Building Elevations - South



Proposed Building Elevations – East & West



Proposed Building Elevations - North





APPLICATION FOR SITE PLAN APPROVAL

Application Type: Site Plan
Attachments: Articles of Incorporation or List all associated investors

Date of Application: 8/21/25

Property Owner / Leaseholder Information
Name of Property Owner: Wendelta Property Holdings LLC Phone Number: 901-237-8409
Address of Property Owner: 1 DR MLK Jr Ave Ste 130
City: Memphis State: TN Zip: 38103

Proposed Site Plan Name: Wendy's Fairhope
Site Acreage: 1.07 Sq. Footage: 2,349 sqft
Parcel No: Lot 1 of Rockwell Place Current Zoning: B-2

Authorized Agent Information
Name of Authorized Agent: Chris Lieb with Lieb Engineering Phone Number: 2519789779
Address: 1290 Main Street Ste E
City: Daphne State: AL Zip: 36526
Contact Person: Chris Lieb

Engineer/Architect Information
Name of Firm: Lieb Engineering Company Phone Number: 2519789779
Address: 1290 Main Street Ste E
City: Daphne State: AL Zip: 36526
Contact Person: Chris Lieb

I certify that I am the property owner/leaseholder of the above described property and hereby submit this site plan to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Wendelta Property Holdings LLC
Property Owner/Leaseholder Printed Name
8/22/2025
Date

Mitch Davenport / Preconstruction Manager
Signature
Fairhope Single Tax Corp. (If Applicable)

Digitally signed by Mitch Davenport / Preconstruction Manager
DN: cn=Mitch Davenport, o=Wendelta Property Holdings LLC, email=Mitch.Davenport@wendelta.com, c=US
Date: 2025.08.22 10:33:01-0800

F0100

OFFICE OF THE SECRETARY OF STATE
P O BOX 136, JACKSON, MS 39205-0136
(601)359-1633

Mississippi LLC Certificate of Formation

The undersigned hereby executes the following document and sets forth:
(fields marked with an asterisks are required)

1. Name of the Limited Liability Company: (The name must include the words "Limited Liability Company" or the abbreviation "LLC" or "L.L.C.")

⇒ * WENDELTA PROPERTY HOLDINGS, LLC

2. The future effective date is (Complete if Applicable)

3. Federal Tax ID if available (Do not put Social Security Number in the box)
⇒ applied for

4. Name and Street Address of the Registered Agent and Registered Office is (must be in Mississippi)

⇒ *Name C T Corporation System

⇒ *Physical Address 645 Lakeland East Drive, Suite 101

⇒ P O. Box

*City Flowwood MS 39232-9099
* State * Zip5 - Zip4

5. If the Limited Liability Company is to have a specific date of dissolution, the latest date upon which the Limited Liability Company is to dissolve is

⇒ perpetual

6. Is full or partial management of the Limited Liability Company vested in a manager or managers? (Mark Appropriate box)

⇒ * Yes No

7. Other matters the managers or members elect to include: (Attach additional pages if necessary)

⇒

⇒

865807 OCT 17 8

OFFICE OF THE SECRETARY OF STATE
P O BOX 136, JACKSON, MS 39205-0136
(601)359-1633

Certificate of Formation

8. Signatures: This certificate must be signed by at least one member, manager, or organizer. (If signed by "manager" box 6 on page one 1 should be marked "yes".) The name, title, and address of each signer should be included in the spaces indicated. This page may be duplicated for additional signatures.

* Printed Name * Title

* By: Signature (please keep writing within blocks)

Street and Mailing Address

⇒ * Physical Address
⇒ * P. O. Box
⇒ * City
State Zip5 - Zip4

865807 OCT 17 08

Printed Name Title

By: Signature (please keep writing within blocks)

Street and Mailing Address

⇒ Physical Address
⇒ P. O. Box
⇒ City
State Zip5 - Zip4

BUTLER | SNOW

October 17, 2008

Writer's Direct Number
(601) 985-4302

VIA HAND DELIVERY

Mississippi Secretary of State
Corporations Division
700 North Street
Jackson, MS 39202

Re: Wendelta Property Holdings, LLC

Dear Sir:

Enclosed herewith please find the duly executed Certificate of Formation for Wendelta Property Holdings, LLC and this firm's check in payment of the \$50.00 filing fee. Please review the Certificate of Formation and, if it meets with your approval, file it of record in your office and hold the "filed" stamped copy for the undersigned to be picked up by our messenger.

If you have any questions or if you need any additional information with respect to this matter, please do not hesitate to contact us.

Very truly yours,



Marcie D. Davant
Legal Assistant

MDD: wp
Enclosures

Post Office Box 22567
Jackson, MS 39225-2567

T 601.948.5711
F 601.985.4500
www.butlersnow.com

210 East Capitol Street, 17th Floor
Jackson, MS 39201

865007 OCT 17 08

STATE OF ALABAMA

FOREIGN LIMITED LIABILITY COMPANY (LLC) APPLICATION FOR REGISTRATION

PURPOSE: In order to register a foreign entity (any entity formed outside of Alabama) to transact business in Alabama, the entity must deliver to the Secretary of State for filing a Application for Registration to Section 10A-1-7.04, Code of Alabama 1975.

INSTRUCTIONS: Mail two (2) signed originals of this completed Application for Registration and the filing fee of \$150.00 (credit card, check, or money order) to the Secretary of State, Business Services, P.O. Box 5616, Montgomery, Alabama, 36103-5616 or you may email your application to foreign.entities@sos.alabama.gov. If you are sending this filing via email an additional \$3.00 copy and mailing fee for acknowledgment will be charged if you want an acknowledgement. If you elect expedited processing completed no later than three business days after receipt by SOS, you may have the stamped copy emailed to you. Expedited processing is \$100.00 plus the \$150.00 filing fee. The entity will not be registered if the credit card does not authorize and will be removed from the index if the check is dishonored (a \$30.00 return check charge will also be required).

Alabama Sec. Of State New Entity 025-541 FLL Date 9/21/2011 Time 17:00 2 PG File \$150.00 Ackn \$.00 EXP \$.00 Total \$150.00 01/022

(For SOS Office Use Only)

This form must be typed or laser printed.

1. The legal name of the foreign entity as recorded in the jurisdiction in which it was formed/organized:

Wendelta Property Holdings, LLC

2. The name of the foreign entity for use in Alabama must contain the words "Limited Liability Company" or the abbreviation "L.L.C." or "LLC" (10A-1-5.06):

Wendelta Property Holdings, LLC

A copy of the name registration received from the Office of the Alabama Secretary of State if you chose to obtain one.

3. Entity's jurisdiction of formation: Mississippi

4. Date of the entity's formation in state/country of jurisdiction: 10 / 17 / 2008 (MM/DD/YYYY)

5. The undersigned certifies that the foreign entity exists as a valid Limited Liability Company under the laws of the entity's jurisdiction of formation.

6. The foreign entity will begin transacting business in Alabama on the date this application is filed by the Alabama Secretary of State unless the entity gives another date as follows:

Began doing business: 9 / 12 / 2011 Will begin doing business: / / (MM/DD/YYYY) (MM/DD/YYYY)

7. Street (No PO Boxes) Address of principal office: 263 Wagner Place, Memphis, TN 38103

Mailing Address (if different)

**FOREIGN LIMITED LIABILITY COMPANY (LLC)
APPLICATION FOR REGISTRATION**

8. Name of registered agent for service of process (**MUST** be physically located in Alabama): _____

CT Corporation System

9. Street (**No PO Boxes**) Address of initial registered office (**MUST** be office of registered agent and physically located in Alabama): 2 North Jackson St., Suite 605, Montgomery, AL 36109

Mailing Address in Alabama of registered agent/office (if different) _____

I desire expedited processing and have enclosed total fees of \$250.00. Please return my stamped filing to the following email address _____

9 / 16 / 2011

Date

Chancellor G. Carlisle, Vice President

Typed Name and Title of Signature Below



Signature of Person Authorized to Sign per 10A-1-4.01, *Alabama Code*

In order to review the sections of the *Code of Alabama 1975* referred to in this filing form you may access www.sos.alabama.gov and click the Government Records tab. Choose the Code of Alabama link to review.

Fairhope Public Utilities



Mayor
Sherry Sullivan

Council Members
Kevin C. Boone
Jack Burrell, ACOM
Jimmy Conyers
Corey Martin
Jay Robinson

August 22, 2025

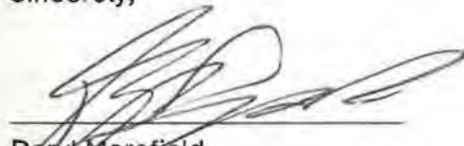
Re: Wendy's, Parcel: 05-46-01-02-0-000-001.911


This letter of availability is only valid based on what was proposed at the utility review meeting. Any changes or deviations of the proposed plan will require another utility review. This statement of availability remains effective for twelve (12) months from the date of this letter, at which time it shall expire and automatically be withdrawn.

Water & Sewer: Based upon a review of the proposed development, water and sewer service by Fairhope Public Utilities is currently available. All tap fees and system development charges (SDC's) will apply, and all necessary infrastructure improvements will be at the developer's expense.

Gas: Gas is available through Fairhope Public Utilities.

Sincerely,



Daryl Morefield
Water/Wastewater Superintendent

Taylor Wesson
Assistant Gas Superintendent

Wes Boyett
Natural Gas Superintendent

Daryl Morefield
Water/Wastewater Superintendent

Ben Patterson
Electric Superintendent



RIVIERA UTILITIES

413 East Laurel Avenue - Foley, AL 36535
Phone (251) 943-5001

8/21/2025

Mary Kate O'Connell
Lieb Engineering
1290 Main Street, Suite E
Daphne, AL 36526

RE: Wendy's Fairhope – Lot 1 Rockwell Place

This letter is to confirm based on the site plan received; Riviera Utilities is willing and able to provide electric service to the above referenced property.

Riviera Utilities requires a 10' easement along all side property lines and a 15' easement along all front and rear property lines. Please ensure all property plats reflect the easements.

Upon final design, Riviera Utilities will provide estimates for service fees and system installation requirements to meet all Riviera specifications. Please contact the following Riviera employees concerning costs and requirements.

| Name | Department | Email |
|------------|------------|--|
| Wes Abrams | Electric | wabrams@rivierautilities.com |

If you have any questions or comments, contact Riviera Utilities at 251-943-5001.

Thank you,

Tony L. Schachle Jr.



LIEB ENGINEERING
C O M P A N Y

1290 Main Street
Suite E
Daphne, AL 36526
Phone: 251.978.9779

August 22, 2025

City of Fairhope Planning and Zoning
Attn: Staff

Re: **Wendy's - Fire Flow**

Staff,

The static and residual pressures at the test hydrant were 56 and 38 psi respectively. The flow hydrant was flowing 1,126 GPM at 45 psi. This test was performed on 06/12/25 at 5:04 P.M. The available fire flow is 1,637 GPM at 20 psi. The water system will meet all requirements of the 2021 International Fire Code.

Sincerely,

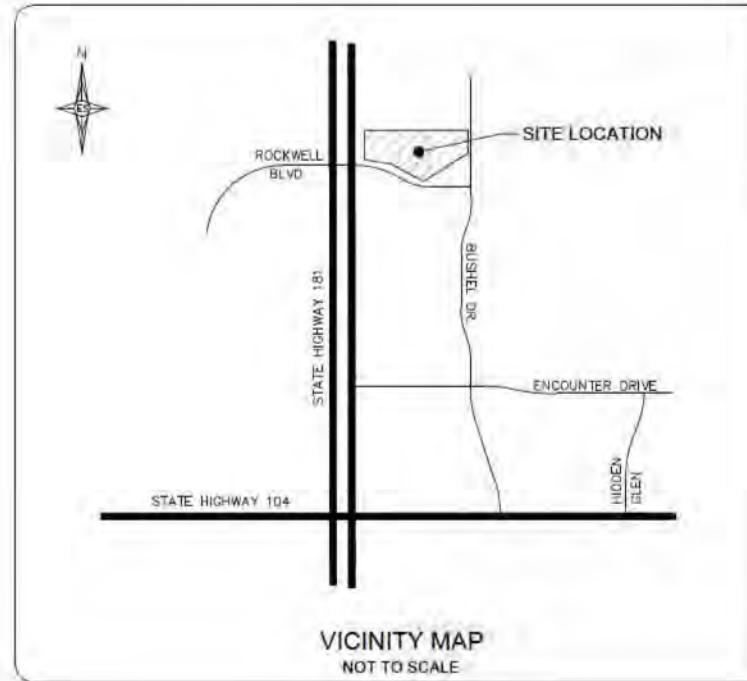
Christopher Jay Lieb, PE

LIEB ENGINEERING
C O M P A N Y

FAIRHOPE WENDY'S

BUSHEL DRIVE
FAIRHOPE, AL 36532

| INDEX TO SHEETS | |
|-----------------|---------------------------------------|
| SHEET NO. | SHEET NAME |
| C1.0 | TITLE SHEET |
| C2.0 | CIVIL NOTES |
| C3.0 | EXISTING CONDITIONS & DEMOLITION PLAN |
| C4.0 | SITE PLAN |
| C5.0 | GRADING & DRAINAGE PLAN |
| C6.0 | UTILITY PLAN |
| C7.0 | EROSION CONTROL PLAN |
| C8.0 | PEDESTRIAN CIRCULATION PLAN |
| C9.0 | AERIAL OVERLAY |
| C10.0-C13.0 | CIVIL DETAILS |



PROJECT CONTACT INFORMATION

OWNER:
WENDELTA PROPERTY HOLDINGS LLC
1 DR. MLK JR AVE SUITE 130
MEMPHIS, TN, 38103
CONTACT: MITCH DAVENPORT

ENGINEER:
LIEB ENGINEERING COMPANY, LLC
1290 MAIN STREET, SUITE E
DAPHNE, AL 36526
(251) 978-9779
CONTACT: CHRIS LIEB, PE

SURVEYOR:
SMITH, CLARK & ASSOCIATES
11111 U.S. HIGHWAY 31
SPANISH FORT, AL 36527
(251) 626-0404
CONTACT: DANNY CLARK

ALABAMA ONE-CALL

THE CONTRACTOR IS REQUIRED TO CALL "ALABAMA ONE-CALL"
1-800-252-8525 AT LEAST 48 HOURS PRIOR
TO ANY EXCAVATION AND SHALL EXERCISE EXTREME
CARE TO AVOID DAMAGING EXISTING UTILITIES.

ISSUED
FOR
REVIEW

| REVISIONS | | |
|-----------|-------------------|-----------|
| NO. | DESCRIPTION | DATE |
| A | ISSUED FOR REVIEW | 8/26/2025 |
| | | |
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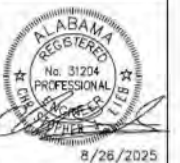


LIEB ENGINEERING COMPANY
1290 MAIN STREET, SUITE E
DAPHNE, AL 36526
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.
ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2025-006
DRAWN BY: JLG DATE: 8/26/2025 SCALE: AS SHOWN
CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

| | |
|---------------------------------------|--------|
| FAIRHOPE WENDY'S | |
| TITLE SHEET | |
| FAIRHOPE, AL | |
| OWNER: WENDELTA PROPERTY HOLDINGS LLC | |
| SHEET NUMBER | C1.0 A |
| 1 OF 13 | |



GENERAL NOTES:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS REQUIRED TO CONSTRUCT THE PROJECT AND PAY ALL PERMIT FEES. ALL PERMITS MUST BE IN HAND PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, PROCEDURES, AND SEQUENCES OF CONSTRUCTION.
- CONSTRUCTION SITE SAFETY, INCLUDING ALL ADEQUATE TEMPORARY BRACING AND SHORING, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO FIELD LOCATE ANY AND ALL UTILITIES PRIOR TO ORDERING MATERIALS AND/OR BEGINNING CONSTRUCTION. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO LIEB ENGINEERING IMMEDIATELY. THE CONTRACTOR SHALL EXERCISE DUE CARE TO PROTECT THEM FROM DAMAGE DURING EXCAVATION AND CONSTRUCTION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ADJACENT PROPERTIES AND IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS ON OR OFF SITE DUE TO THE CONSTRUCTION OF THIS PROJECT. ANY DAMAGE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL EXCAVATIONS SHALL ADHERE TO THE PROVISIONS OF THE MOST CURRENT OSHA STANDARDS AND SPECIFICATIONS.
- THIS PROPERTY IS IN ZONE "X" AS PER THE MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION COMMUNITY PANEL NUMBER 384 OF 1106 FOR BALDWIN COUNTY AND MAP NUMBER 01000000010 AS PER REVISED MAP DATED APRIL 18, 2019.
- SURVEY DATA WAS OBTAINED FROM A BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY THE SMITH CLARK & ASSOCIATES, LLC.

SITE DEMOLITION NOTES:

- ALL EXISTING IMPROVEMENTS SHALL REMAIN WITHIN THE LIMITS OF CONSTRUCTION UNLESS SPECIFICALLY NOTED TO BE REMOVED.
- CONTRACTOR SHALL COORDINATE WITH OWNERS REGARDING ITEMS TO BE SALVAGED, REMOVED AND REUSED, ETC. CONTRACTOR TO USE CAUTION NOT TO DAMAGE THESE ITEMS DURING REMOVAL AND/OR REUSE. ANY DAMAGED ITEMS SHALL BE REPAIRED/REPLACED AT CONTRACTOR'S EXPENSE.
- ANY AND ALL UTILITIES IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE REMOVED OR RELOCATED. COORDINATE WITH UTILITY PROVIDER PRIOR TO REMOVAL/RELOCATION.
- SAVING EXISTING LANDSCAPES AT LIMITS OF REMOVAL ASPHALT PAVING SHALL BE MILLED A MINIMUM OF 8" TO ENSURE A SMOOTH TRANSITION TO PROPOSED ASPHALT PAVING.
- CONTRACTOR TO REMOVE OF ALL DEMOLITION AND CONSTRUCTION DEBRIS AT LEAST WEEKLY IN AN APPROVED MANNER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, RELOCATION OR PROTECTION OF ALL ABOVE AND BELOW GROUND EXISTING IMPROVEMENTS THAT ARE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS UNLESS NOTED.

LAYOUT NOTES:

- TOPOGRAPHY AND SITE BOUNDARIES SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO ORDERING MATERIALS AND/OR BEGINNING CONSTRUCTION. IMMEDIATELY NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- ALL DIMENSIONS AND COORDINATES SHOWN ARE TO THE OUTSIDE FACE OF BUILDING TO THE BACK OF CURB, OR TO THE EDGE OF SURFACING UNLESS OTHERWISE NOTED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL BENCHMARKS AND PROPERTY OWNERS. ANY REPLACEMENT WILL BE AT THE CONTRACTOR'S EXPENSE.
- VERIFY ALL DIMENSIONS AND CONDITIONS RELATED TO EXISTING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF LIEB ENGINEERING. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. SCALE IS FOR GUIDANCE PURPOSES ONLY. IF DIMENSIONS ARE UNCLEAR, DO NOT SCALE. REQUEST CLARIFICATION FROM THE ENGINEER.
- CONTRACTOR SHALL FOLLOW STATE REQUIREMENTS FOR SURVEY PRACTICES FOR CONSTRUCTION LAYOUT WORK.

GRADING NOTES:

- THE LIMITS OF CLEARING SHALL BE AT THE EDGE OF PROPOSED GRADING OR THE PROPERTY LINE, WHICHEVER IS LESS.
- THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING COMPACTION TESTING.
- ALL TOP SOIL WITHIN LIMITS OF CONSTRUCTION (5' BEYOND THE BUILDING FOOTPRINT AND 3' BEYOND PAVEMENTS AND WITHIN THE LIMITS OF DRAINAGE) SHALL BE STRIPPED AND STOCKPILED ON SITE IN AN APPROVED MANNER. TOPSOIL SHALL BE SPREAD 8" DEEP ON ALL NON LANDSCAPE AREAS TO BRING TO FINISHED GRADE. ANY EXCESS TOPSOIL SHALL BE DUMPED OFF SITE IN AN APPROVED MANNER.
- IN CUT AREAS, SUBGRADE SHALL BE SCARIFIED A MINIMUM OF 1" AND RECOMPACTED BEFORE PLACING FILL OR ANY OTHER IMPROVEMENTS. RECOMPACTION SHALL MEET THE SPECIFIED DENSITY AND MOISTURE CONTENT IN GRADING NOTE #6 AND #7.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SUBGRADE AFTER IT HAS BEEN INITIALLY PREPARED DUE TO UNPLEASANT WEATHER AND CONSTRUCTION TRAFFIC.
- ALL STRUCTURAL FILL MATERIAL SHALL EXHIBIT CL, SP, SF-SM, SH OR SC CLASSIFICATION ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM. HAVE A MAXIMUM OF 10% SOIL FINES PASSING THE NO. 200 SIEVE. HAVE A MAXIMUM LIQUID LIMIT (LL) OF 50. HAVE A PLASTICITY INDEX (PI) OF 20. HAVE A MINIMUM STANDARD PROCTOR (ASTM D-1585) MAXIMUM DRY DENSITY OF 110 PCF. MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS AND EACH LIFT COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY AS PER ASTM-D698. AT A FIELD MOISTURE WITHIN 4% PERCENT OF OPTIMUM. ON SITE SOILS FREE OF ORGANICS AND DELETERIOUS MATERIALS AND SATISFYING THE SPECIFICATIONS PROVIDED ABOVE MAY BE STOCKPILED AND USED AS STRUCTURAL FILL.
- PIPE BEDDING SHALL BE "SELECT SAND," THE MATERIAL SHALL CONTAIN LESS THAN 10% PASSING THE #200 SIEVE AND 30% OR LESS PASSING THE #40 SIEVE. BY WEIGHT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS AND EACH LIFT COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY AS PER ASTM-D698. AT A FIELD MOISTURE WITHIN 4% PERCENT OF OPTIMUM. ON SITE SOILS FREE OF ORGANICS AND DELETERIOUS MATERIALS AND SATISFYING THE SPECIFICATIONS PROVIDED ABOVE MAY BE STOCKPILED AND USED AS STRUCTURAL FILL.
- SUBGRADE SHALL BE PROOF ROLLED WITH A HEAVILY LOADED DUMP TRUCK AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING FILL. FOUNDATIONS, PAVING, ETC., ANY AREAS SHOWING SIGNS OF PUMPING, SLITTING, OR ANY UNSUITABLE (ORGANIC, SOFT, WET, LOOSE) MATERIAL FOUND IN PLACE SHALL BE UNDERCUT AND REPLACED OR MOISTURE CONDITIONED AND COMPACTED TO THE SPECIFIED DENSITY AND MOISTURE CONTENT SPECIFIED.
- FINISHED GRADES ARE SHOWN ON THIS PLAN. CONTRACTOR SHALL MAKE THE APPROPRIATE HOLDINGS FOR SURGRADE ELEVATIONS.
- STORM DRAINAGE INLETS SHALL BE LOCATED AT THE LOWPOINTS. NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE FOR PERSONNEL AND VEHICULAR PROTECTION AT ANY OPEN EXCAVATIONS IN ACCORDANCE WITH 29 CFR PART 1926 AS WELL AS ANY REQUIREMENTS FOR EXCAVATIONS GREATER THAN FOUR (4) FEET IN DEPTH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING ADJACENT TO EXISTING STRUCTURES AND UNDERGROUND UTILITIES DURING ALL EXCAVATION OPERATIONS. TYPE OF SHORING AND PROCEDURE TO BE FOLLOWED MAY BE SUBJECT TO THE ENGINEER'S REVIEW BUT THE STRUCTURAL ADEQUACY OF THESE SYSTEMS, AS WELL AS DAMAGES TO THE EXISTING FACILITIES, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONSTRUCTION TESTS SHALL BE TAKEN AT THE RECOMMENDATION OF THE ON-SITE GEOTECHNICAL ENGINEER.
- COMPACTION WITHIN LIMITED SPACES (I.E. MANHOLES, INLETS, UTILITY TRENCHES) SHOULD BE BACKFILLED AND COMPACTED SYSTEMATICALLY, AT THE DIRECTION OF THE ON-SITE GEOTECHNICAL ENGINEER. SAND BACKFILL SHALL BE INSTALLED IN 12" LOOSE LIFTS AND COMPACTED WITH 6-8 PASSES OF A VIBRATORY COMPACTOR.
- DEWATERING SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM FLOODING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA. PROTECT SUBGRADES FROM ENTERING EXCAVATIONS, PUMPING, AND DAMAGE BY RAIN OR WATER ACCUMULATION. REROUTE SURFACE WATER RUNOFF AWAY FROM EXCAVATED AREAS. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. DO NOT USE EXCAVATED TRENCHES AS TEMPORARY DRAINAGE DITCHES. INSTALL A DEWATERING SYSTEM TO KEEP SUBGRADES DRY AND CONVEY GROUND WATER AWAY FROM EXCAVATIONS. MAINTAIN UNTIL DEWATERING IS NO LONGER REQUIRED.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE IS MAINTAINED THROUGHOUT CONSTRUCTION. PONDING AND STANDING WATER SHALL BE KEPT TO A MINIMUM.
- THE MAXIMUM SLOPE IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2.0% GRADE IN ANY DIRECTION. THE SLOPE IN ALL HANDICAP ACCESS ROUTES SHALL NOT EXCEED 5.0% GRADE IN THE DIRECTION OF TRAVEL AND 3.0% CROSS SLOPE. HANDICAP RAMPS SHALL NOT EXCEED 1:12 SLOPE IN THE DIRECTION OF TRAVEL AND 3.0% CROSS SLOPE.
- THE FINISHED GRADE SHALL SLOPE AWAY FROM THE BUILDING(S) AT LEAST 1.0%. THE FINISHED GRADE SHALL BE 8" BELOW THE BUILDING FINISHED FLOOR ELEVATION UNLESS OTHERWISE NOTED ON DRAWINGS. WATERPROOFING SHALL BE REQUIRED AT ALL LOCATIONS WHICH THE FINISHED GRADE IS ABOVE THE FINISHED FLOOR ELEVATION. CONTRACTOR SHALL NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.

EROSION CONTROL NOTES:

- SITE EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS, CODES, AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A "NOTICE OF REGISTRATION(NOR)" FROM ADEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, INSPECTIONS, ETC., TO ENSURE THE OWNER THAT THE SITE IS AT ALL TIMES IN ACCORDANCE WITH ADEM RULES & REGULATIONS. DOCUMENTATION OF INSPECTIONS BY A D.E.C. OR O.C.P. SHALL BE MAINTAINED BY THE CONTRACTOR AND PROVIDED TO THE OWNER AT HIS/HER REQUEST. ANY AND ALL FEES, FINES, ETC., SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING THE CONSTRUCTION PROCESS AND UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- EROSION CONTROL DEVICES SHOWN ON THESE PLANS ARE A MINIMUM. ADDITIONAL DEVICES SHALL BE INSTALLED AS REQUIRED TO PREVENT SILTATION, EROSION AND OTHER DEGRADATION OR POLLUTION TO THE SITE OR ADJACENT PROPERTIES, STREAMS, DITCHES, AND PUBLIC ROADWAYS.
- EROSION CONTROL DEVICES SHALL INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING DEVICES: SILT FENCING, BRUSH BERMS, SEDIMENT BASINS, RETENTION FOWNS, STRAIN MATS, LIME, LIME, FILTER BERMS, LIME MATS, VEGETATIVE FILTER STRIPS, TURF REINFORCEMENT MAT, DIVERSION BERMS, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES IN GOOD OPERATING CONDITION DURING ALL LAND DISTURBING ACTIVITIES. THIS RESPONSIBILITY SHALL INCLUDE THE CLEANUP AND/OR REPAIRS TO THE DEVICES AT NO ADDITIONAL COST TO THE OWNER.
- EROSION CONTROL DEVICES SHALL BE MONITORED AND MAINTAINED UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD, ANY WIND GUSTS GREATER THAN 25 MPH, AND ANY SUSTAINED WINDS GREATER THAN 20 MPH IN A 24 HOUR PERIOD.
- AFTER ALL LAND DISTURBANCE ACTIVITIES HAVE CEASED AND AFTER ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED, THE EROSION CONTROL DEVICES SHALL BE REMOVED BY THE CONTRACTOR AND THE AREA CLEANED AND DRESSED.
- DEWATERING OPERATIONS MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR POLLUTION TO ADJACENT PROPERTIES, STREAMS, DITCHES, OR PUBLIC ROADWAYS.
- A GRAVELLED ACCESS DRIVE OF SUFFICIENT SIZE SHALL BE AT EACH SITE ENTRANCE/EXIT TO PREVENT TRACKING OF DIRT AND SEDIMENT ONTO PUBLIC OR PRIVATE ROADWAYS. IF SEDIMENT REACHES THE ROADWAY, THEN IT MUST BE CLEANED AT THE END OF EACH WORKDAY.
- ALL LAND DISTURBANCE ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE EXPOSURE OF BARE AREAS AT ANY TIME.
- ALL PREVIOUSLY GRADED AREAS SHALL RECEIVE 4 INCHES OF TOPSOIL AND PERMANENT GRASSING UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLAN.
- PRIOR TO SITE CLEARING, ALL PERIMETER SILT FENCING, BRUSH BERMS, ETC. AND GRAVELLED ACCESS DRIVES SHALL BE INSTALLED.
- ALL EXISTING STREAMS, DITCHES, ETC. SHALL BE PROTECTED FROM SEDIMENTS AND SALTS BY SILT FENCING, MATS, BRUSH BERMS, ETC.
- MATS OR SILT FENCING SHALL BE INSTALLED AT ALL INLETS UPON THE INSTALLATION OF EACH INLET AS INSTALLED.
- GEOTEXTILE SHALL BE PLACED ON ALL 2:1 SLOPES. GEOTEXTILE SHALL BE NORTH AMERICAN GREEN S450 (OR APPROVED EQUAL UNLESS OTHERWISE NOTED) ON PLANS. ALL GEOTEXTILES SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- GEOTEXTILE SHALL BE PLACED ON ALL OTCH BOTTOMS & 1' UP EACH SIDE. GEOTEXTILE SHALL BE NORTH AMERICAN GREEN S2250 (OR APPROVED EQUAL UNLESS OTHERWISE NOTED) ON PLANS. ALL GEOTEXTILES SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- GOOD HOUSEKEEPING PRACTICES AND PREVENTATIVE MAINTENANCE SHALL BE PERFORMED ON SITE DAILY TO PREVENT FOLLORIN SOURCES FROM CONTACTING STORMWATER AND GROUND WATER. THIS INCLUDES, BUT IS NOT LIMITED TO: EQUIPMENT INSPECTION FOR LEAKS OF HAZARDOUS MATERIALS, FUEL OIL AND PROPER DISPOSAL OF WASTE MATERIALS TO APPROVED DISPOSAL SITES, STORAGE CONTAINERS AND BAGS AWAY FROM TRAFFIC ROUTES, PUBLISHING POLLUTION PREVENTION CONCEPTS THROUGH POSTERS, WASHING EQUIPMENT AND VEHICLES AT APPROVED WASHING LOCATIONS, AND USING ONLY WATER (NOT DETERGENTS) FOR WASHING ACTIVITIES.
- AT A MINIMUM, THE EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE INSTALLED. ADDITIONAL MEASURES MAY BE REQUIRED AND SHALL BE IMMEDIATELY INSTALLED UPON ANY ADDITIONAL SILTATION, EROSION, AND OTHER DEGRADATION OR POLLUTION TO THE SITE OR ADJACENT PROPERTIES, STREAMS, DITCHES, AND PUBLIC ROADWAYS NOT NOTICED OR UNEXPECTED BY THIS SET OF PLANS.
- ALL DISTURBED AREAS LEFT INACTIVE FOR MORE THAN 13 DAYS SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH ADEM SPECIFICATIONS SECTION 607 AND 608.

TRAFFIC CONTROL NOTES:

- THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE LATEST EDITION AND REVISION OF PART VI OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE APPROVED TRAFFIC CONTROL PLAN FOR ALL CONSTRUCTION WITHIN WORK AREAS SHOWN AND DESCRIBED IN PART VI OF THE MUTCD.
- PERMANENT ROADWAY SIGNS OR TEMPORARY CONSTRUCTION SIGNS WHICH ARE NOT APPLICABLE OR INAPPROPRIATE FOR THE CURRENT CONDITIONS SHALL BE COVERED OR REMOVED.
- THE DIMENSIONS SHOWN OR DESCRIBED FOR LOCATING CONSTRUCTION SIGNS ARE NOMINAL. THE ACTUAL DIMENSIONS SHALL BE ADJUSTED TO BEST FIT LOCAL CONDITIONS AND PROVIDE MAXIMUM VISIBILITY.
- IF TRAFFIC CONTROL DEVICES ARE NECESSARY FOR PROPER WARNING AND TRAFFIC CONTROL AFTER SUNSET, THEN AS A MINIMUM, TYPE "B" WARNING LIGHTS SHALL BE PLACED ON THE FIRST WARNING SIGN AND CHANNELIZING DRUM AND TYPE "A" REFLECTIVE SHEETING SHALL BE REQUIRED ON ALL SIGNS.
- HAZARDOUS CONDITIONS ON OPEN ROADWAYS SUCH AS PAVEMENT DROP-OFFS IN EXCESS OF 2', CONSTRUCTION MATERIALS, VEHICLES, OR EQUIPMENT STORED OR PLACED WITHIN THE ROADWAY RIGHT-OF-WAY, AND OPEN TRENCHES ACCESS OR NEAR THE ROADWAY SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR IS ON SITE AND WORKING, AND PROPER TRAFFIC CONTROL MEASURES ARE BEING TAKEN.
- THE CONTRACTOR SHALL KEEP OPEN ROADWAYS CLEAN AND FREE OF CONSTRUCTION DEBRIS, DIRT, LOOSE GRAVEL OR OTHER MATERIAL THAT MAY CAUSE HAZARDOUS DRIVING CONDITIONS.
- TRAFFIC CONTROL DEVICES SHALL MEET THE STANDARD MATERIAL AND INSTALLATION REQUIREMENTS SPECIFIED IN THE CURRENT EDITION OF THE M.U.D.T. STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- ROADWAYS AND DRIVEWAYS SHALL REMAIN OPEN DURING CONSTRUCTION.
- CHANNELIZING DEVICES SHALL BE PLACED AT 10' ON CENTER ALONG MINIMUM 20' BARRIERS TO CHANNELIZE TRAFFIC INTO AND OUT OF INTERSECTING ROAD AND DRIVES WITHIN AREAS WHERE CHANNELIZING DEVICES ARE REQUIRED. TEMPORARY REGULATORY SIGNS SUCH AS STOP SIGNS AND YIELD SIGNS SHALL BE PLACED AS NECESSARY FOR PROPER TRAFFIC CONTROL IN ACCORDANCE WITH THE MUTCD.
- STANDARD LANE CLOSURE TIMES ARE 9AM-5PM MONDAY-FRIDAY FOR ALDOT ROUTES.

STORM DRAINAGE NOTES:

- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL STORM PIPE MATERIALS TO LIEB ENGINEERING PRIOR TO INSTALLATION AND/OR FABRICATION.
- ALL PROPOSED STORM INLETS (DAPES, CURB, VARI, AREA DRAINS) ARE TO BE LOCATED AT THE LOWPOINTS. DRAINING SHALL BE TO DRAIN RUNOFF TO THESE INLETS. NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- STORM DRAINAGE SYSTEMS SHALL BE CONSTRUCTED FROM DOWNSTREAM TO UPSTREAM. VERIFY ALL PIPE SLOPES, INVERTS, AND POINTS OF CONNECTION PRIOR TO CONSTRUCTION. NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED STORM PIPE (DAPES) AND POINTS OF CONNECTION PRIOR TO INSTALLATION. LIEB ENGINEERING SHALL BE NOTIFIED OF ANY DEVIATIONS PRIOR TO CONSTRUCTION.
- PROPOSED STORM PIPES SHALL BE SEDED IN 6" OF SAND.
- ALL RFP BAR SHALL BE CLASS 2 PER THE ALABAMA DEPT. OF TRANSPORTATION (ALDOT) STANDARD SPECIFICATIONS UNLESS OTHERWISE NOTED.
- ALL STORM PIPES 18" AND LESS SHALL BE SMOOTH LINED HIGH DENSITY POLYETHYLENE (HDPE) OR SCHEDULE 40 POLYVINYL CHLORIDE (PVC) WITH WATER-TIGHT JOINTS UNLESS OTHERWISE NOTED, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- ALL STORM PIPES 18" AND GREATER SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) BELL AND SPIGOT INSTALLED WITH WATER-TIGHT JOINTS UNLESS OTHERWISE NOTED.
- ALL SLOPE PAVED HEADWALLS SHALL BE PER ALDOT SPECIAL DRAWING #M-614-SR.

CONCRETE NOTES:

- ALL NORMAL WEIGHT CONCRETE SHALL OBTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS NOTED OTHERWISE.
- CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED IN THE CONCRETE.
- TEST CYLINDERS SHALL BE MADE AND TESTED AS OUTLINED IN THE ACI 301 SPECIFICATION, AND PER PROJECT SPECIFICATIONS.
- REINFORCING BARS SHALL BE DEFORMED BARS OF NEW BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60 AND PLACED IN ACCORDANCE WITH ACI-315, LATEST EDITION UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
- FABRICATION OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" ACI 315.
- UNLESS OTHERWISE NOTED, CONCRETE COVER FOR REINFORCING BARS SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF ACI 318.
- PROVIDE 3/4" BY 45 DEGREE CHAMFER ON ALL EXPOSED CONCRETE EDGES UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- TYPE I PORTLAND CEMENT SHALL BE USED IN THE MANUFACTURE OF ALL CONCRETE UNLESS OTHERWISE NOTED. PORTLAND CEMENT SHALL CONFORM TO ASTM C150. ONLY ONE BRAND OF CEMENT SHALL BE USED FOR ALL CONCRETE FOR EXPOSED SURFACES OF ADJACENT STRUCTURES.
- AGGREGATE, BOTH COARSE AND FINE, USED IN THE MANUFACTURE OF CONCRETE SHALL CONFORM TO ASTM C33 UNLESS OTHERWISE NOTED.
- CONTRACTOR MAY SUBSTITUTE CONSTRUCTION JOINTS IN LIEU OF CONTROL JOINTS AS NEEDED.
- EXPANSION JOINT MATERIAL SHALL BE BITUMINOUS TYPE PER ASTM D984.
- SEALANT SHALL BE BASF SOLIOLASTIC SL2, OR OTHER ELASTOMERIC JOINT SEALANT AS APPROVED. ALL SEALANT MATERIAL SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS.
- PAVEMENT SURFACE SHALL HAVE BROOM FINISH.

UTILITY NOTES:

- THE SITE CONTRACTOR IS RESPONSIBLE FOR COMPLETING ALL UTILITY SERVICES (WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, CABLE TV) FROM THE POINT THE RESPECTIVE UTILITY COMPANY COMPLETES THEIR WORK TO THE POINT OF CONNECTION AT THE BUILDING. NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES. REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC. PLANS FOR ALL PROPOSED UTILITY POINTS OF CONNECTION AT THE BUILDING. NOTIFY LIEB ENGINEER, LIEB ENGINEERING OF ANY DISCREPANCIES.
- BACKFLOW PREVENTION AND METERING SHALL BE PROVIDED ON THE FIRE, DOMESTIC, AND IRRIGATION SERVICES IN ACCORDANCE WITH THE FAIRHOPE PUBLIC UTILITIES (FPU).
- WATER MAINS AND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE FAIRHOPE PUBLIC UTILITIES (FPU) REQUIREMENTS. ALL MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER UNLESS OTHERWISE INDICATED ON PLANS.
- ALL SANITARY SEWER MAINS AND LATERALS SHALL BE PVC SDR 40 UNLESS OTHERWISE REQUIRED BY THE FAIRHOPE PUBLIC UTILITIES (FPU).
- ALL UNDERGROUND ELECTRICAL, TELEPHONE, AND CABLE TV SHALL BE INSTALLED IN PVC CONDUIT OR CONCRETE ENCASED DUCT BANK WITH FULL WIRE MEETING FAIRHOPE PUBLIC UTILITIES (FPU) REQUIREMENTS. INFORMATION SHOWN ON SITE DRAWINGS FOR REFERENCE ONLY. REFER TO ELECTRICAL PLANS FOR SPECIFIC INFORMATION.
- FPU INSPECTORS REQUIRE CONTRACTOR TO NOTIFY WITHIN 48 HOURS NOTICE FOR UTILITY LOCATIONS AND CONNECTION OPERATIONS. CONTRACTOR'S AUTHORIZED UTILTY INSPECTOR HAS APPROVED INSTALLATION METHODS.
- UTILITY TRENCHES SHALL BE BACKFILLED WITH COMPACTED FILL PLACED IN 4 INCH LOOSE LIFTS. FILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR AND OPTIMUM MOISTURE CONTENT WITHIN 4.5%.
- WHEN INSTALLING UTILITIES IN EXISTING PAVED AREAS OR IN AREAS WHERE SOILS ARE CONSIDERED UNSUITABLE FOR BEDDING OR BACKFILLING, UTILITY TRENCHES SHALL BE BACKFILLED FULL DEPTH WITH SAND.
- WHERE UTILITIES ARE TO BE INSTALLED IN AREAS OF EXISTING PAVING, LANDSCAPE, SIDEWALKS, ETC. CONTRACTOR SHALL SAWCUT AND REMOVE EXISTING PAVING, LANDSCAPE, SIDEWALK, ETC. AND REPLACE IN LIKE KIND AND RESTRIPE AS NECESSARY. BACKFILL TRENCH FULL DEPTH WITH SAND.
- ALL WATER AND SEWER PIPING TO BE INSTALLED AS PER 2018 INTERNATIONAL PLUMBING CODE AND LOCAL ORDINANCE.

| REVISIONS: | | |
|------------|--------------------------|-----------|
| A | ISSUED FOR REVIEW | 8/26/2025 |
| B | ADDRESSING CITY COMMENTS | 9/16/2025 |
| | | |
| | | |
| | | |
| | | |



LIEB ENGINEERING COMPANY
1290 MAIN STREET, SUITE E
DAPHNE, AL 36520
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER
ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

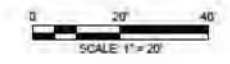
JOB NUMBER: 2025-008
DRAWN BY: JLG
DATE: 8/26/2025
SCALE: NO SCALE
CHECKED BY: CJL
APPROVED BY: CJL
ENGR: CJL

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|---------------------------------------|---------|
| FAIRHOPE WENDY'S | |
| CIVIL NOTES | |
| FAIRHOPE, AL | |
| OWNER: WENDELTA PROPERTY HOLDINGS LLC | |
| SHEET NUMBER | 2 OF 13 |

C2.0 B

ISSUED FOR REVIEW



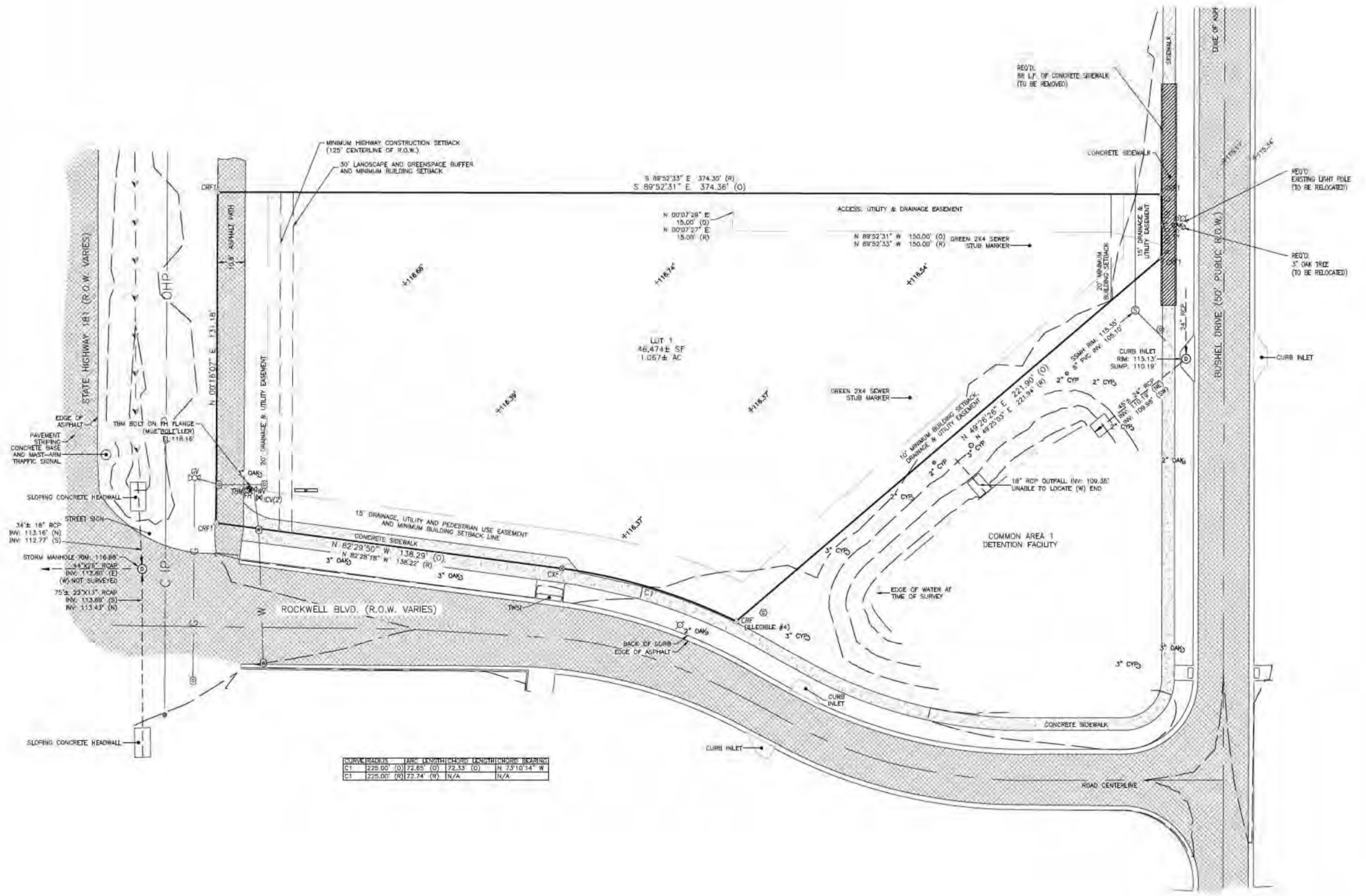


NOTES:

1. SEE SHEET C2.0 FOR ALL GENERAL NOTES.

LEGEND

- EXISTING ASPHALT PAVING
- TO BE REMOVED



| CURVE | BEARING | ANGLE | LENGTH | CHORD | CHORD BEARING |
|-------|-------------|------------|------------|----------------|---------------|
| C1 | 225.00° (O) | 72.85° (O) | 72.33' (O) | N 73°10'14\" W | |
| C1 | 225.00° (R) | 72.74° (R) | N/A | N/A | |

ISSUED FOR REVIEW

| REVISIONS | | |
|-----------|-------------------|-----------|
| A | ISSUED FOR REVIEW | 8/26/2025 |
| | | |
| | | |
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LIEB ENGINEERING COMPANY
 129D MAIN STREET, SUITE E
 DAPHNE, AL 36526
 PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.
 ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

| | | | |
|------------|-----------------|------------------|---------------|
| JOB NUMBER | DRAWN BY: JLG | DATE: 8/26/2025 | SCALE: 1"=20' |
| 2025-006 | CHECKED BY: CJL | APPROVED BY: CJL | ENGR: CJL |

FAIRHOPE WENDY'S
 EXISTING CONDITIONS & DEMOLITION PLAN
 FAIRHOPE, AL
 OWNER: WENDELTA PROPERTY HOLDINGS LLC

| | | |
|--------------|------|---|
| SHEET NUMBER | C3.0 | A |
| 3 OF 13 | | |

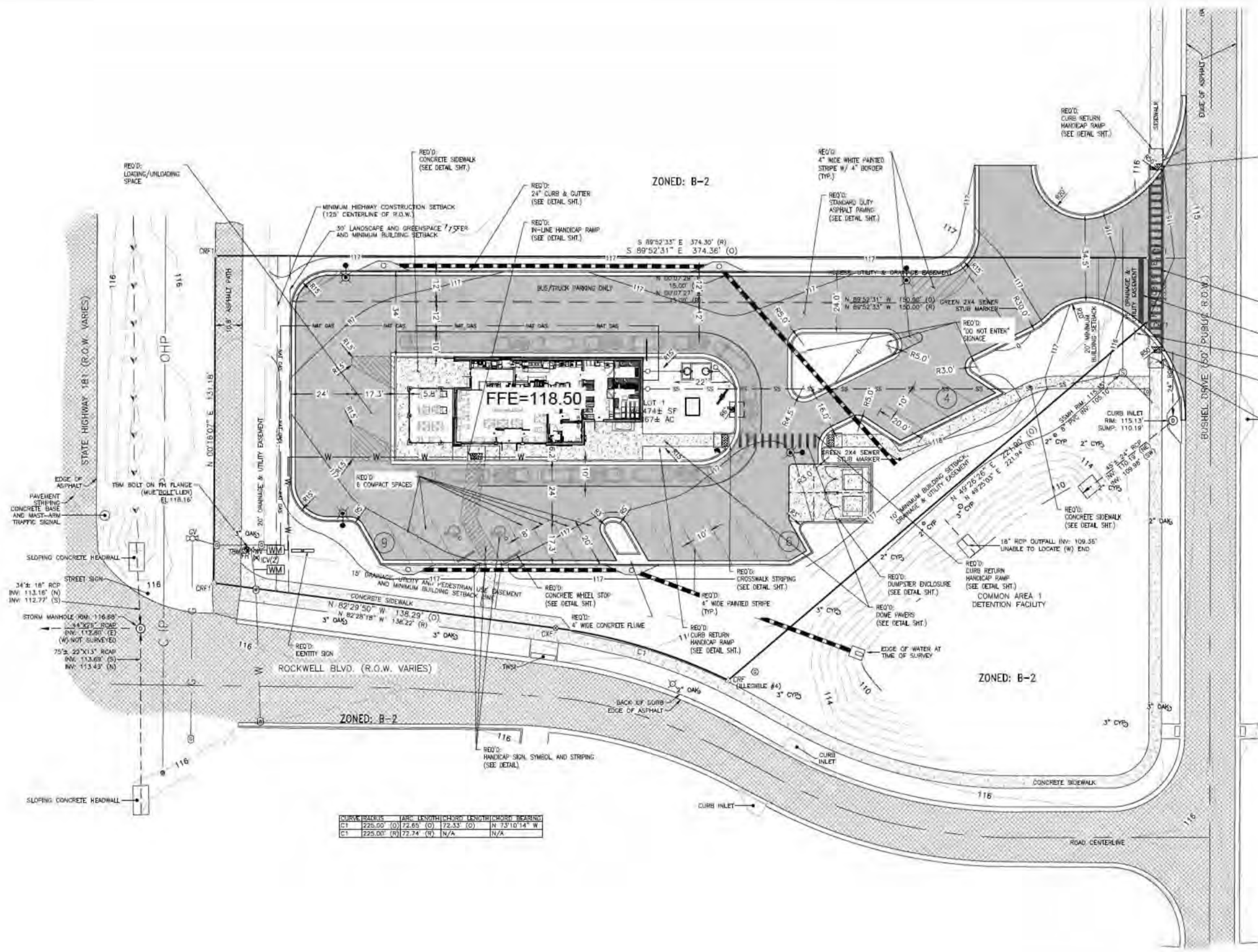


LEGEND

- STANDARD DUTY ASPHALT PAVING
- CONCRETE SIDEWALK
- EXISTING ASPHALT PAVING

NORTH

SCALE 1"=20'



NOTES:

- SEE SHEET C2.0 FOR ALL GENERAL NOTES!

SITE DATA:

- | | |
|--|---------------------------------|
| 1. PROPOSED USE: | RESTAURANT |
| 2. ZONING: | B-2 GENERAL BUSINESS |
| 3. TOTAL AREA: | 1.07± AC. (46,474 S.F.) |
| 4. BUILDING S.F.: | 2,370 S.F. |
| 5. PARKING SPACES REQUIRED: | 14 (85 SEATS) |
| 6. PARKING SPACES PROVIDED: | 19 (6 ARE COMPACT) |
| 7. BUILDING HEIGHT: | 20'-2" |
| 8. TOTAL GROSS FLOOR AREA: | 2,370 S.F. (0.05 AC.) (05.17%) |
| 9. PROPOSED BUILDING COVERAGE: | 2,370 S.F. (0.61 AC.) (52.50%) |
| 10. PERCENTAGE IMPERVIOUS AREA EXCLUDING BUILDING: | 24,422 S.F. (0.61 AC.) (52.50%) |
| 11. PERCENTAGE LANDSCAPING: | 19,682 S.F. (0.45 AC.) (42.33%) |
| 12. PERCENTAGE GREENSPACE: | 19,682 S.F. (0.45 AC.) (42.33%) |

| CURVE | BEARING | CHORD LENGTH | CHORD BEARING | CHORD BEARING |
|-------|-------------|--------------|---------------|---------------|
| C1 | 225.00° (O) | 72.85' (O) | 72.33° (O) | N 73°10'14" W |
| C2 | 225.00° (R) | 72.74' (R) | N/A | N/A |

ISSUED FOR REVIEW

| REVISIONS | DESCRIPTION | DATE |
|-----------|-------------------|-----------|
| A | ISSUED FOR REVIEW | 8/26/2025 |

LIBENGINEERING COMPANY

ALBAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
 ALBAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

1290 MAIN STREET, SUITE E
 DAPHNE, AL 36526
 PH: (251) 978-9779

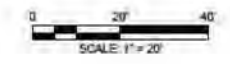
NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.

JOB NUMBER: 2025-008
 DRAWN BY: JLG
 CHECKED BY: CJL
 DATE: 8/26/2025
 APPROVED BY: CJL
 SCALE: 1"=20'
 ENGR: CJL

FAIRHOPE WENDY'S
 SITE PLAN
 FAIRHOPE, AL
 OWNER: WENDELTA PROPERTY HOLDINGS LLC

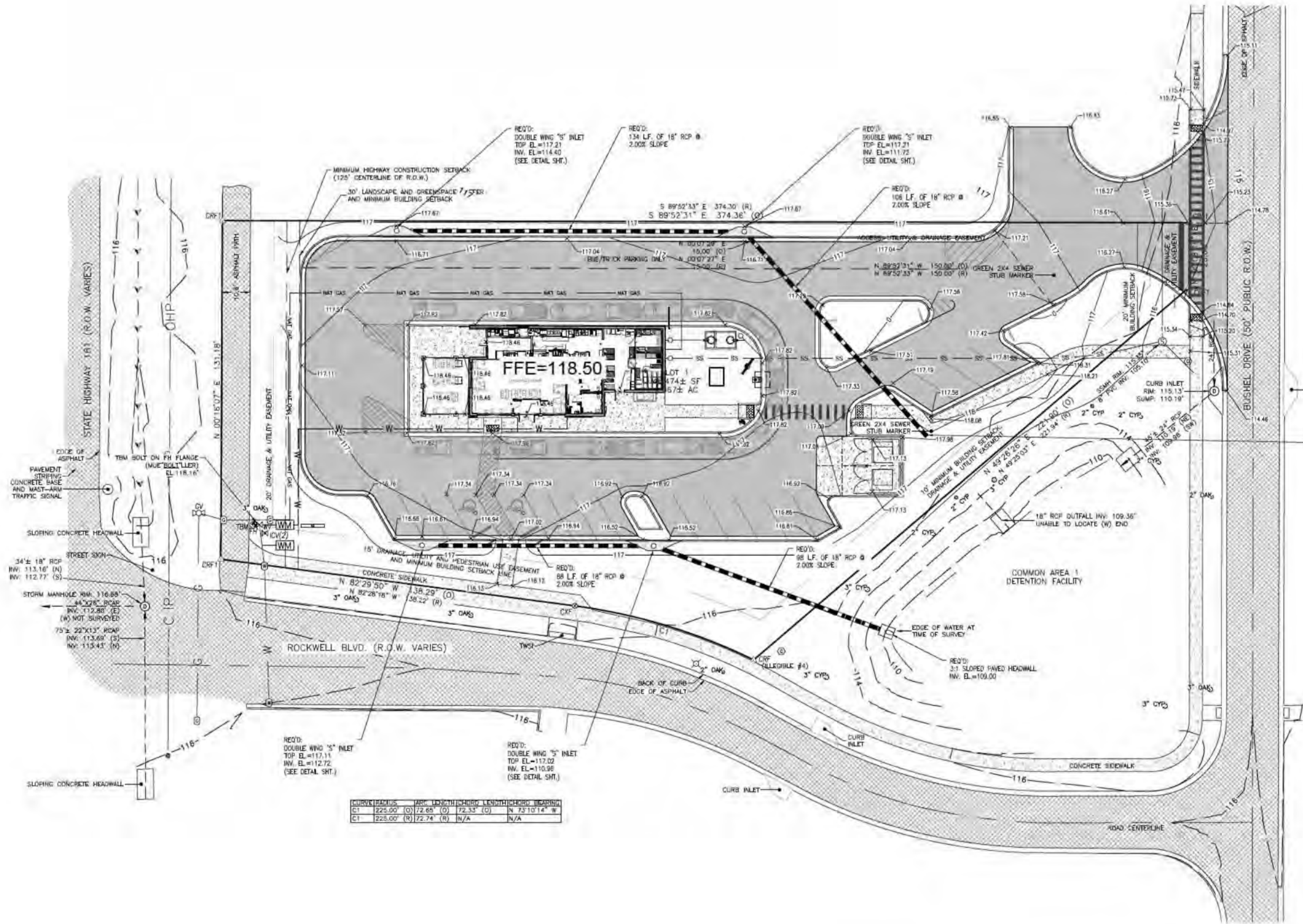
SHEET NUMBER: 4 OF 13
 C4.0 A

ALABAMA REGISTERED PROFESSIONAL ENGINEER
 No. 31204
 CHRISTOPHER JAY LIEB
 8/26/2025



NOTES:
SEE SHEET C5.0 FOR ALL GENERAL NOTES.

| LEGEND | |
|--------|------------------------------|
| | STANDARD DUTY ASPHALT PAVING |
| | CONCRETE SIDEWALK |
| | EXISTING ASPHALT PAVING |



| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH | CHORD BEARING |
|-------|-------------|------------|--------------|---------------|
| C1 | 225.00' (O) | 72.65' (O) | 72.33' (O) | N 73°10'14" W |
| C1 | 225.00' (R) | 72.74' (R) | N/A | N/A |

ISSUED FOR REVIEW

| REVISIONS | | |
|-----------|-------------------|-----------|
| A | ISSUED FOR REVIEW | 8/26/2025 |
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| | | |
| | | |
| | | |

LIBB ENGINEERING COMPANY
1290 MAIN STREET, SUITE E
DAPHNE, AL 36526
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.
ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2025-008
DRAWN BY: JLG
CHECKED BY: CJL
DATE: 8/26/2025
APPROVED BY: CJL
SCALE: 1"=20'
ENGR: CJL

| | |
|--|--------|
| FAIRHOPE WENDY'S GRADING & DRAINAGE PLAN FAIRHOPE, AL OWNER: WENDELTA PROPERTY HOLDINGS LLC | |
| SHEET NUMBER 5 OF 13 | C5.0 A |





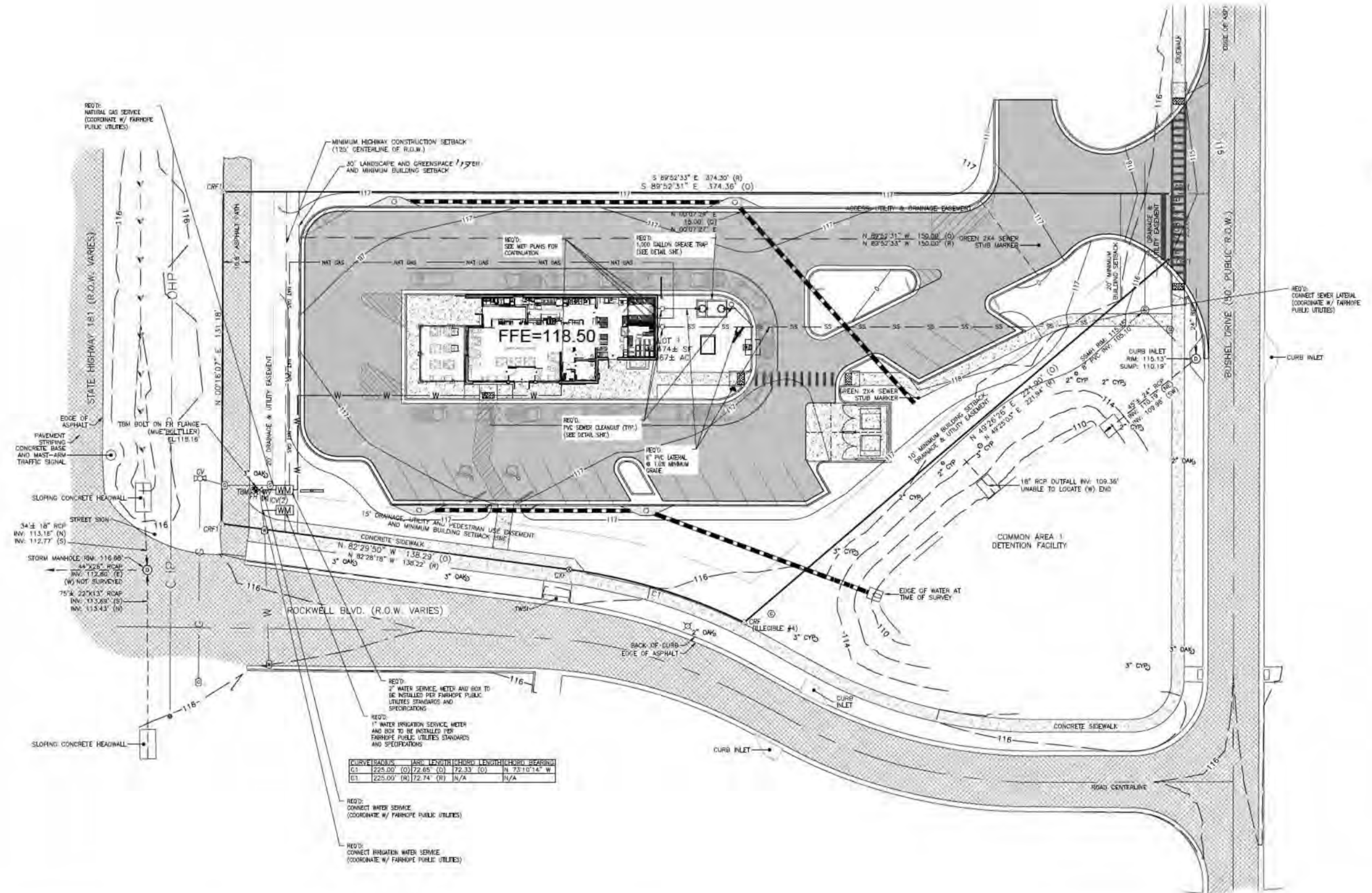
0 20 40
SCALE 1"=20'

NOTES:

- SEE SHEET C2.0 FOR GENERAL NOTES.
- CLEANOUTS ON THE SEWER LINE SHALL BE INSTALLED AT THE CONNECTION TO THE BUILDING 5' OUTSIDE THE FACE OF THE BUILDING. ALL 6" PIPES SHALL HAVE CLEANOUTS INSTALLED AT 100' INTERVALS.
- COORDINATE GREASE TRAP SIZE WITH MEP DRAWINGS.
- ALL PLUMBING FIXTURES THAT DISCHARGE WASTEWATER CONTAINING FAT, OIL AND GREASE (FOG)-INCLUDING BUT NOT LIMITED TO MITCHER SINKS, DISHWASHERS, FLOOR DRAINS IN FOOD PREP AREAS, AND WOP SINKS-SHALL BE ROUTED THROUGH A DEDICATED GREASE WASTE LINE. THIS LINE SHALL CONNECT TO A PROPERLY SIZED AND APPROVED GREASE INTERCEPTOR PRIOR TO DISCHARGING INTO THE SANITARY SEWER SYSTEM.
- NO FOG-PRODUCING FIXTURE SHALL BE CONNECTED DIRECTLY TO THE BUILDING'S BLACK WATER (SANITARY SEWER) DRAINAGE SYSTEM. TOILETS, URINALS, AND OTHER SANITARY FIXTURES SHALL DISCHARGE SEPARATELY INTO THE SANITARY SEWER SYSTEM WITHOUT PASSING THROUGH THE GREASE INTERCEPTOR.
- THE GREASE INTERCEPTOR SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL PLUMBING CODE (IPC) SECTION 408.3.3.3, ASME A112.14.3, AND APPLICABLE LOCAL REGULATIONS INCLUDING FAIRHOPE BUILDING STANDARDS.
- THE INTERCEPTOR TYPE (HYDROMECHANICAL OR GRAVITY), LOCATION, CAPACITY, INVERT ELEVATIONS, PIPE SIZE AND SLOPE, FLOW DIRECTION, CLEANOUTS, AND MANHOLES, AND ACCESS SHALL BE CLEARLY INDICATED ON THE PLUMBING PLANS. ALL GREASE WASTE PIPING SHALL BE LABELED AND SIZED APPROPRIATELY, WITH CLEANOUTS PROVIDED PER CODE.
- MAINTENANCE ACCESS SHALL BE PROVIDED FOR ALL GREASE INTERCEPTORS, AND THE FACILITY OWNER SHALL BE RESPONSIBLE FOR REGULAR CLEANING AND DOCUMENTATION OF SERVICE.
- BUILDING WILL NOT REQUIRE A SHOWER SYSTEM.

LEGEND

| | |
|--|------------------------------|
| | STANDARD DUTY ASPHALT PAVING |
| | CONCRETE SIDEWALK |
| | EXISTING ASPHALT PAVING |



| CURVE RADII | AND LENGTHS | CHORD LENGTH | CHORD BEARING |
|-------------|----------------------|--------------|---------------|
| C1 | 225.00 (O) 72.65 (O) | 72.33 (O) | N 73.10°14' W |
| C2 | 225.00 (R) 72.74 (R) | N/A | N/A |

REQ'D: CONNECT WATER SERVICE (COORDINATE W/ FAIRHOPE PUBLIC UTILITIES)

REQ'D: CONNECT IRRIGATION WATER SERVICE (COORDINATE W/ FAIRHOPE PUBLIC UTILITIES)

ISSUED FOR REVIEW

| REVISIONS | | | |
|-----------|--------------------------|-----------|--|
| A | ISSUED FOR REVIEW | 8/26/2025 | |
| B | ADDRESSING CITY COMMENTS | 9/16/2025 | |
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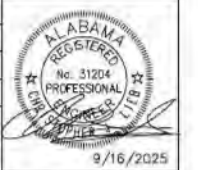
LIBENGINEERING COMPANY

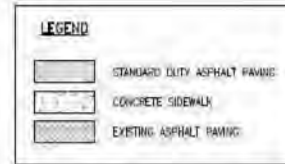
LIB ENGINEERING COMPANY
1290 MAIN STREET, SUITE E
DAPHNE, AL 36526
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.
ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2025-008
DRAWN BY: JLG
CHECKED BY: CJL
DATE: 8/26/2025
APPROVED BY: CJL
SCALE: 1"=20'
ENGR: CJL

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| FAIRHOPE WENDY'S UTILITY PLAN FAIRHOPE, AL OWNER: WENDELTA PROPERTY HOLDINGS LLC | SHEET NUMBER 6 OF 13 | C6.0 B |
|---|-------------------------|--------|



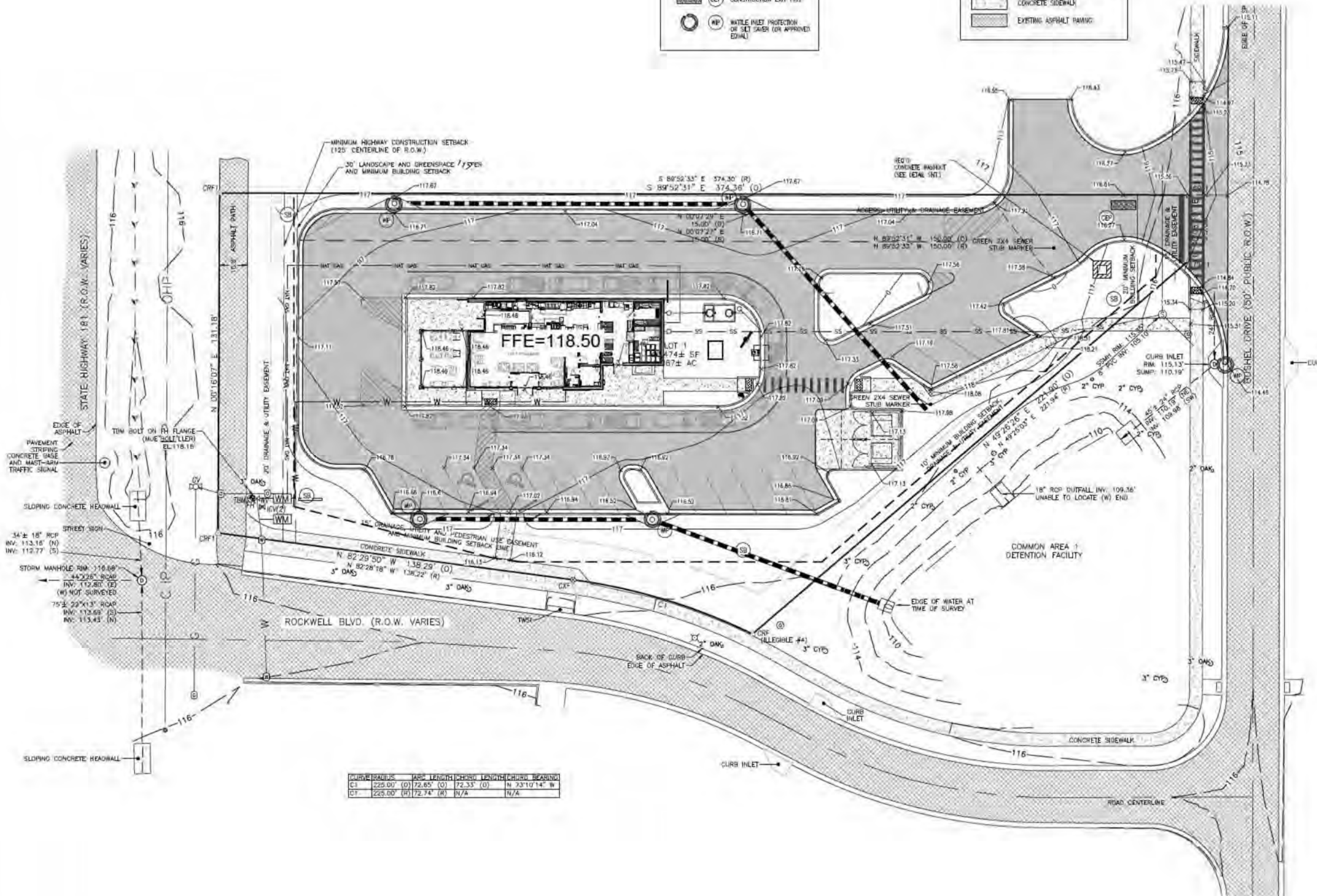


NOTES:

SEE SHEET C7.0 FOR ALL GENERAL NOTES.

EROSION CONTROL NOTES:

- SITE EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS, CODES, AND REGULATIONS.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING THE CONSTRUCTION PROCESS AND UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- EROSION CONTROL DEVICES SHOWN ON THESE PLANS ARE A MINIMUM. ADDITIONAL DEVICES SHALL BE INSTALLED AS REQUIRED TO PREVENT SILTATION, EROSION AND OTHER DEGRADATION OR POLLUTION TO THE SITE OR ADJACENT PROPERTIES, STREAMS, DITCHES, AND PUBLIC ROADWAYS.
- EROSION CONTROL DEVICES SHALL INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING DEVICES: SILT FENCING, BRUSH BERMS, SEDIMENT BASINS, DETENTION PONDS, STRAW WATTLES, CHECK DAMS, FILTER BERMS, JUTE MATTING, VEGETATIVE FILTER STRIPS, TURF REINFORCEMENT MAT, DIVERSION BERMS, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES IN GOOD OPERATING CONDITION DURING ALL LAND DISTURBING ACTIVITIES. THIS RESPONSIBILITY SHALL INCLUDE THE CLEANUP AND/OR REPAIRS TO THE DEVICES AT NO ADDITIONAL COST TO THE OWNER.
- EROSION CONTROL DEVICES SHALL BE MONITORED AND MAINTAINED UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD, ANY WINDS GREATER THAN 25 MPH, AND ANY SUSTAINED WINDS GREATER THAN 20 MPH IN A 24 HOUR PERIOD.
- AFTER ALL LAND DISTURBANCE ACTIVITIES HAVE CEASED AND AFTER ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED, THE EROSION CONTROL DEVICES SHALL BE REMOVED BY THE CONTRACTOR AND THE AREA CLEANED AND DRESSED.
- DECONTAMINATING OPERATIONS MAY NOT BE DECONSTRUCTED IN A MANNER THAT CAUSES EROSION OF THE SITE OR POLLUTION TO ADJACENT PROPERTIES, STREAMS, DITCHES, OR PUBLIC ROADWAYS.
- A DRAVELED ACCESS DRIVE OF SUFFICIENT SIZE SHALL BE AT EACH SITE ENTRANCE/EXIT TO PREVENT TRACKING OF DIRT AND SEDIMENT ONTO PUBLIC OR PRIVATE ROADWAYS. IF SEDIMENT REACHES THE ROADWAY, THEN IT MUST BE CLEANED AT THE END OF EACH WORKDAY.
- ALL LAND DISTURBANCE ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE EXPOSURE OF BARE AREAS AT ANY ONE TIME.
- ALL DISTURBED AREAS LEFT INACTIVE FOR MORE THAN 10 DAYS SHALL BE SEEDED AND MULCHED.
- PRIOR TO SITE CLEARING, ALL PERIMETER SILT FENCING, BRUSH BERMS, ETC. AND DRAVELED ACCESS DRIVES SHALL BE INSTALLED.
- ALL EXISTING STREAMS, DITCHES, ETC. SHALL BE PROTECTED FROM SEDIMENTS AND SILTS BY SILT FENCING, WATTLES, BRUSH BERMS, ETC.
- WATTLES OR SILT FENCING SHALL BE INSTALLED AT ALL INLETS UPON THE COMPLETION OF EACH INLET AS INSTALLED.
- RIP RAP SHALL BE PLACED AT EACH HEADWALL IMMEDIATELY FOLLOWING CONSTRUCTION OF EACH HEADWALL.
- GEOTEXTILE SHALL BE PLACED ON ALL 2:1 SIDE SLOPES. GEOTEXTILE SHALL BE NORTH AMERICAN GREEN S2150 OR APPROVED EQUAL UNLESS OTHERWISE NOTED ON PLANS. ALL GEOTEXTILES SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- GEOTEXTILE SHALL BE PLACED ON ALL 3:1 SIDE SLOPES. GEOTEXTILE SHALL BE NORTH AMERICAN GREEN S150 OR APPROVED EQUAL UNLESS OTHERWISE NOTED ON PLANS. ALL GEOTEXTILES SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- GEOTEXTILE SHALL BE PLACED ON ALL DITCH BOTTOMS & 1' UP EACH SIDE. GEOTEXTILE SHALL BE NORTH AMERICAN GREEN S2150 OR APPROVED EQUAL UNLESS OTHERWISE NOTED ON PLANS. ALL GEOTEXTILES SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- GOOD HOUSEKEEPING PRACTICES AND PREVENTATIVE MAINTENANCE SHALL BE PERFORMED ON SITE DAILY TO PREVENT POLLUTION SOURCES FROM CONTACTING STORMWATER AND GROUND WATER. THIS INCLUDES, BUT IS NOT LIMITED TO: EQUIPMENT INSPECTION FOR LEAKS OF HAZARDOUS MATERIALS, PICKUP AND PROPER DISPOSAL OF WASTE MATERIALS TO APPROVED DISPOSAL SITES, STORING CONTAINERS AND BAGS AWAY FROM TRAFFIC ROUTES, PUBLICIZING POLLUTION PREVENTION CONCEPTS THROUGH POSTERS, WASHING EQUIPMENT AND VEHICLES AT APPROVED WASHING LOCATIONS, AND USING ONLY WATER (NO DETERGENTS) FOR WASHING ACTIVITIES.
- AT A MINIMUM, THE EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE INSTALLED. ADDITIONAL MEASURES MAY BE REQUIRED AND SHALL BE IMMEDIATELY INSTALLED UPON ANY ADDITIONAL SILTATION, EROSION, AND OTHER DEGRADATION OR POLLUTION TO THE SITE OR ADJACENT PROPERTIES, STREAMS, DITCHES, AND PUBLIC ROADWAYS NOT ANTICIPATED OR UNFORESSEEN BY THIS SET OF PLANS.
- THE CONTRACTOR SHALL SIZE, INSTALL, AND MAINTAIN ADEQUATE CONTROLS FOR THE SITE. REFER TO THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT FOR CONSTRUCTION SITES AND URBAN AREAS, LATEST EDITION.



| PIPE/TRAFFIC | ARC LENGTH | CHORD LENGTH | CHORD BEARING |
|--------------|-------------|--------------|---------------|
| C1 | 225.00' (O) | 72.65' (O) | N 73°10'14" W |
| C2 | 225.00' (O) | 72.74' (A) | N/A |

| REVISIONS | | |
|-----------|-------------------|-----------|
| A | ISSUED FOR REVIEW | 8/26/2025 |
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LIEB ENGINEERING COMPANY
1290 MAIN STREET, SUITE E
DAPHNE, AL 36526
PH: (251) 978-9779

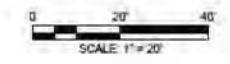
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ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2025-008
DRAWN BY: JLG
CHECKED BY: CJL
DATE: 8/26/2025
APPROVED BY: CJL
SCALE: 1"=20'
ENGR: CJL

FAIRHOPE WENDY'S
EROSION CONTROL PLAN
FAIRHOPE, AL
OWNER: WENDELTA PROPERTY HOLDINGS LLC
SHEET NUMBER: 7 OF 13
C7.0 A

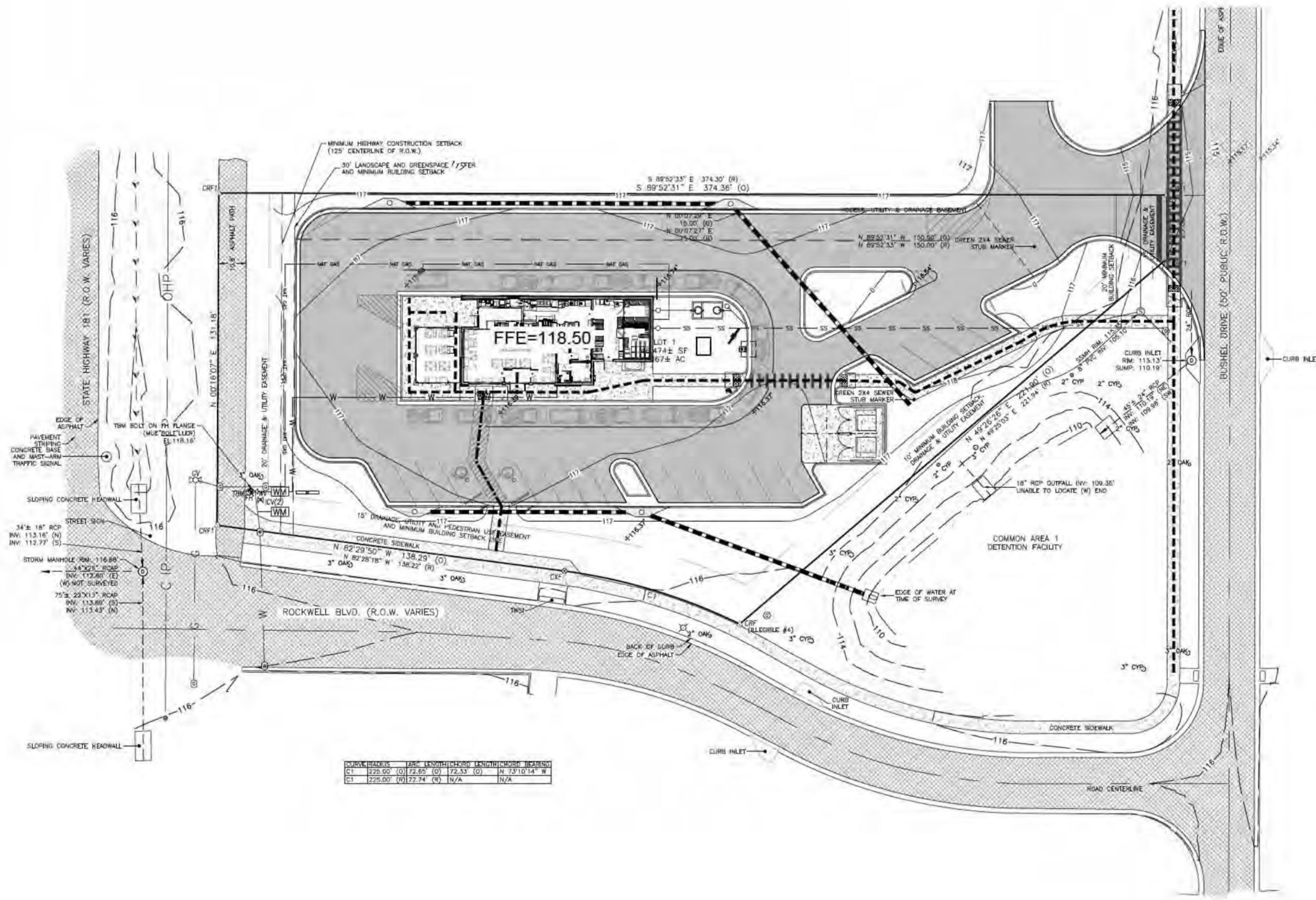
ISSUED FOR REVIEW





NOTES:
1. SEE SHEET C2.0 FOR ALL GENERAL NOTES.

| LEGEND | |
|--------|------------------------------|
| | STANDARD DUTY ASPHALT PAVING |
| | CONCRETE SIDEWALK |
| | EXISTING ASPHALT PAVING |
| | PEDESTRIAN ROUTE |
| | ADA ROUTE |



| CURB INLET | DATE | LENGTH | CHORD LENGTH | CHORD BEARING |
|------------|-------------|------------|--------------|---------------|
| C1 | 225.00' (O) | 72.85' (O) | 72.33' (O) | N 75°10'14" W |
| C1 | 225.00' (R) | 72.74' (R) | N/A | N/A |

ISSUED FOR REVIEW

| REVISIONS | | |
|-----------|-------------------|-----------|
| A | ISSUED FOR REVIEW | 8/26/2025 |
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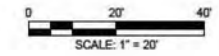
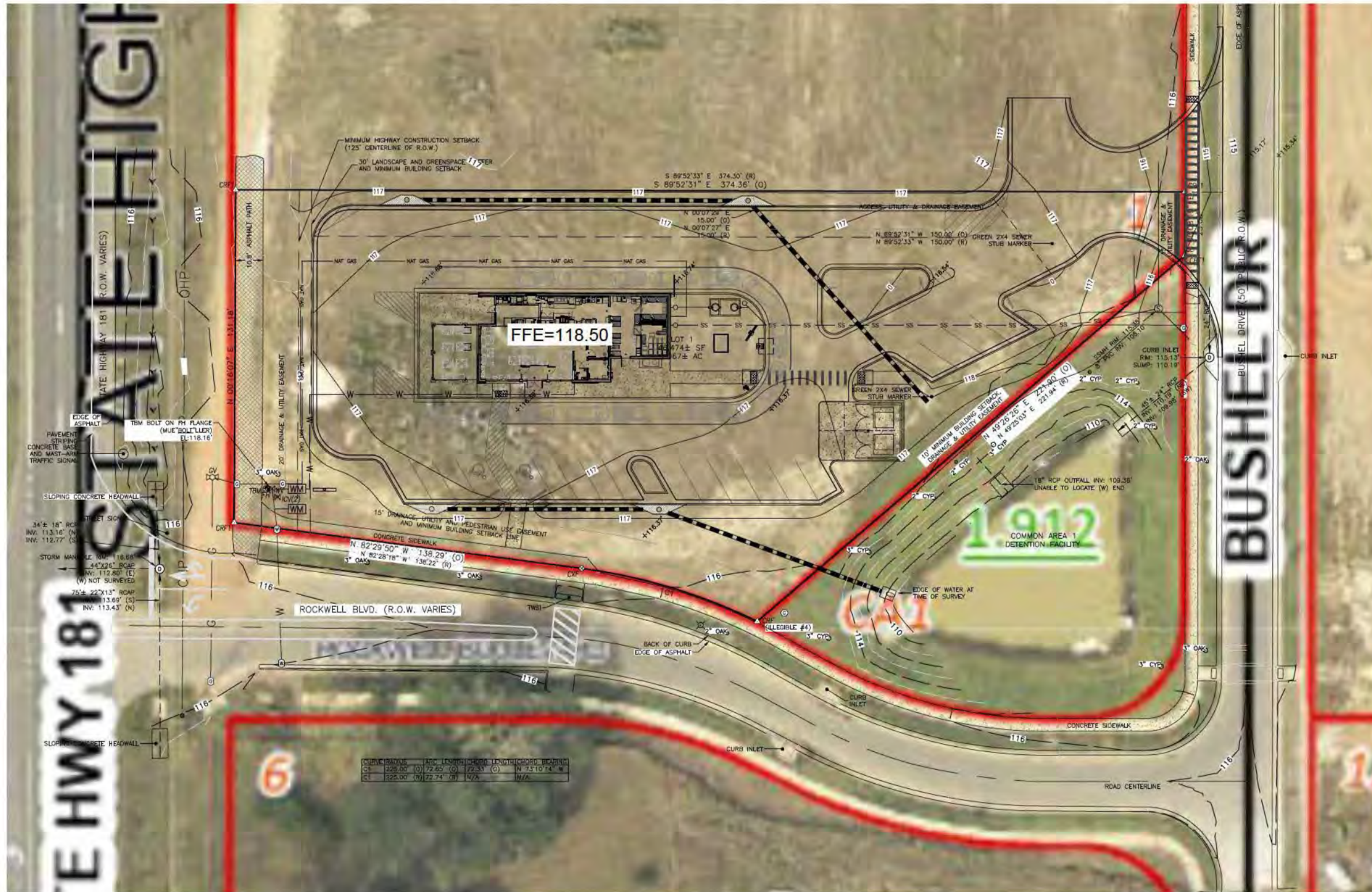
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 ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

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|------------|-----------------|------------------|---------------|
| JOB NUMBER | DRAWN BY: JLG | DATE: 8/26/2025 | SCALE: 1"=20' |
| 2025-008 | CHECKED BY: CJL | APPROVED BY: CJL | ENGR: CJL |

FAIRHOPE WENDY'S
 PEDESTRIAN CIRCULATION PLAN
 FAIRHOPE, AL
 OWNER: WENDELTA PROPERTY HOLDINGS LLC

| | | |
|--------------|------|---|
| SHEET NUMBER | C8.0 | A |
| B OF 13 | | |





NOTES:

- SEE SHEET C2.0 FOR ALL GENERAL NOTES.

LEGEND

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| | STANDARD DUTY ASPHALT PAVING |
| | CONCRETE SIDEWALK |
| | EXISTING ASPHALT PAVING |

ISSUED FOR REVIEW

| REVISIONS | | |
|-----------|-------------------|-----------|
| A | ISSUED FOR REVIEW | 8/26/2025 |
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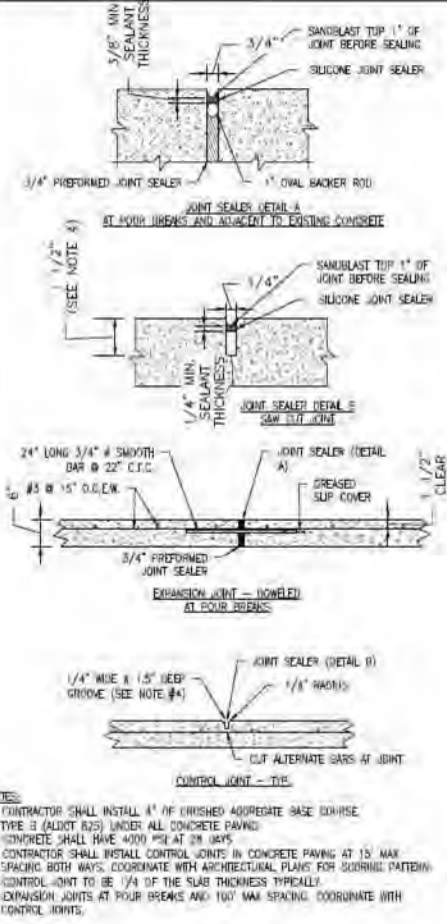
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1290 MAIN STREET, SUITE E
DAPHNE, AL 36526
PH: (251) 978-9779

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ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2025-006
DRAWN BY: JLG
CHECKED BY: CJL
DATE: 8/26/2025
APPROVED BY: CJL
SCALE: 1"=20'
ENGR: CJL

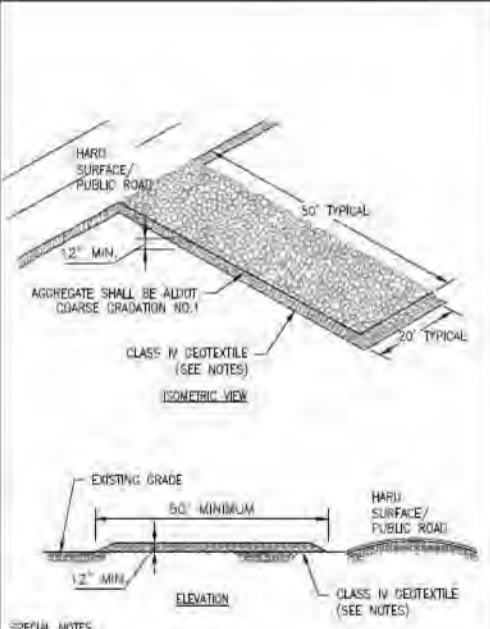
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| FAIRHOPE WENDY'S | |
| AERIAL OVERLAY | |
| FAIRHOPE, AL | |
| OWNER: WENDELTA PROPERTY HOLDINGS LLC | |
| SHEET NUMBER | C9.0 |
| 9 OF 13 | A |





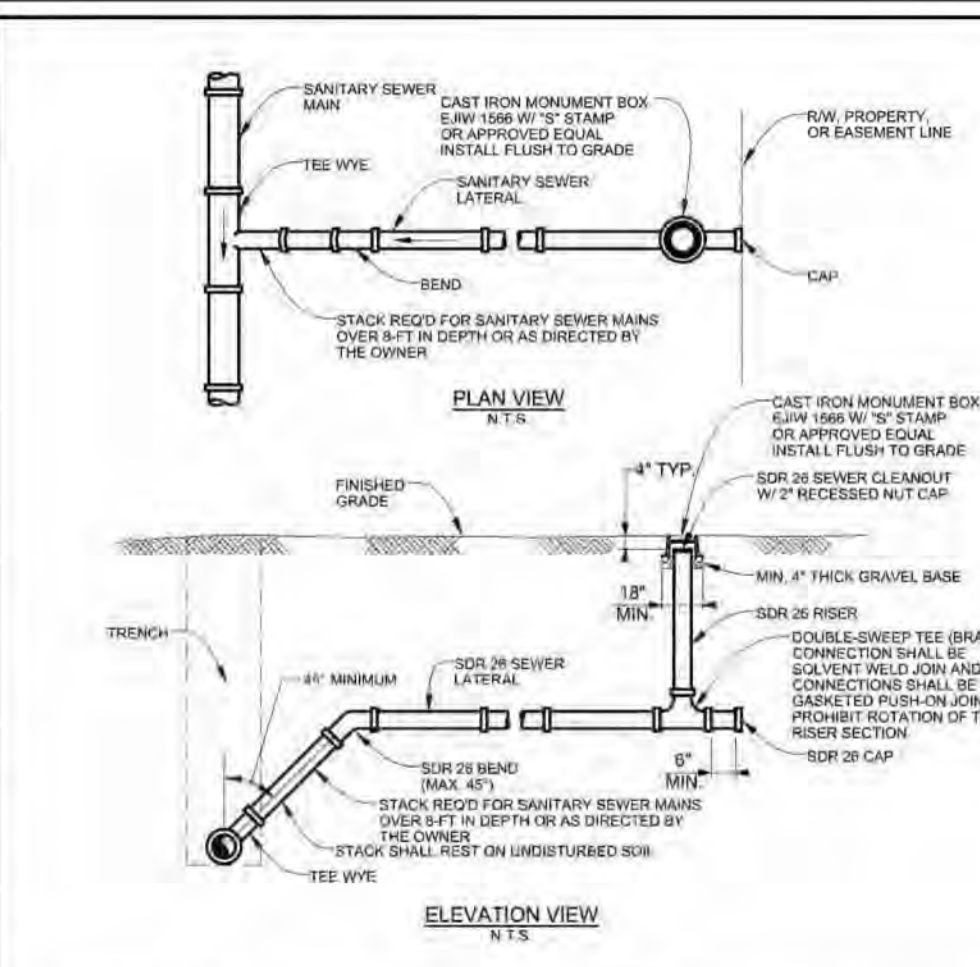
CONCRETE PAVING DETAIL
N.T.S.

- NOTES:**
- CONTRACTOR SHALL INSTALL 4" OF CRUSHED AGGREGATE BASE COURSE TYPE 3 (ALDOT 825) UNDER ALL CONCRETE PAVING.
 - CONCRETE SHALL HAVE 4000 PSI AT 28 DAYS.
 - CONTRACTOR SHALL INSTALL CONTROL JOINTS IN CONCRETE PAVING AT 15' MAX SPACING BOTH WAYS. COORDINATE WITH ARCHITECTURAL PLANS FOR SIGHTING PATTERNS.
 - CONTROL JOINT TO BE 1/4" OF THE SLAB THICKNESS TYPICALLY.
 - EXPANSION JOINTS AT FOUR BAYS AND 100' MAX SPACING. COORDINATE WITH CONTROL JOINTS.

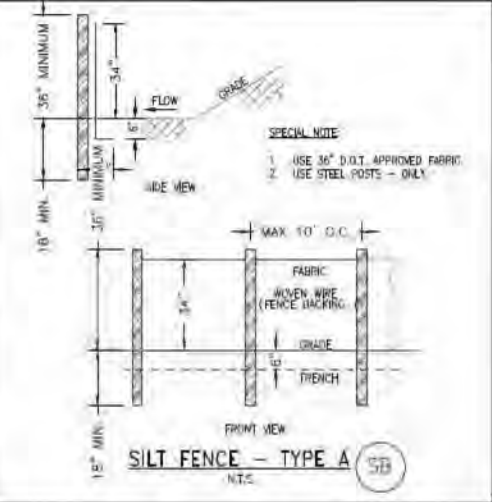


CONSTRUCTION EXIT PAD
N.T.S.

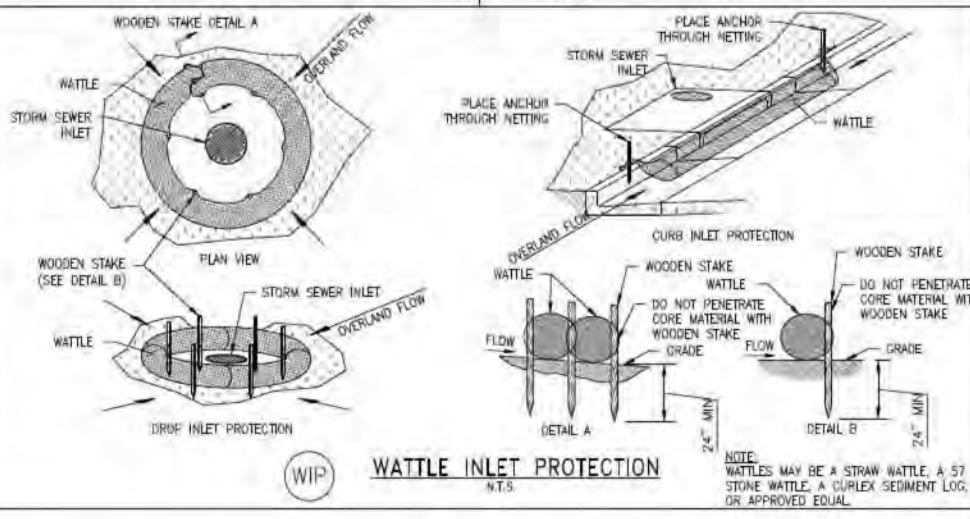
- SPECIAL NOTES:**
- A STABILIZED PAD OF CRUSHED STONE SPREAD OVER FILTER FABRIC SHALL BE LOCATED WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC STREET. THE STONE SHALL BE ALDOT GRADATION NO. 1 STONE. FILTER FABRIC SHALL BE NONWOVEN GEOTEXTILE CLASS IV OR EQUAL. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED INTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY BY STREET CLEANING (NOT FLUSHING). WHEN NECESSARY, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.
 - IF THE PAD SLOPE TOWARD THE ROAD EXCEEDS 2%, A DIVERSION RIDGE 6" - 8" HIGH WITH 3:1 SIDE SLOPES MUST BE CONSTRUCTED ACROSS THE FOUNDATION APPROXIMATELY 15' AWAY FROM THE ROAD AND DRAIN INTO A SEDIMENT TRAP OR BASIN.



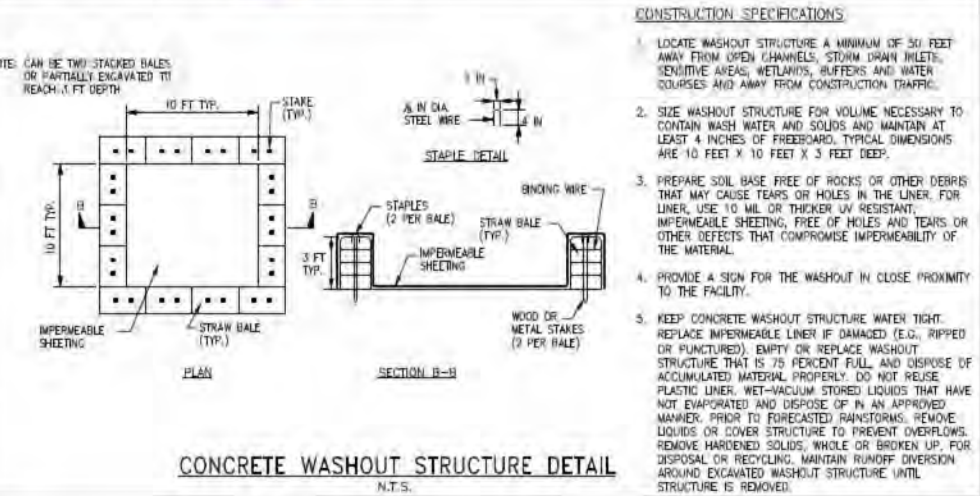
- NOTE:**
- SANITARY SEWER LATERALS SHALL BE 4" SDR 26 UNLESS DIRECTED OTHERWISE BY THE OWNER.
 - DOUBLE SWEEP TEES SHALL HAVE SOLVENT WELD JOINTS FOR THE BRANCH CONNECTIONS AND GASKETED PUSH-ON JOINTS FOR THE RUN CONNECTIONS.
 - NON-SEIZE GREASE SUITABLE FOR USE WITH PVC FITTINGS SHALL BE APPLIED TO THE THREADS OF THE CLEANOUT CAP.
 - WHERE THE SANITARY SEWER MAIN IS PVC C900, THE TEE-WYE SHALL BE GASKETED C-900.
 - CLEANOUTS SHALL BE INSTALLED AS NEAR TO THE R/W, PROPERTY, OR EASEMENT LINE AS POSSIBLE. IF A CLEANOUT IS TO BE INSTALLED WHERE SIDEWALK IS EITHER EXISTING OR PROPOSED, IT SHALL BE PLACED BETWEEN THE SIDEWALK AND THE R/W LINE WHERE PRACTICAL. IF THE SIDEWALK IS INSTALLED AT THE R/W LINE, THE CLEANOUT SHALL BE PLACED BETWEEN THE SIDEWALK AND THE EDGE OF PAVEMENT IMMEDIATELY ADJACENT TO THE SIDEWALK. THE CLEANOUT SHALL NOT BE PLACED IN THE SIDEWALK OR A PAVED DRIVEWAY UNLESS APPROVED IN WRITING BY THE FAIRHOPE UTILITIES AND THE CITY OF FAIRHOPE.
 - NO HORIZONTAL BENDS SHALL BE ALLOWED BETWEEN THE MAIN AND THE CLEANOUT UNLESS APPROVED IN WRITING BY THE CITY OF FAIRHOPE WHERE HORIZONTAL BENDS ARE ALLOWED, AN ADDITIONAL CLEANOUT SHALL BE INSTALLED AT EACH BEND.
 - PVC LATERALS SHALL BE MARKED WITH 14-GAUGE COATED COPPER WIRE BURIED 3 TO 6 INCHES ABOVE THE TOP OF THE PIPE IN ACCORDANCE WITH SECTION 400.07 OF FAIRHOPE UTILITIES' STANDARD SPECIFICATIONS. THE END OF THE LOCATION WIRE SHALL STUB-UP AT THE CLEANOUT INTO THE MONUMENT BOX.



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| CITY OF FAIRHOPE FAIRHOPE, ALABAMA 36532 251.928.8003 | CITY OF FAIRHOPE PUBLIC UTILITIES 555 SOUTH SECTION STREET FAIRHOPE, ALABAMA 36532 251.928.8003 | STANDARD SANITARY SEWER DETAILS | DATE ISSUED 11/25/20 |
| | | TYPICAL SANITARY SEWER LATERAL CONNECTION | SHEET NO. S-6 |



WATTLE INLET PROTECTION
N.T.S.



CONCRETE WASHOUT STRUCTURE DETAIL
N.T.S.

- CONSTRUCTION SPECIFICATIONS:**
- LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
 - SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
 - PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS, OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
 - PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
 - KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

| REVISIONS | ISSUED FOR REVIEW | 8/26/2025 |
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LIEB ENGINEERING COMPANY
 1290 MAIN STREET, SUITE E
 DAPHNE, AL 36526
 PH: (251) 978-9779

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 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

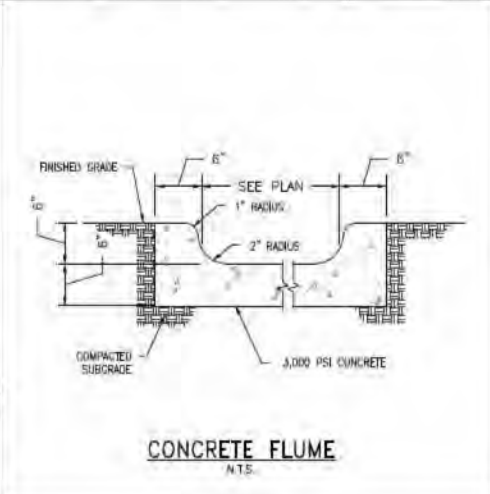
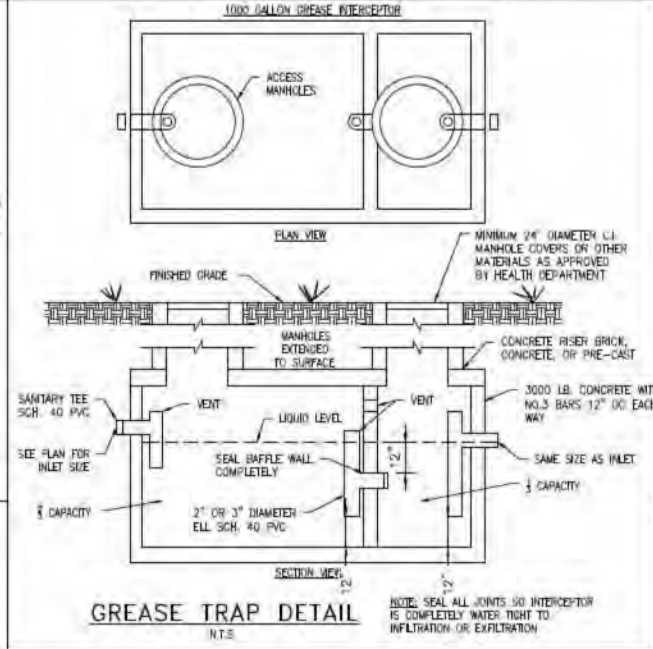
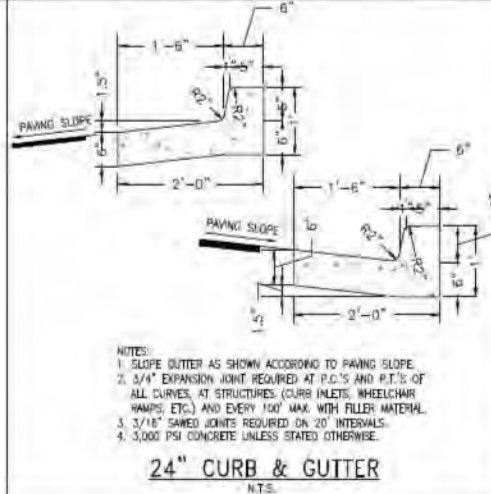
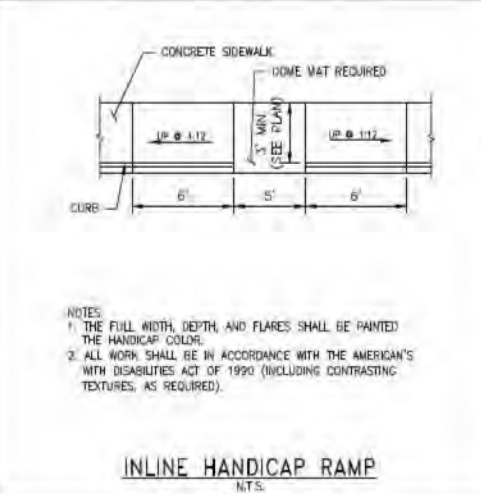
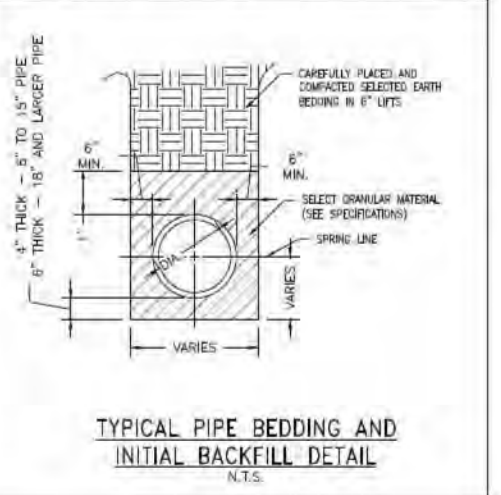
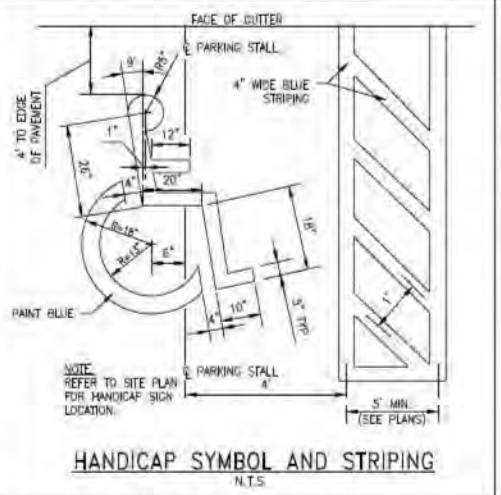
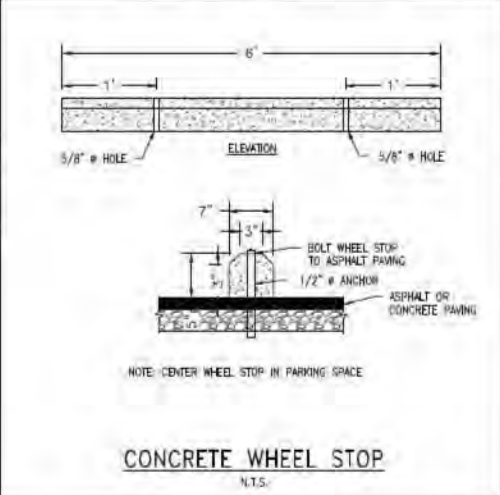
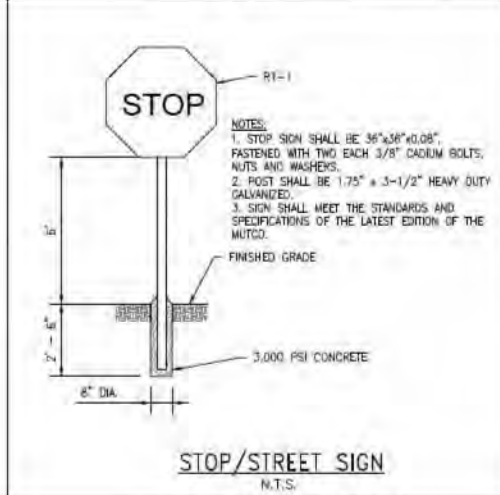
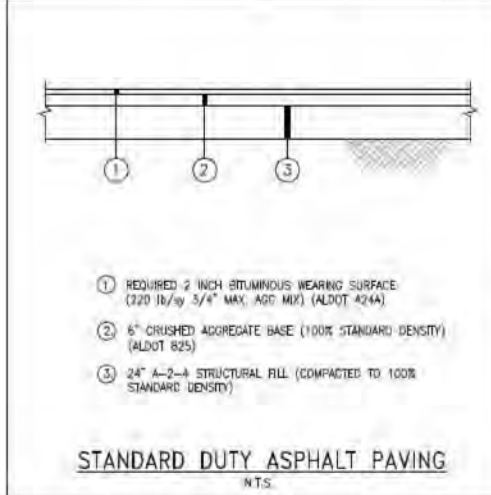
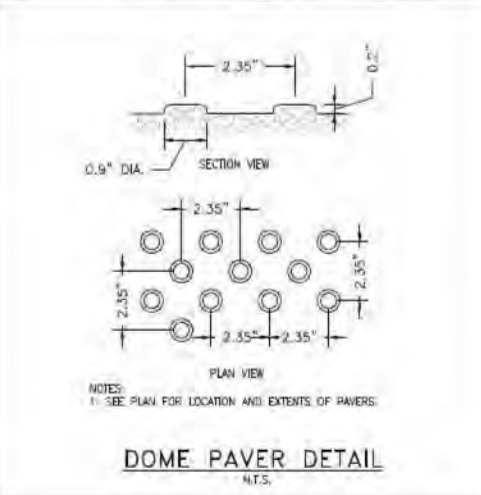
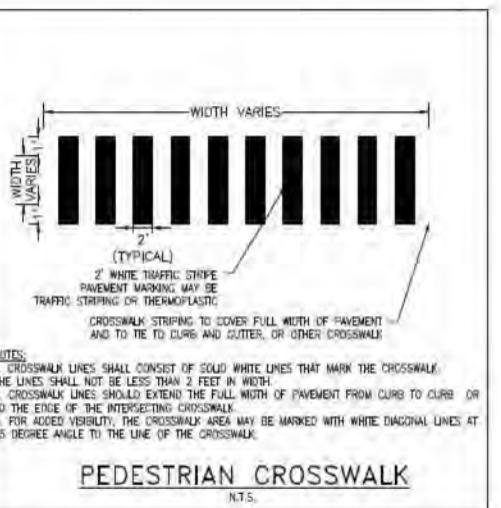
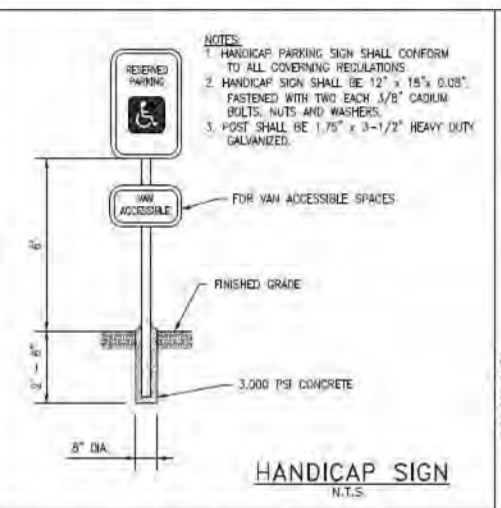
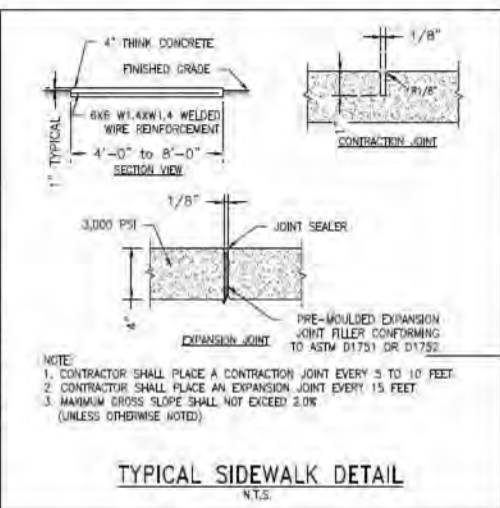
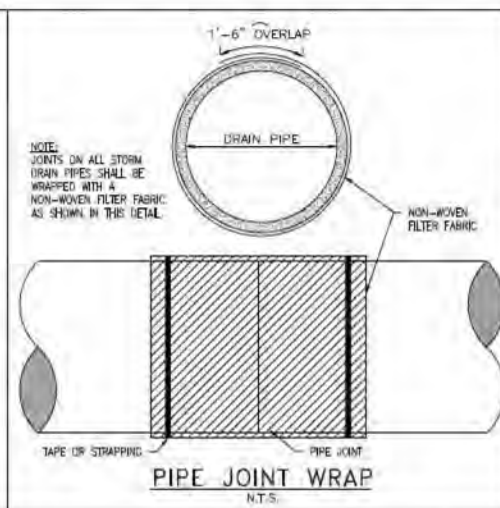
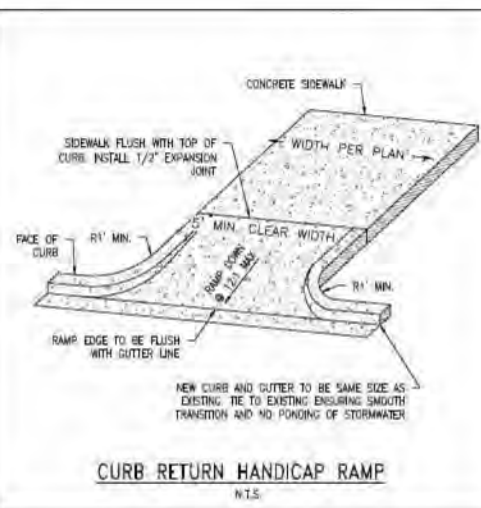
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| 2025-008 | CHECKED BY: CJL | APPROVED BY: CJL | ENGR: CJL |

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| FAIRHOPE WENDY'S | |
| CIVIL DETAILS | |
| FAIRHOPE, AL | |
| OWNER: WENDELTA PROPERTY HOLDINGS LLC | |
| SHEET NUMBER | |
| 10 OF 13 | |

ISSUED FOR REVIEW

8/26/2025

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ISSUED FOR REVIEW

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| A | ISSUED FOR REVIEW | 8/26/2025 |
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LIBB ENGINEERING COMPANY
 1290 MAIN STREET, SUITE E
 DAPHNE, AL 36526
 PH: (251) 978-8779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.
 ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

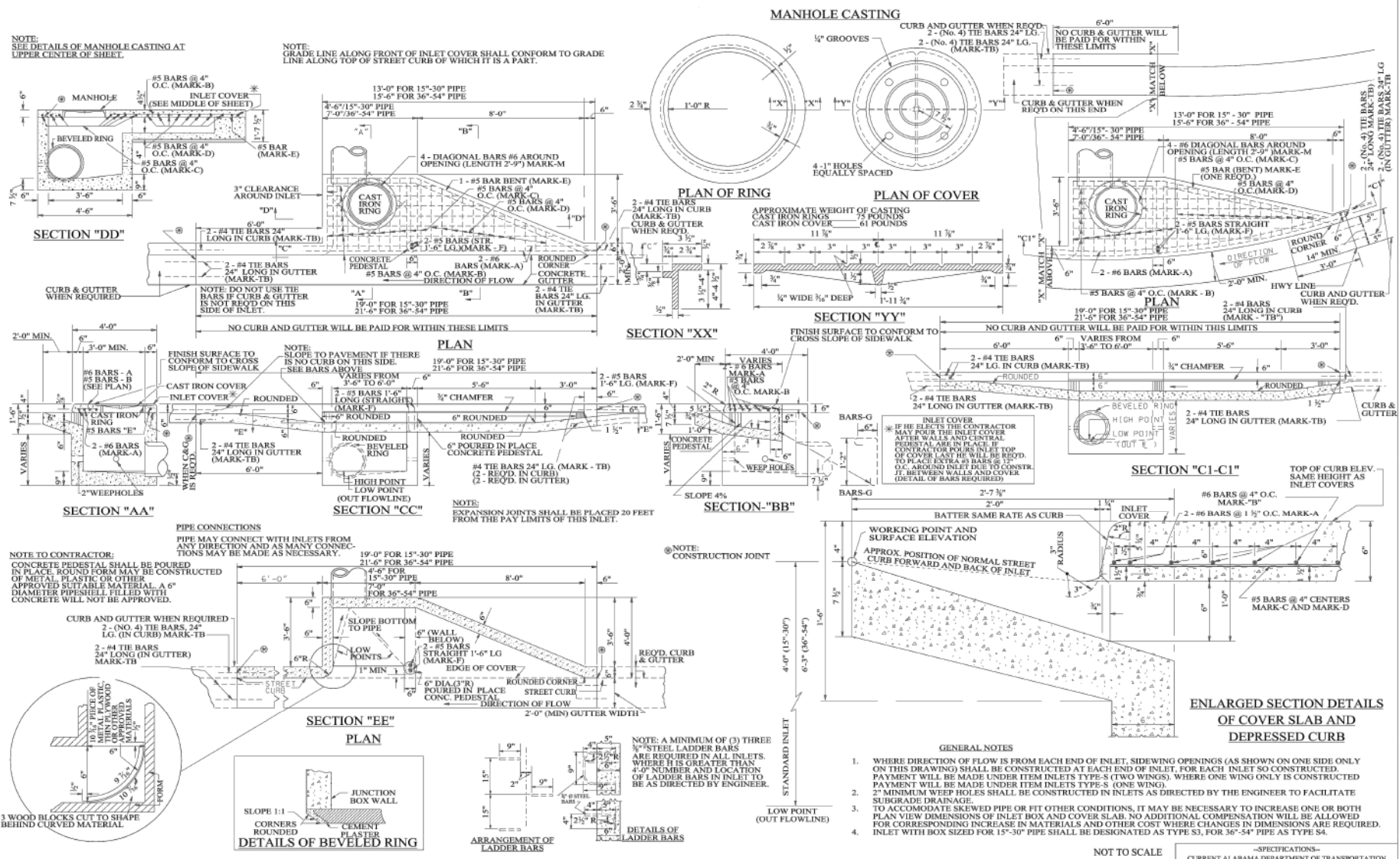
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 CHECKED BY: CJL
 DATE: 8/26/2025
 APPROVED BY: CJL
 SCALE: AS SHOWN
 ENGR: CJL

FAIRHOPE WENDY'S
 CIVIL DETAILS
 FAIRHOPE, AL
 OWNER: WENDELTA PROPERTY HOLDINGS LLC

SHEET NUMBER: 11 OF 13
 C11.0 A



8/26/2025



GENERAL NOTES

- WHERE DIRECTION OF FLOW IS FROM EACH END OF INLET, SIDING OPENINGS (AS SHOWN ON ONE SIDE ONLY ON THIS DRAWING) SHALL BE CONSTRUCTED AT EACH END OF INLET. FOR EACH INLET SO CONSTRUCTED, PAYMENT WILL BE MADE UNDER ITEM INLETS TYPE-S (TWO WINGS). WHERE ONE WING ONLY IS CONSTRUCTED PAYMENT WILL BE MADE UNDER ITEM INLETS TYPE-S (ONE WING).
- MINIMUM WEEP HOLES SHALL BE CONSTRUCTED IN INLETS AS DIRECTED BY THE ENGINEER TO FACILITATE SUBGRADE DRAINAGE.
- TO ACCOMMODATE SKEWED PIPE OR FIT OTHER CONDITIONS, IT MAY BE NECESSARY TO INCREASE ONE OR BOTH PLAN VIEW DIMENSIONS OF INLET BOX AND COVER SLAB. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR CORRESPONDING INCREASE IN MATERIALS AND OTHER COST WHERE CHANGES IN DIMENSIONS ARE REQUIRED.
- INLET WITH BOX SIZED FOR 15"-30" PIPE SHALL BE DESIGNATED AS TYPE S3, FOR 36"-54" PIPE AS TYPE S4.

NOT TO SCALE

DESIGN BUREAU SPECIAL DRAWING
 REINFORCED CONCRETE STORM SEWER
 INLET TYPES S3 AND S4

ALABAMA DEPARTMENT OF TRANSPORTATION
 SPECIAL DRAWING NO. I-621-S
 INDEX NO. 62133



THIS DRAWING REPRESENTS DESIGNS PREPARED FOR USE BY THE ALABAMA DEPARTMENT OF TRANSPORTATION AND IS NOT TO BE COPIED, REPRODUCED, ALTERED, OR USED BY ANYONE, OR ANY ORGANIZATION, WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ALABAMA DEPARTMENT OF TRANSPORTATION REPRESENTATIVE AUTHORIZED TO APPROVE THIS USE. ANYONE MAKING UNAUTHORIZED USE OF THIS DRAWING MAY BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.

REVISIONS:
 1. Added per CAD on 11-29-1999 by J.L.T.
 2. Clarified the standard inlet height & added symbol for Construction joints on 7-14-2009 by W.W.A.

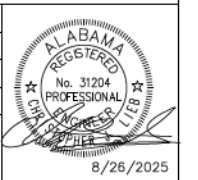
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LIEB ENGINEERING COMPANY
 1290 MAIN STREET, SUITE E
 DAPHNE, AL 36526
 PH: (251) 978-9779

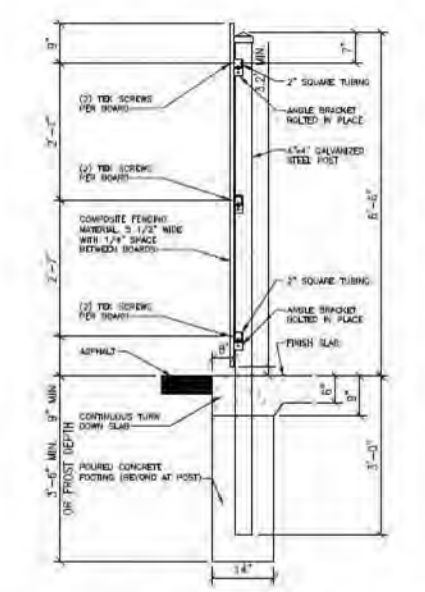
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 ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2025-006
 DRAWN BY: JLG
 CHECKED BY: CJL
 DATE: 8/26/2025
 APPROVED BY: CJL
 SCALE: AS SHOWN
 ENGR: CJL

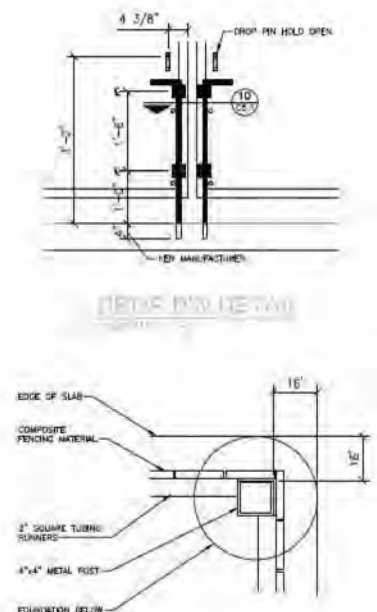
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| FAIRHOPE WENDY'S | |
| CIVIL DETAILS | |
| FAIRHOPE, AL | |
| OWNER: WENDELTA PROPERTY HOLDINGS LLC | |
| SHEET NUMBER | C12.0 A |
| 12 OF 13 | |



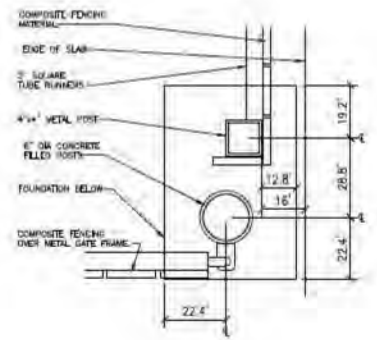
ISSUED FOR REVIEW



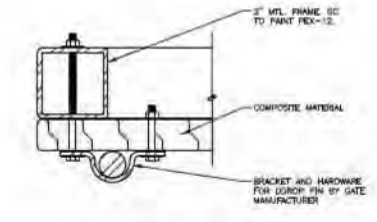
WASH ENCLOSURE WALL SECTION



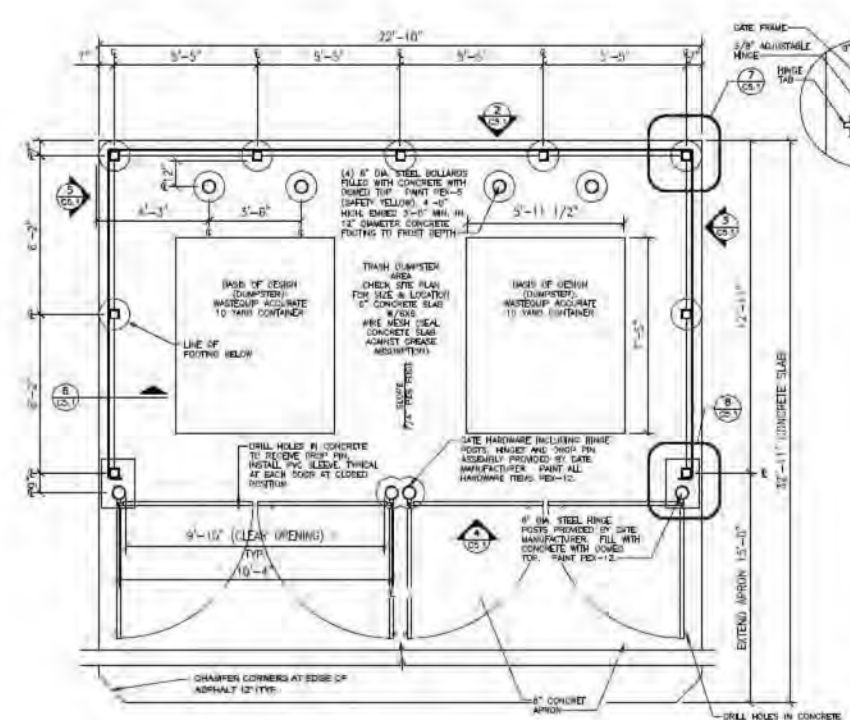
DROP PIN DETAIL



SLAB DETAIL

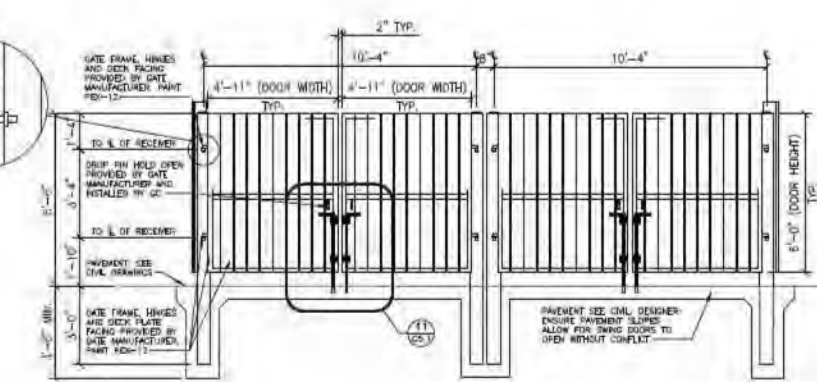


DROP PIN DETAIL - COMPOSITE GATE

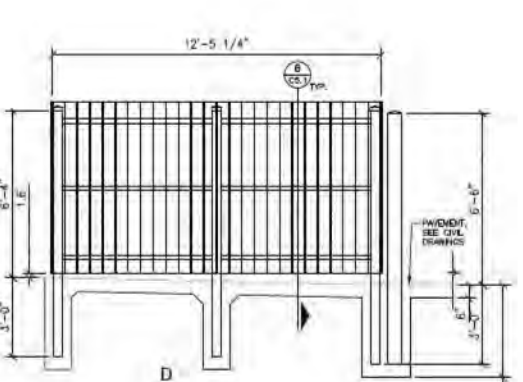


COMPOSITE FENCE TRASH ENCLOSURE

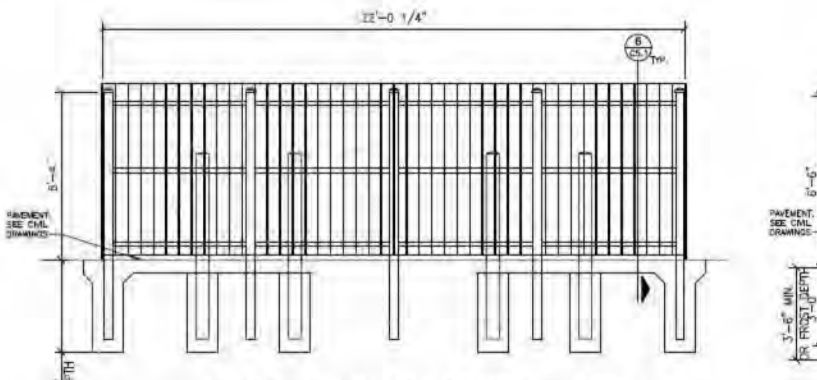
OPTIONAL CONCRETE SLAB SPEC
 A. CONCRETE SEALER: "SCORFIELD" CHEMSTONE CLEAR SEALER, APPLY PER MANUFACTURER'S RECOMMENDATIONS.
 B. OPTIONAL CONCRETE COLOR HARDENER: "SCORFIELD" UTRACHROM 433 "CLASSIC GREY" APPLY PER MANUFACTURER'S RECOMMENDATIONS.



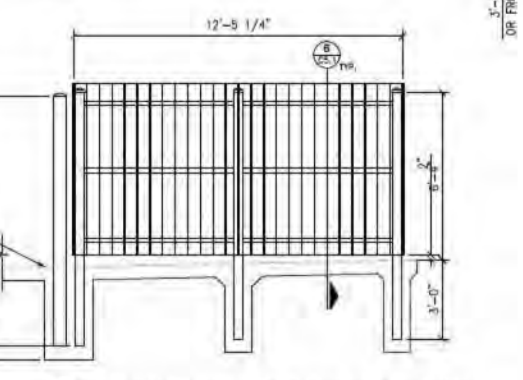
TRASH ENCLOSURE FRONT ELEVATION



TRASH ENCLOSURE SIDE ELEVATION



TRASH ENCLOSURE REAR ELEVATION



TRASH ENCLOSURE SIDE ELEVATION

ISSUED FOR REVIEW

| REVISIONS | ISSUED FOR REVIEW | 8/26/2025 |
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 DAPHNE, AL 36526
 PH: (251) 978-9779

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 ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2025-006
 DRAWN BY: JLG
 DATE: 8/26/2025
 SCALE: AS SHOWN
 CHECKED BY: CJL
 APPROVED BY: CJL
 ENGR: CJL

FAIRHOPE WENDY'S
 CIVIL DETAILS
 FAIRHOPE, AL
 OWNER: WENDELTA PROPERTY HOLDINGS LLC

SHEET NUMBER: 13 OF 13
 C13.0 A

ALABAMA REGISTERED PROFESSIONAL ENGINEER
 No. 31204
 CHRISTOPHER JAY LIEB
 8/26/2025

GENERAL NOTES - EXTERIOR ELEVATIONS

- A. REFER TO SHEET A&D AND A&I FOR DOOR AND WINDOW DETAILS.
- B. SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT, SEPARATE COVER, SHOWN FOR DESIGN INTENT AND PLACEMENT. GC TO COORDINATE INSTALLATION WITH SIGN SHOP DRAWINGS.
- C. GC TO COORDINATE DOWNSPUTS WITH CIVIL DRAWINGS FOR STORM TIE-IN.
- D. GC TO COORDINATE EXTERIOR LIGHTING WITH SITE PHOTO-METRIC PLAN (IN CIVIL DRAWINGS). GC TO NOTIFY ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES.

FINISH SCHEDULE

| CODE | PRODUCT NO./NAME | COLOR | NOTES |
|--------------------------|---|--|-------------------------------------|
| PAINT | | | |
| PE-12 | SW 7065 "DIRT GREY" | BLACK | SEE PAINT SCHEDULE FOR ALT. OPTIONS |
| PEX-1 | BROWZSTONE CUSTOM COATINGS "MISSISSIPPI BRONZE" | DARK BRONZE | SEE PAINT SCHEDULE FOR ALT. OPTIONS |
| PEX-11 | SW 6429 "HORSADO" | TAN | SEE PAINT SCHEDULE FOR ALT. OPTIONS |
| PEX-12 | SW 7674 "HERCULEAN" | DARK GRAY | SEE PAINT SCHEDULE FOR ALT. OPTIONS |
| GLAZING | | | |
| R/W | | | |
| METALS | | | |
| M-3 | EXCEPTIONAL METALS - TWO PIECE COMPRESSIVE EDGE | PRE-FINISHED "BRIGHT BRIT" | |
| M-4 | EXCEPTIONAL METAL | MILL FINISH "SILVER METALLIC" | |
| M-5 | ALTERNATE FOR ACM-4 | CLEAR ANODIZED | |
| M-7 | EXCEPTIONAL METAL | MILL FINISH "CHARCOAL GRAY" | |
| EXTERIOR CLADDING | | | |
| KW-1 | KNOTWOOD | LIGHT GRAY SIMULATED W/KNOD | |
| KW-2 | KNOTWOOD | SPRINKLE GREY (1770218/2) | |
| KW-3 | KNOTWOOD | BRITE RED MATT (1770217/2) | |
| ACM SYSTEMS | | | |
| ACM-5 | RETURN/SEND PG. 400, BRUTE & RETURN | PRE-FINISHED COLORWELD 200; COLOR: "STURMY GRAY" | |
| EXTERIOR MISC. | | | |
| BL-1 | PROTEK | SAFETY YELLOW | |

EX-00 EXTERIOR SIGNAGE SCHEDULE

| MARK | DESCRIPTION |
|-------|--|
| AP-28 | CAMEO DECAL |
| AP-44 | CREW DOOR DECAL |
| CA-54 | INTERNALLY ILLUMINATED CAMEO 54" |
| DP-06 | DELIVERY PICKUP LETTER SIGN 6" (WHITE DIMENSIONAL LETTER) |
| FS-52 | FRESH SINCE DAY LINE |
| QR-08 | QR LETTER SIGN 8" (US AND CANADA MARKETS) (WHITE DIMENSIONAL LETTER) |
| WE-42 | INTERNALLY ILLUMINATED WAVE 42" (WHITE OR RED FACED) |

| | |
|----------------------------|------------------------------------|
| SITE NUMBER: | 1496 |
| BUILDING TYPE: | GLOBAL REST QSR 4 - VE |
| ASSET TYPE: | PRESTANDING |
| CLASSIFICATION: | NEW |
| OWNER: | WENDELTA PROPERTIES HOLDINGS, INC. |
| BASE VERSION: | 2025 |
| UPGRADE CLASSIFICATION: | NEW BUILD |
| PROJECT YEAR: | 2025 |
| DESIGN TYPE: | GLOBAL REST QSR |
| GUIDELINE DRAWING RELEASE: | SPRING 2025 |

Project No. **25-061**

ken brown, architect

ken brown, architect
1446 Gardaloch Road, Suite 200
Lutz, FL 33549
813.404.5011

ROCKWELL BLVD AND HIGHWAY 181
FAIRHOPE, AL. 36532

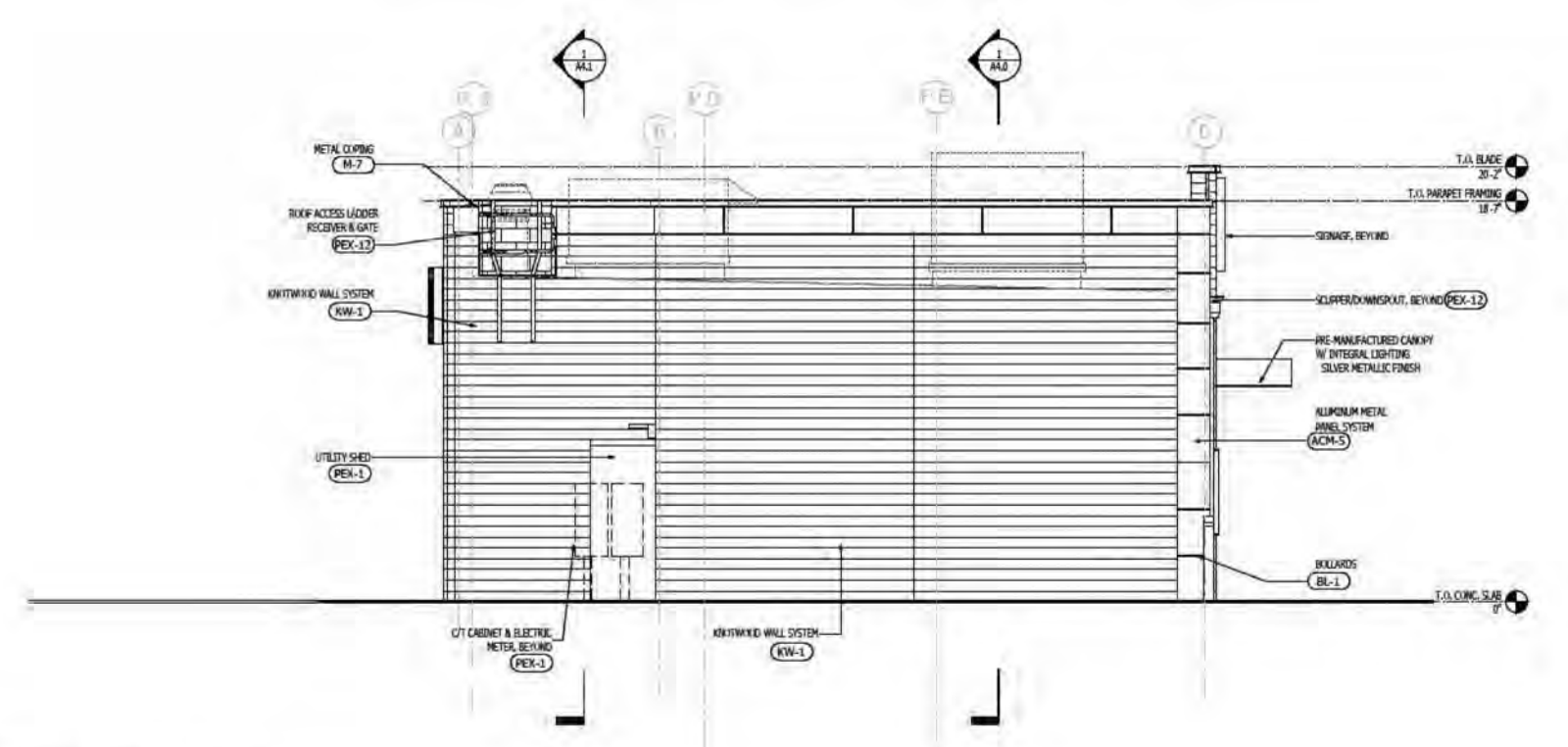
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EXTERIOR ELEVATIONS - KNOTWOOD

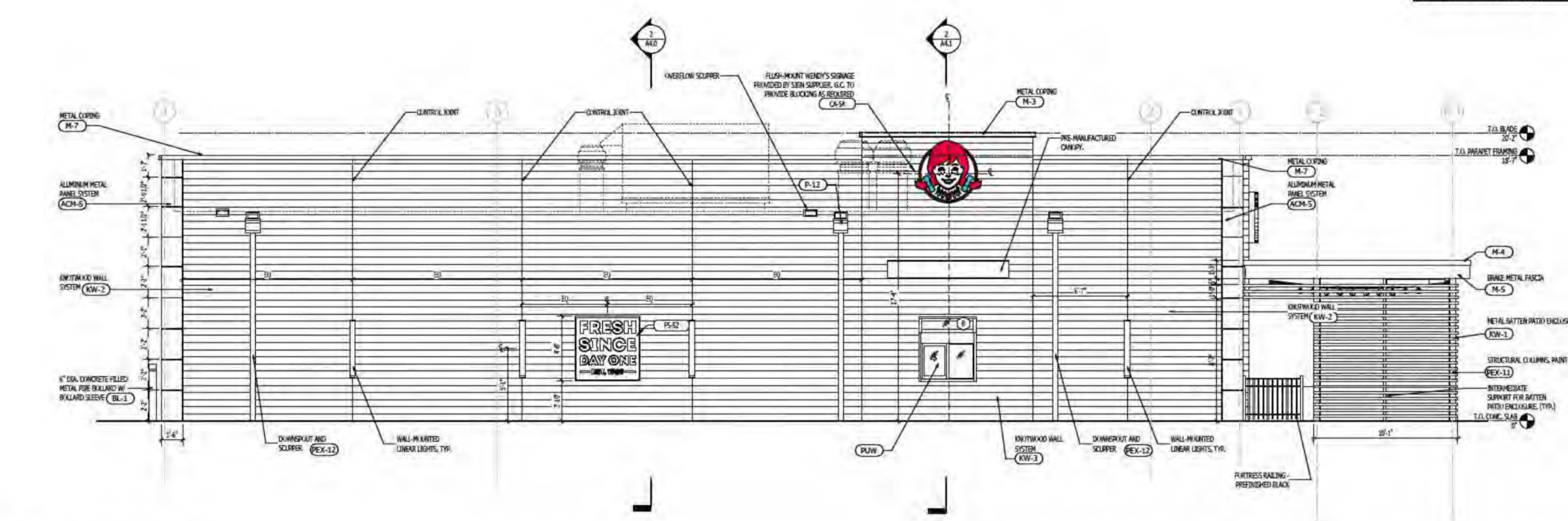


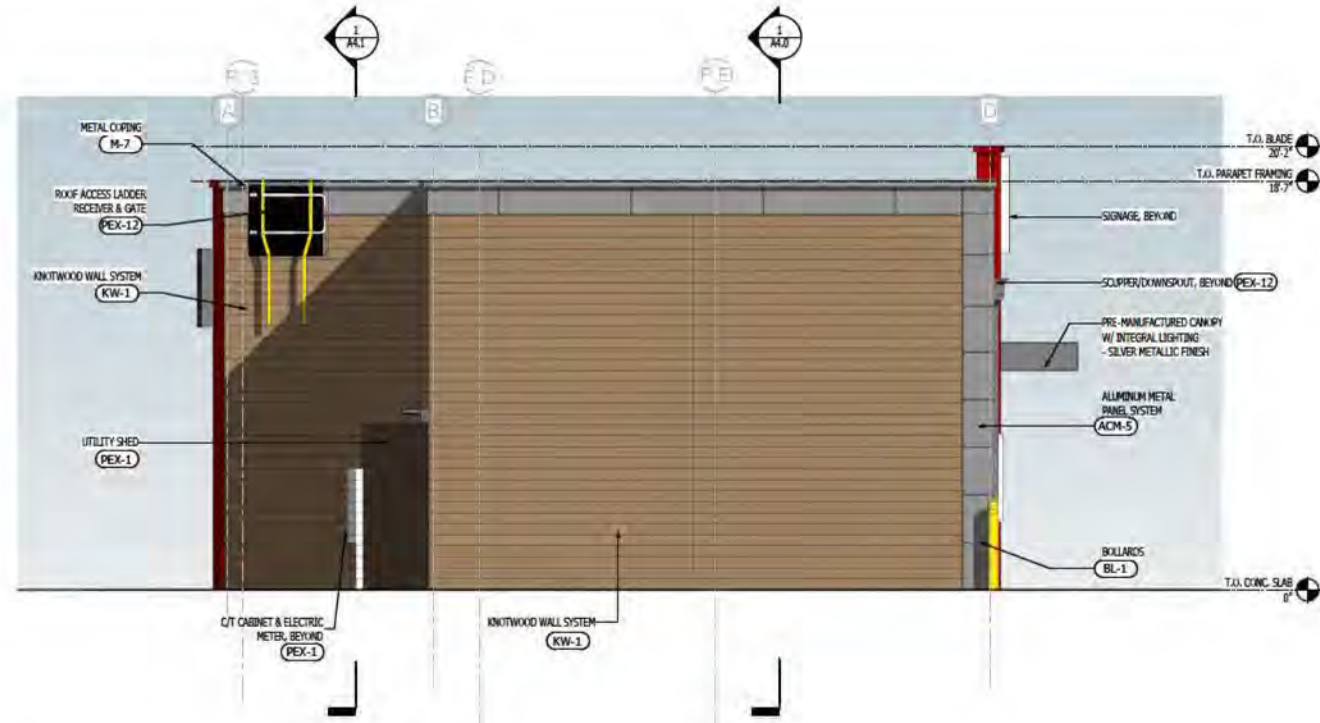
ISSUE DATE: 8/2/2025

1 ELEVATION- EXTERIOR- W/B - KNOTWOOD
1/4" = 1'-0"



2 ELEVATION- EXTERIOR- DRIVE THRU - KNOTWOOD
1/4" = 1'-0"





2 COLORED ELEVATION- EXTERIOR- WIB - KNOTWOOD
1/4" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

- A. REFER TO SHEET A&D AND A&I FOR DOOR AND WINDOW DETAILS.
- B. SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT, SEPARATE COVER, SHOW FOR DESIGN INTENT AND PLACEMENT. GC TO COORDINATE INSTALLATION WITH SIGN SHOP DRAWINGS.
- C. GC TO COORDINATE DOWNSPUTS WITH CIVIL DRAWINGS FOR STORM TIE-IN.
- D. GC TO COORDINATE EXTERIOR LIGHTING WITH SITE PHOTO-METRIC PLAN (IN CIVIL DRAWINGS. GC TO NOTIFY ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES.

FINISH SCHEDULE

| CODE | PRODUCT NO./NAME | COLOR | NOTES |
|--------------|---|-------------|------------------------------------|
| PAINT | | | |
| P-12 | SW 7069 "DARK GREY" | BLACK | SEE PAINT SCHEDULE FOR ALT OPTIONS |
| PEX-1 | BRONZETONE CUSTOM COLORS "MISSISSIPPI BRONZE" | DARK BRONZE | SEE PAINT SCHEDULE FOR ALT OPTIONS |
| PEX-11 | SW 6309 "HIPSADO" | TAN | SEE PAINT SCHEDULE FOR ALT OPTIONS |
| PEX-12 | SW 7674 "PERPETUUM" | DARK GRAY | SEE PAINT SCHEDULE FOR ALT OPTIONS |

GLAZING

| CODE | PRODUCT NO./NAME | COLOR | NOTES |
|----------------|------------------|-------|-------|
| GLAZING | | | |
| GL-1 | | | |

METALS

| CODE | PRODUCT NO./NAME | COLOR | NOTES |
|---------------|---|--------------------------------|-------|
| METALS | | | |
| M-3 | EXCEPTIONAL METALS - TWO PIECE COMPRESSOR EDGE "BRIGHT RED" | PRE-FINISHED "BRIGHT RED" | |
| M-4 | EXCEPTIONAL METAL | MILL FINISH, "SILVER METALLIC" | |
| M-5 | ALTERNATE FOR ACM-4 | CLEAR ANODIZED | |
| M-7 | EXCEPTIONAL METAL | MILL FINISH, "CHARCOAL GRAY" | |

EXTERIOR CLADDING

| CODE | PRODUCT NO./NAME | COLOR | NOTES |
|--------------------------|------------------|----------------------------|-------|
| EXTERIOR CLADDING | | | |
| KW-1 | KNOTWOOD | LIGHT GRAY SIMULATED WOOD | |
| KW-2 | KNOTWOOD | ARMOUR GREY (17P0218/2) | |
| KW-3 | KNOTWOOD | BRITE RED MATT (17P0217/2) | |

ACM SYSTEMS

| CODE | PRODUCT NO./NAME | COLOR | NOTES |
|--------------------|-------------------------------------|---|-------|
| ACM SYSTEMS | | | |
| ACM-5 | REINFORCED PG, 40PP, BRUTE & RETURN | PRE-FINISHED, COLORWELD 200; COLOR: "STORMY GRAY" | |

EXTERIOR SIGNAGE SCHEDULE

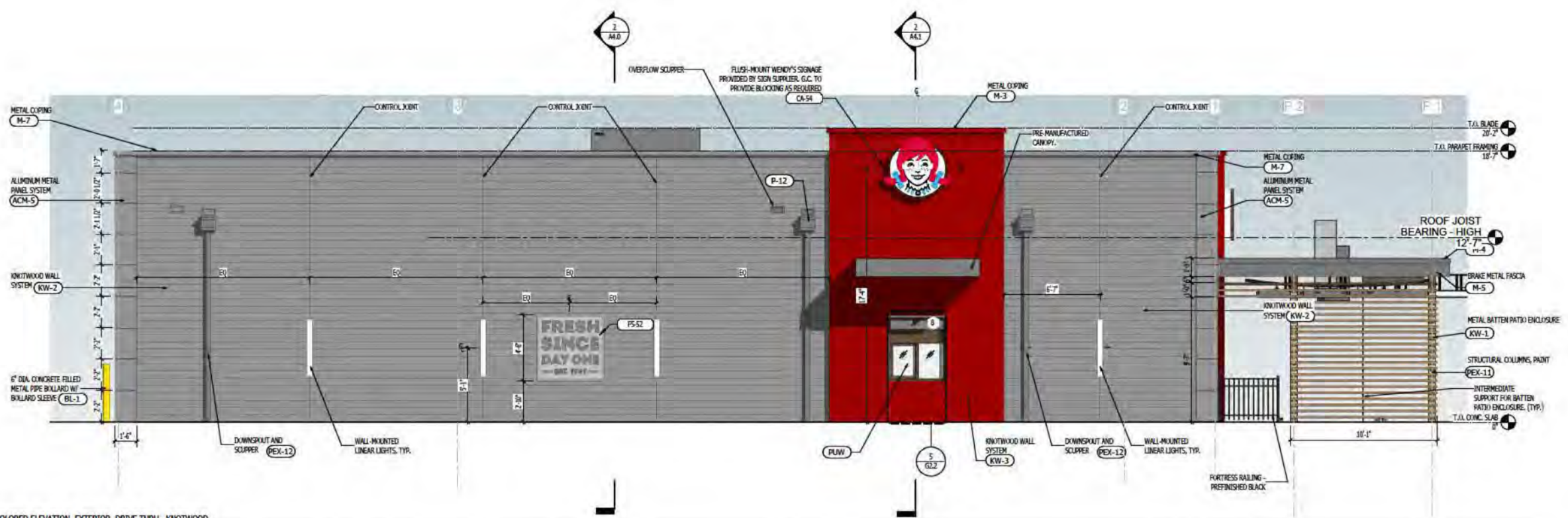
| CODE | PRODUCT NO./NAME | COLOR | NOTES |
|----------------------------------|--|-------|-------|
| EXTERIOR SIGNAGE SCHEDULE | | | |
| AP-28 | CAMEO DECAL | | |
| AP-44 | CREW DOOR DECAL | | |
| CA-54 | INTERNALLY ILLUMINATED CAMEO 54" | | |
| DP-06 | DELIVERY PICKUP LETTER SIGN 6" (WHITE DIMENSIONAL LETTER) | | |
| F5-52 | FRESH SINCE DAY ONE | | |
| QR-08 | QR LETTER SIGN 8" (US AND CANADA MARKETS) (WHITE DIMENSIONAL LETTER) | | |
| BE-42 | INTERNALLY ILLUMINATED WAVE 42" (WHITE OR RED FACED) | | |

| | |
|----------------------------|------------------------------------|
| PROJECT NUMBER: | 14946 |
| BUILDING TYPE: | GLOBAL REST GEN 41 - VE |
| ASSET TYPE: | PRESTANDING |
| CLASSIFICATION: | NEW |
| OWNER: | WENDELTA PROPERTIES HOLDINGS, INC. |
| BASE VERSION: | 2025 |
| UPGRADE CLASSIFICATION: | NEW BUILD |
| PROJECT YEAR: | 2025 |
| DESIGN TYPE: | GLOBAL REST GEN |
| GUIDELINE DRAWING RELEASE: | SPRING 2025 |

Project No. **25-061**

ken brown, architect

ken brown, architect
1444 Dardotown Road, Suite 200
Lakeland, FL 34001
813-464-2011



1 COLORED ELEVATION- EXTERIOR- DRIVE THRU - KNOTWOOD
1/4" = 1'-0"

ROCKWELL BLVD AND HIGHWAY 181
FAIRHOPE, AL. 36532

| No. | Date | Issue |
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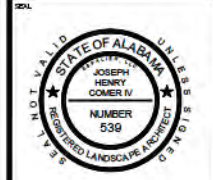
COLORED EXTERIOR ELEVATIONS - KNOTWOOD



ISSUE DATE: 8/1/2025

FAIRHOPE WENDY'S

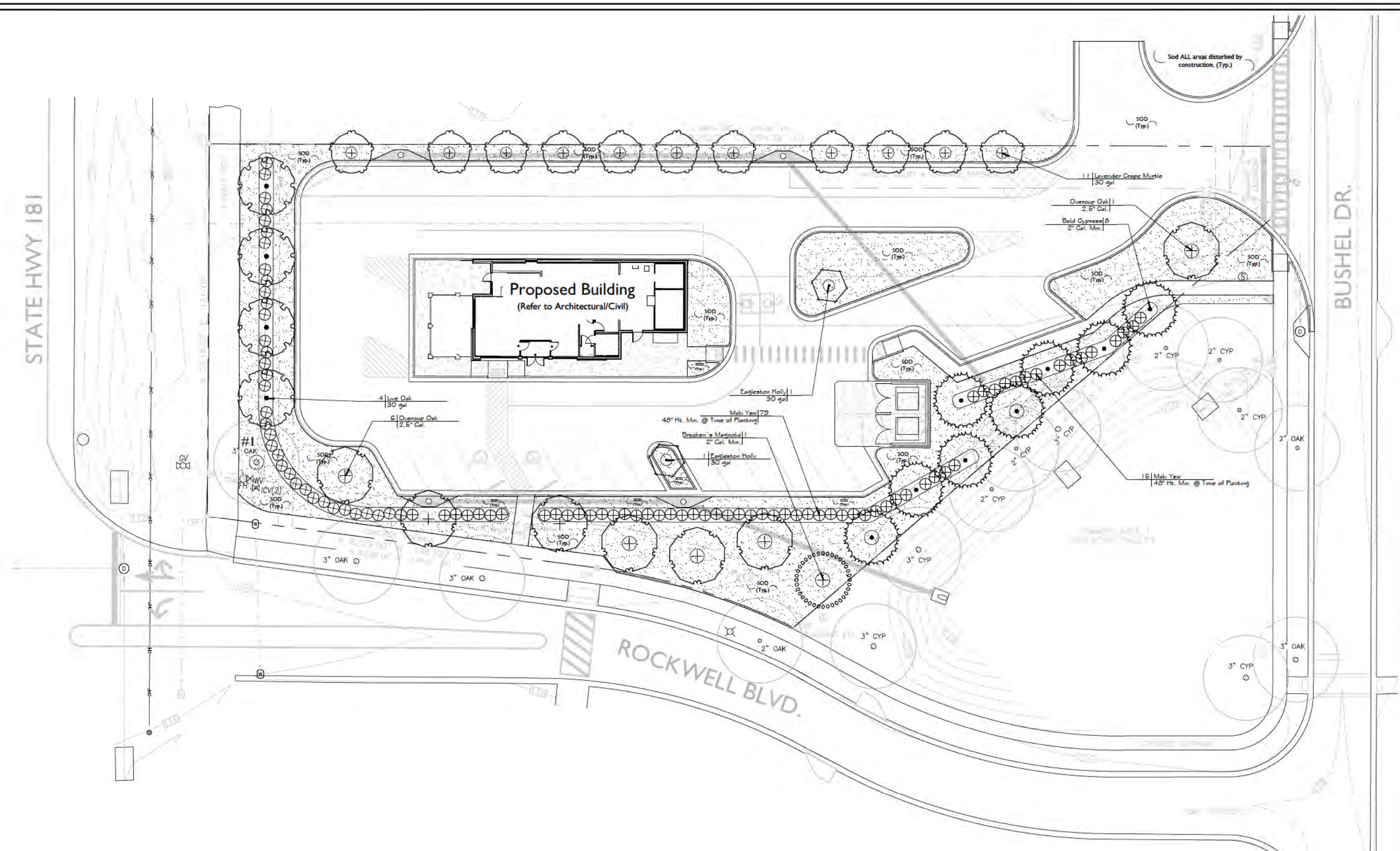
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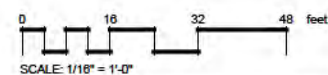
LANDSCAPE PLAN

| | |
|---------------------|--------------------|
| DESIGNED BY JC | FILE NAME WENDY |
| DRAWN BY JC | SHEET L-1.1 |
| PROJECT NO. 2549 | DATE 5/20/25 |



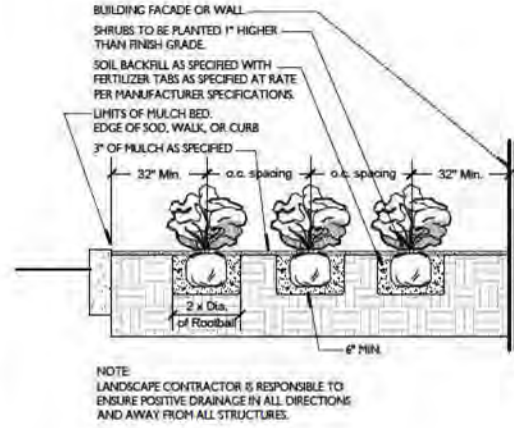
- NOTES:
1. BASE SURVEY PROVIDED BY LEB ENGINEERING.
 2. LOCATION OF STRUCTURES, HARDSCAPE, AND EXISTING VEGETATION SHALL BE FIELD VERIFIED.
 3. VERIFY ALL LAYOUT AND DIMENSIONS IN FIELD.
 4. PLANT COUNTS ARE FOR CONVENIENCE ONLY. FIELD VERIFY ACCORDINGLY.
 5. CONTRACTOR IS RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE.
 6. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.
 7. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN DRAWINGS OR FIELD CONDITIONS.
 8. REFER TO ARCH / CIVIL FOR ALL UTILITIES, GRADING, DRAINAGE, & HARDSCAPE.

- NOTES:
1. All areas disturbed by construction shall be sodded or mulched unless otherwise noted. (Typ.)
 2. NO WORK SHALL BE PERFORMED WITH IN THE CITY RIGHT OF WAY WITHOUT WRITTEN PERMISSION FROM THE GOVERNING AUTHORITY.
 3. See sheet L-1.2 for details & schedule.
 4. Refer to Civil / Architectural drawings for all grading, drainage, utilities, hardscape, & structures.

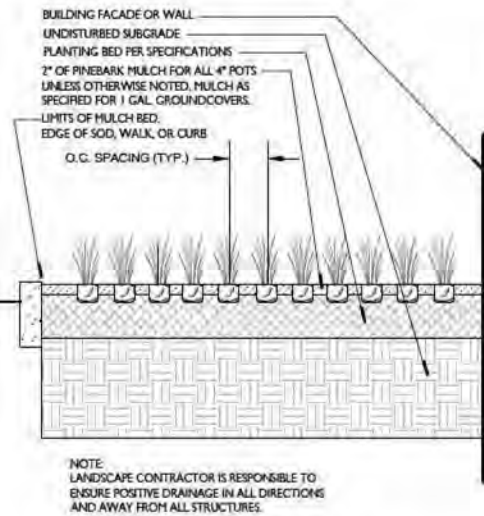


LANDSCAPE NOTES:

- This section covers furnishing and installing all landscape plants and non-plant materials covered by the drawings and these specifications. The work shall include materials, labor, equipment and services as described herein and indicated on the drawings. Also, the work shall include the maintenance of all plants and planting areas until acceptance by the Owner, and fulfillment of all guarantee provisions as herein specified.
- Before beginning work, the contractor shall thoroughly acquaint himself with the existing site conditions and proposed plans. The intent is to provide a smooth transition between existing conditions that are to remain and the new site features with minimal damage to existing trees and vegetation.
- Contractor is made aware of active existing underground utilities. It is the contractor's responsibility to familiarize himself with the location of said utilities and other obstructions. The contractor shall investigate and verify, in the field, the existence and location of all utilities and any existing irrigation piping, and take necessary precautions to prevent their disturbance and avoid interruption of service. Contractor is responsible for calling appropriate line location service. All damaged utilities shall be replaced to owners satisfaction by contractor with no additional charge to owner.
- Discrepancies between site conditions and conditions on plans shall be call to the attention of the Owner immediately.
- Existing grades shall be verified in field prior to beginning any work. Discrepancies shall be brought to the landscape architects attention immediately. Landscape contractor to provide fine grading to ensure positive drainage.
- The landscape architect shall have the right to reject any and all work and/or materials at any stage of progress which in his opinion do not meet the requirements of these plans and specifications. Such rejected material shall be removed from the site immediately and replaced with acceptable materials.
- Landscape contractor is responsible for obtaining all state and local permits and licenses required to perform this work.
- Landscape contractor shall abide by all state and local laws and ordinances. Contractor shall also conform to POA or ARB guidelines if applicable.
- All work shall comply with the current edition of the Standard Building Code published by the Southern Building Code Congress International, Inc.
- Topsoil shall be sandy/loam natural, friable, and fertile with a PH of 5.5 to 6.5. Topsoil shall be free from roots, stones, debris, noxious weeds, or any substance harmful to plant growth. Quality of Topsoil to be approved by Landscape Architect.
- Once delivered to the site, the contractor is responsible for the protection, including theft, of all materials.
- The landscape plan is to serve as a guide for installation. Field adjustment and changes to layout may be made by Landscape Architect.
- Contractor shall layout all plant material per planting plans and schedule a site meeting with landscape architect for approval with a minimum of 48 hours notice.
- Quantities shown on plant list are for convenience only.
- All groundcover & flower beds shall receive 3" minimum of planting mix consisting of decomposed pinebark or mushroom compost and blended into the top 6" of existing soil. Rake beds smooth and top dress with 2" min. of ground pinebark prior to planting.
- All tree and shrub planting pits shall be backfilled with 75% excavated soil & 25% planting mix consisting of decomposed pinebark or mushroom compost.
- All trees shrubs and groundcovers shall be planted with Woodace fertilizer tabs at rates per manufactures recommendations. All planting beds shall also be top dressed with a slow release Osmocote fertilizer or equal per manufactures recommendations prior to mulching.
- All beds shall receive FertiBand pre-emergent herbicide or equal.
- Unless otherwise noted, all beds shall receive 3" compacted depth of fresh Long Leaf pine straw free from sticks and pine cones. Groundcover areas with 4" plants or plugs shall be mulched with pulverized pinebark mulch unless otherwise noted.
- All bed lines shall have 3" V-Shaped trenches. See detail.
- All plant material shall meet or exceed federal, state, and county laws requiring inspection for plant disease and insect control.
- All plant material shall be Florida #1 or better and meet the latest standards of the "American Standards for Nursery Stock".
- All trees shall be staked with arbor guy (or equal) tree stakes per manufactures recommendations.
- All disturbed areas shall be irrigated and sodded.
- Contractor shall maintain all plantings and lawn areas until final acceptance by owner and landscape architect. Unless specified otherwise, maintenance includes mowing, edging, weeding, blowing, pruning, watering, mulching, etc.
- Brown or defoliated plants shall be removed and replaced immediately.
- All materials and workmanship for landscape and irrigation shall be guaranteed for a minimum of one year from final acceptance.
- No work shall be performed in any R.O.W. without approval by the appropriate Federal, State, County, or City authority.



3 SHRUB PLANTING DETAIL



4 GROUND COVER PLANTING DETAIL

PLANT SCHEDULE

| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONTAINER | CALIPER | HEIGHT | DETAIL | REMARKS |
|----------------------------|------|---------------|--|-----------------------|---------------------------------|------------------------------|--------------|--------|---|
| CITY REQUIRED TREES | | | | | | | | | |
| IE | 2 | 2 | Ilex x attenuata 'Eagleston' | Eagleston Holly | 30 gal | 2" Cal. Min. | 8' Ht. Min. | | Single Trunk, Tree Form, No B&B. Trees Shall Meet Size Specifications Regardless of Container Size. Approve photo with LA. |
| LM | 11 | 11 | Lagerstroemia x 'Muskoeg' | Lavender Crape Myrtle | 30 gal | (3) Canes Min. @ 1 1/2" Cane | 8' Ht. Min. | | Tree Form, Multi-Trunk, No B&B. Trees Shall Meet Size Specifications Regardless of Container Size. Cherrylake Nursery, Approve photo with LA. |
| MB | 1 | 1 | Magnolia grandiflora 'Brackens Brown Beauty' | Brackens Magnolia | 2" Cal. Min. | | 10' Ht. Min. | | FTG, NO B&B. Trees Shall Meet Size Specifications Regardless of Container Size. Cherry Lake Nursery 352-429-2171, Approve photo with LA. |
| QL | 7 | 7 | Quercus lyrata | Overcup Oak | 2.5' Cal. | | 10' Ht. Min. | | Trees Shall Meet Size Specifications Regardless of Container Size. Hunter Trees |
| QV | 4 | 4 | Quercus virginiana | Live Oak | 30 gal | 2" Cal. Min. | 10' Ht. Min. | | No B&B. Trees Shall Meet Size Specifications Regardless of Container Size. Cherrylake Nursery |
| TD | 8 | 8 | Taxodium distichum | Bald Cypress | 2" Cal. Min. | | 10' Ht. Min. | | No B&B. Trees Shall Meet Size Specifications Regardless of Container Size. |
| SHRUBS | | | | | | | | | |
| PH | 94 | 94 | Podocarpus macrophyllus 'Habit' | Habit Yew | 48" Ht. Min. @ Time of Planting | | | | Hedge shall be maintained at a minimum of 48" as per City requirements. |
| GROUND COVERS | | | | | | | | | |
| CT | | (3,079) sq ft | Cymodon dactylon 'TIF 419' | 419 Bermuda Grass | sod | | | | |

- NOTES:**
- LONG LEAF PINE STRAW ALL BEDS EXCEPT 4" 1 GAL. POTS.
 - 4" 1 GAL. POTS TO BE PLANTED IN 3" OF PLANTING MIX AND TOP DRESSED WITH GROUND PINEBARK.
 - APPLY GRANULAR PRE-EMERGENT TO ALL PLANTING BEDS. SEE NOTES.
 - USE WOODACE FERTILIZER TABS IN ALL PLANTING PITS. SEE NOTES.
 - PREP. PLANTING PITS & GROUND COVER AREAS WITH PLANTING MIX. SEE NOTES.
 - THIS PLANT LIST IS FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY.
 - SEE LANDSCAPE NOTES.
- APPROVED NURSERIES:**
- GREEN FOREST NURSERY
 - FLOWERWOOD NURSERY
 - GREENS NURSERY
 - CHERRY LAKE NURSERY
- Other nurseries may be approved at the discretion of the landscape architect.

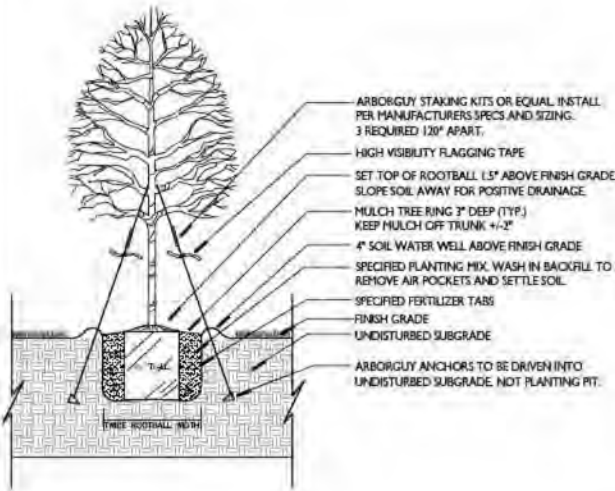
CITY OF FAIRHOPE LANDSCAPE REQUIREMENTS:

- PERIMETER REQUIREMENTS:**
- Bushel Road Frontage Feet = 25/30' = 1 Trees in First 25' regardless of tree credits.
 - Hwy 181 Road Frontage Feet = 131/30' = 4 Trees in First 25' regardless of tree credits.
 - Rockwell Blvd Frontage Feet = 211/30' = 7 Trees in First 25' regardless of tree credits.
 - Remaining Perimeter Feet = 596/30' = 20 Trees
 - Parking Requirements (1 Tree/12 Spaces) = 19 Spaces/12 = 2 Trees
 - Total Existing Tree Credits = 1
 - Total Trees Required = (1) Bushel, (3) Hwy 181 (Overstory), (7) Rockwell (Overstory), 20 Perimeter Trees (At Least 50% Overstory), & 2 Parking Lot Trees

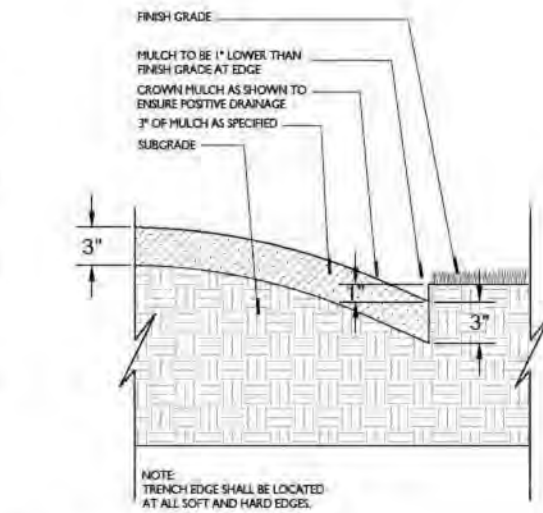
EXISTING TREE CREDIT TABLE

| TREES PROPOSED TO REMAIN | BEFORE | AFTER |
|---------------------------|------------|------------|
| #1-3" Oak | 1 | 1 |
| Total Tree Credits | = 1 | = 1 |

1 LANDSCAPE NOTES



2 TREE PLANTING



5 TRENCH BED EDGE

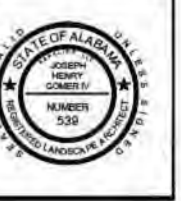


Espalier LLC
P.O. Box 1247
Fairhope, Alabama, 36533
P: 251.454.3500
espalierdesign.com

Copyright: This drawing and its contents are the property of Espalier, LLC and may not be copied or used in any way without written permission from Espalier.

FAIRHOPE WENDY'S

Bushel Drive
Fairhope, AL



ISSUED/REVISED

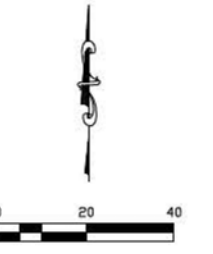
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LANDSCAPE DETAILS

| REVISION | DATE | BY | FILE NAME |
|----------|------|----|-----------|
| | | | |
| | | | |
| | | | |
| | | | |

PROJECT NO: 23-01
DATE: 8/20/25

L-1,2



- BOUNDARY LEGEND**
- △ CRF CAPPED IRON ROD FOUND
 - △ CRF1 CAPPED IRON ROD (SHARPS)
 - CMF CONCRETE MONUMENT FOUND
 - △ OFP OPEN TOP IRON PIPE FOUND
 - △ RIF REBAR IRON FOUND
 - △ PF IRON PIN FOUND
 - CRIS CAPPED IRON ROD SET
 - (R) RECORD
 - (O) OBSERVED
 - R.O.M. RIGHT OF WAY
 - P.O.C. POINT OF COMMENCEMENT
 - P.O.B. POINT OF BEGINNING
 - CHAIN LINK FENCE
 - - - WIRE FENCE
 - - - WOOD FENCE

- UTILITY LEGEND**
- LIGHT POLE
 - POWER POLE
 - ELECTRICAL BOX
 - AIR CONDITIONING CONDENSER
 - OVERHEAD POWER
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER GRINDER PUMP
 - SANITARY SEWER VALVE
 - SURFACE LOCKER
 - SEWER MARKER
 - SANITARY SEWER PIPE
 - GAS METER
 - SURFACE LOCKER
 - GAS MARKER
 - GAS MAIN
 - WATER METER
 - WATER VALVE
 - FIRE HYDRANT
 - IRRIGATION CONTROL VALVE
 - SURFACE LOCKER
 - WATER MARKER
 - WATER PIPE
 - TELEPHONE PEDESTAL
 - FIBER OPTIC VALVE
 - SURFACE LOCKER
 - FIBER OPTIC MARKER
 - FIBER OPTIC CABLE
 - DRIVE INLET
 - STORM MANHOLE
 - CURB INLET
 - STORM PIPE (COVER)
 - CMP-CORROGATED METAL PIPE
 - RCP-REINFORCED CONCRETE PIPE
 - RCW-REINFORCED CONCRETE WOOD PIPE
 - CPP-CORROGATED PLASTIC PIPE (HDPE)
 - TWS-TWO-DIGIT WAVING SURFACE INDICATOR

| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH | CHORD BEARING |
|-------|-------------|------------|--------------|---------------|
| C1 | 225.00' (O) | 72.65' (O) | 72.33' (O) | N 73°10'14" W |
| C1 | 225.00' (O) | 72.74' (R) | N/A | N/A |

- NOTES:**
- TYPE OF SURVEY: TOPOGRAPHIC
 - RECORD DIMENSIONS BASED ON PLAT OF THE UNRECORDED SUBDIVISION BY SHARPS ENGINEERING ENTITLED FINAL REPEAT OF THE RESUB OF LOT 1 AND COMMON AREAS 1 & 2, ROCKWELL PLACE.
 - THIS DRAWING AND DESCRIPTION DOES NOT REFLECT ANY TITLE OR EASEMENT RESEARCH OTHER THAN WHAT IS VISIBLE OR PROVIDED BY THE CLIENT'S CONVEYANCE, SETBACK LINES ESTABLISHED BY STATUTE, ORDINANCE OR RESTRICTIVE COVENANTS ARE NOT SHOWN.
 - THIS DRAWING IS THE PROPERTY OF SMITH, CLARK & ASSOCIATES. IT IS SOLELY FOR THE USE OF THE CLIENT NAMED HEREON AND IS NON-TRANSFERABLE TO ANY OTHER PARTY. IT MAY NOT BE USED WITHOUT PRIOR CONSENT FROM SMITH, CLARK & ASSOCIATES.
 - THIS DRAWING IS TO SCALE WHEN PRINTED ON 24x36 PAPER IN LANDSCAPE VIEW WITH NO SCALING.
 - ELEVATION ESTABLISHED USING RTK GPS ON ALDOT CORNS NETWORK (NAVD 88).
 - CONTOURS RUN AT 1' INTERVALS.
 - BASES OF BEARING: BEARINGS ESTABLISHED HEREON ARE REFERENCED TO THE ALABAMA WEST STATE PLANE COORDINATE SYSTEM AND ESTABLISHED BY REAL TIME KINEMATIC GPS OBSERVATIONS MADE USING THE ALDOT CORNS NETWORK.

BALDWIN COUNTY
ALABAMA

LOT 1, RESUB OF LOT 1 AND COMMON AREAS 1 & 2, ROCKWELL PLACE AS RECORDED

IN _____ IN THE OFFICE OF THE JUDGE OF PROBATE,
BALDWIN COUNTY, ALABAMA.

I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

| | | | |
|----------------|--------|--------------------|---------------------------------|
| PROJECT | DATE | DESIGNED | CLIENT |
| SC | TS | HW | WENDELTA PROPERTY HOLDINGS, LLC |
| DATE | SCALE | TITLE | |
| 7/21/25 | 1"=20' | TOPOGRAPHIC SURVEY | |
| DRAWING NUMBER | SHEET | | |
| 25-312 | 239/24 | | |

Physical Address:
11111 U.S. Hwy 31 Ste A
Spanish Fort, AL 36527
(251) 626-0404

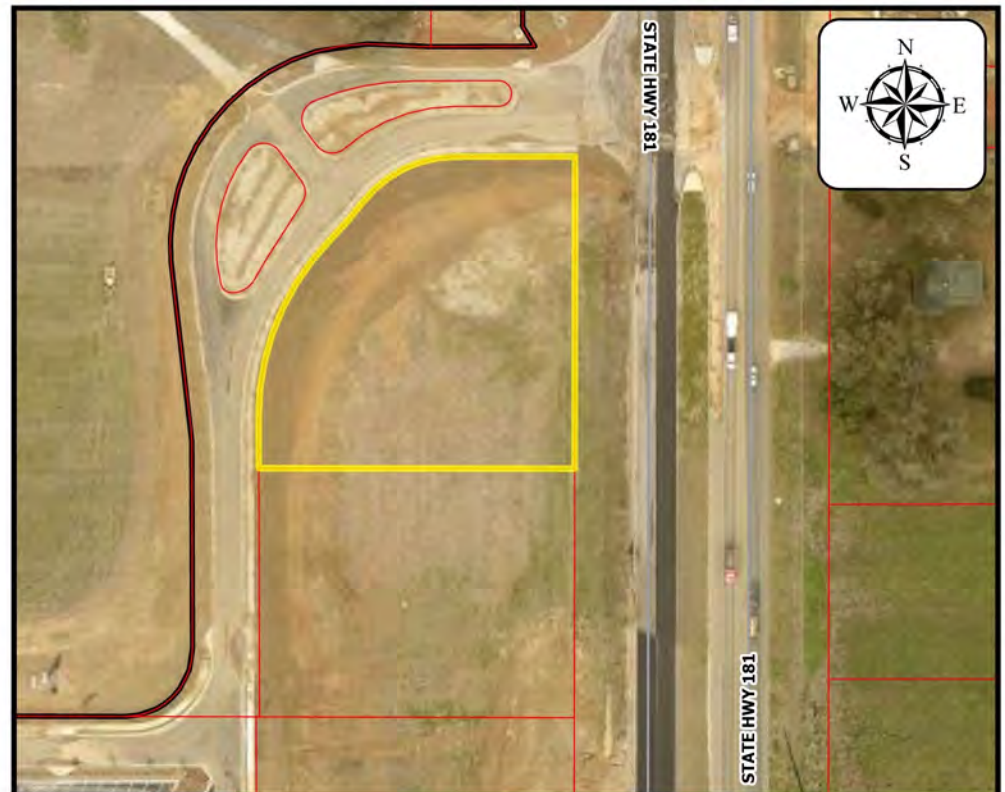
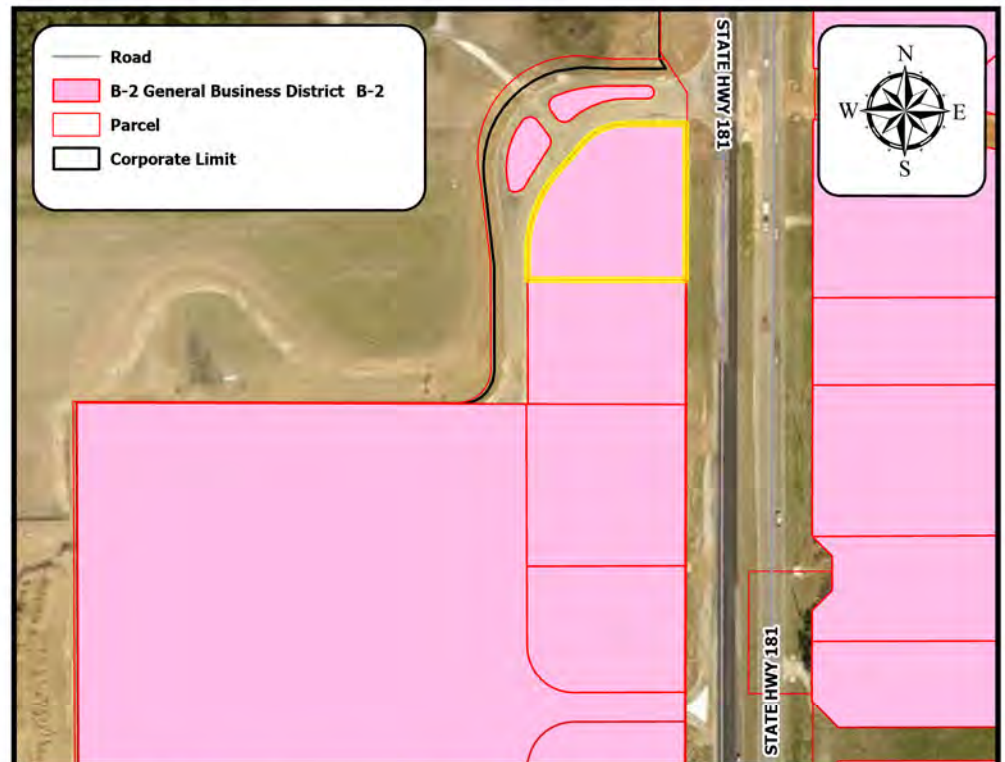
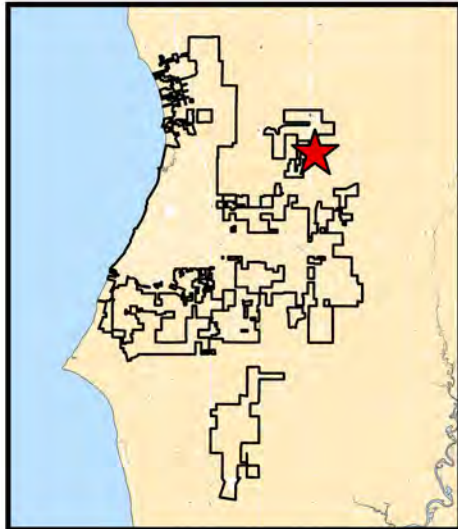
SMITH CLARK & ASSOCIATES
land surveyors

Mailing Address:
30841 Mill Lane
Suite G, Box 258
Spanish Fort, AL 36527

City of Fairhope Planning Commission October 6, 2025



SR 25.07 - Advanced Auto Parts



| | |
|-----------------------------------|--|
| <u>Project Name:</u> | Advanced Auto Parts |
| <u>Site Data:</u> | 1.09 acres |
| <u>Project Type:</u> | Site plan approval |
| <u>Jurisdiction:</u> | Fairhope Planning Jurisdiction |
| <u>Zoning District:</u> | B-2 General Business District |
| <u>PPIN Number:</u> | 626314 |
| <u>General Location:</u> | Northwest corner of State Highway 181 and State Highway 104 |
| <u>Surveyor of Record:</u> | Jade Consulting, LLC |
| <u>Engineer of Record:</u> | Jade Consulting, LLC |
| <u>Owner / Developer:</u> | Planters Pointe Partners, LLC |
| <u>School District:</u> | Fairhope Elementary School Fairhope Middle and High Schools |
| <u>Recommendation:</u> | Denied |
| <u>Prepared by:</u> | Payton Rogers |

SUMMARY OF REQUEST

Request of the Applicant, Jade Consulting, LLC, on behalf of the Owner, Planters Pointe Partners LLC, for Site Plan Approval of Advanced Auto Parts. The property is approximately 1.09 acres and is zoned B-2 – General Business District. The property is located on Lot 9 of the Planters Pointe Development on the northwest corner of State Highway 181 and State Highway 104.

SITE HISTORY

The subject site has been included in numerous Subdivision and Multiple Occupancy Project (MOP) requests since 2020. The Final Plat for Planter’s Pointe Subdivision was approved in December 2023 and includes a note which requires mandatory Site Plan Review prior to the development of any lot.

STAFF COMMENTS

Site Plan

The proposed site plan is attached to the end of this report as an exhibit.

Setbacks - COMPLIANT

The Final Plat recorded for Planter’s Pointe Subdivision establishes setback requirements for Lot 9 to be 20 feet from the West property line along Rockwell Boulevard, 10 feet from the South property line, and 50 feet from the East property line along State Highway 181. All setbacks are illustrated as compliant on the proposed Site Plan.

Buildings - COMPLIANT

B-2, General Business District has a required maximum building height of 30 feet. The proposed building height for the one-story structure is 20 feet.

Tree & Landscaping - MORE INFO NEEDED

Per the City of Fairhope Horticulturalist’s comments, the Tree Removal table listed on the Tree Preservation & Removal Plan is misleading. The applicant states that four (4) trees are proposed for removal within Rockwell Boulevard right-of-way (ROW), however, the Tree and Landscape Plan does not appear to include a credit of four (4) trees to offset the trees removed.

Parking - COMPLIANT

Table 4-3, *Parking Schedule* requires a minimum of 25 parking spaces for the subject site and allows for an overage of five (5) additional spaces not to exceed a total of 30 spaces for the site. As proposed, the Site Plan illustrates 27 parking spaces in total which includes two (2) handicap spaces and eight (8) compact spaces.

Connectivity - COMPLIANT

Sidewalks and pedestrian connectivity is illustrated along Rockwell Boulevard, as required. Additionally, the proposed Site Plan illustrates the extension of the 15-foot-wide multi-purpose trailway along State Highway 181.

Drainage - COMPLIANT

Drainage is unique within the Planter’s Pointe development. Publix, the anchor store, provided underground drainage for itself and those stores connected to it. Notes on the Final Plat for Planter’s Pointe Subdivision

state that all other lots must have self-sufficient drainage addressing all post-development stormwater runoff on the individual lots.

The Applicant is proposing to use Low-Impact Development (LID) methods to control site run off by infiltrating storm water into the ground using bio-retention swales and ponds. Within the provided Stormwater Report the Applicant states that, “The project will include a storm water management system that regulates post-development run off release rates below its respective pre-development rates for all critical storm events”.

Article IV Section E.4.c(2) of the Zoning Ordinance requires any parking provided that is more than what is required by Table 4-3 shall be designed with a pervious surfacing. As such, the site is required to provide a minimum of two (2) spaces utilizing pervious material. As illustrated, the applicant is proposing eight (8) parking spaces on the North side of the property to be surfaced with pervious concrete.

Exterior Lighting - COMPLIANT

As proposed, all exterior lighting is compliant with Article IV Section B.3 of the Zoning Ordinance.

Mechanical Equipment - COMPLIANT

All mechanical equipment is proposed to be located on the building’s roof and is illustrated in the submitted plans.

Dumpster - COMPLIANT

The Site Plan illustrates a dumpster with compliant screening in the Southeastern corner of the subject site.

Signage - COMPLIANT

Signage will be reviewed at time of a sign permit submittal.

Erosion Control - COMPLIANT

An erosion control plan was submitted with the application and is acceptable.

Utilities - COMPLIANT

A utility plan was submitted and has been reviewed and approved by the appropriate providers. No utility upgrades are required.

ADA Standards - COMPLIANT

ADA requirements per the Architect are met and at time of building permit will be further verified.

Traffic - COMPLIANT

A Traffic Study was generated with the application for Planter’s Pointe Subdivision in 2021. At that time there were not any determined land uses for each outparcel. As such, the trip generation analysis produced 395 entering trips and 302 exiting trips during a weekday AM peak hour; 573 entering trips and 559 exiting trips during a weekday PM peak hour. Per the applicant’s submitted traffic letter the proposed Advanced Auto Parts will generate a total of 30 trips during the AM peak hour and a total of 44 trips during the PM peak hour.

Lot Access - NON-COMPLIANT

As illustrated, the subject site proposes two (2) access drives both entering the site from Rockwell Boulevard, one (1) on the North side of the property 220± feet from the intersection of Rockwell Boulevard and State Highway 181 and a second entrance on the South side of the property. If constructed the southern access

drive would be a shared drive between the subject site, Lot 9 Planter’s Pointe Subdivision, and Lot 8 abutting to the South.

A site plan comparison can be viewed as an exhibit at the end of this report.

It is important to note that Lot 8 was recently before the Planning Commission at its December 2, 2024 meeting where the Commission recommended approval of a Site Plan Review (SR 24.06) for Express Oil Change, which was subsequently approved by the City Council. The Site Plan associated with SR 24.06 did not illustrate the aforementioned shared drive access between lots.

Despite the majority of items associated with this Site Plan Review being compliant, staff cannot recommend approval of a Site Plan which is in direct conflict with another Site Plan already approved by the City Council.

Staff has discussed this issue with the Applicant who has indicated a desire to work with Express Oil to address the need for a shared access drive. However, at the time of writing this report no plans detailing such have been submitted to staff.

Comprehensive Plan - COMPLIANT

Planters Pointe is in a newly recognized Suburban Mixed-Use Center in the proposed Comprehensive Plan.

Impacts on Surrounding Neighborhood - COMPLIANT

As previously stated, the subject site is zoned B-2. Directly adjacent to the site additional commercial uses.

Benefits to the Community - COMPLIANT

There are a lot of residential units being built in the surrounding area. A commercial retail center with a variety of retail/restaurant/office/commercial units will be a benefit to the residential subdivisions.

SITE PLAN CONSIDERATIONS

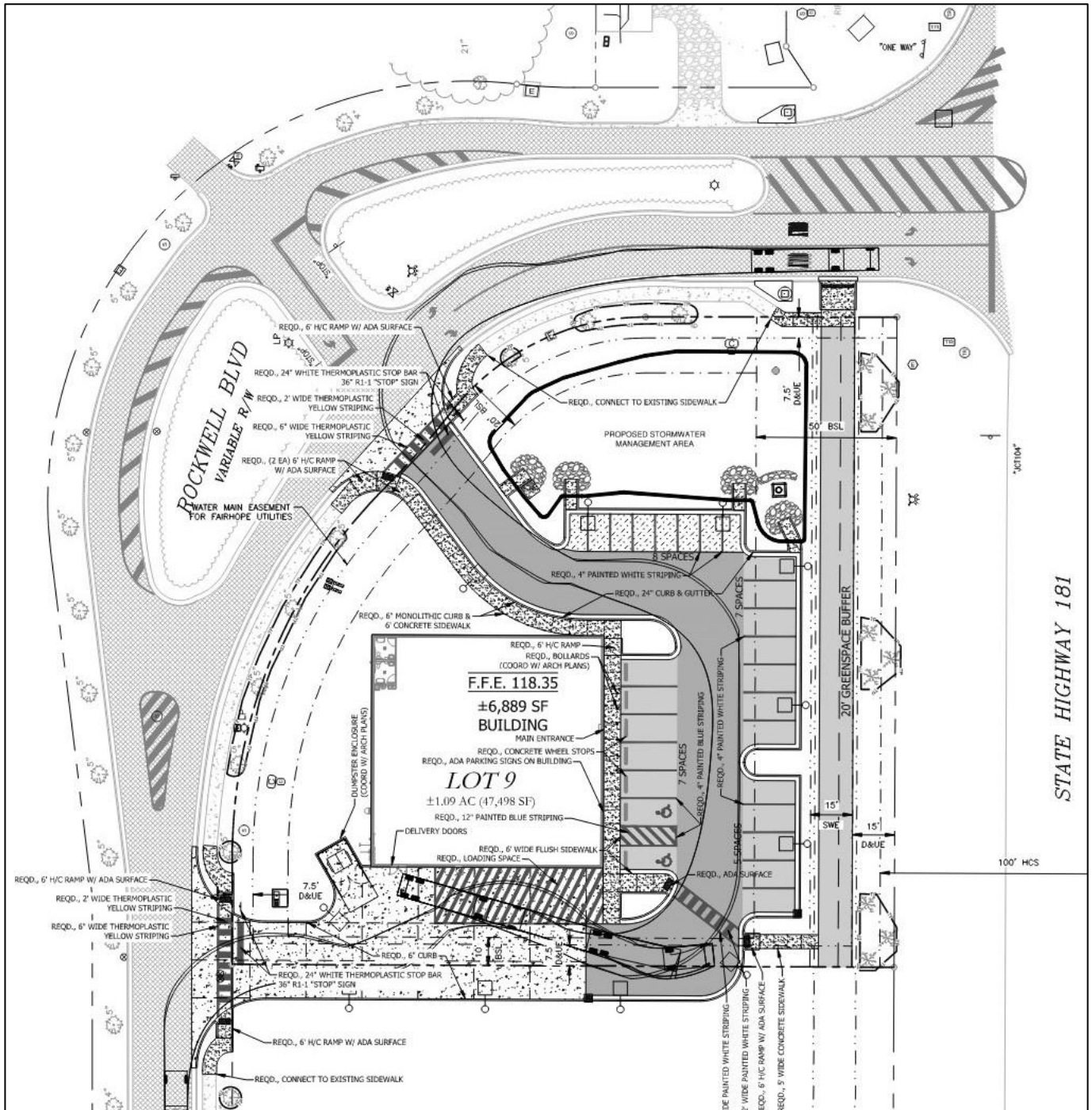
Standards of Review:

Article II Section C.2.d of the City of Fairhope Zoning Ordinance sets forth the criteria for reviewing rezoning requests.

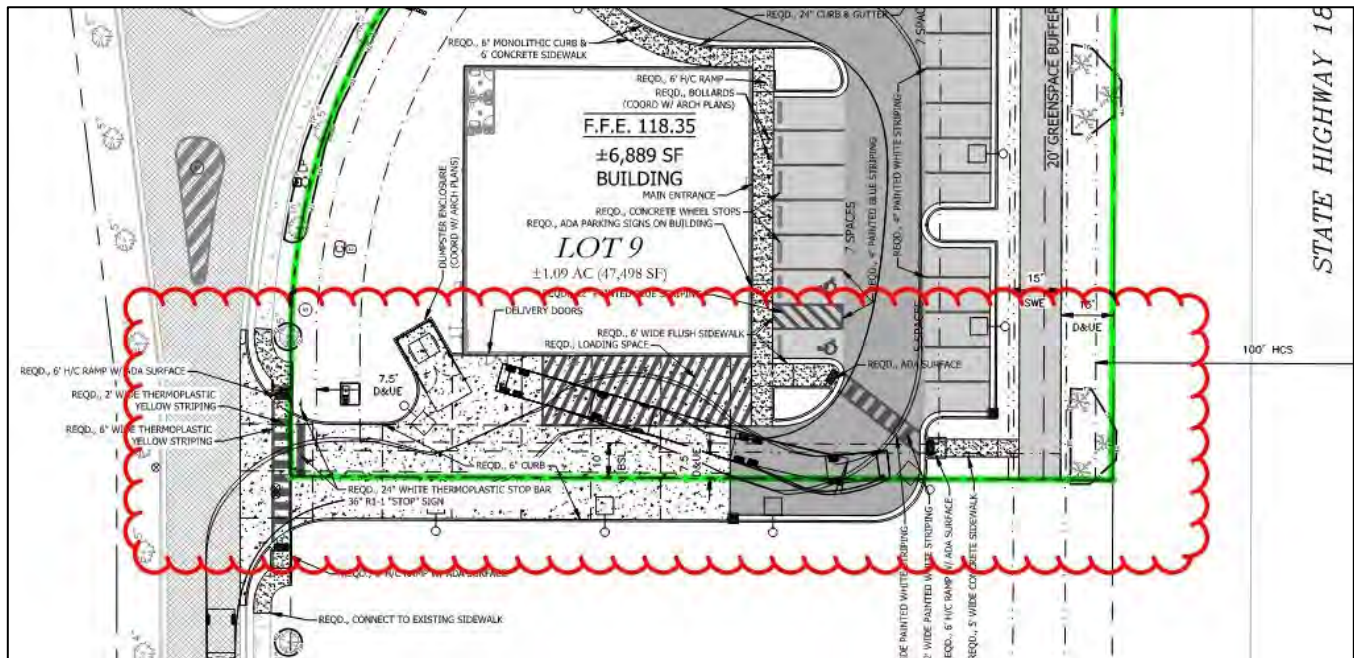
Recommendation:

Staff recommends **DENIAL** of SR 25.07 – Advanced Auto Site Plan due to a direct conflict between the proposed lot access plan and the lot access plan for an abutting development recently approved by the City Council as SR 24.06 – Express Oil Change.

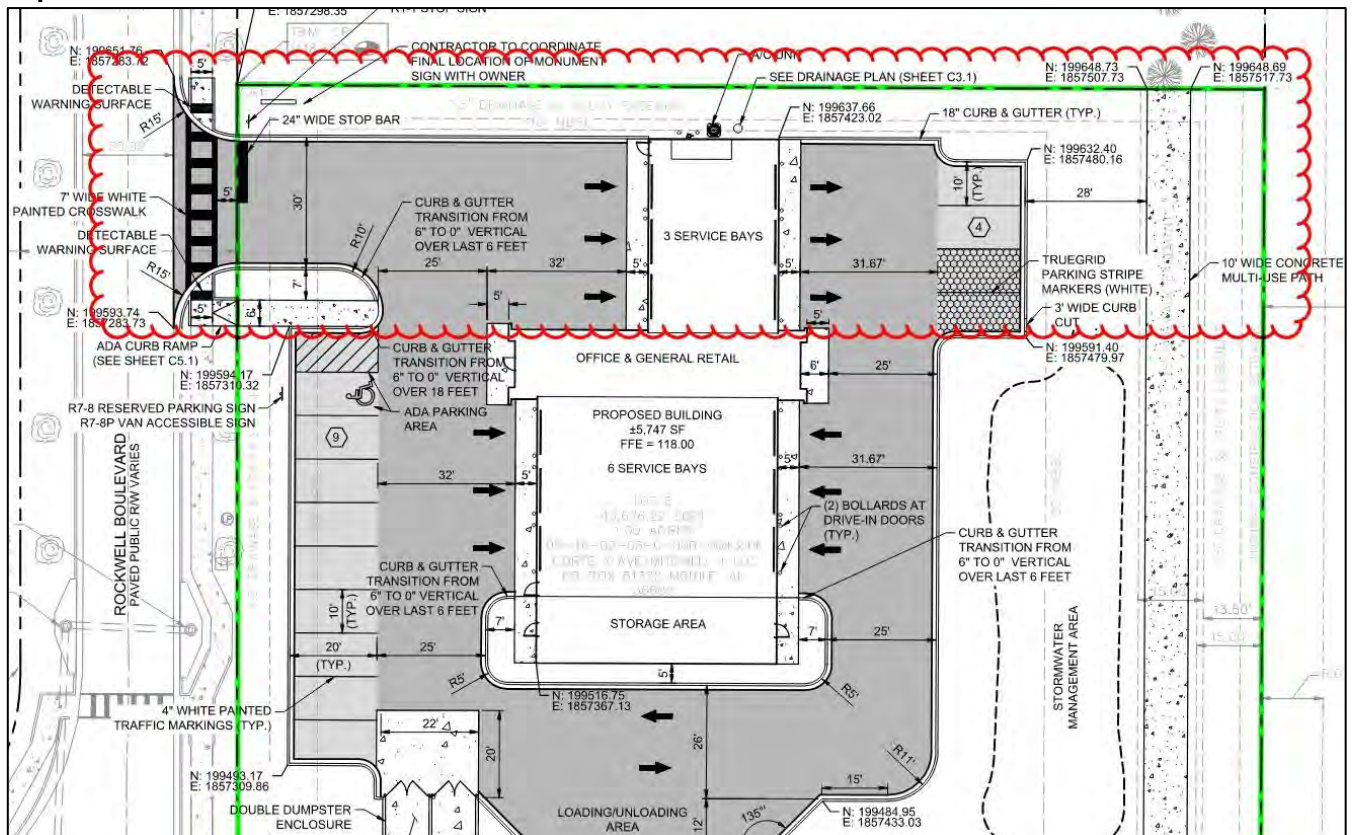
Proposed Site Plan



Advanced Auto Lot Access



Express Oil Lot Access





APPLICATION FOR SITE PLAN APPROVAL

Application Type: Site Plan
Attachments: Articles of Incorporation or List all associated investors
Date of Application: 08/26/25

Property Owner / Leaseholder Information
Name of Property Owner: Planters Pointe Partners LLC Phone Number: (251) 243-0708
Address of Property Owner: 805 Trione Ave
City: Daphne State: AL Zip: 36526

Proposed Site Plan Name: Advanced Auto Parts
Site Acreage: 1.09 Sq. Footage: 6,889
Parcel No: 05-46-02-03-0-000-004.245 Current Zoning: B2

Authorized Agent Information
Name of Authorized Agent: JADE Consulting, LLC Phone Number: 251-928-3443
Address: 208 N. Greeno Rd., Ste. C
City: Fairhope State: AL Zip: 36532
Contact Person: Perry C. "Trey" Jinright, III, PE

Engineer/Architect Information
Name of Firm: JADE Consulting, LLC Phone Number: 251-928-3443
Address: 208 N. Greeno Rd., Ste. c
City: Fairhope State: AL Zip: 36532
Contact Person: Perry C. "Trey" Jinright, III, PE

I certify that I am the property owner/leaseholder of the above described property and hereby submit this site plan to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

HAYMES S SNEDECKER
Property Owner/Leaseholder Printed Name
8/25/25
Date

[Signature]
Signature
Fairhope Single Tax Corp. (If Applicable)



July 8, 2025

Sherry Sullivan
Mayor

**Re: PPIN 626314, ADVANCED AUTO AT PLANTER'S POINTE SHOPPING CENTER
ROCKWELL BLVD AND HIGHWAY 181**

Council Members:

Kevin G. Boone
Jay Robinson
Jack Burrell, ACOMO
Jimmy Conyers
Corey Martin

This letter of availability is only valid based on what was proposed at the utility review meeting. Any changes or deviations of the proposed plan will require another utility review. This statement of availability remains effective for twelve (12) months from the date of this letter, at which time it shall expire and automatically be withdrawn.

Lisa A. Hanks, MMC
City Clerk

Water: Based upon a review of the proposed development, water service by Fairhope Public Utilities is currently available. All tap fees and system development charges (SDC's) will apply, and all necessary infrastructure improvements will be at the developer's expense.

Kimberly Creech
Treasurer

Sewer: Based upon a review of the proposed development, sewer service by Fairhope Public Utilities is currently available. Gravity sewer will be available on the west side of the property and will be private. Low pressure sewer is available on the east side of the property and is the City of Fairhope's sewer force main. All tap fees and system development charges (SDC's) will apply, and all necessary infrastructure improvements will be at the developer's expense.

Sincerely,

A handwritten signature in blue ink, appearing to read "Daryl Morefield", is written over a horizontal line.

Daryl Morefield
Water/Wastewater Superintendent

161 North Section St.
PO Drawer 429
Fairhope, AL 36533

251-928-2136 (p)
251-928-6776 (f)
www.fairhopeal.gov



July 11, 2025

Kenzie McInnis
Jade Consulting

RE: Service Availability – Parcel ID: 05-46-02-03-0-000-004.245

Dear Ms. McInnis,

This letter is in response to your request for information on the availability of service at the above location by AT&T.

This letter acknowledges that the above referenced property is located in an area served by AT&T. Any service arrangements for this location will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to this location.

Please contact me at the phone number included in this letter with any questions.
Thank you for contacting AT&T.

Sincerely,

A handwritten signature in black ink, appearing to read "Wade Mitchell".

Wade Mitchell
Senior – OSP Design Engineer
AT&T Alabama
2155 Old Shell Rd
Mobile, Alabama 36607
Gulf District/ Mobile Office
(251) 680-7402



RIVIERA UTILITIES

413 East Laurel Avenue - Foley, AL 36535
Phone (251) 943-5001

7/11/2025

Kenzie McInnis
Jade Consulting
208 North Greeno Road, Suite C
Fairhope, AL 36532

RE: Parcels 05-46-02-03-0-000-004.245

This letter is to confirm based on the site plan received; Riviera Utilities is willing and able to provide electric service to the above referenced property.

Riviera Utilities requires a 10' easement along all side property lines and a 15' easement along all front and rear property lines. Please ensure all property plats reflect the easements.

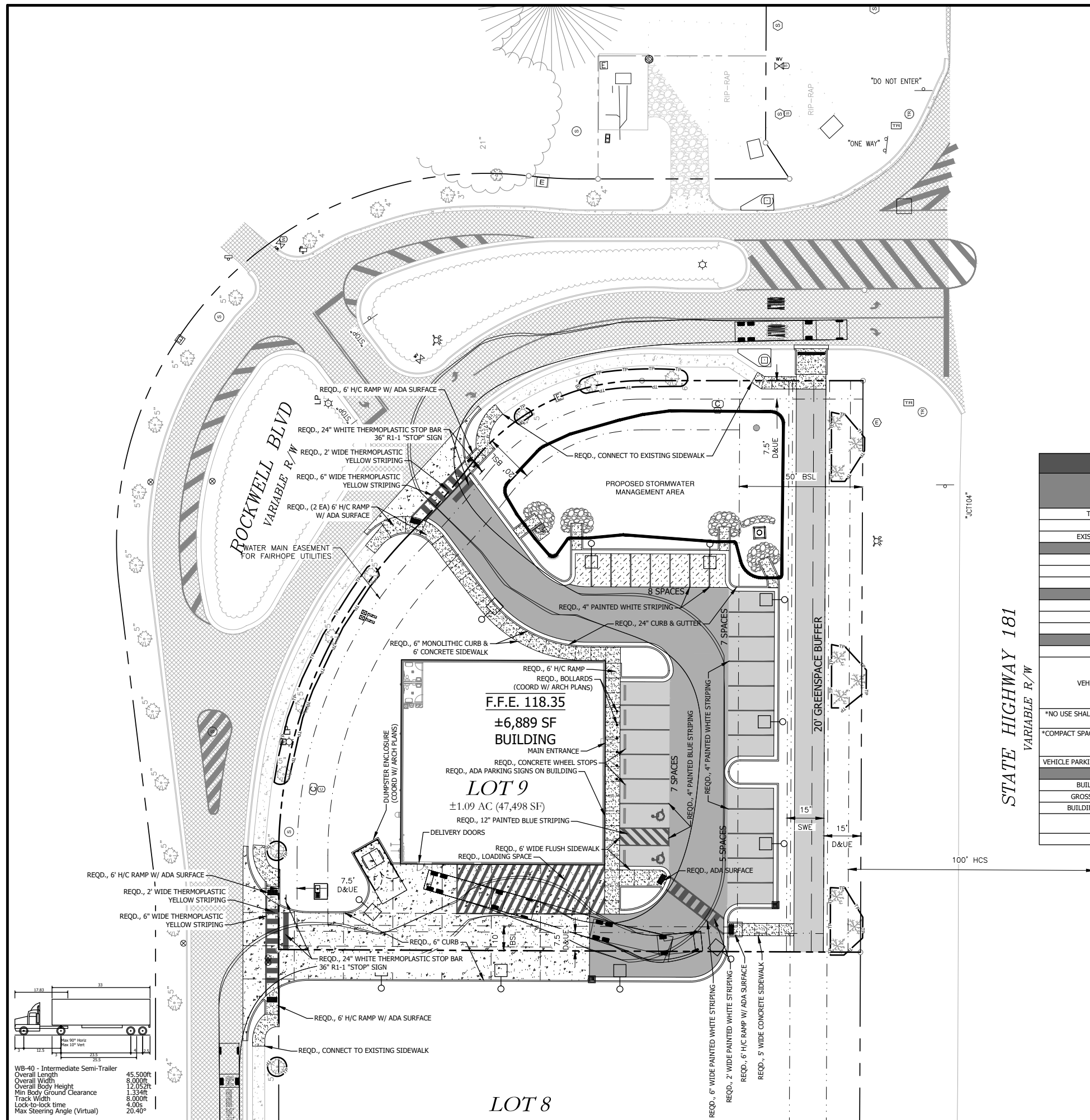
Upon final design, Riviera Utilities will provide estimates for service fees and system installation requirements to meet all Riviera specifications. Please contact the following Riviera employees concerning costs and requirements.

| Name | Department | Email |
|------------|------------|--|
| Wes Abrams | Electric | wabrams@rivierautilities.com |

If you have any questions or comments, contact Riviera Utilities at 251-943-5001.

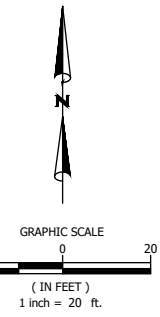
Thank you,

Tony L. Schachle Jr.



NOTES TO CONTRACTOR:

1. EVERY EFFORT HAS BEEN MADE TO ENSURE THAT THE BUILDING INDICATED IN THESE DRAWINGS MATCHES THE ARCHITECTS LATEST BUILDING AND FOUNDATION PLAN. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONFIRM THE AGREEMENT BETWEEN THE BUILDING FOOT PRINT SHOWN IN THESE PLANS AND THE ARCHITECTS BUILDING FOOTPRINT AND FOUNDATION PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
2. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ANY EXISTING SLOPES AND INFRASTRUCTURES ON THE SITE (I.E. PONDS, INLETS, ETC.).
3. CONTRACTOR TO VIDEO ALL EXISTING SEWER AND DRAIN LINES TO ENSURE THEY ARE CLEAR AND IN PROPER WORKING ORDER. PROVIDE VIDEO TO THE OWNER.
4. AFTER THE STORM DRAIN SYSTEM IS COMPLETED THE CONTRACTOR SHALL VIDEO THE SYSTEM AND SUBMIT VIDEO TO THE OWNER FOR REVIEW.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO THE SITE FOR THE DURATION OF THE PROJECT.
6. ALL EARTHWORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH GEOTECHNICAL RECOMMENDATIONS.
7. ALL CONDUIT LOCATIONS FOR POWER, TELEPHONE, AND CABLE SHALL BE COORDINATED WITH ARCHITECTURAL PLANS AND LOCAL UTILITY PROVIDERS.



PARKING STRIPING NOTE:

PARKING STRIPES ON CONCRETE SHOULD ALWAYS BE YELLOW AND PARKING STRIPES ON ASPHALT SHOULD ALWAYS BE WHITE UNLESS OTHERWISE SPECIFIED IN THE CONSTRUCTION DOCUMENTS.

PROPOSED JOINT LAYOUT:

- PROPOSED CONTRACTION/SAWCUT JOINT
- PROPOSED EXPANSION JOINT

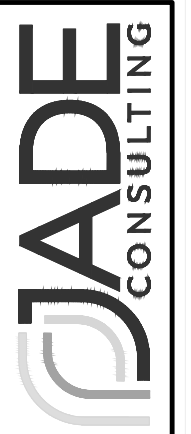


LEGEND

- BENCHMARK
- EXISTING AXLE FOUND
- CONCRETE MONUMENT FOUND
- OPEN TOP IRON PIPE FOUND
- CAPPED ROD FOUND
- CAPPED ROD SET
- RIGHT-OF-WAY
- CENTERLINE
- EXIST. PROPERTY LINE
- PROPERTY LINE (ADJACENT)
- EXIST. EASEMENT LINE
- EXIST. OVERHEAD UTILITY AND UTILITY POLE
- EXIST. GUY WIRE AND UTILITY POLE
- EXIST. WATER LINE
- EXIST. SANITARY SEWER LINE
- EXIST. GAS LINE
- EXIST. UNDER GROUND CABLE LINE
- EXIST. FIBER OPTIC CABLE LINE
- EXIST. TELEPHONE LINE
- EXIST. FENCE LINE
- EXIST. PIPE
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT LINE
- PROPOSED SETBACK LINE
- PROPOSED 24" CONCRETE CURB & GUTTER
- PROPOSED 6" CONCRETE CURB
- EXIST. POWER POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRICAL BOX
- EXIST. WATER METER
- EXIST. WATER VALVE
- EXIST. FIRE HYDRANT
- EXIST. SANITARY SEWER MANHOLE
- EXIST. GAS VALVE
- EXIST. GAS LINE MARKER
- EXIST. FIBER OPTIC CABLE BOX
- EXIST. FIBER OPTIC CABLE POST
- EXIST. TELEPHONE BOX
- EXIST. STORM SEWER MANHOLE
- EXIST. ASPHALT PAVING
- EXIST. CONCRETE
- EXIST. GRAVEL
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH)
- PROPOSED HEAVY DUTY CONCRETE (BROOM FINISH)
- PROPOSED PERVIOUS CONCRETE

SITE DATA TABLE

| STATE OF ALABAMA COUNTY OF BALDWIN CITY OF FAIRHOPE LOT 9 PLANTERS POINTE SUBDIVISION | | |
|--|--|---|
| TAX PARCEL ID: | 05-46-02-03-0-000-004.245 | |
| PARCEL SIZE: | APPROX. 1.09 ACRES (±47,498 SF) | |
| EXISTING ZONING: | B-2 GENERAL BUSINESS DISTRICT | |
| BUILDING SETBACKS: | | |
| FRONT: | 50' | |
| SIDE: | 10' | |
| REAR: | 20' | |
| LANDSCAPE BUFFERS: | | |
| FRONT: | 20' GREENSPACE BUFFER | |
| SIDE: | 0' | |
| REAR: | 0' | |
| PARKING STANDARDS: | | |
| REQUIRED: | | |
| VEHICLE PARKING: | 0-400 SF = 4 SPACES 400-500 SF = 1 SPACE/400 SF OVER 5000 = 1 SPACE/200 SF | 400 SF GFA = 4 SPACES 4600 SF / 400 SF = 11.5 SPACES 1889 SF / 200 SF = 9.5 SPACES = 25 TOTAL SPACES |
| *NO USE SHALL PROVIDE MORE THAN 20% MORE THAN THE PARKING REQUIRED BY TABLE 4-3* 25 * 1.2 = 30 SPACES (27 SPACES PROVIDED) | | |
| *COMPACT SPACES SHALL BE A MINIMUM OF 30% OF THE REQUIRED SPACES AND NO MORE THAN A MAXIMUM OF 40% OF THE REQUIRED SPACES* 25 * 0.30 = 7.5 SPACES (8 COMPACT SPACES PROVIDED) | | |
| VEHICLE PARKING PROVIDED: | 27 SPACES (INC. 2 H/C AND 8 COMPACT SPACES) | |
| BUILDING HEIGHT & AREAS: | | |
| BUILDING HEIGHT: | 20' | |
| GROSS FLOOR AREA: | 6,889 SF | |
| BUILDING COVERAGE: | 6,889 SF ≈ 14.5% OF SITE | |
| IMPERVIOUS: | 22,848 SF ≈ 48% OF SITE (EXCLUDING BUILDING & INC. MULTI-USE PATH) | |
| GREENSPACE: | 24,650 SF ≈ 52% OF SITE | |



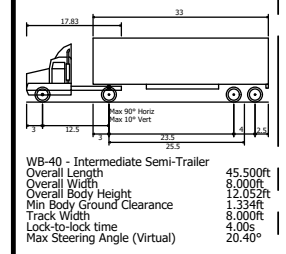
2108 Greene Rd., North, Ste. C
Fairhope, Alabama 36532
P.O. Box 1929
Fairhope, Alabama 36533
Phone: (251) 928-3443
jadegreens.com
(AL) CA-3157-E



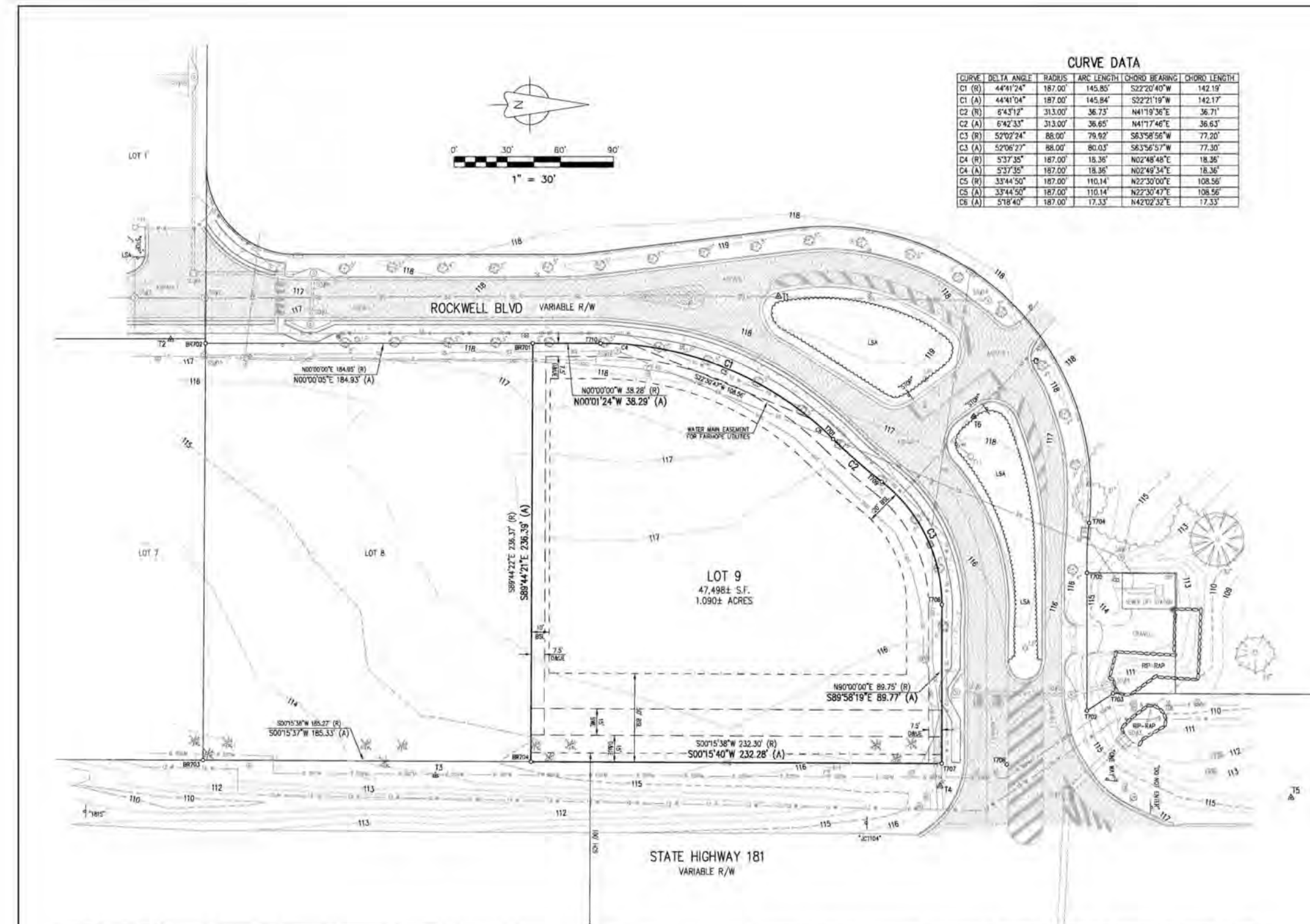
| NO. | REVISION | DATE | APPR. |
|-----|--------------------|---------|-------|
| | CITY RESUBMITTAL | 9/17/25 | |
| | VARIOUS SUBMITTALS | 8/25/25 | |



JOB NO: 25-1986.20
SCALE: 1" = 20'
DATE: SEPT 2025
DRAFTER: TVML
SHEET: C2



LOT 8



CURVE DATA

| CURVE | DELTA ANGLE | RADIUS | ARC LENGTH | CHORD BEARING | CHORD LENGTH |
|--------|-------------|---------|------------|---------------|--------------|
| C1 (R) | 44°41'24" | 187.00' | 145.85' | S22°20'40"W | 142.19' |
| C1 (A) | 44°41'04" | 187.00' | 145.84' | S22°21'19"W | 142.17' |
| C2 (R) | 6°43'12" | 313.00' | 36.73' | N41°19'36"E | 36.71' |
| C2 (A) | 6°42'33" | 313.00' | 36.65' | N41°17'46"E | 36.63' |
| C3 (R) | 52°02'24" | 88.00' | 79.92' | S63°58'56"W | 77.20' |
| C3 (A) | 52°06'27" | 88.00' | 80.03' | S63°56'57"W | 77.30' |
| C4 (R) | 5°37'35" | 187.00' | 18.36' | N02°48'48"E | 18.36' |
| C4 (A) | 5°37'35" | 187.00' | 18.36' | N02°49'34"E | 18.36' |
| C5 (R) | 33°44'50" | 187.00' | 110.14' | N22°30'00"E | 108.56' |
| C5 (A) | 33°44'50" | 187.00' | 110.14' | N22°30'47"E | 108.56' |
| C6 (A) | 5°18'40" | 187.00' | 17.33' | N42°02'32"E | 17.33' |

SANITARY SEWER DATA

| | |
|---------------|---------------|
| SS#2 | SS#4 |
| RM=117.51 | RM=118.26 |
| INV(S)=107.61 | INV(S)=111.86 |
| INV(N)=109.39 | |
| INV(E)=107.40 | SS#5 |
| | RM=117.82 |
| SS#3 | INV(W)=108.20 |
| RM=117.72 | INV(N)=106.31 |
| INV(E)=109.42 | |
| INV(S)=109.47 | SS#6 |
| INV(W)=107.69 | RM=119.42 |
| INV(N)=107.67 | INV(N)=106.08 |
| | INV(S)=106.18 |
| SS#13 | SS#17 |
| RM=118.41 | RM=114.28 |
| INV(N)=111.00 | INV(N)=104.64 |
| INV(S)=110.85 | INV(S)=104.59 |

STORM STRUCTURE DATA

| | |
|----------------------------|----------------------------|
| SD#1 | SD#6 |
| JUNCTION BOX | "S" INLET |
| RM=116.59 | RM=116.12 |
| INV(N) 18"RCP=112.73 | INV(N) 18"RCP=111.57 |
| INV(S) 22"x13"RCP=112.75 | |
| INV(W) 44"x27"RCP=112.69 | SD#7 |
| | "S" INLET |
| SD#2 | RM=117.65 |
| APPROXIMATE LOCATION OF | INV(W) 18"RCP=113.35 |
| JUNCTION BOX UNDER ASPHALT | |
| SD#3 | SD#8 |
| "S" INLET | "S" INLET |
| RM=116.59 | RM=117.67 |
| INV 44"x27"RCP=110.09 | INV(E) 18"RCP=113.20 |
| | INV(S) 18"RCP=113.21 |
| SD#4 | SD#9 |
| INV 22"x13"RCP=110.42 | APPROXIMATE LOCATION OF |
| | JUNCTION BOX UNDER ASPHALT |
| SD#5 | SD#10 |
| "S" INLET | "S" INLET |
| RM=116.22 | RM=117.14 |
| INV(N) 22"x13"RCP=111.38 | INV(W) 24"RCP=111.97 |
| INV(S) 18"RCP=111.12 | INV(E) 18"RCP=111.95 |
| | INV(S) 30"RCP=111.86 |

LEGEND

- (R) RECORD BEARING OR DISTANCE
- (A) ACTUAL BEARING OR DISTANCE
- DME DRAINAGE & UTILITY EASEMENT
- SME SIDEWALK EASEMENT
- HCS HIGHWAY CONSTRUCTION SETBACK
- BSL BUILDING SETBACK LINE
- SPZ SURVEY CONTROL POINT
- CP702 PROPERTY CORNER
- CP702 LIGHT POLE
- CP702 TRAFFIC SIGNAL POLE
- CP702 TRAFFIC SIGNAL VAULT
- CP702 ELECTRIC TRANSFORMER/VAULT
- CP702 ELECTRIC HANDHOLE
- CP702 CONTROL PANEL
- CP702 FIRE HYDRANT
- CP702 WATER VALVE
- CP702 WELL HAND PUMP
- CP702 IRRIGATION CONTROL VALVE
- CP702 WATER SPOUT
- CP702 NATURAL GAS MARKER
- CP702 COMMUNICATION VAULT
- CP702 COMMUNICATION MARKER
- CP702 STORM DRAIN MANHOLE
- CP702 SANITARY SEWER MANHOLE
- CP702 SANITARY SEWER VALVE
- CP702 SANITARY SEWER MARKER
- CP702 ENTRY KEYHOLE
- CP702 SIGN
- CP702 UNDERGROUND ELECTRIC LINE
- CP702 6" WATER LINE
- CP702 10" WATER LINE
- CP702 12" WATER LINE
- CP702 GRANTY SANITARY SEWER LINE
- CP702 6" SANITARY SEWER FORCE MAIN
- CP702 NATURAL GAS LINE
- CP702 UNDERGROUND COMMUNICATION
- CP702 STORM DRAIN PIPE
- CP702 TREE LINE
- CP702 LANDSCAPED AREA
- CP702 OAK TREE
- CP702 PINE TREE
- CP702 CYPRESS TREE
- CP702 CREPE MYRTLE

NOTES

- THE PROPERTY DESCRIBED HEREON IS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NO. D1003C0661 M, DATED 04/19/2019, AND IS SHOWN TO BE IN FLOOD ZONE X-UNSHADED.
- THIS SURVEY DOES NOT REFLECT ANY TITLE OR EASEMENT RESEARCH OTHER THAN WHAT IS READILY VISIBLE ON THE SURFACE OR PROVIDED BY THE CLIENT.
- ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND WERE ESTABLISHED ON-SITE VIA STATIC GPS OBSERVATIONS THAT WERE PROCESSED WITH OPUS.
- HORIZONTAL COORDINATES SHOWN HEREON ARE REFERENCED TO STATE PLANE COORDINATES, ALABAMA WEST ZONE, NAD 83, U.S. SURVEY FOOT, AND WERE ESTABLISHED ON-SITE VIA STATIC GPS OBSERVATIONS THAT WERE PROCESSED WITH OPUS.
- DISTANCES SHOWN HEREON ARE STATE PLANE COORDINATE GRID DISTANCES. SCALE FACTOR: 0.99994751.
- BEARINGS SHOWN HEREON ARE STATE PLANE COORDINATE GRID BEARINGS. CONVERGENCE ANGLE FROM GRID NORTH TO GEODETIC NORTH IS -00° 10' 47" AT N 199,788,740, E 1,857,271,883.
- UNDERGROUND UTILITIES SHOWN HEREON WERE ESTABLISHED BY FIELD MEASUREMENTS OF MARKINGS PLACED ON THE GROUND BY VARIOUS UTILITY COMPANIES IN RESPONSE TO LINE LOCATE TICKET NUMBER 251901324 OR AS SHOWN ON AS-BUILT DRAWINGS PROVIDED BY UTILITY COMPANIES.

PROPERTY CORNER DATA

| POINT | NORTHING | EASTING | DESCRIPTION |
|-------|------------|--------------|------------------------------|
| BR701 | 199,649.84 | 1,857,298.28 | CAPPED REBAR (THOMPSON) |
| BR702 | 199,464.90 | 1,857,298.28 | CAPPED REBAR (THOMPSON) |
| BR703 | 199,463.43 | 1,857,533.83 | CAPPED REBAR (THOMPSON) |
| BR704 | 199,648.76 | 1,857,534.67 | CAPPED REBAR (THOMPSON) |
| T701 | 199,819.61 | 1,857,352.34 | CAPPED REBAR (THOMPSON) |
| T702 | 199,963.07 | 1,857,505.88 | CAPPED REBAR (DEWBERRY) |
| T703 | 199,977.79 | 1,857,496.14 | CAPPED REBAR (THOMPSON) |
| T704 | 199,964.30 | 1,857,399.87 | CAPPED REBAR (THOMPSON) |
| T705 | 199,963.04 | 1,857,428.04 | CAPPED REBAR REF. (DEWBERRY) |
| T706 | 199,881.08 | 1,857,445.96 | CAPPED REBAR (THOMPSON) |
| T707 | 199,881.04 | 1,857,535.73 | 5/8" REBAR |
| T708 | 199,917.84 | 1,857,536.30 | NAIL & DISK (CA1007LS ALDOT) |
| T709 | 199,847.13 | 1,857,376.51 | CAPPED REBAR (THOMPSON) |
| T710 | 199,688.13 | 1,857,298.27 | CAPPED REBAR (THOMPSON) |

CONTROL POINT DATA

| POINT | NORTHING | EASTING | ELEVATION | DESCRIPTION |
|-------|------------|--------------|-----------|----------------------------|
| T1 | 199,788.74 | 1,857,271.88 | 119.79 | RED CAPPED REBAR (WATTIER) |
| T2 | 199,445.19 | 1,857,296.13 | 117.85 | RED CAPPED REBAR (WATTIER) |
| T3 | 199,594.90 | 1,857,542.46 | 114.44 | RED CAPPED REBAR (WATTIER) |
| T4 | 199,880.11 | 1,857,548.59 | 116.22 | RED CAPPED REBAR (WATTIER) |
| T5 | 200,078.41 | 1,857,554.77 | 113.65 | RED CAPPED REBAR (WATTIER) |
| T6 | 199,899.08 | 1,857,538.64 | 118.28 | RED CAPPED REBAR (WATTIER) |

LEGAL DESCRIPTION

STATE OF ALABAMA
 COUNTY OF BALDWIN
 LOT 9, PLANTERS POINTE SUBDIVISION, RE-SUB LOT 2, NW CORNER HWY181-HWY104 SUBDIVISION, AS RECORDED IN SLIDE 2954-B & C OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA.

SURVEYOR CERTIFICATION

I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

Mark A. Wattier
 MARK A. WATTIER, PLS
 ALABAMA REGISTRATION NO. 20364

JULY 25, 2025

WATTIER SURVEYING, INC.
 PROFESSIONAL LAND SURVEYORS
 4318 Downtowner Loop N., Suite H
 Mobile, Alabama 36609 251-342-2640

ADVANCE AUTO PARTS

FAIRHOPE, AL

ROCKWELL BLVD
(LOT 9 PLANTERS POINTE SUBDIVISION)

GRADE, DRAIN, BASE AND PAVE
WATER DISTRIBUTION
SEWAGE COLLECTION SYSTEM

SEPTEMBER 2025

LEGAL DESCRIPTION

STATE OF ALABAMA
COUNTY OF BALDWIN

LOT 9, PLANTERS POINTE SUBDIVISION, RE-SUB LOT 2, NW CORNER HWY181-HWY104 SUBDIVISION, AS RECORDED IN SLIDE 2954-B & C OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA.

CONTROL POINT DATA

| POINT | NORTHING | EASTING | ELEVATION | DESCRIPTION |
|-------|------------|--------------|-----------|----------------------------|
| T1 | 199,788.74 | 1,857,271.88 | 119.79 | RED CAPPED REBAR (WATTIER) |
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| T5 | 200,078.41 | 1,857,554.77 | 113.65 | RED CAPPED REBAR (WATTIER) |
| T6 | 199,899.08 | 1,857,339.64 | 118.28 | RED CAPPED REBAR (WATTIER) |

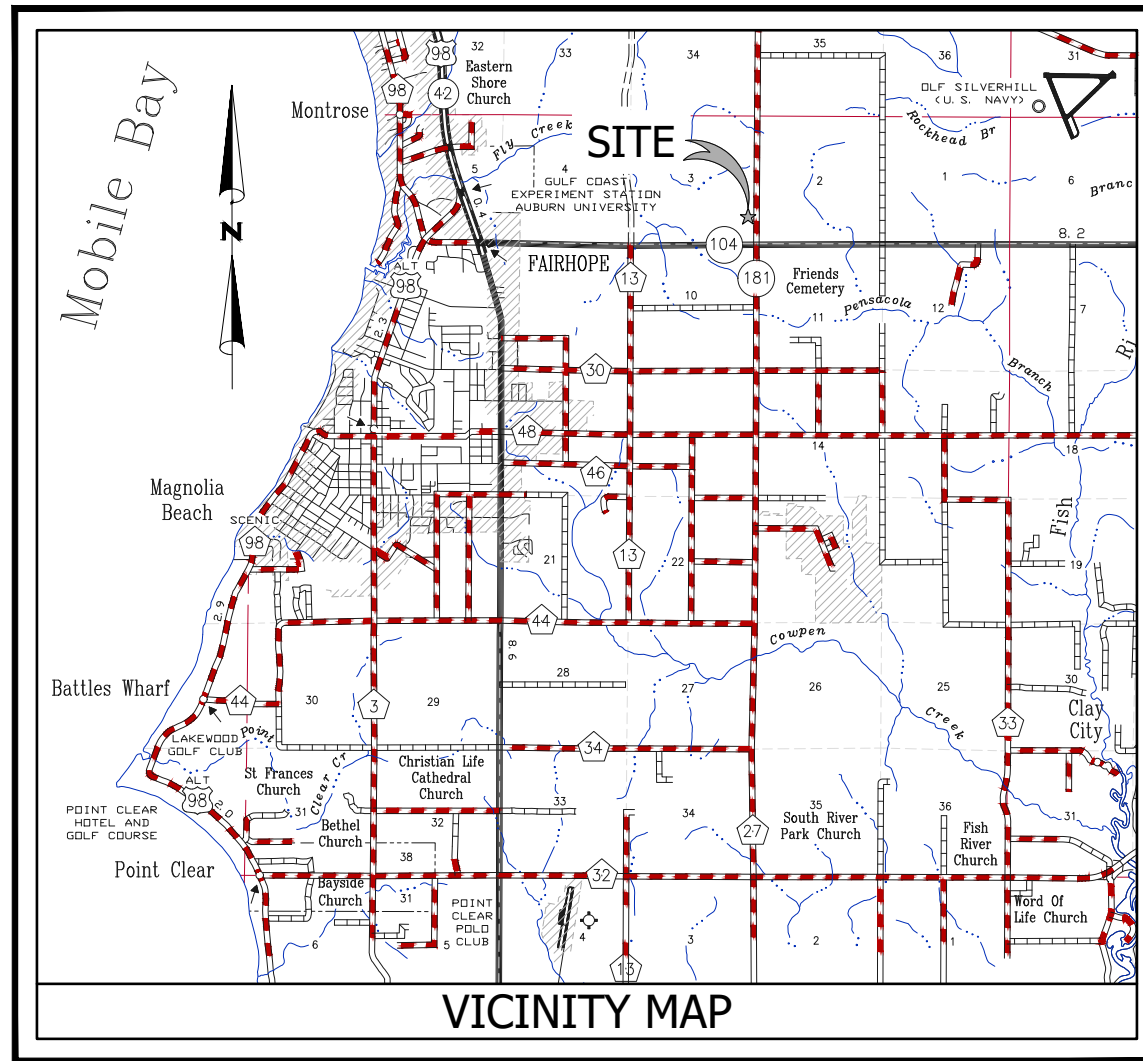
PROPERTY CORNER DATA

| POINT | NORTHING | EASTING | DESCRIPTION |
|-------|------------|--------------|------------------------------|
| BR701 | 199,649.84 | 1,857,298.28 | CAPPED REBAR (THOMPSON) |
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| BR703 | 199,463.43 | 1,857,533.83 | CAPPED REBAR (THOMPSON) |
| BR704 | 199,648.76 | 1,857,534.67 | CAPPED REBAR (THOMPSON) |
| T701 | 199,819.61 | 1,857,352.34 | CAPPED REBAR (THOMPSON) |
| T702 | 199,963.07 | 1,857,505.88 | CAPPED REBAR (DEWBERRY) |
| T703 | 199,977.79 | 1,857,496.14 | CAPPED REBAR (THOMPSON) |
| T704 | 199,964.30 | 1,857,399.87 | CAPPED REBAR (THOMPSON) |
| T705 | 199,963.04 | 1,857,428.04 | CAPPED REBAR REF. (DEWBERRY) |
| T706 | 199,881.08 | 1,857,445.96 | CAPPED REBAR (THOMPSON) |
| T707 | 199,881.04 | 1,857,535.73 | 5/8" REBAR |
| T708 | 199,917.84 | 1,857,536.30 | NAIL & DISK (GA1007LS ALDOT) |
| T709 | 199,847.13 | 1,857,376.51 | CAPPED REBAR (THOMPSON) |
| T710 | 199,688.13 | 1,857,298.27 | CAPPED REBAR (THOMPSON) |

UTILITY INFORMATION

CONTRACTOR SHALL HAVE ALL EXISTING BURIED UTILITIES "LINE SPOTTED" BY CALLING 1-800-292-8925 (ALABAMA ONE-CALL) OR BY CONTACTING LOCAL UTILITY COMPANIES

| | |
|------------------|--|
| WATER/SEWER/GAS: | <p>FAIRHOPE PUBLIC UTILITIES 555 S SECTION ST, FAIRHOPE, AL 36532 DARYL MOREFIELD (WATER & SEWER) daryl.morefield@fairhopeal.gov WES BOYETT (GAS) wes.boyyett@fairhopeal.gov (251) 928-2136</p> |
| ELECTRICAL: | <p>RIVIERA UTILITIES 413 E LAUREL AVE, FOLEY, AL 36535 WES ABRAMS wabrams@rivierautilities.com (251) 943-5001</p> |
| TELEPHONE: | <p>AT&T ALABAMA 2155 OLD SHELL RD, MOBILE, AL 36607 WADE MITCHELL wm0395@att.com (251) 680-7402</p> |



VICINITY MAP

NOT TO SCALE

| SITE DATA TABLE | | | | | | | | | |
|--|---|---------------------|-----------------------|------------------------------|--------------------------------|----------------------------|-------------------------------|--|-------------------|
| STATE OF ALABAMA COUNTY OF BALDWIN CITY OF FAIRHOPE LOT 9 PLANTERS POINTE SUBDIVISION | | | | | | | | | |
| TAX PARCEL ID: | 05-46-02-03-0-000-004.245 | | | | | | | | |
| PARCEL SIZE: | APPROX. 1.09 ACRES (±47,498 SF) | | | | | | | | |
| EXISTING ZONING: | B-2 GENERAL BUSINESS DISTRICT | | | | | | | | |
| BUILDING SETBACKS: | | | | | | | | | |
| FRONT: | 50' | | | | | | | | |
| SIDE: | 10' | | | | | | | | |
| REAR: | 20' | | | | | | | | |
| LANDSCAPE BUFFERS: | | | | | | | | | |
| FRONT: | 20' GREENSPACE BUFFER | | | | | | | | |
| SIDE: | 0' | | | | | | | | |
| REAR: | 0' | | | | | | | | |
| PARKING STANDARDS: | | | | | | | | | |
| REQUIRED: | | | | | | | | | |
| VEHICLE PARKING: | <table border="0"> <tr> <td>0-400 SF = 4 SPACES</td> <td>400 SF GFA = 4 SPACES</td> </tr> <tr> <td>400-5000 SF = 1 SPACE/400 SF</td> <td>4600 SF / 400 SF = 11.5 SPACES</td> </tr> <tr> <td>OVER 5000 = 1 SPACE/200 SF</td> <td>1889 SF / 200 SF = 9.5 SPACES</td> </tr> <tr> <td></td> <td>= 25 TOTAL SPACES</td> </tr> </table> | 0-400 SF = 4 SPACES | 400 SF GFA = 4 SPACES | 400-5000 SF = 1 SPACE/400 SF | 4600 SF / 400 SF = 11.5 SPACES | OVER 5000 = 1 SPACE/200 SF | 1889 SF / 200 SF = 9.5 SPACES | | = 25 TOTAL SPACES |
| 0-400 SF = 4 SPACES | 400 SF GFA = 4 SPACES | | | | | | | | |
| 400-5000 SF = 1 SPACE/400 SF | 4600 SF / 400 SF = 11.5 SPACES | | | | | | | | |
| OVER 5000 = 1 SPACE/200 SF | 1889 SF / 200 SF = 9.5 SPACES | | | | | | | | |
| | = 25 TOTAL SPACES | | | | | | | | |
| *NO USE SHALL PROVIDE MORE THAN 20% MORE THAN THE PARKING REQUIRED BY TABLE 4-3* 25 * 1.2 = 30 SPACES (27 SPACES PROVIDED) | | | | | | | | | |
| *COMPACT SPACES SHALL BE A MINIMUM OF 30% OF THE REQUIRED SPACES AND NO MORE THAN A MAXIMUM OF 40% OF THE REQUIRED SPACES* 25 * 0.30 = 7.5 SPACES (8 COMPACT SPACES PROVIDED) | | | | | | | | | |
| VEHICLE PARKING PROVIDED: | 27 SPACES (INC. 2 H/C AND 8 COMPACT SPACES) | | | | | | | | |
| BUILDING HEIGHT & AREAS: | | | | | | | | | |
| BUILDING HEIGHT: | 20' | | | | | | | | |
| GROSS FLOOR AREA: | 6,899 SF | | | | | | | | |
| BUILDING COVERAGE: | 6,899 SF ≈ 14.5% OF SITE | | | | | | | | |
| IMPERVIOUS: | 22,848 SF ≈ 48% OF SITE (EXCLUDING BUILDING & INC. MULTI-USE PATH) | | | | | | | | |
| GREENSPACE: | 24,650 SF ≈ 52% OF SITE | | | | | | | | |



INDEX TO SHEETS:

| SHEET | DESCRIPTION |
|-------|-------------------------------------|
| C0 | COVER SHEET |
| C1 | EXISTING CONDITIONS/DEMOLITION PLAN |
| C2 | SITE PLAN |
| C3 | GEOMETRIC LAYOUT & UTILITY PLAN |
| C4 | GRADING & DRAINAGE PLAN |
| C5 | CIVIL CONSTRUCTION NOTES |
| C6 | CIVIL CONSTRUCTION DETAILS (1) |
| C7 | CIVIL CONSTRUCTION DETAILS (2) |
| C8 | CIVIL CONSTRUCTION DETAILS (3) |
| C9 | EROSION CONTROL PLAN |
| C10 | EROSION CONTROL DETAILS |

PREPARED FOR:

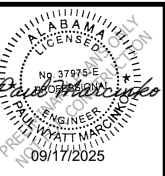
PLANTERS POINTE PARTNERS, LLC
HAYMES SNEDEKER
P.O. BOX 130
DAPHNE, AL 36526
(251) 243-0708
(251) 252-9898 (FAX)

NOTE:

NO CONSTRUCTION AND/OR LAND DISTURBANCE, EXCEPT THOSE NECESSARY TO INSTALL THE BMP'S, SHALL BEGIN ON THIS PROJECT UNTIL THE BMP PLAN HAS BEEN INSTALLED AND APPROVED BY THE CITY/COUNTY.



208 Cicero Rd, North, Ste. C
Fairhope, Alabama 36532
P.O. Box 1029
Fairhope, Alabama 36533
Phone: (251) 928-3443
jade@jadeconsulting.com
(AL) CA313157-E



| NO. | REVISION | DATE | APPR. |
|-----|--------------------|---------|-------|
| | CITY RESUBMITTAL | 9/17/25 | |
| | VARIOUS SUBMITTALS | 8/25/25 | |



JOB NO: 25-1986.20
SCALE: N/A
DATE: SEPT 2025
DRAFTER: TVML
SHEET: C0

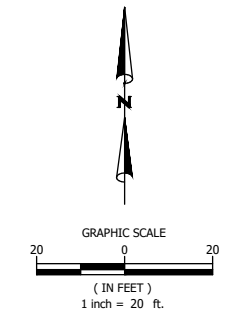
| NO. | REVISION | DATE | APPR. |
|-----|--------------------|---------|-------|
| | CITY RESUBMITTAL | 9/17/25 | |
| | VARIOUS SUBMITTALS | 8/25/25 | |

- NOTES:**
1. ALL NEW WORK SHOWN IN THESE PLANS SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL BUILDING AND UTILITY INSTALLATION CODES.
 2. NO WORK SHALL COMMENCE, INCLUDING DEMOLITION, UNTIL ALL APPLICABLE EROSION CONTROL MEASURES HAVE BEEN INSTALLED, INSPECTED BY THE PROJECT ENGINEER, AND APPROVED.
 3. EROSION CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO ANY CLEARING OR EARTHWORK OPERATIONS AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL PERMANENT GROUND COVER IS ESTABLISHED IN ALL DISTURBED AREAS.

- DEMOLITION NOTE:**
1. ALL DEMOLITION TO BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS.
 2. TREES FOR REMOVAL ARE MARKED WITH A DEMOLITION "X".
 3. CLEAR AND GRUB ALL AREAS WITHIN POND AND ROADWAY FOOTPRINTS.

FLOOD ZONE NOTE:

ACCORDING TO THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP NO. 01003C0661M, DATED APRIL 19, 2019, THE ABOVE DESCRIBED PROPERTY IS LOCATED IN FLOOD HAZARD AREA "X-UNSHADED" AS DETERMINED BY GRAPHIC SCALING.



LEGEND

- BENCHMARK
- EXISTING AXLE FOUND
- CONCRETE MONUMENT FOUND
- OPEN TOP IRON PIPE FOUND
- CAPPED ROD FOUND
- CAPPED ROD SET
- RIGHT-OF-WAY
- CENTERLINE
- EXIST. PROPERTY LINE
- PROPERTY LINE (ADJACENT)
- EXIST. EASEMENT LINE
- EXIST. OVERHEAD UTILITY AND UTILITY POLE
- EXIST. GUY WIRE AND UTILITY POLE
- EXIST. WATER LINE
- EXIST. SANITARY SEWER LINE
- EXIST. GAS LINE
- EXIST. UNDER GROUND CABLE LINE
- EXIST. FIBER OPTIC CABLE LINE
- EXIST. TELEPHONE LINE
- EXIST. FENCE LINE
- EXIST. PIPE
- EXIST. 1 FOOT CONTOUR
- EXIST. 5 FOOT CONTOUR
- EXIST. GRADE SPOT ELEVATION
- EXIST. POWER POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRICAL BOX
- EXIST. WATER METER
- EXIST. WATER VALVE
- EXIST. FIRE HYDRANT
- EXIST. SANITARY SEWER MANHOLE
- EXIST. GAS VALVE
- EXIST. GAS LINE MARKER
- EXIST. FIBER OPTIC CABLE BOX
- EXIST. FIBER OPTIC CABLE POST
- EXIST. TELEPHONE BOX
- EXIST. STORM SEWER MANHOLE
- EXIST. ASPHALT PAVING
- EXIST. CONCRETE
- EXIST. GRAVEL
- TO BE REMOVED
- TO BE REMOVED
- TREE PROTECTION

CONTROL POINT DATA

| POINT | NORTHING | EASTING | ELEVATION | DESCRIPTION |
|-------|------------|--------------|-----------|----------------------------|
| T1 | 199,788.74 | 1,857,271.88 | 119.79 | RED CAPPED REBAR (WATTIER) |
| T2 | 199,445.19 | 1,857,296.13 | 117.85 | RED CAPPED REBAR (WATTIER) |
| T3 | 199,594.90 | 1,857,542.46 | 114.44 | RED CAPPED REBAR (WATTIER) |
| T4 | 199,880.11 | 1,857,548.59 | 116.22 | RED CAPPED REBAR (WATTIER) |
| T5 | 200,078.41 | 1,857,554.77 | 113.65 | RED CAPPED REBAR (WATTIER) |
| T6 | 199,899.08 | 1,857,399.64 | 118.28 | RED CAPPED REBAR (WATTIER) |

PROPERTY CORNER DATA

| POINT | NORTHING | EASTING | DESCRIPTION |
|-------|------------|--------------|------------------------------|
| BR701 | 199,649.84 | 1,857,298.28 | CAPPED REBAR (THOMPSON) |
| BR702 | 199,464.90 | 1,857,298.28 | CAPPED REBAR (THOMPSON) |
| BR703 | 199,463.43 | 1,857,533.83 | CAPPED REBAR (THOMPSON) |
| BR704 | 199,648.76 | 1,857,534.67 | CAPPED REBAR (THOMPSON) |
| T701 | 199,819.61 | 1,857,352.34 | CAPPED REBAR (THOMPSON) |
| T702 | 199,963.07 | 1,857,505.88 | CAPPED REBAR (DEWBERRY) |
| T703 | 199,977.79 | 1,857,496.14 | CAPPED REBAR (THOMPSON) |
| T704 | 199,964.30 | 1,857,399.87 | CAPPED REBAR (THOMPSON) |
| T705 | 199,963.04 | 1,857,428.04 | CAPPED REBAR REF. (DEWBERRY) |
| T706 | 199,881.08 | 1,857,445.96 | CAPPED REBAR (THOMPSON) |
| T707 | 199,881.04 | 1,857,535.73 | 5/8" REBAR |
| T708 | 199,917.84 | 1,857,536.30 | NAIL & DISK (CA1007LS ALDOT) |
| T709 | 199,847.13 | 1,857,376.51 | CAPPED REBAR (THOMPSON) |
| T710 | 199,688.13 | 1,857,298.27 | CAPPED REBAR (THOMPSON) |

EXISTING UTILITIES DISCLAIMER:

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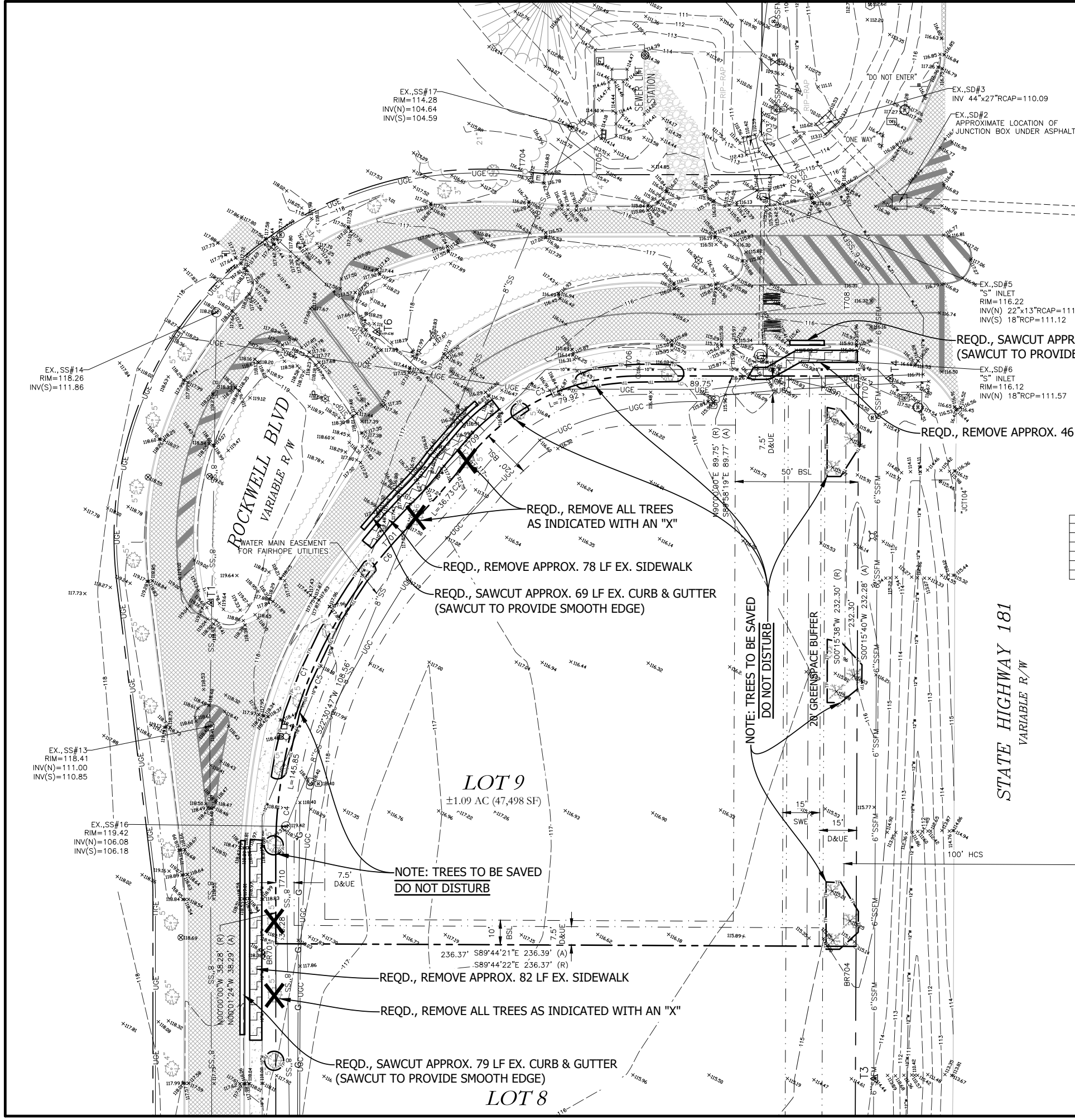
UTILITY INFORMATION

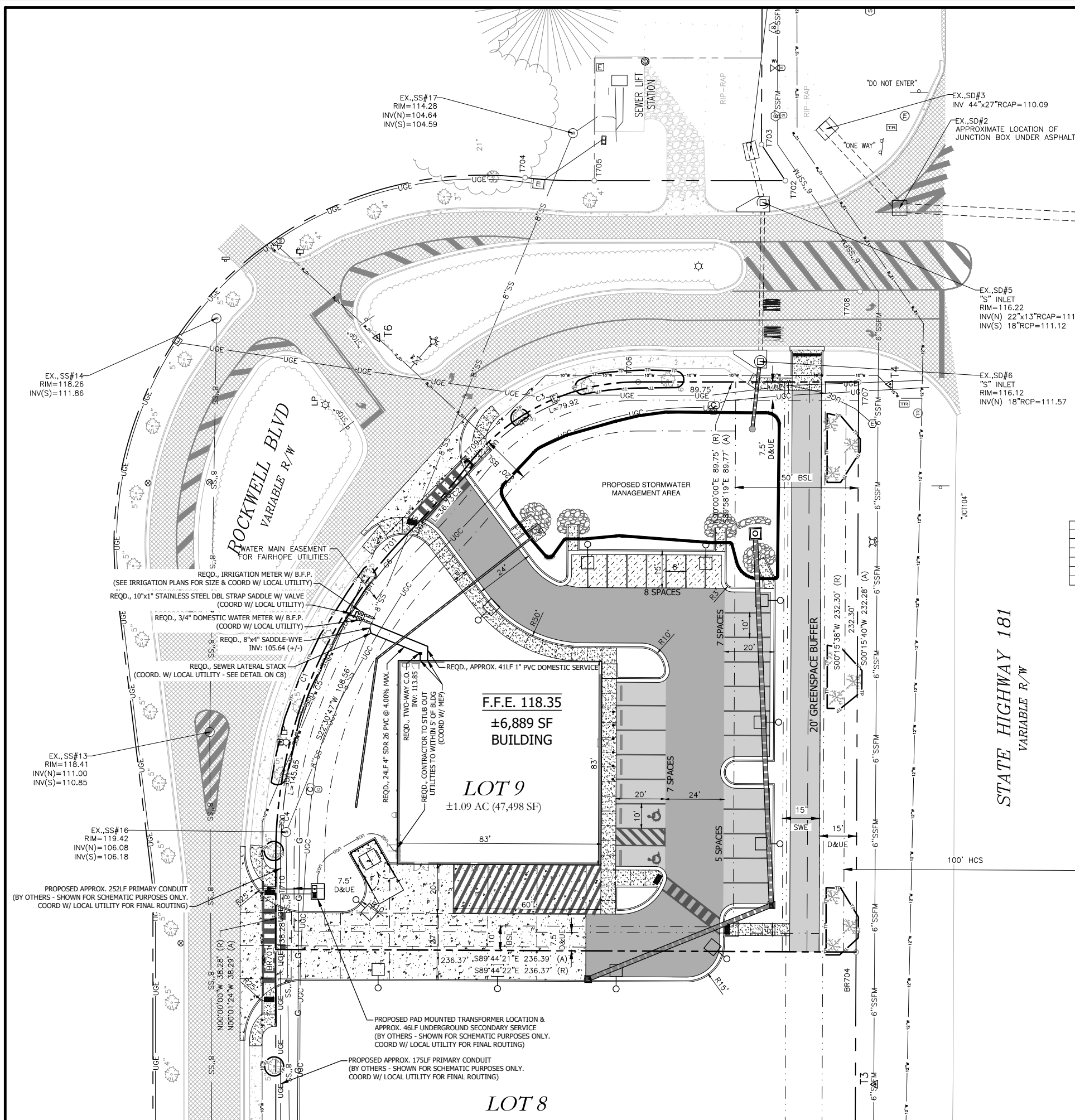
CONTRACTOR SHALL HAVE ALL EXISTING BURIED UTILITIES "LINE SPOTTED" BY CALLING 1-800-292-8925 (ALABAMA ONE-CALL) OR BY CONTACTING LOCAL UTILITY COMPANIES

| | |
|------------------|---|
| WATER/SEWER/GAS: | FAIRHOPE PUBLIC UTILITIES 555 S SECTION ST, FAIRHOPE, AL 36532 DARYL MOREFIELD (WATER & SEWER) daryl.morefield@fairhopeal.gov WES BOYETT (GAS) wes.boyyett@fairhopeal.gov (251) 928-2136 |
| ELECTRICAL: | RIVIERA UTILITIES 413 E LAUREL AVE, FOLEY, AL 36535 WES ABRAMS wabrams@rivierautilities.com (251) 943-5001 |
| TELEPHONE: | AT&T ALABAMA 2155 OLD SHELL RD, MOBILE, AL 36607 WADE MITCHELL wmm395@att.com (251) 680-7402 |

SURVEY PROVIDED BY:

Wattier Surveying, Inc.
Professional Land Surveyors
4318 Downtown Loop N., Suite H
Mobile, Alabama 36609 251-342-2640





NOTES TO CONTRACTOR:

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3. CONTRACTOR TO VIDEO ALL EXISTING SEWER AND DRAIN LINES TO ENSURE THEY ARE CLEAR AND IN PROPER WORKING ORDER. PROVIDE VIDEO TO THE OWNER.
4. AFTER THE STORM DRAIN SYSTEM IS COMPLETED THE CONTRACTOR SHALL VIDEO THE SYSTEM AND SUBMIT VIDEO TO THE OWNER FOR REVIEW.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO THE SITE FOR THE DURATION OF THE PROJECT.
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7. ALL CONDUIT LOCATIONS FOR POWER, TELEPHONE, AND CABLE SHALL BE COORDINATED WITH ARCHITECTURAL PLANS AND LOCAL UTILITY PROVIDERS.

DIMENSION NOTE:

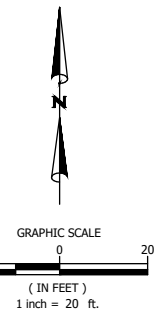
DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

UTILITY NOTE:

CONTRACTOR TO STUB OUT UTILITIES TO WITHIN 5' OF BUILDING. COORDINATE WITH PLUMBING PLANS FOR CONNECTION.

PROPOSED JOINT LAYOUT:

- - - - - PROPOSED CONTRACTION/SAWCUT JOINT
- - - - - PROPOSED EXPANSION JOINT



LEGEND

- ▲ BENCHMARK
- △ EXISTING AXLE FOUND
- CMF CONCRETE MONUMENT FOUND
- △ OTF OPEN TOP IRON PIPE FOUND
- △ CRF CAPPED ROD FOUND
- CRS CAPPED ROD SET
- RIGHT-OF-WAY
- CENTERLINE
- EXIST. PROPERTY LINE
- PROPERTY LINE (ADJACENT)
- EXIST. EASEMENT LINE
- EXIST. OVERHEAD UTILITY AND UTILITY POLE
- EXIST. GUY WIRE AND UTILITY POLE
- EXIST. WATER LINE
- SS EXIST. SANITARY SEWER LINE
- GAS EXIST. GAS LINE
- UGC EXIST. UNDER GROUND CABLE LINE
- FO EXIST. FIBER OPTIC CABLE LINE
- TEL EXIST. TELEPHONE LINE
- EXIST. FENCE LINE
- EXIST. PIPE
- - - - - PROPOSED PROPERTY LINE
- - - - - PROPOSED EASEMENT LINE
- - - - - PROPOSED SETBACK LINE
- - - - - PROPOSED 24" CONCRETE CURB & GUTTER
- PP EXIST. POWER POLE
- ☆ EXIST. LIGHT POLE
- EXIST. ELECTRICAL BOX
- EXIST. WATER METER
- EXIST. WATER VALVE
- EXIST. FIRE HYDRANT
- EXIST. SANITARY SEWER MANHOLE
- EXIST. GAS VALVE
- EXIST. GAS LINE MARKER
- EXIST. FIBER OPTIC CABLE BOX
- EXIST. FIBER OPTIC CABLE POST
- EXIST. TELEPHONE BOX
- EXIST. STORM SEWER MANHOLE
- EXIST. ASPHALT PAVING
- EXIST. CONCRETE
- EXIST. GRAVEL
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH)
- PROPOSED HEAVY DUTY CONCRETE (BROOM FINISH)
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CONTROL POINT DATA

| POINT | NORTHING | EASTING | ELEVATION | DESCRIPTION |
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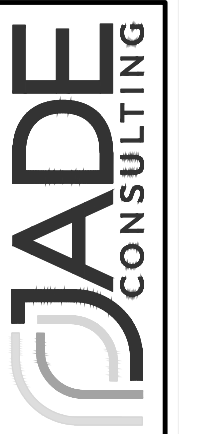
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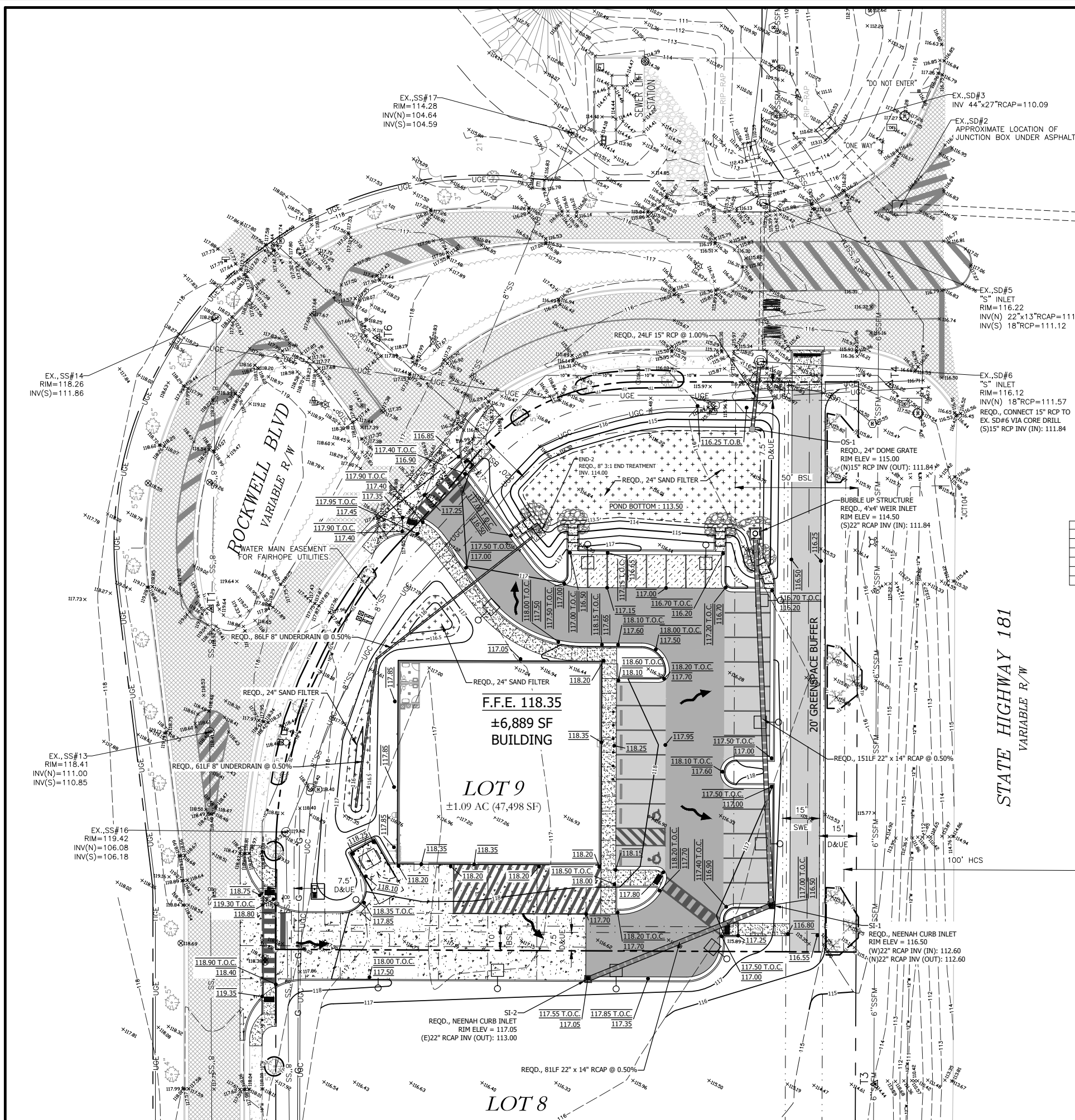
208 Cicero Rd. North, Ste. C
Fairhope, Alabama 36532
P.O. Box 1929
Fairhope, Alabama 36533
Phone: (251) 928-3443
jadesurveying.com
(AL) CA3157-E



| NO. | REVISION | DATE | APPR. |
|-----|--------------------|---------|-------|
| | CITY RESUBMITTAL | 9/17/25 | |
| | VARIOUS SUBMITTALS | 8/25/25 | |

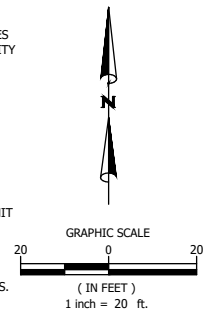


JOB NO: 25-1986.20
SCALE: 1" = 20'
DATE: SEPT 2025
DRAFTER: TVML
SHEET: C3



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7. ALL CONDUIT LOCATIONS FOR POWER, TELEPHONE, AND CABLE SHALL BE COORDINATED WITH ARCHITECTURAL PLANS AND LOCAL UTILITY PROVIDERS.



DRAINAGE INLET NOTE:

FOR ALL CURB INLETS, THE THROAT ELEVATION CALLED OUT ON THE PLANS IS THE GUTTER FLOW LINE ELEVATION.

FOUNDATION FOOTING NOTE:

CONTRACTOR TO REVIEW SPOT ELEVATIONS IMMEDIATELY SURROUNDING BUILDING AT THE TIME OF FOOTING PREPARATION. CONTRACTOR TO ENSURE STRUCTURAL DETAILS MATCH CIVIL DESIGN AND ACCOUNT FOR ELEVATIONS TO ENSURE NO CONFLICT WITH FOOTING DEPTHS. CONTRACTOR TO INFORM ENGINEERS AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY AND ENSURE RESOLUTION BEFORE SCHEDULING FOOTINGS TO BE POURED.

CONTROL POINT DATA

| POINT | NORTHING | EASTING | ELEVATION | DESCRIPTION |
|-------|------------|--------------|-----------|----------------------------|
| T1 | 199,788.74 | 1,857,271.88 | 119.79 | RED CAPPED REBAR (WATTIER) |
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LEGEND

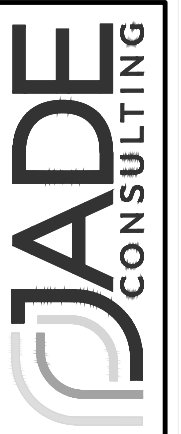
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- CONCRETE MONUMENT FOUND
- OPEN TOP IRON PIPE FOUND
- CAPPED ROD FOUND
- CAPPED ROD SET
- RIGHT-OF-WAY
- CENTERLINE
- EXIST. PROPERTY LINE
- PROPERTY LINE (ADJACENT)
- EXIST. EASEMENT LINE
- EXIST. OVERHEAD UTILITY AND UTILITY POLE
- EXIST. GUY WIRE AND UTILITY POLE
- EXIST. WATER LINE
- EXIST. SANITARY SEWER LINE
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- EXIST. UNDER GROUND CABLE LINE
- EXIST. FIBER OPTIC CABLE LINE
- EXIST. TELEPHONE LINE
- EXIST. FENCE LINE
- EXIST. PIPE
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT LINE
- PROPOSED SETBACK LINE
- PROPOSED 24" CONCRETE CURB & GUTTER
- PROPOSED 6" CONCRETE CURB
- EXIST. POWER POLE
- EXIST. LIGHT POLE
- EXIST. ELECTRICAL BOX
- EXIST. WATER METER
- EXIST. WATER VALVE
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- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH)
- PROPOSED HEAVY DUTY CONCRETE (BROOM FINISH)
- PROPOSED PERVIOUS CONCRETE
- EXIST. 1 FOOT CONTOUR
- EXIST. 5 FOOT CONTOUR
- EXIST. GRADE SPOT ELEVATION
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- FINISHED GRADE ELEVATION (TOP OF CURB)
- FINISHED GRADE ELEVATION
- DRAINAGE DIRECTION
- PROPOSED RIP RAP W/ FILTER BLANKET

AS BUILT/RECORD DRAWINGS:

1. CONTRACTOR SHALL PROVIDE ENGINEER OF RECORD TWO SIGNED AND SEALED COPIES OF AS-BUILT DRAWINGS OF ALL FINISHED IMPROVEMENTS. CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS OF ALL FINISHED IMPROVEMENTS IN PDF AND DWG FORMAT.
 2. AS-BUILT DRAWINGS TO BE PERFORMED AND CERTIFIED BY A ALABAMA LICENSED PROFESSIONAL LAND SURVEYOR.
 3. AS-BUILT DRAWINGS SHALL BE SUBMITTED AFTER COMPLETION OF ALL IMPROVEMENTS AND PRIOR TO FINAL INSPECTION.
 4. AS BUILT DRAWINGS SHALL INCLUDE, BUT NOT BE LIMITED TO:
 - A. DETAIL OF THE POND CONTROL STRUCTURE INCLUDING STRUCTURE TYPE, STRUCTURE SIZE, INVERT OF ALL PIPES, ORIFICES, WEIRS AND THE INVERT CONNECTIONS AT OFF-SITE CONVEYANCE SYSTEMS, GRATES AND SKIMMERS.
 - B. POND CONSTRUCTION DETAILS SHOWING THE POND TOPOGRAPHY, TOP OF THE POND BERM/WALL AND POND BOTTOM ELEVATIONS AND THE LOCATION OF SAND FILTERS.
- C. SHOW ENTIRE STORM WATER CONVEYANCE SYSTEM INCLUDING THE SIZE TYPE AND INVERT OF ALL PIPES, CHANNELS, ROOF DRAIN SYSTEMS, STRUCTURES, CURBING AND SPOT SHOT ELEVATIONS IN VEHICLE USE AREAS. DRAINAGE STRUCTURES SHALL INCLUDE "X" AND "Y" COORDINATES.
- D. SHOW ALL TRAFFIC CONTROL DEVICES INCLUDING SIGNS, SIGNALS, PARKING STRIPING AND PAVEMENT MARKINGS.
- E. DELINEATE CONSERVATION AND DRAINAGE EASEMENT BOUNDARIES AND LABEL WITH THE "OR" BOOK AND PAGE NUMBER D
- F. ANY ADDITIONAL ITEMS REQUIRED BY PERMITTING JURISDICTION.

SURVEY PROVIDED BY:

Wattier Surveying, Inc.
Professional Land Surveyors
4318 Downlamer Loop N., Suite H
Mobile, Alabama 36609 251-342-2640



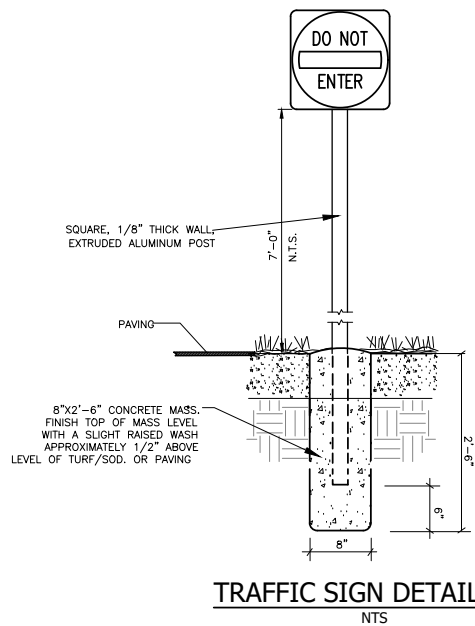
208 Creech Rd. North, Ste. C
Fairhope, Alabama 36532
P.O. Box 1929
Fairhope, Alabama 36533
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jadesurveying.com
(AL) CA3157-E



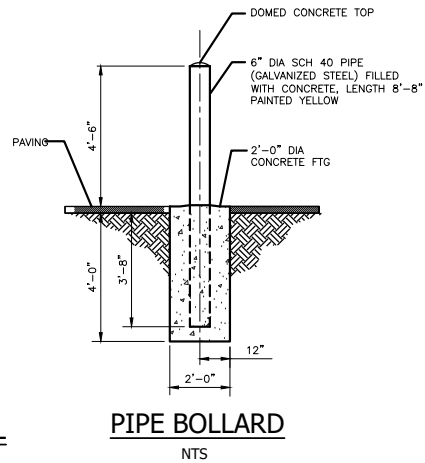
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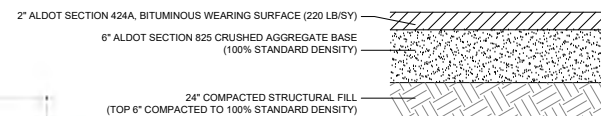
TRAFFIC SIGN DETAIL
NTS



PIPE BOLLARD
NTS

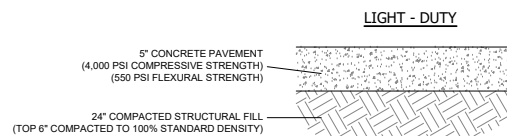


STOP SIGN



PARKING LOT PAVING

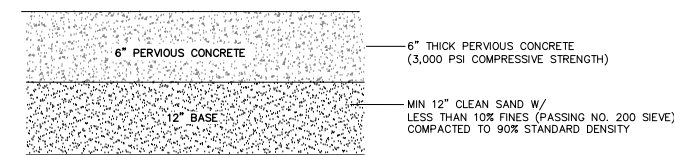
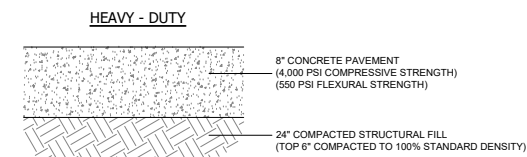
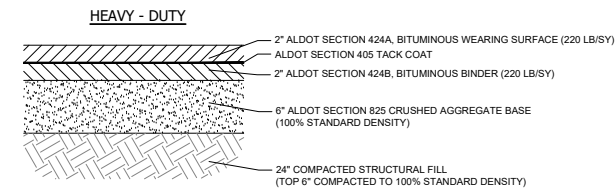
ALL GRADING AND PAVING SHALL CONFORM WITH GEOTECH REPORT PROVIDED BY 'GEOCON ENGINEERING & MATERIALS TESTING' DATED JULY 22, 2025.



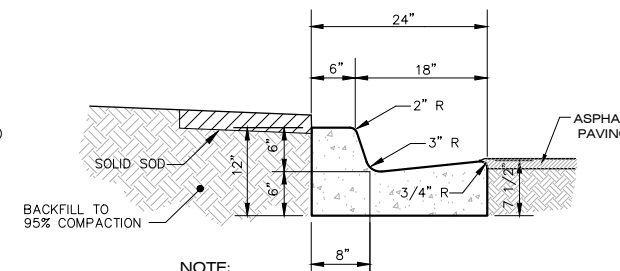
CONCRETE PAVING

ALL GRADING AND PAVING SHALL CONFORM WITH GEOTECH REPORT PROVIDED BY 'GEOCON ENGINEERING & MATERIALS TESTING' DATED JULY 22, 2025.

REFER TO GEOTECH REPORT FOR DETAILS ON ALL CONCRETE CONSTRUCTION AND EXPANSION JOINTS



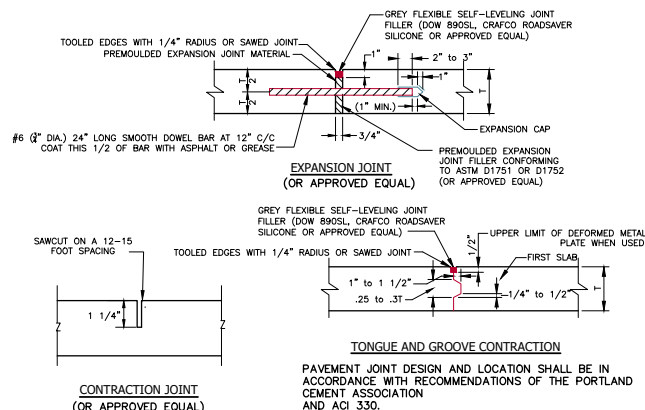
PERVIOUS CONCRETE PAVING
NTS



NOTE:

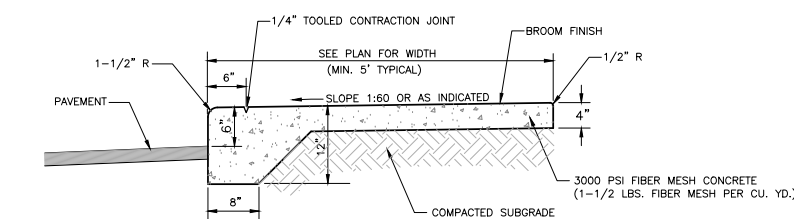
1. CURB TO BE PLACED BY SLIP FORM METHOD OR APPROVED EQUAL.
2. TRAVERSE JOINTS TO BE FORMED IN CONCRETE INTEGRAL CURB DIRECTLY OVER EACH TRAVERSE JOINT IN PAVING OR GUTTER.
3. CONTRACTION JOINTS TO BE PLACED AT 10' INTERVALS AND EXPANSION JOINTS TO BE PLACED AT 50' INTERVALS. ADDITIONALLY EXPANSION JOINTS TO BE PROVIDED AT ALL CURB P.C.'S, P.T.'S, AND AROUND ALL STRUCTURES.
4. GRADING AND SOD PLACEMENT SHALL BE INSTALLED TO ENSURE POSITIVE SURFACE WATER DRAINAGE OVER TOP OF CURB.
5. EXPANSION JOINTS: USE PREMOULDED EXPANSION JOINT FILLER CONFORMING TO ASTM D1751 OR D1752 (OR APPROVED EQUAL).

CONCRETE CURB AND GUTTER



CONCRETE PAVING JOINT DETAILS

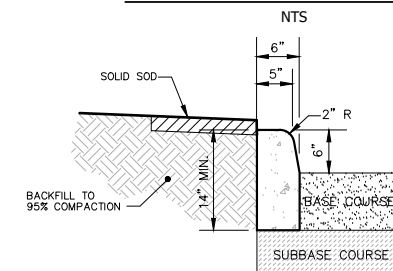
NTS



- NOTE:**
1. MONOLITH WALK AND CURB REQUIRED AT ALL LOCATIONS WHERE PROPOSED SIDEWALK ABUTS ASPHALT PAVEMENT UNLESS CURB OR CURB AND GUTTER IS USED.
 2. SIDEWALK MUST BE 6" MINIMUM THICKNESS AT DRIVEWAYS.

MONOLITHIC CURB AND SIDEWALK

NTS

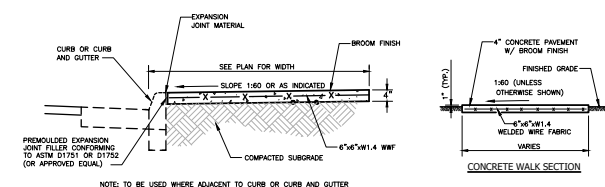


NOTE:

1. CURB TO BE PLACED BY SLIP FORM METHOD OR APPROVED EQUAL.
2. TRAVERSE JOINTS TO BE FORMED IN CONCRETE INTEGRAL CURB DIRECTLY OVER EACH TRAVERSE JOINT IN PAVING OR GUTTER.
3. CONTRACTION JOINTS TO BE PLACED AT 10' INTERVALS AND EXPANSION JOINTS TO BE PLACED AT 50' INTERVALS.
4. GRADING AND SOD PLACEMENT SHALL BE INSTALLED TO ENSURE POSITIVE SURFACE WATER DRAINAGE OVER TOP OF CURB.
5. EXPANSION JOINTS: USE PREMOULDED EXPANSION JOINT FILLER CONFORMING TO ASTM D1751 OR D1752 (OR APPROVED EQUAL).

6" CONCRETE HEADER CURB (OR APPROVED EQUAL)

NTS

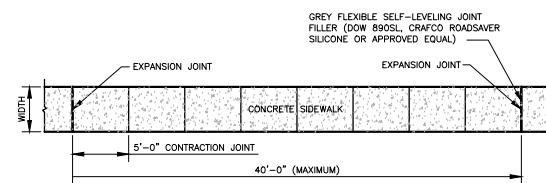


CONCRETE SIDEWALK

NTS

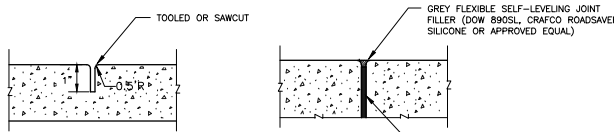
TYPICAL CONCRETE WALK DETAILS

NTS



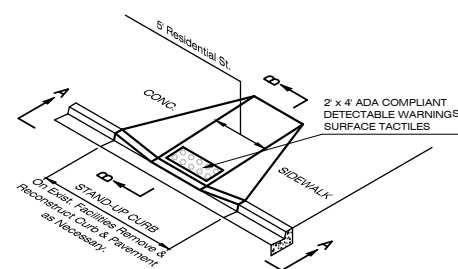
TYPICAL SIDEWALK JOINT DETAILS

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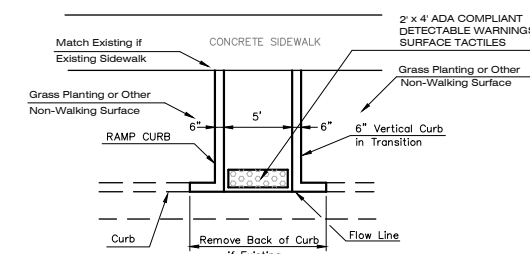


CONCRETE SIDEWALK JOINT DETAILS

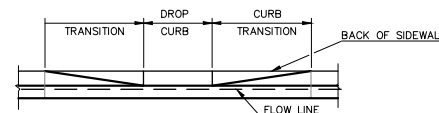
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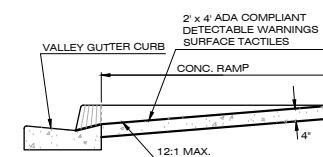
ISOMETRIC VIEW



RETURNED CURB RAMPS



ELEVATION A-A



SECTION B-B

NOTES:

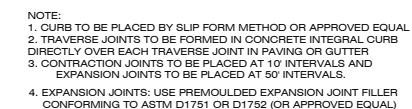
1. RAMPS ARE DESIGNED TO THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT.

CONCRETE SIDEWALK CURB CUT RAMPS FOR PHYSICALLY HANDICAPPED

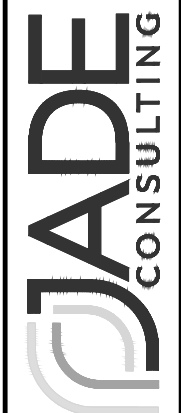
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6" CONCRETE CURB (OR APPROVED EQUAL)

NTS



- NOTE:**
1. CURB TO BE PLACED BY SLIP FORM METHOD OR APPROVED EQUAL.
 2. TRAVERSE JOINTS TO BE FORMED IN CONCRETE INTEGRAL CURB DIRECTLY OVER EACH TRAVERSE JOINT IN PAVING OR GUTTER.
 3. CONTRACTION JOINTS TO BE PLACED AT 10' INTERVALS AND EXPANSION JOINTS TO BE PLACED AT 50' INTERVALS.
 4. EXPANSION JOINTS: USE PREMOULDED EXPANSION JOINT FILLER CONFORMING TO ASTM D1751 OR D1752 (OR APPROVED EQUAL).



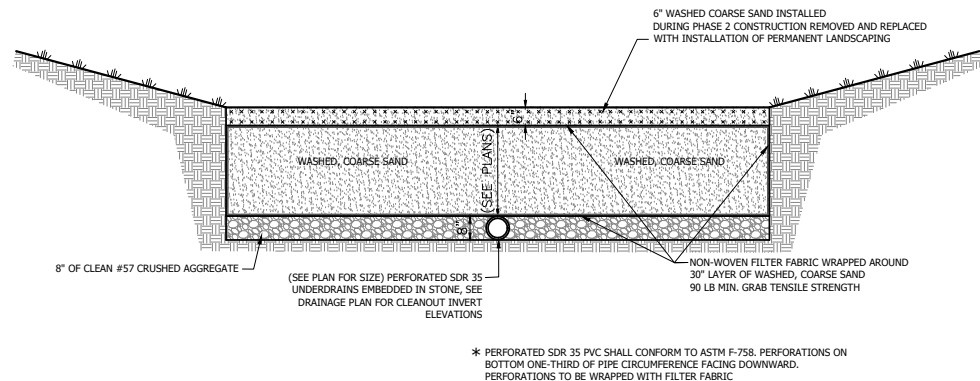
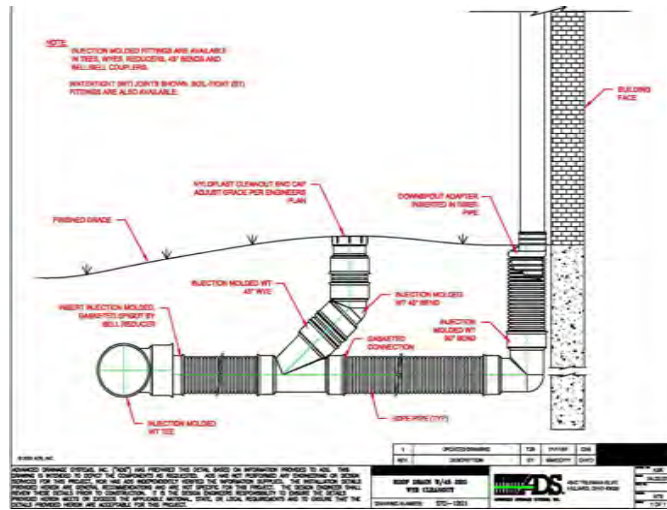
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Fairhope, Alabama 36532
P.O. Box 1929
Fairhope, Alabama 36533
Phone: (251) 928-3443
jadeinc.com
(AL) CA313154-E



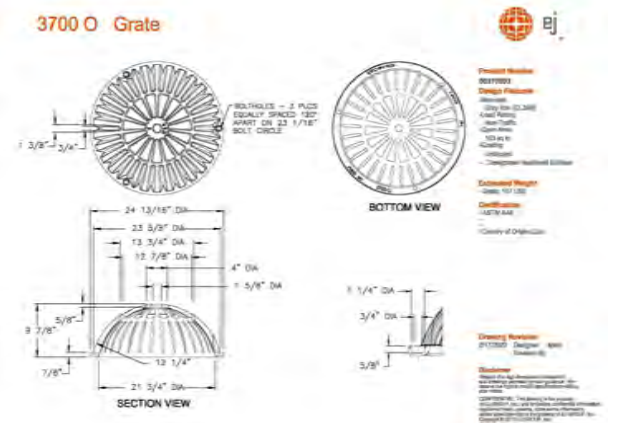
| NO. | REVISION | DATE | APPR. |
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| | VARIOUS SUBMITTALS | 8/25/25 | |

CIVIL CONSTRUCTION DETAILS (1)
ADVANCE
AUTO PARTS

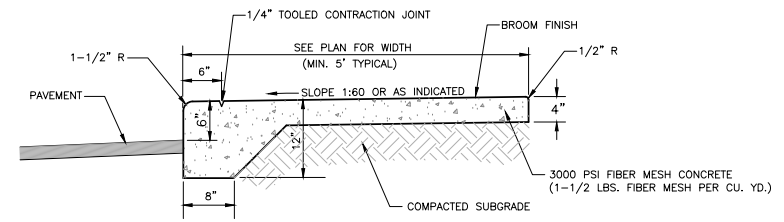
JOB NO: 25-1986.20
SCALE: NTS
DATE: SEPT 2025
DRAFTER: TVML
SHEET: **C6**



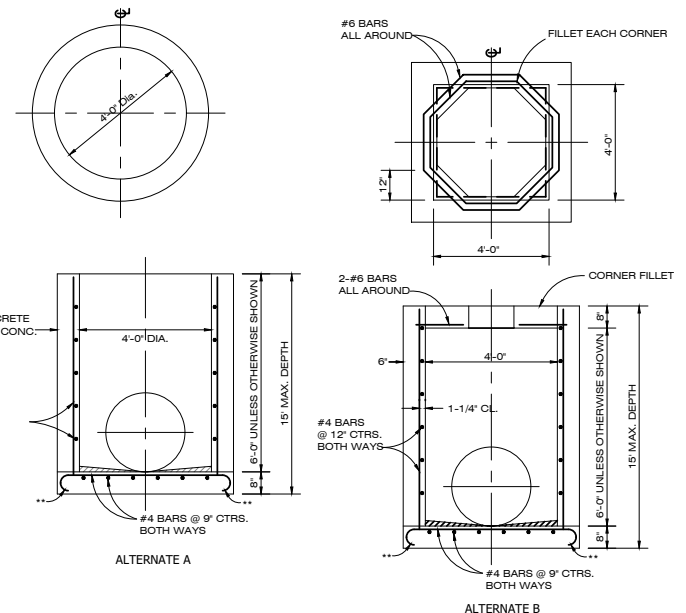
POND UNDERDRAIN AND SAND FILTER DETAIL
NTS



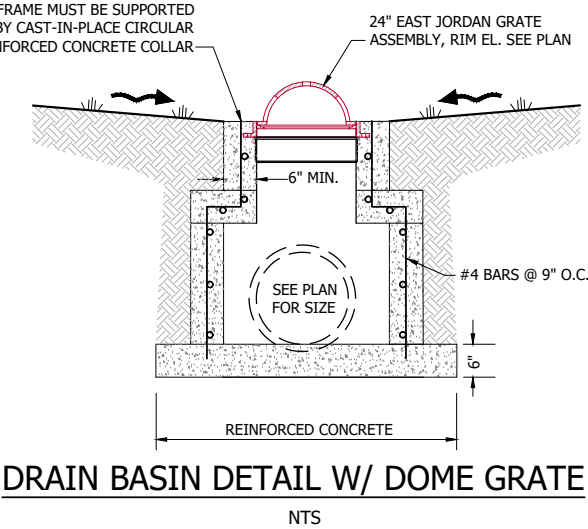
3700 O Grate
LID AND FRAME MUST BE SUPPORTED BY CAST-IN-PLACE CIRCULAR REINFORCED CONCRETE COLLAR



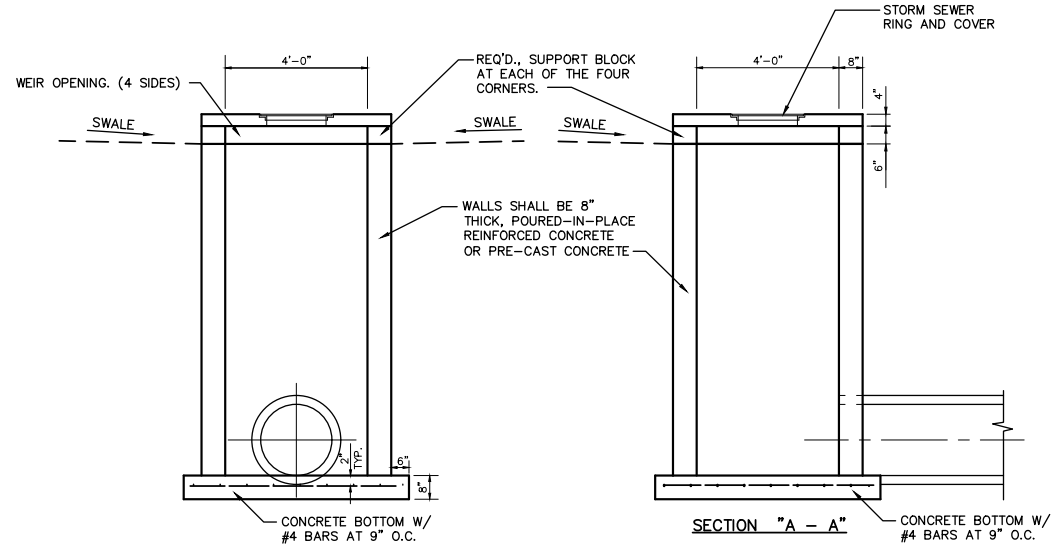
MONOLITHIC CURB AND SIDEWALK
NTS



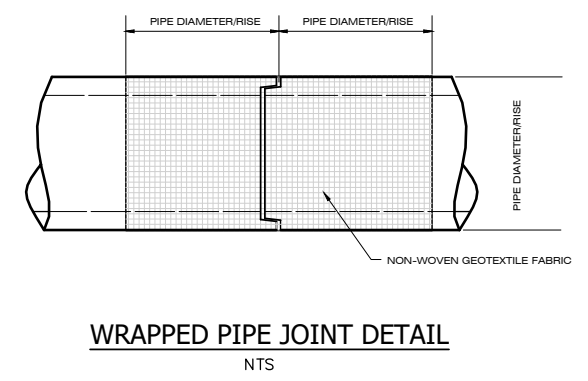
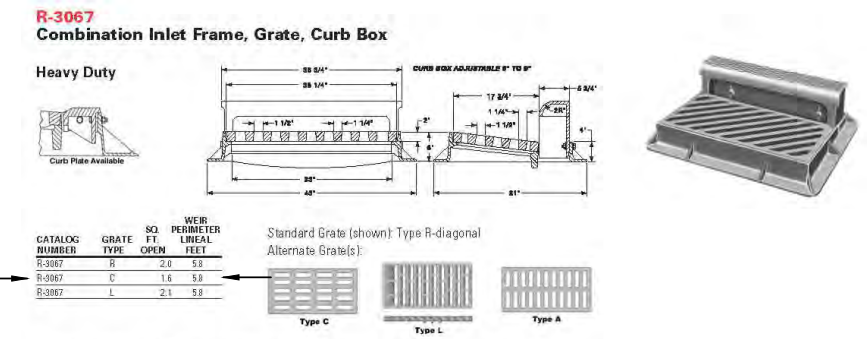
NEENAH R-3067 W/ TYPE C GRATE WITH TYPE "P" BOTTOM DETAIL



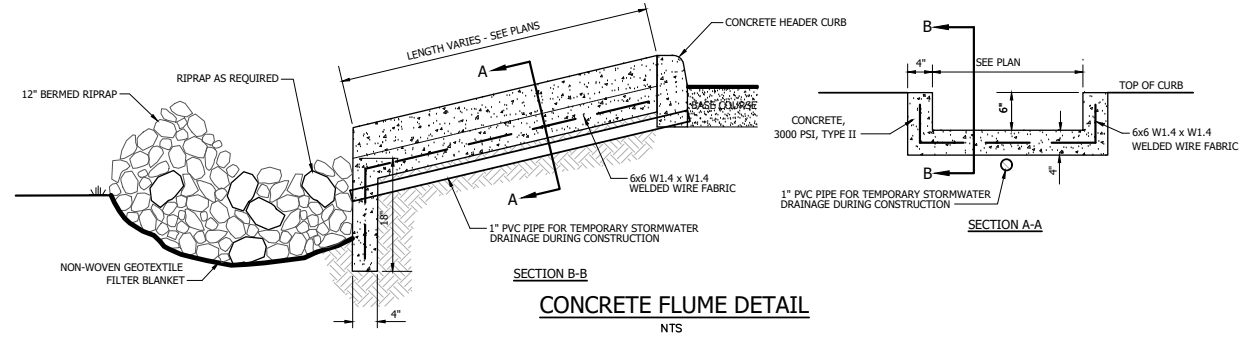
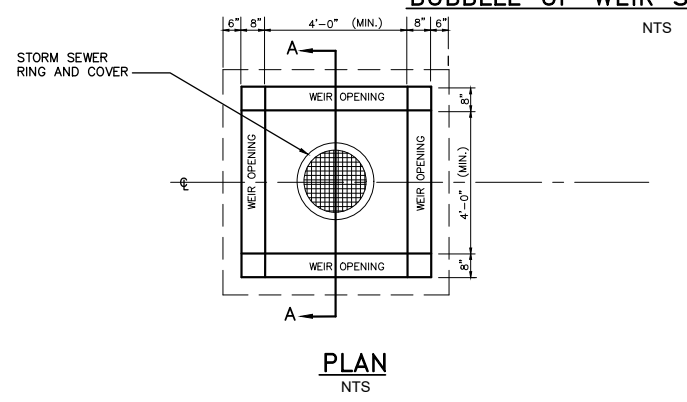
DRAIN BASIN DETAIL W/ DOME GRATE
NTS



BUBBLE UP WEIR STRUCTURE DETAILS
NTS



WRAPPED PIPE JOINT DETAIL
NTS

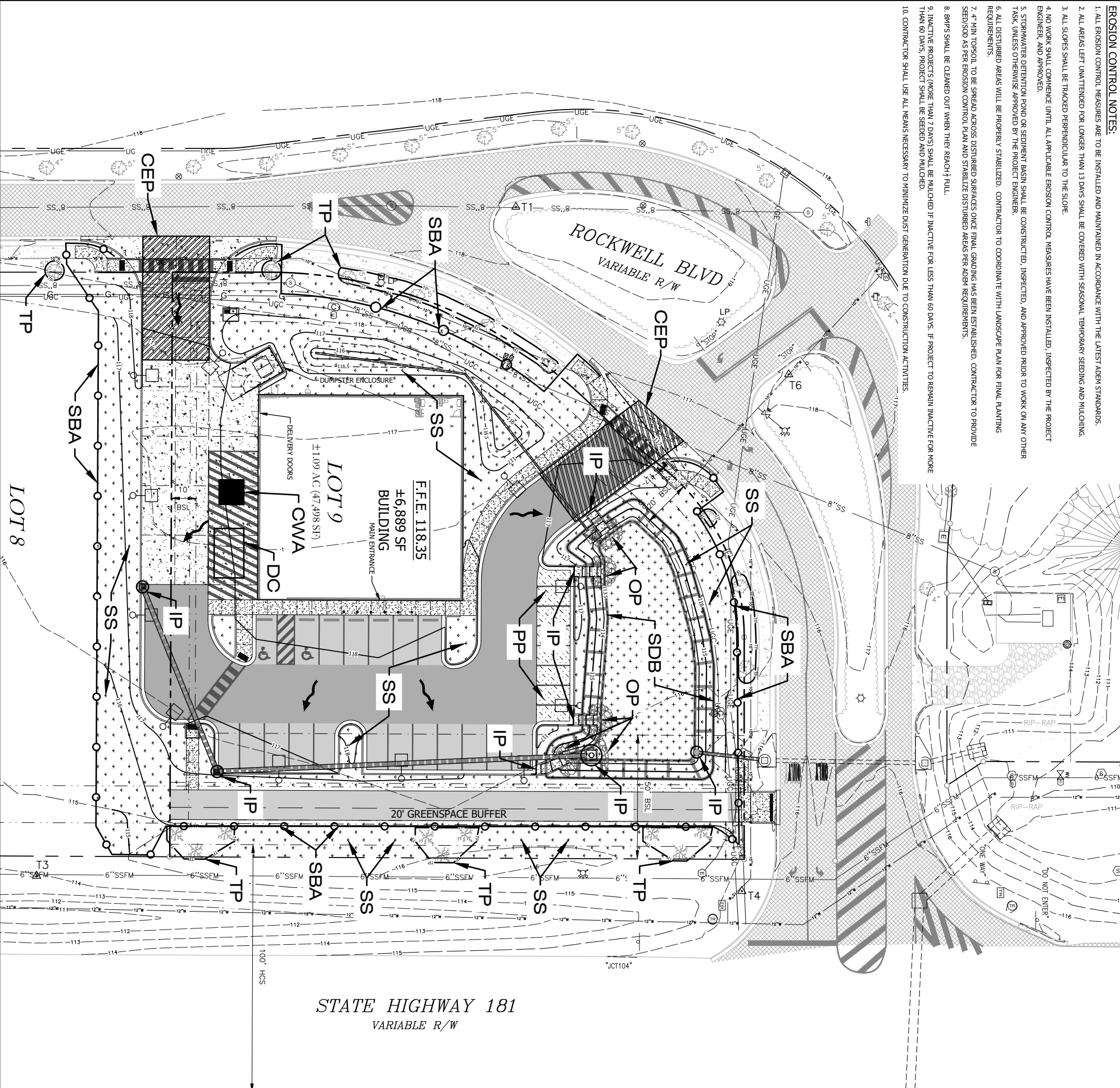


CONCRETE FLUME DETAIL
NTS

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|-----|--------------------|---------|-------|
| | CITY RESUBMITTAL | 9/17/25 | |
| | VARIOUS SUBMITTALS | 8/25/25 | |

EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LATEST ADEM STANDARDS.
2. ALL AREAS LEFT UNATTENDED FOR LONGER THAN 13 DAYS SHALL BE COVERED WITH SEASONAL TEMPORARY SEEDING AND MULCHING.
3. ALL SLOPES SHALL BE TRACKED PERPENDICULAR TO THE SLOPE.
4. NO WORK SHALL COMMENCE UNTIL ALL APPLICABLE EROSION CONTROL MEASURES HAVE BEEN INSTALLED, INSPECTED BY THE PROJECT ENGINEER, AND APPROVED.
5. STORMWATER DETENTION POND OR SEDIMENT BASIN SHALL BE CONSTRUCTED, INSPECTED, AND APPROVED PRIOR TO WORK ON ANY OTHER TASK, UNLESS OTHERWISE APPROVED BY THE PROJECT ENGINEER.
6. ALL DISTURBED AREAS WILL BE PROPERLY STABILIZED. CONTRACTOR TO COORDINATE WITH LANDSCAPE PLAN FOR FINAL PLANTING REQUIREMENTS.
7. 4" MIN TORSLOP TO BE SPREAD ACROSS DISTURBED SURFACES ONCE FINAL GRADING HAS BEEN ESTABLISHED. CONTRACTOR TO PROVIDE SEED/SOD AS PER EROSION CONTROL PLAN AND STABILIZE DISTURBED AREAS PER ADEM REQUIREMENTS.
8. BMPs SHALL BE CLEANED OUT WHEN THEIR REACH FULL.
9. INACTIVE PROJECTS (MORE THAN 7 DAYS) SHALL BE MULCHED IF INACTIVE FOR LESS THAN 60 DAYS. IF PROJECT TO REMAIN INACTIVE FOR MORE THAN 60 DAYS, PROJECT SHALL BE SEEDED AND MULCHED.
10. CONTRACTOR SHALL USE ALL MEANS NECESSARY TO MINIMIZE DUST GENERATION DUE TO CONSTRUCTION ACTIVITIES.



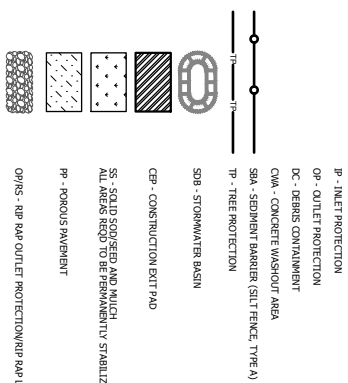
SITE CONSTRUCTION DEBRIS DISPOSAL NOTE:

A DUMPSTER OF SUITABLE SIZE SHALL BE ON-SITE DURING ALL PHASES OF CONSTRUCTION ACTIVITIES AND EMPLOYED AT A SUITABLE PERMITTED DISPOSAL SITE AND REPLACED AS NEEDED THROUGHOUT THE DURATION OF THE PROJECT. ALL DISPOSAL SHALL MEET ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.

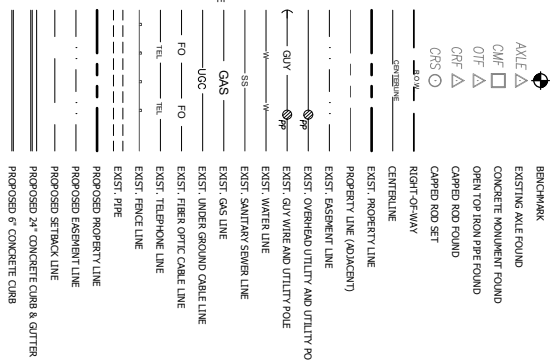
RAINFALL INSPECTION NOTE:

ALL EROSION CONTROL SHALL BE INSPECTED BY A QUALIFIED PERSON WITHIN 24 HOURS OF A RAINFALL EVENT OF 3/4" INCH OR GREATER AND REPAIRED AS NEEDED.

EROSION CONTROL LEGEND

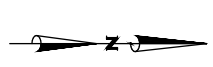
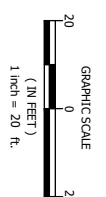


LEGEND



CONSTRUCTION PHASE SEQUENCE:

- PHASE ONE**
 - INSTALL CONSTRUCTION ENTRANCE/EXIT
 - CLEAR AREA REQUIRED FOR SILT FENCE PLACEMENT
 - INSTALL SILT FENCE (SBA)
- PHASE TWO**
 - CONSTRUCT AND STABILIZE WATER QUALITY POUNDS/SEDIMENT BASINS
 - INLET AND OUTLET PROTECTION TO BE INSTALLED
- PHASE THREE**
 - DEMOLITION AND REMOVAL OF DEMO DEBRIS
 - CLEAR/GRUB REMAINING SITE AREAS
- PHASE FOUR**
 - INSTALL STORM DRAINAGE MEASURES
 - GRADE SITE TO ROUGH GRADES
- PHASE FIVE**
 - CONSTRUCT UTILITIES (WATER, SEWERS)
 - BUILDING CONSTRUCTION BEGINS
- PHASE SIX**
 - CONSTRUCT ROADS (PAVING, CURB AND GUTTER, SIDEWALKS)
 - BUILDING CONSTRUCTION CONTINUES
- PHASE SEVEN**
 - BUILDING CONSTRUCTION COMPLETED
 - CONVERT SEDIMENT BASINS TO PERMANENT FUNCTION BIO-RETENTION POUNDS BY INSTALLING CAPTURED SEDIMENT AND REPLACING THE TOP 6" OF FILTER MEDIA
 - STABILIZE DISTURBED AREAS WITH SOLID SOD
 - INSTALL PERMANENT LANDSCAPING
- PHASE EIGHT**
 - REMOVE BMP MEASURES
- PHASE NINE**
 - REMOVE SILT FENCE
 - PROJECT COMPLETE, FINAL INSPECTION, FILE NOTICE OF TERMINATION



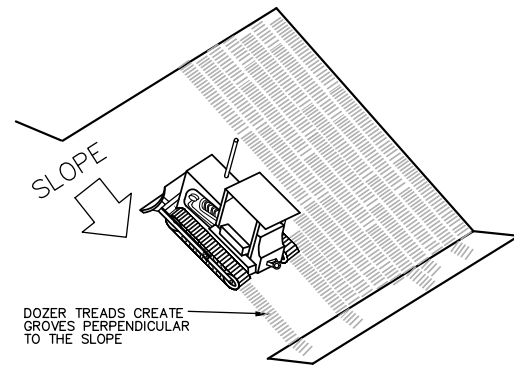
EROSION CONTROL PLAN

JOB NO: 25-1986.20
 SCALE: 1" = 20'
 DATE: SEPT 2025
 DRAFTER: TML
 SHEET: C9

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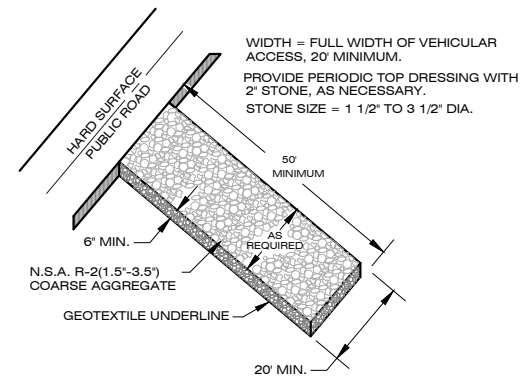
208 Greeno Rd. North, Ste. C
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 P.O. Box 1929
 Fairhope, Alabama 36533
 Phone: (251) 928-3443
 jadeengineers.com
 (A1) CA-3157-E





SURFACE ROUGHENING

NTS



STONE PAD CONSTRUCTION EXIT

NTS

Table SB-1 Specifications for Silt Fence

| Specifications | Type A |
|--|--------------------------|
| Tensile Strength (Lbs. Min. ASTM D-4632) | Warp - 260 Fill - 100 |
| Elongation (% Max.) (ASTM D-4632) | 40 |
| AOS (Apparent Opening Size) (Max. Sieve Size) (ASTM D-4751) | no.30 |
| Flow Rate (Gal/Min/Sq. Ft.) (GDT-87) | 70 |
| Ultraviolet Stability ² (ASTM D-4632 after 300 hours weathering in accordance with ASTM D-4355) | 80 |
| Bursting Strength (PSI Min.) (ASTM D-3786 Diaphragm Bursting Strength Tester) | 175 |
| Minimum Fabric Width (Inches) | 36 |

² Minimum roll average of 5 specimens.
Percent of required initial minimum tensile strength.

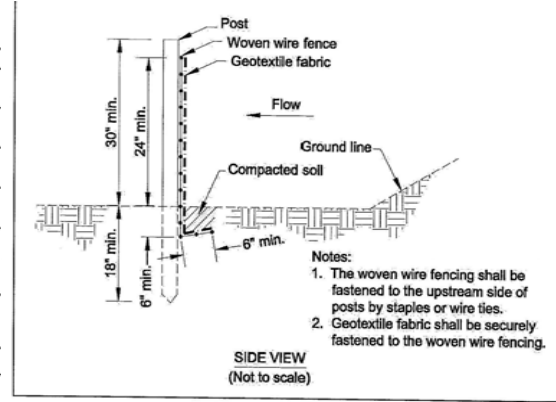
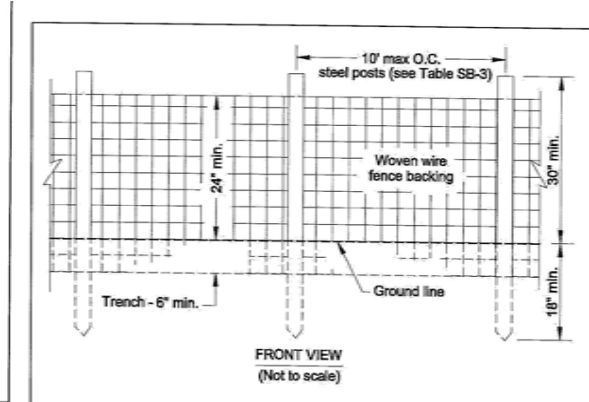


Figure SB-1 Silt Fence-Type A

- (1) For fabric material requirements see Table SB-1
- (2) For post material requirements see Tables SB-3 and SB-4

Table SB-3 Post Size for Silt Fence

| | Minimum Length | Type of Post | Size of Post |
|--------|----------------|--------------|-----------------|
| Type A | 4' | Steel | 1.3lb./ft. min. |

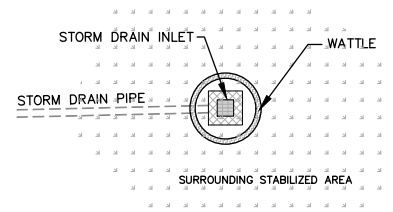


GENERAL NOTES

- TYPE "A" SILT FENCE SHALL BE USED IN AREAS OF CONCENTRATED FLOW.
- SILT FENCES ARE TEMPORARY EROSION CONTROL ITEMS THAT SHALL BE ERRECTED OPPOSITE ERODIBLE AREAS SUCH AS NEWLY GRADED FILL SLOPES AND ADJACENT TO STREAMS AND CHANNELS.
- SILT FENCE SHOULD BE PLACED WELL INSIDE PROPERTY BOUNDARY AND ALONG EDGE OF CLEARING LIMITS. THIS WILL ALLOW ROOM FOR A BACK-UP FENCE IF FIRST BECOMES FULL. SILT FENCES SHALL BE IN PLACE PRIOR TO ANY CONSTRUCTION OPERATION.
- WHEREVER POSSIBLE, SILT FENCES SHALL BE CONSTRUCTED ACROSS A FLAT AREA IN THE SHAPE OF A HORSESHOE. THIS AIDS IN PONDING OF RUNOFF AND FACILITATES SEDIMENTATION.
- AFTER THE CONSTRUCTION AREA IS STABILIZED AND EROSION ACTIVITY CURTAILED, SILT FENCES SHALL BE REMOVED.
- RING FASTENERS USED TO SECURE GEOTEXTILES TO WOVEN WIRE SHALL BE 13 GA. (AMERICAN).
- IF WOOD POSTS ARE USED, STAPLES FOR SECURING WOVEN WIRE TO POSTS SHALL BE NINE (9) GAUGE, GALVANIZED, 1 1/2" LONG, FIVE (5) PER POST @ APPROXIMATELY 1'-0" ON CENTER.
- WOVEN WIRE TO BE 12 1/2 GAUGE (MINIMUM).

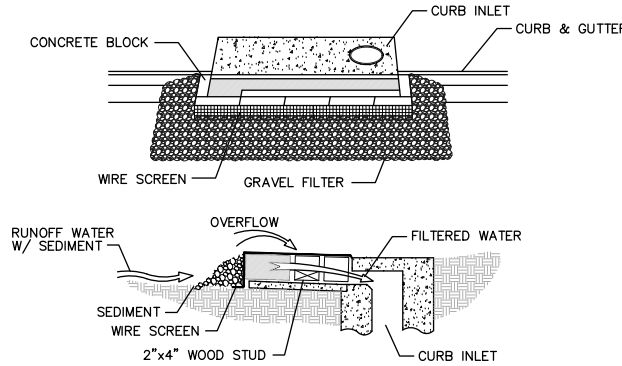
SPECIFICATIONS

CURRENT ALABAMA DEPARTMENT OF TRANSPORTATION AND THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS



TYPICAL INLET EROSION CONTROL

NTS



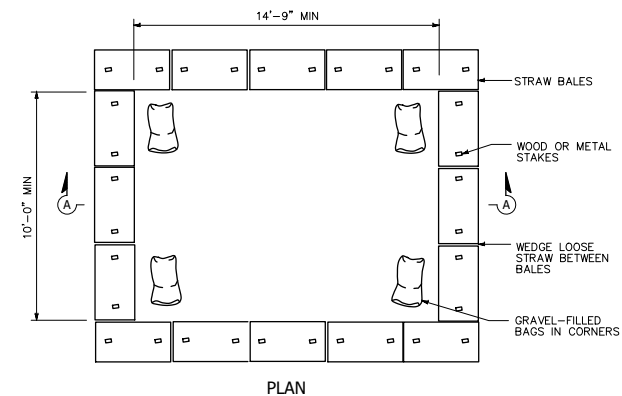
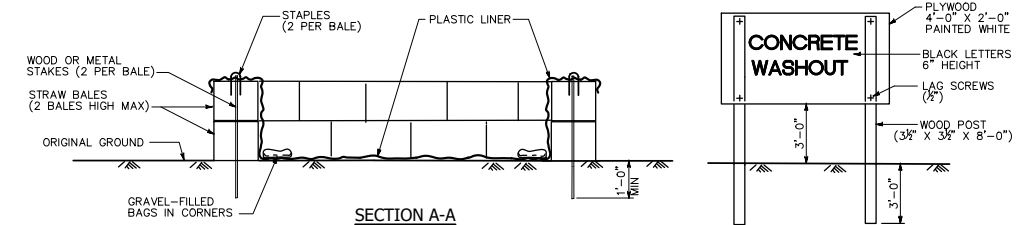
BLOCK & GRAVEL CURB INLET SEDIMENT FILTER

SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE AT CURB INLETS WHERE AN OVERFLOW CAPABILITY IS NECESSARY TO PREVENT EXCESSIVE PONDING IN FRONT OF THE STRUCTURE.

MAINTENANCE

- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



TEMPORARY CONCRETE WASHOUT FACILITY

(ON GRADE)



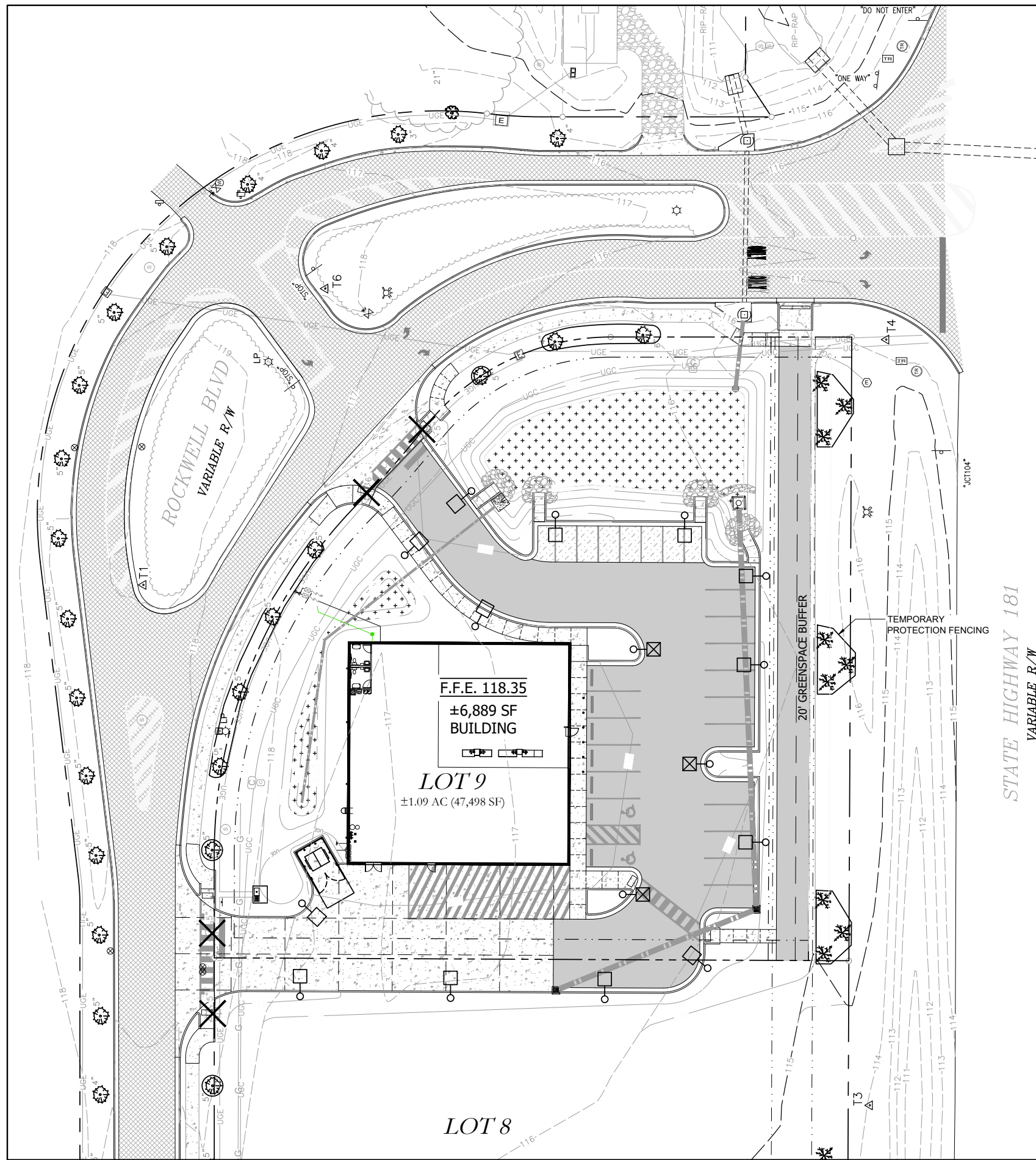
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P.O. Box 1029
Fairhope, Alabama 36533
Phone: (251) 928-3443
jade@jadeconsulting.com
(AL) CA3157-E



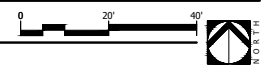
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| | VARIOUS SUBMITTALS | 8/25/25 | |



JOB NO: 25-1986.20
SCALE: NTS
DATE: SEPT 2025
DRAFTER: TVML
SHEET: C10



1 TREE PRESERVATION & REMOVAL PLAN
Scale: 1" = 20'



TREE PRESERVATION CREDITS - Sec. 20.5-4(m)

| Total Trees To Be Preserved: | | | | | | | 9 Trees |
|-------------------------------------|---------------|---------|--------------|-----|------------------|---------------|------------------|
| Total Tree Credits Earned: | | | | | | | 0 Credits |
| DBH | GENUS | SPECIES | COMMON NAME | QTY | CREDITS PER TREE | TOTAL CREDITS | |
| 2" | Lagerstroemia | indica | Crape Myrtle | 9 | 0 | 0 | |

TREE REMOVAL

| Total Trees To Be Removed: | | | | | | | 4 Trees |
|--|----------|-----------|--------------|-----|-----------------|--------------|-----------------|
| *All trees proposed for removal are located within Rockwell Blvd. ROW and require removal where driveways are proposed | | | | | | | |
| Total Tree Debits: | | | | | | | 0 Debits |
| DBH | GENUS | SPECIES | COMMON NAME | QTY | DEBITS PER TREE | TOTAL DEBITS | |
| 5" | Taxodium | distichum | Bald Cypress | 3 | 0 | 0 | |
| 6" | Taxodium | distichum | Bald Cypress | 1 | 0 | 0 | |

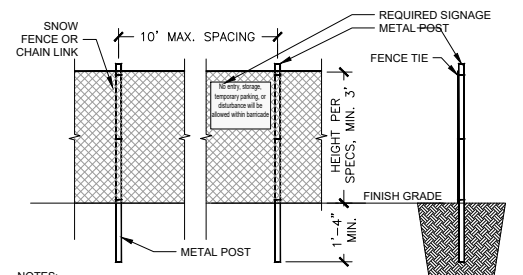
TREE PRESERVATION NOTES

TREE SURVEY DISCLAIMER:

- ALL TREE SURVEY INFORMATION HAS BEEN PROVIDED TO LANDSCAPE ARCHITECT BY JADE CONSULTING.

TREE PRESERVATION/REMOVAL NOTES:

- ALL TREES PROPOSED FOR REMOVAL ARE SHOWN IN A SHADE OF GRAY W/ AN "X" ATOP. WHILE ALL TREES TO BE PRESERVED ARE SHOWN IN BLACK.
- WHERE TREES ARE INDICATED TO BE SAVED, WE UNDERSTAND DURING CONSTRUCTION, TREES MAY BE IMPACTED DUE TO UNFORESEEN ACTIVITY. IN THIS CASE, IF A DESIGNATED PRESERVED TREE IS REMOVED, CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT TO UPDATE PLANS ACCORDINGLY.



- NOTES:**
- Fencing to be installed prior to construction. Fencing type shall be chain link.
 - The fence shall be erected w/ a min. distance of 20' from the trunks of heritage trees & 10' from all other retained trees. If installing underground utilities near tree roots becomes a hardship, a soil auger shall be used to tunnel under tree roots.
 - All roots to be removed during site clearing &/or construction shall be severed cleanly at the perimeter of the protected radius.
 - Footers for walls shall end at the point where large roots are encountered, and the roots shall be bridged. Post holes and trenches located close to retained trees shall be adjusted to avoid damage to major roots.
 - Fencing cannot be removed until land alteration, site clearing, and construction activities are complete.

2 TREE PROTECTION FENCE - FAIRHOPE
1/2" = 1'-0" 329343.06-05

landscape architecture
land planning
placemaking

was DESIGN
landscape architects

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TO CHANGE.

A Landscape Development Plan for
Advanced Auto
Fairhope, Alabama

Revisions

| No. | Date | Revisions / Submissions |
|----------|------|-------------------------|
| 08.25.25 | | CITY SUBMITTAL |
| 09.16.25 | | CITY SUBMITTAL |

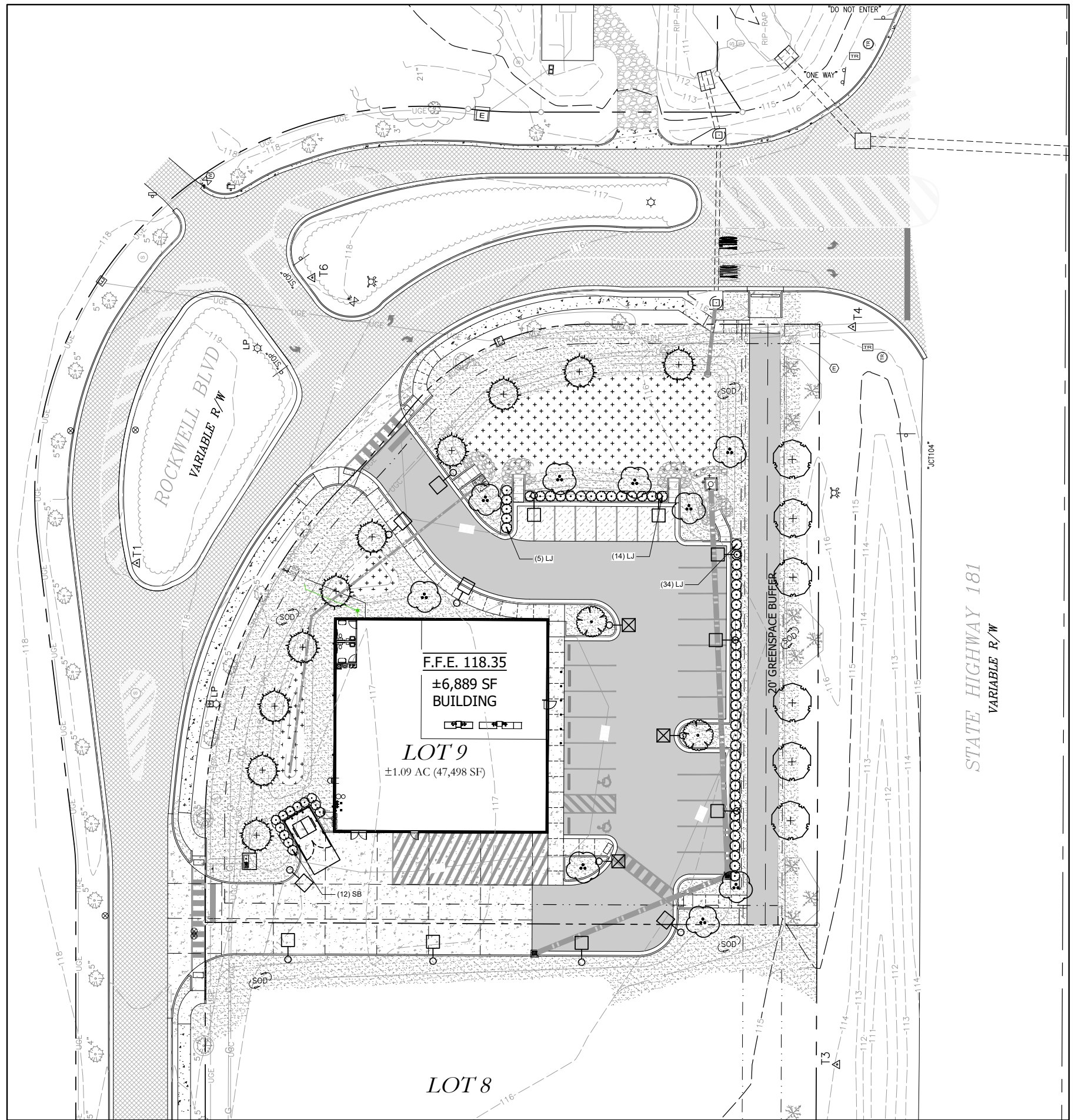
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BB Drawn
VW Project Manager
CW Principal
253097-225 Project No.
BB Date

Registration
STATE OF ALABAMA
i. STEF
CHAD
W. MARR
REGISTERED LANDSCAPE ARCHITECT
518

Sheet Title
TREE PRESERVATION & REMOVAL PLAN

Sheet No.
TP200



Landscape Adjacent to Public R.O.W. Requirements - Sec. 20.5-4 (4)
 Required: 48" high visual screen between vehicle use area & public R.O.W.
 Provided: 48" high visual screen between vehicle use area & public R.O.W.

Perimeter Requirements - Sec. 20.5-4 (5)

Road Frontage Overstory Trees

Hwy. 181
 1 tree per 30 LF ROW @ 232.3 LF = 7.74 trees
Required Frontage Overstory Trees: 8 trees
Provided Frontage Overstory Trees: 6 trees
 *Remaining 2 required overstory trees will be met from preservation of 9 Crape Myrtles

Rockwell Blvd.
 1 tree per 30 LF ROW @ 296.5 LF = 9.88 trees
Required Frontage Overstory Trees: 10 trees
Provided Frontage Overstory Trees: 10 trees

Remaining Outside Lot Perimeter

South Property Line
 1 tree per 30 LF Perimeter @ 236.4 LF = 7.88 trees
Required Trees: 8 trees
Provided Trees: 8 trees
 *Due to driveway along South property line, provided trees are placed around site

Internal Parking Requirements - Sec. 20.5-4 (6)
 1 tree per 12 spaces @ 27 spaces = 2.25 trees
Required Parking Trees: 3 trees
Provided Parking Trees: 3 trees

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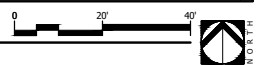
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| Drawn | |
| VW | |
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| CW | |
| Principal | |
| 253097-225 | Project No. |
| BB | Date |

Sheet Title

**LANDSCAPE
 PLANTING PLAN**



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Fairhope, Alabama

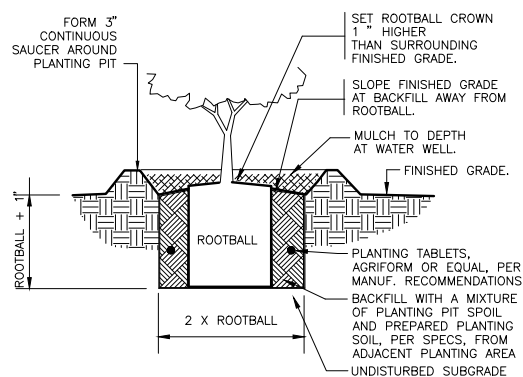
PLANT SCHEDULE

| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | HT | REMARKS |
|-----------------|------|-----------|--------------------------------|--------------------------|-------------|-----|----------|-----------------------------|
| TREES | | | | | | | | |
| | LN | 2 | LAGERSTROEMIA INDICA 'NATCHEZ' | 'NATCHEZ' CRAPE MYRTLE | 30 GAL | | 8'-10' | MINIMUM 3 TRUNKS; FULL HEAD |
| | LT | 6 | LIRIODENDRON TULIPIFERA | TULIP TREE | B&B OR CONT | 2" | 10' | FULL HEAD, SPECIMEN QUALITY |
| | MA | 9 | MAGNOLIA VIRGINIANA | SWEETBAY MAGNOLIA | B&B OR CONT | | 8'-10' | 3 TRUNKS; FULL HEAD |
| | PC | 10 | TAXODIUM ASCENDENS | POND CYPRESS | B&B OR CONT | 2" | 10' | FULL HEAD, SPECIMEN QUALITY |
| SYMBOL | CODE | QTY | BOTANICAL NAME | COMMON NAME | CONT | HT | SPACING | REMARKS |
| SHRUBS | | | | | | | | |
| | LJ | 53 | LIGUSTRUM JAPONICUM | WAX LEAF LIGUSTRUM | CG | 48" | 48" o.c. | FULL TO GROUND |
| | SB | 12 | VIBURNUM ODORATISSIMUM | SWEET VIBURNUM | 3 GAL | | 48" o.c. | |
| SOD/SEED | | | | | | | | |
| | SOD | 17,305 SF | CYNODON DACTYLON 'TIFWAY 419' | TIFWAY 419 BERMUDA GRASS | SOD | | | |

QUANTITY TAKEOFF DISCLAIMER:

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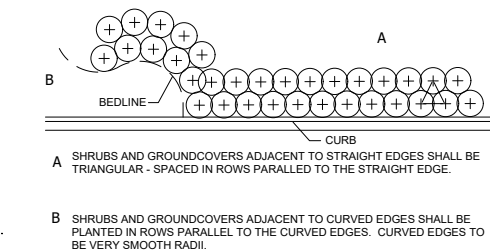
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1 SHRUB PLANTING

1" = 1'-0"

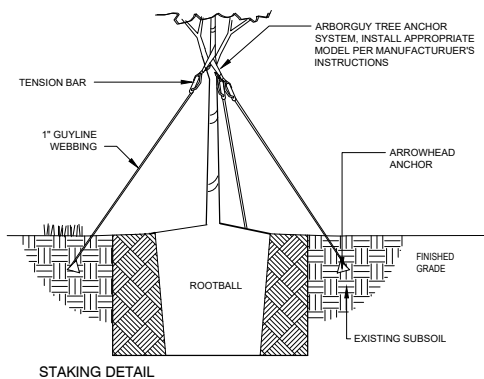
329333.13-01



2 TYPICAL PLANT SPACING

NOT TO SCALE

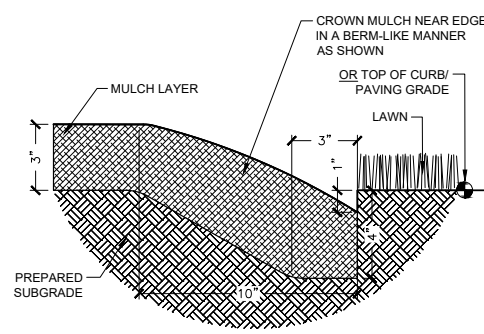
329399-04



3 TREE PLANTING - GUY STRAP

1" = 1'-0"

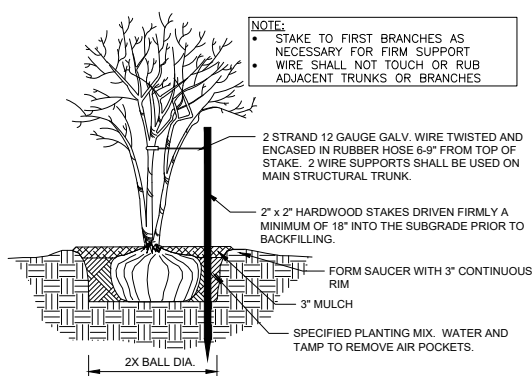
329343.26-02



4 TRENCH EDGE

3" = 1'-0"

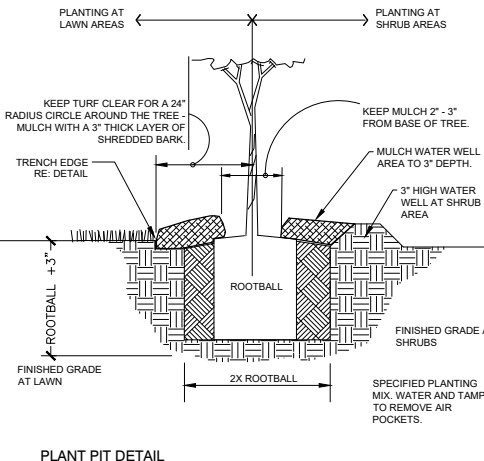
329413.23-02



5 MULTI-TRUNK TREE STAKING

1/2" = 1'-0"

329343.01



6 GENERAL PLANTING NOTES

1" = 1'-0"

329399-01

- GENERAL CONDITIONS**
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO ACQUAINT HIMSELF WITH EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF LANDSCAPE MATERIAL AT ALL TIMES. LANDSCAPE CONTRACTOR TO COORDINATE SAFE STAGING AREA WITH GENERAL CONTRACTOR AND/OR OWNER.
 - CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, INCLUDING GRASS, FOR 365 CONSECUTIVE CALENDAR DAYS FROM SUBSTANTIAL COMPLETION OF THE WORK, AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT.
 - ALL AREAS IMPACTED NEGATIVELY BY CONSTRUCTION PROCESSES SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER PRIOR TO SUBSTANTIAL COMPLETION.
- LANDSCAPE AREA SOIL PREPARATION**
- PLANTING SOIL SHALL BE CREATED BY AMENDING TOPSOIL WITH THE ADDITION OF COMPOST. COMPOST TYPE SHALL BE MUSHROOM COMPOST OR DECOMPOSED PINE BARK, AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE. COMPOST SHALL BE UNIFORMLY APPLIED OVER PLANTING BEDS AT AN AVERAGE DEPTH OF 2 INCHES AND OVER SOD AREAS AT AN AVERAGE DEPTH OF 3/4 INCH. INCORPORATE UNIFORMLY IN PLANTING BEDS TO A DEPTH OF 6 INCHES AND IN SOD AREAS TO A DEPTH OF 3 INCHES USING A ROTARY TILLER OR OTHER APPROPRIATE EQUIPMENT. PRE-PLANT FERTILIZER AND PH ADJUSTING AGENTS (E.G., LIME AND SULFUR) MAY BE APPLIED IN CONJUNCTION WITH COMPOST INCORPORATION, AS REQUIRED PER SOIL TEST (IF REQUESTED BY OWNER).
 - RAKE SOIL SURFACE SMOOTH PRIOR TO PLANTING.
 - REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEIOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 - WATER THOROUGHLY AFTER PLANTING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 3% POSITIVE DRAINAGE IN ALL PLANTING BEDS. ANY OTHER PROPOSED DRAINAGE METHODS SHALL BE COORDINATED WITH PLANTING EFFORTS TO MINIMIZE CONFLICTS AND MAINTAIN PROPER FUNCTION OF DRAINAGE SYSTEMS.
- PLANT MATERIAL AND PLANTING**
- PLANT QUANTITIES ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR, AND ARE NOT ABSOLUTE. CONTRACTOR SHALL VERIFY PLANT COUNT FROM PLAN AND REPORT DIFFERENCES.
 - ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL OR REFUSAL BY THE OWNER OR LANDSCAPE ARCHITECT AT ANY TIME.
 - PLANTS SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM INJURY, INSECTS AND DISEASES. PLANTS SHALL EQUAL OR SURPASS QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERYMEN, INC.
 - UNLESS NOTED SPECIFICALLY, ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
 - FRONT ROW OF SHRUBS SHALL BE PLANTED FROM CENTER OF PLANT A MINIMUM OF 24" BEHIND BED LINE @ LAWNS OR WALKS AND A MINIMUM OF 36" BACK OF CURB @ PARKING SPACES.
 - NO PRUNING SHOULD BE PERFORMED DURING FIRST GROWING SEASON EXCEPT FOR REMOVING DAMAGED OR DEAD GROWTH. WOUND PAINT IS NOT RECOMMENDED FOR ANY CUTS.
 - ALL PLANTING AREAS, TREE PITS, AND OTHER AREAS INDICATED ON PLANS SHALL BE MULCHED WITH A SETTLED LAYER OF THE INDICATED MULCH:
 - 3" DEPTH PINE BARK
 - 4" DEPTH SHREDDED HARDWOOD MULCH
 - 3" DEPTH LONG LEAF PINESTRAW, SETTLED
 - TRENCH EDGE TO BE LOCATED BETWEEN ALL PLANTING AREAS AND LAWN, UNLESS NOTED OTHERWISE.
 - TREE STAKING SHALL BE PROVIDED TO KEEP TREES PLUMB AND PROTECTED FROM EXCESSIVE WINDS. ALL TREE-STAKING APPARATUS SHALL BE REMOVED AT THE END OF THE ONE-YEAR WARRANTY PERIOD.
 - ONE YEAR OF LANDSCAPE MAINTENANCE FROM SUBSTANTIAL COMPLETION SHALL BE INCLUDED AS AN OPTIONAL BID ITEM TO THE OWNER.

| Revisions | | |
|-----------|------|-------------------------|
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| 09.16.25 | | CITY SUBMITTAL |
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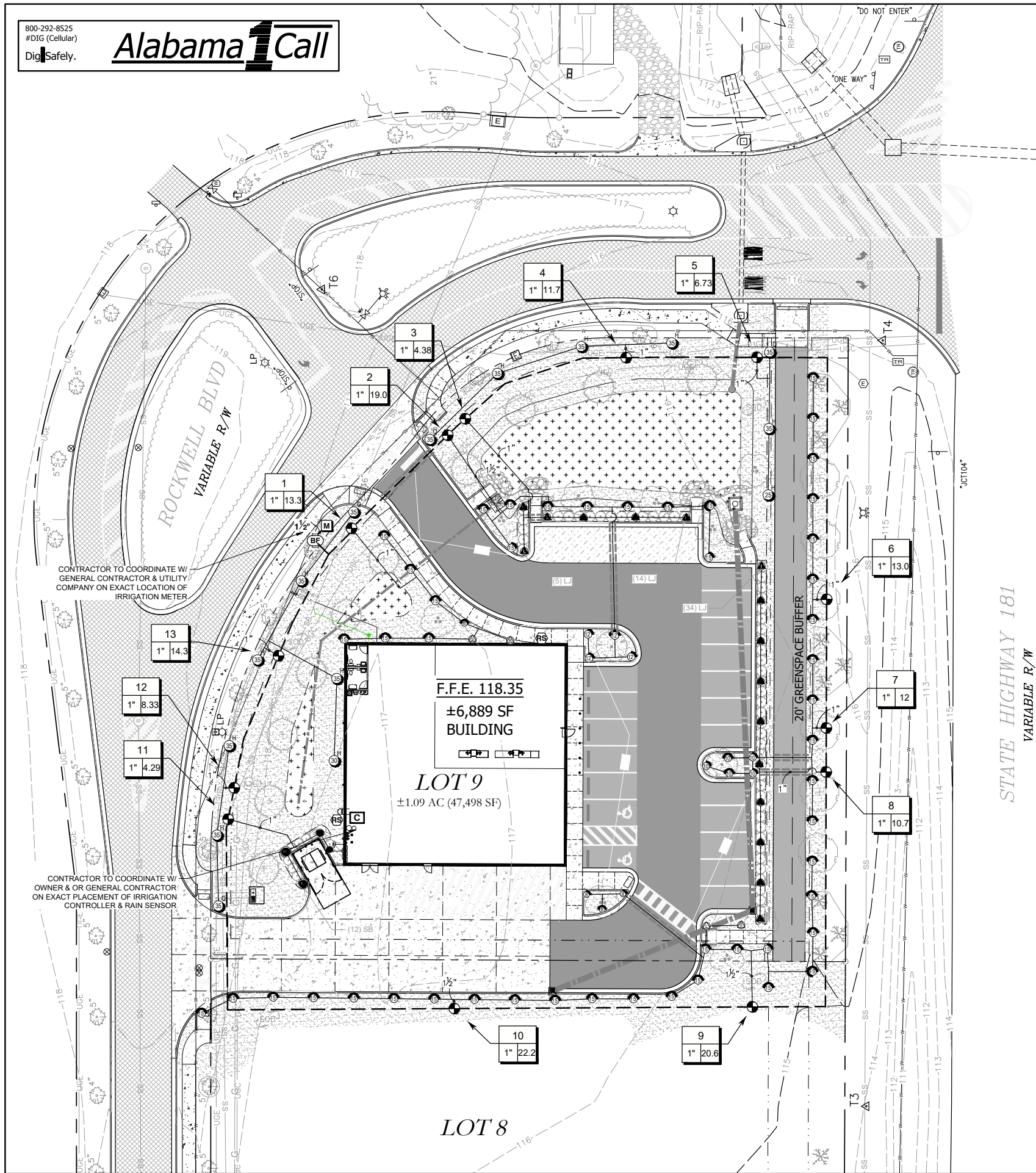
STATE OF ALABAMA
LANDSCAPE ARCHITECT
518

Sheet Title

LANDSCAPE PLANTING DETAILS

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NOTE:
MAINLINE AND VALVES SHOWN OUTSIDE OF TRENCH FOR GRAPHIC CLARITY. ALL EQUIPMENT AND PIPE SHALL BE WITHIN PROPERTY BOUNDARIES UNLESS OTHERWISE NOTED. SLEEVE SIZES TO BE DETERMINED BY CONTRACTOR.

IRRIGATION SCHEDULE

| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | QTY | PSI | GPM | RADIUS |
|--------|---|----------|-----|-----|--------|
| | RAIN BIRD 1806-SAM-PRS 15 STRIP SERIES TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING. | 4 | 30 | | |
| | RAIN BIRD 1806-SAM-PRS 8 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING. | 4 | 30 | | |
| | RAIN BIRD 1806-SAM-PRS 10 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING. | 5 | 30 | | |
| | RAIN BIRD 1806-SAM-PRS 12 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING. | 4 | 30 | | |
| | RAIN BIRD 1806-SAM-PRS 15 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING. | 49 | 30 | | |
| | RAIN BIRD 1812-SAM-PRS 15 STRIP SERIES SHRUB SPRAY 12.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE. | 16 | 30 | | |
| | RAIN BIRD 1812-SAM-PRS 5 SERIES MPR SHRUB SPRAY 12.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE. | 1 | 30 | | |
| | RAIN BIRD 1812-SAM-PRS 8 SERIES MPR SHRUB SPRAY 12.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE. | 1 | 30 | | |
| | RAIN BIRD 1812-SAM-PRS 10 SERIES MPR SHRUB SPRAY 12.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE. | 1 | 30 | | |
| | RAIN BIRD 1812-SAM-PRS 15 SERIES MPR SHRUB SPRAY 12.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE. | 1 | 30 | | |
| | RAIN BIRD 5006-SAM-R-PC-FC-MPR 25 TURF ROTOR, 6.0" POP-UP, PLASTIC RISER, MATCHED PRECIPITATION ROTOR (MPR NOZZLE). ARC AND RADIUS AS PER SYMBOL. 25 FT=RED, 30 FT=GREEN, 35FT=BEIGE. WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGULATING. | 15 | 35 | | 24' |
| | RAIN BIRD PGA 1" ELECTRIC REMOTE CONTROL VALVE | 13 | | | |
| | FEBCO 765 3/4" PRESSURE VACUUM BREAKER, BRASS WITH BALL VALVE SOV. INSTALL 12" (305MM) ABOVE HIGHEST DOWNSTREAM OUTLET AND THE HIGHEST POINT IN THE DOWNSTREAM PIPING. | 1 | | | |
| | RAIN BIRD ESPLXME2P 12 STATION, TRADITIONALLY-WIRED COMMERCIAL CONTROLLER W/ FACTORY INSTALLED PRO SMART MODULE. INDOOR/OUTDOOR, PLASTIC WALL-MOUNT ENCLOSURE. | 1 | | | |
| | RAIN BIRD RSD-BEX RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE. | 2 | | | |
| | WATER METER 3/4" BASIS OF DESIGN: 1" METER W/ 37.5 GPM @ 55 PSI. CONTRACTOR TO VERIFY & SIZE ACCORDINGLY. | 1 | | | |
| | IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1" ONLY LATERAL TRANSITION PIPE SIZES 1 1/4" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 1" IN SIZE. | 1,683 LF | | | |
| | IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1 1/2" ONLY LATERAL TRANSITION PIPE SIZES 1 1/4" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 1" IN SIZE. | 59.5 LF | | | |
| | IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 1 1/2" | 868.9 LF | | | |
| | PIPE SLEEVE: PVC SCHEDULE 40 | 133.4 LF | | | |

1 LANDSCAPE IRRIGATION PLAN
Scale: 1" = 20'

landscape architecture
land planning
placemaking

was DESIGN
landscape architects

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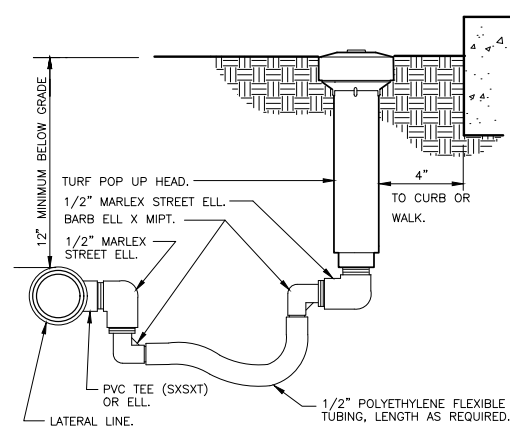
Sheet Title

LANDSCAPE IRRIGATION PLAN

Sheet No. **LI200**

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A Landscape Development Plan for
Advanced Auto
Fairhope, Alabama



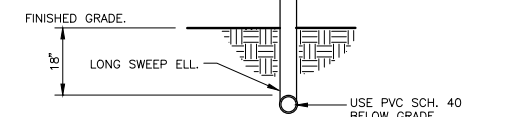
1 TURF SPRAY FLEX ASSEMBLY
3" = 1'-0" 328403.13-02

SET CONTROLLER 60" ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.

CONTROLLER AS SPECIFIED. SECURELY BOLT CONTROLLER TO WALL. INSTALL BACKUP BATTERIES AS REQUIRED. GROUND AS PER MFG. SPECIFICATIONS.

1/2" DIAMETER RIGID STEEL CONDUIT FOR 110 VAC ELECTRICAL SOURCE. INSTALL AS PER LOCAL ELECTRICAL CODES.

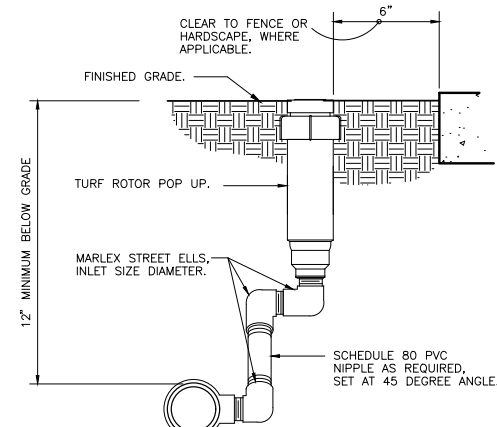
1 1/2" DIAMETER RIGID STEEL CONDUIT FOR RCV WIRES.



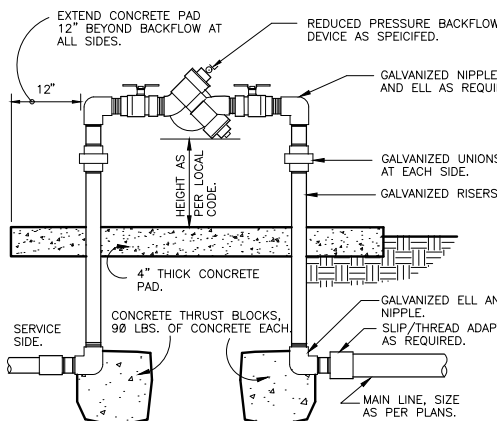
5 WALL MOUNT CONTROLLER
1" = 1'-0" 328409.13-01

1. ALL MAINLINES TO HAVE A MINIMUM OF 18" OF COVER. (CLASS 200 PVC PIPE).
2. ALL LATERAL AND SUB-MAIN PIPE TO HAVE A MINIMUM OF 12" OF COVER. (CLASS 200 PVC PIPE).
3. NO ROCKS, BOULDER, OR OTHER EXTRANEUS MATERIALS TO BE USED IN BACKFILLING OF TRENCH.
4. ALL PIPE TO BE INSTALLED AS PER MANUFACTURERS' SPECIFICATIONS.
5. ALL THREADED JOINTS TO BE COATED WITH TEFLON TAPE OR LIQUID TEFLON.
6. ALL LINES TO BE THOROUGHLY FLUSHED BEFORE INSTALLATION OF SPRINKLER HEADS.
7. SPRINKLER AND RELATED EQUIPMENT TO BE INSTALLED AS PER DETAILS.
8. ALL ELECTRICAL JOINTS TO BE MADE USING WATERPROOF CONNECTIONS AS SHOWN ON DETAILS.
9. ALL EQUIPMENT NOT SPECIFIED IN THE LEGEND SHALL BE DETERMINED AND FURNISHED BY THE CONTRACTOR.
10. NO ELECTRICAL CONNECTIONS SHALL BE MADE IN THE FIELD EXCEPT AT A VALVE CONTROL BOX OR ANOTHER VALVE BOX SPECIFICALLY FOR CONNECTIONS.
11. ANY DISCREPANCY BETWEEN THIS SHEET AND OTHERS IN THIS SET MUST BE REFERRED TO THE LANDSCAPE ARCHITECT BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
12. ALL 24 VOLT WIRE SHALL BE #12 UFJL FOR COMMON WIRE, AND #14 UFJL FOR CONTROL WIRES, DIRECT BURIAL, SOLID COPPER.
13. CONTRACTOR TO BE RESPONSIBLE FOR PROPER COVERAGE OF AREAS TO BE WATERED. I.E. ADJUST HEADS WITH INSUFFICIENT COVERAGE DUE TO BLOCKAGE BY EXISTING OR PROPOSED SITE FEATURES.
14. CONTRACTOR TO REFER TO LANDSCAPE PLAN TO KEEP SPRINKLER EQUIPMENT AND ACCESSORY MATERIAL FROM INTERFERING WITH PROPER PLANTING, I.E. VERIFY ROOT BALL SIZE FOR PLANTING.
15. CONTRACTOR SHALL PROVIDE EXPANSION COILS AT EACH WIRE CONNECTION IN VALVE BOX (WRAP AROUND 3/4" PIPE 12 TIMES).

9 GENERAL IRRIGATION NOTES
1" = 1" 328415-01

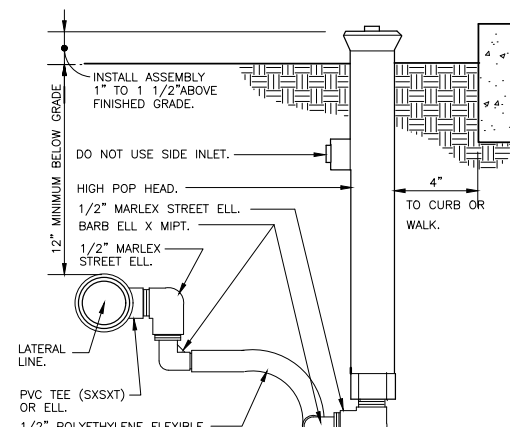


2 TURF ROTOR MARLEX ASSEMBLY
3" = 1'-0" 328403.16-01



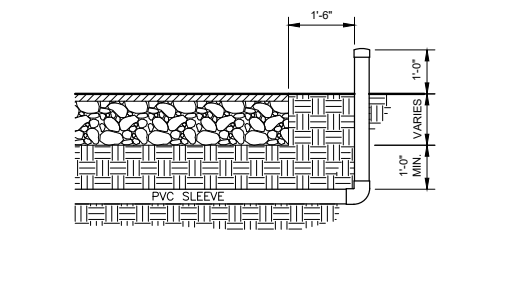
6 REDUCED PRESSURE BACKFLOW
1 1/2" = 1'-0" 328409.43-02

16. CONTRACTOR TO UTILIZE APPROPRIATE AUTOMATIC DRAIN DEVICE WHERE LOW HEAD DRAINAGE MAY OCCUR.
17. CONTRACTOR SHALL UTILIZE VALVE I.D. TAGS ON ALL REMOTE CONTROL VALVES.
18. 24 VOLT WIRE SHALL BE COLOR CODED; COMMON-WHITE, CONTROL-RED.
19. CONTRACTOR SHALL INSTALL MANUFACTURERS' RECOMMENDED GROUNDING EQUIPMENT FOR POWER SUPPLY AND VALVE OUTPUT WITH (2) 5/8" COPPER CLAD GROUND RODS.
20. CONTRACTOR SHALL INSTALL MANUFACTURERS' RECOMMENDATION ON FAULT GROUND AND LIGHTNING PROTECTION.
21. ALL MATERIAL TO BE SUPPLIED BY CONTRACTOR TO OWNER:
 - A. TWO WRENCHES FOR DISASSEMBLING AND ADJUSTING EACH TYPE OF SPRINKLER HEADS AND VALVE SUPPLIED.
 - B. TWO KEYS FOR EACH OF THE AUTOMATIC CONTROLLERS.
 - C. TWO QUICK COUPLER KEYS WITH MATCHING HOSE SWIVELS.
22. SYSTEM IS DIAGRAMMATIC TO IMPROVE CLARITY. ALL MAINLINE PIPING ELECTRIC VALVES AND WIRING ARE TO BE INSTALLED IN LANDSCAPE AREAS AND WITHIN PROPERTY BOUNDARIES. CONTRACTOR SHALL REFERENCE THE LANDSCAPE PLAN PRIOR TO THE INSTALLATION OF PIPING TO AVOID CONTACT WITH PLANT MATERIALS EXISTING OR NEW.
23. CONTRACTOR TO ADD EXTENSION RISER TO POP-UP HEADS WHEN NEEDED FOR PROPER COVERAGE.
24. CONTRACTOR SHALL INSTALL SPRINKLER EQUIPMENT 12" FROM FOUNDATIONS. ALSO INSTALL SPRINKLERS 4" FROM CURB OR WALKS.
25. PRIOR TO BID, IRRIGATION CONTRACTOR SHALL VERIFY RIGHT-OF-WAY AND BACKFLOW REQUIREMENTS. NO LATER THAN FIVE DAYS BEFORE BID SUBMITTALS, CONTRACTOR SHALL NOTIFY CONSULTANT OF ANY CHANGES FROM PLANS AND SPECIFICATIONS.
26. IRRIGATION CONTRACTOR SHALL PROVIDE THE OWNER AND LANDSCAPE ARCHITECT WITH A REPRODUCIBLE CROSS MEASURED AS-BUILT DRAWING OF THE INSTALLED IRRIGATION SYSTEM IN AUTOCAD 2000 FORMAT BEFORE FINAL ACCEPTANCE.
27. A 1-YEAR WARRANTY PERIOD SHALL BE PROVIDED FOR SYSTEM AFTER SUBSTANTIAL COMPLETION IS ACCEPTED. START UP AND ADJUSTING OF SYSTEM IN SPRING TIME SHALL BE INCLUDED IN WARRANTY.

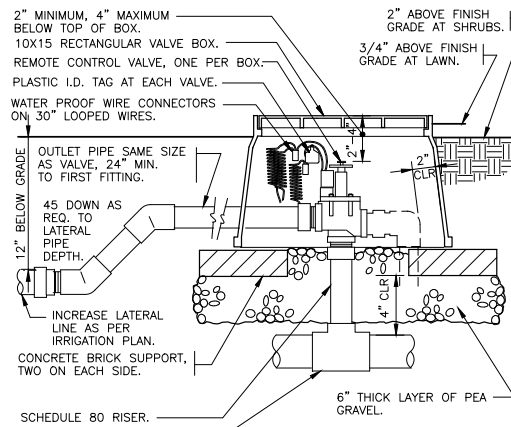


3 SHRUB SPRAY HIGHPOP W/ FLEX ASSEMBLY
3" = 12" 328403.29-01

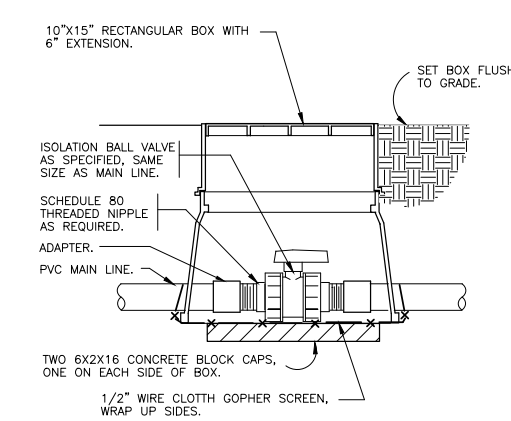
NOTE: INSTALLER OF SLEEVES SHALL BE RESPONSIBLE TO LOCATE SLEEVES IF NOT PROPERLY INSTALLED.



7 SLEEVING DETAIL
1/2" = 1'-0" 328409.76-05



4 ELECTRIC REMOTE CONTROL VALVE
1 1/2" = 1'-0" 328406.13-01

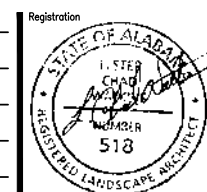


8 TRUE UNION BALL ISOLATION VALVE
1 1/2" = 1'-0" 328406.33-04

| Revisions | | |
|-----------|------|-------------------------|
| No. | Date | Revisions / Submissions |
| 08.25.25 | | CITY SUBMITTAL |
| 09.16.25 | | CITY SUBMITTAL |
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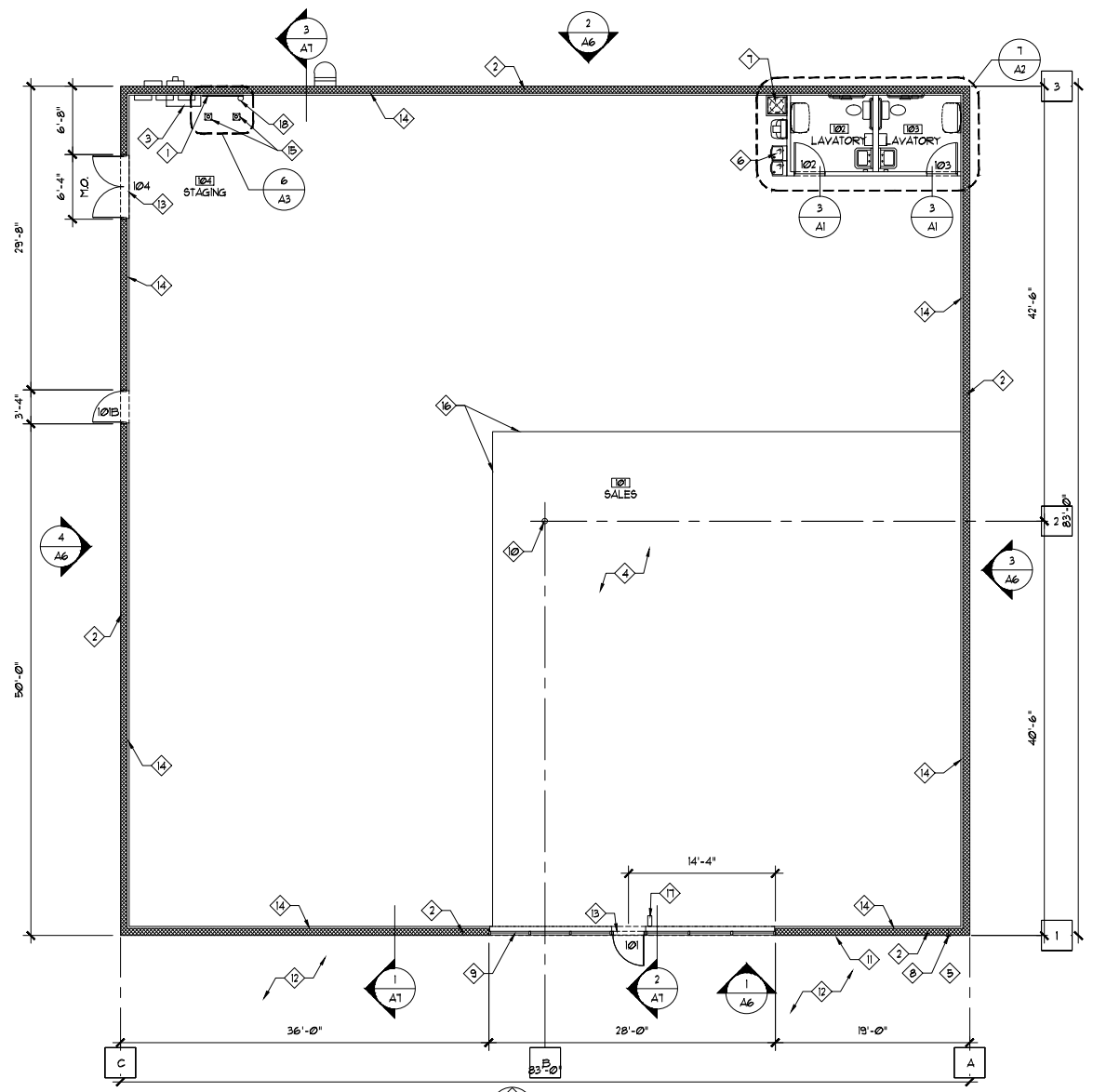
| | |
|-----------------|--------------|
| BB | Registration |
| Drawn | |
| VW | |
| Project Manager | |
| CW | |
| Principal | |
| 253097-225 | |
| Project No. | |
| BB | |
| Date | |



Sheet Title

LANDSCAPE
IRRIGATION DETAILS

Sheet No.
LI500



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"
PLAN NORTH

TROWELING CONCRETE @ INTERIOR SLABS NOTES:

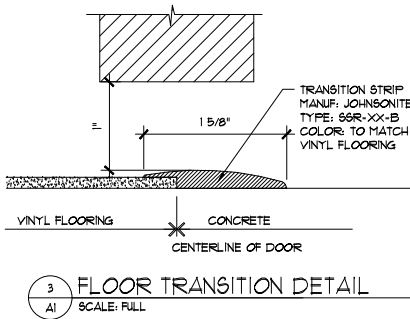
- A. HAND OR POWER FLOAT FLOOR BEFORE STARTING TROWELING.
- B. FOR FIRST TROWELING, KEEP BLADE(S) AS FLAT AS POSSIBLE AND USE LOW SPEED, MINIMIZING "WASHBOARD" OR "CHATTER MARKS" AND "FITTING".
- C. TROWEL 2 TIMES MINIMUM WITH FIRST TWO TROWELING AT RIGHT ANGLES. CEASE TROWELING BEFORE TROUPEL BLADES SCRATCH SURFACE.
- D. ALLOW TIME BETWEEN TROWELING FOR CONCRETE TO STIFFEN AND WATER SHEEN TO DISAPPEAR. DO NOT ADD WATER TO SLAB SURFACE DURING TROWELING.
- E. DO NOT RIDE TROWELS ON EXISTING HARDENED CONCRETE SLABS. TROWELS SHALL BE CARRIED OFF OF SLAB SURFACES. WHEN PARKING TROWELS ON FRESH CONCRETE, PLACE ON TOP OF PLYWOOD.
- F. ENSURE KNEEBOARD IMPRESSIONS, TROUPEL MARKS, FOOT PRINTS AND/OR CHATTERED AREAS ARE NOT EVIDENT AFTER FLOOR FINISH.
- G. PROVIDE DENSE, SMOOTH, FLAT ROUPEL SURFACE, UNIFORM IN TEXTURE.
- H. FINISH SURFACE TO PRODUCE MAXIMUM SHEEN PER SPECIFICATIONS FREE OF SCRATCHES AND TROUPEL MARKS.

2 not used
SCALE: 1/2" = 1'-0"

INTERIOR PAINT SPECIFICATIONS ADVANCE AUTO PARTS

- 10 DRYWALL / GYPSUM BOARD:
PRIME: 1 COAT PPG SPEEDHIDE 6-2 INTERIOR QUICK DRY PRIMER SEALER
FINISH: 2 COATS PPG SPEEDHIDE 6-412V EGGSHHELL INTERIOR ENAMEL
COLOR TO BE: IP1 AAP-INT 1 - PPG 1001-1 DELICATE WHITE
(TOILET ROOMS ARE TO HAVE PPG 6EM1-GLOSS FINISH 6-5002V ON BOTH INSIDE AND OUTSIDE WALLS)
- 11 TOILET ROOM DOORS AND TRIM:
PRIME: 1 COAT PPG SEAL GRIP 11-92X1 PRIMER SEALER
FINISH: 2 COATS PPG SPEEDHIDE 6-5002V INTERIOR SEMI-GLOSS ENAMEL
COLOR TO BE: IP2 AAP-INT 2 - PPG 14-01 SHADOW TAUPE
- 12 INTERIOR BLOCK WALLS:
PRIME: 1 COAT PPG SPEEDHIDE 6-15X1 HI-FILL BLOCK FILLER
FINISH: 2 COATS PPG SPEEDHIDE 6-412V EGGSHHELL INTERIOR ENAMEL
COLOR TO BE: IP1 AAP-INT 1 - PPG 1001-1 DELICATE WHITE
- 13 METAL COLUMNS AND METAL REAR DOOR:
PRIME: 1 COAT PPG PITT-TECH 90-1912 DTM WB PRIMER SEALER
FINISH: 2 COATS PPG BREAKTHROUGH V-92 SATIN ENAMEL
COLOR TO BE: IP1 AAP-INT 1 - PPG 1001-1 DELICATE WHITE
- 14 METAL BAR JOIST DUCTWORK AND CEILING DECKING:
NEW CONSTRUCTION SPECIFICATION:
PRIME: FACTORY PRIMED GRAY. CLEAN AND SPOT PRIME ANY FLASH RUST OR BARE AREAS WHERE FACTORY PRIMER WAS DAMAGED. PRIME USING PPG 4160 RUST INHIBITIVE PRIMER TO MATCH GRAY.
REMODEL / UP-FIT SPECIFICATION:
PRIME: SPOT PRIME TO COVER ANY BARE AREAS OF DECKING OR DUCK WORK. PRIME USING PPG 90-1912 PITT TECH DTR WB PRIMER SEALER FOR WIDE-SPREAD RUST OR SURFACE ISSUES - PLEASE CONTACT YOUR LOCAL PPG SALESPERSON FOR RECOMMENDATIONS PRIOR TO PAINTING.
FINISH: PPG SPEEDHIDE 6-175X1 INTERIOR DRY-FOG
COLOR TO BE: IP2 AAP-INT 2 - PPG 14-01 SHADOW TAUPE

REFER TO PRODUCT DATA SHEETS AND LABEL FOR SPECIFIC APPLICATION INSTRUCTIONS AND DRY TIMES. (ADVANCE AUTO SPECS (INTERIOR) G10)



3 FLOOR TRANSITION DETAIL
SCALE: FULL

| ROOM FINISH SCHEDULE | | | | | | | | | |
|----------------------|-----------|------------|------|-------|------|---------|-------|---------|---|
| ROOM NO. | ROOM NAME | FLR / BASE | | WALLS | | CEILING | | REMARKS | |
| | | PC-1 | PC-2 | IP-1 | IP-2 | ACT-1 | ACT-2 | | |
| 101 | SALES | ● | ● | ● | ● | ● | ● | OPEN | G.C. TO COORDINATE WITH AAP CM FOR PAINTING OF THE DECK AND BEAMS. DOORS, FRAMES AND TRIM TO BE IP-2. NOTE - THE WALLS ON THE EXTERIOR OF THE RESTROOMS ARE TO BE IP-1. FRP IS NOT TO BE PAINTED. |
| 102 | LAVATORY | ● | ● | ● | ● | ● | ● | 8'-0" | |
| 103 | LAVATORY | ● | ● | ● | ● | ● | ● | 8'-0" | |
| 104 | STAGING | ● | ● | ● | ● | ● | ● | OPEN | DOORS, FRAMES AND TRIM TO BE IP-2. |

| MATERIAL SCHEDULE | |
|---|---|
| MATERIAL: | LOCATION: |
| FLOORING | |
| PC-1 ASHFORD (OR) UR MEADOWS POLISHED CONCRETE. COORDINATE WITH AAP PROJECT MANAGER. | ENTIRE SALES FLOOR AREA AND TOILET ROOMS - REFER TO RESPONSIBILITY MATRIX ON SHEET T1 FOR ADDITIONAL INFORMATION. |
| VCT-1 ARMSTRONG CLASSIC WHITE, 5191 STANDARD EXCELON IMPERIAL TEXTURE, CLASSIC WHITE, 12" x 12" x 1/8". | RESTROOMS FLAME SPREAD: 0 SMOKE DEVELOPED: 30 |
| BASE | |
| VB-1 4" BLACK VINYL BASE - ARMSTRONG, JOHNSONITE OR ROPPE. | INSTALL ON WALLS THAT DO NOT RECEIVE FIXTURES. CLASS: C FLAME SPREAD: 0-45 SMOKE DEVELOPED: 450 OR LESS |
| CEILING | |
| GB-1 USG 1/2" GYPSUM BOARD | HEATED TOILET ROOM WALLS. CMU WALLS DO NOT RECEIVE GUB. |
| ACT-1 ARMSTRONG T65 WHITE FIGURED SQUARE EDGE 24"x48" | RESTROOMS CLASS A, ASTM E84 AND CANULC 5102 SURFACE BURNING CHARACTERISTICS, FLAME SPREAD INDEX OF 25 OR LESS. SMOKE DEVELOPED INDEX OF 50 OR LESS (UL LABELED). |
| INTERIOR PAINT | |
| IP-1 AAP-INT1 DELICATE WHITE (PPG1001-1) | DRYWALL, BLOCK WALLS, SMOKE DEVELOPED: 35 - 60 |
| IP-2 AAP-INT2 PPG SHADOW TAUPE (PPG 14-01) | COLUMNS, DOORS, JAMBS AND INTERIOR RESTROOM WALLS SMOKE DEVELOPED: 35 - 60 |
| FIBERGLASS REINFORCED PANELS | |
| FRP-1 MARLITE WHITE FIBERGLASS REINFORCED PANELS | WALLS ADJACENT TO THE MOP SINK AND EUC WALL. CLASS: C, FLAME SPREAD: 110 SMOKE DEVELOPED: 300 |

FLOOR PLAN KEY NOTES:

- 1 4"x12" x 3/4" APA RATED PLYWOOD BACKBOARD. REFER TO SHEET E4 FOR ADDITIONAL INFORMATION.
- 2 CMU WALL. REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 3 ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 4 AREA OF SEALED FLOOR ASHFORD FORMULA BY CURECRETE CHEMICAL COMPANY, INC. RE: CONCRETE FINISH NOTES ON SHEET A1 FOR ADDITIONAL INFORMATION.
- 5 VICINITY OF DOMESTIC WATER SERVICE ENTRY. REFER TO PLUMBING DRAWINGS FOR SPECIFIC LOCATION. (VARIES SITE SPECIFIC)
- 6 BI-LEVEL DRINKING FOUNTAIN. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 7 WATER HEATER AND PAN-SHELF MOUNTED ON WALL ABOVE MOP SINK. BTM OF PAN AT 8'-0" AFF. ROOM. SEE A2 AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 8 WALL HYDRANT. REFER TO PLUMBING DRAWINGS.
- 9 ALUMINUM STOREFRONT AND GLAZING. REFER TO SHEET A6 FOR ADDITIONAL INFORMATION.
- 10 STEEL COLUMN PAINT IP-2. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 11 HIDDEN LINE INDICATES FACE OF METAL PANEL ABOVE. REFER TO ELEVATIONS FOR ADDITIONAL INFORMATION.
- 12 SLOPE CONCRETE WALK AWAY FROM BUILDING 1/8" PER FT. FOR POSITIVE DRAINAGE AND PROVIDE MOP FINISH. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 13 INSTALL ACCESSIBLE ALUMINUM THRESHOLD ON EXTERIOR AND INTERIOR DOORS.
- 14 PROVIDE CONTINUOUS RIGID INSULATION WITH 1/8" HAT CHANNELS @ 16" O.C. WITH 1/2" GYP. BD. ONE SIDE TO UNDERSIDE OF DECK. PROVIDE ALL REQUIRED WALL / CORNER TREATMENTS AT OPENINGS IN HEAVY TRAFFIC FLOW AREAS.
- 15 PROVIDE (2) 4" 1/2" DIA. x 3'-0" HIGH SURFACE MOUNTED SAFETY BOLLARDS IN FRONT OF PLYWOOD BACKBOARD - SEE DETAIL 6/A5
- 16 CONCRETE SLAB GLOSS TRANSITION LINE. REFER TO FLOOR FINISH NOTES ON SHEET A1 FOR ADDITIONAL INFO AND SHEET A3 FOR FINAL DIMENSIONED LOCATION.
- 17 NEW EAS SYSTEM - SEE ELECTRICAL PLANS. COORDINATE FINAL PLACEMENT WITH SUPPLIER.
- 18 DRAWINGS STORAGE TUBE MOUNTED TO PLYWOOD BACKBOARD.

FLOOR PLAN GENERAL NOTES:

- 1 CONCRETE FLOOR TO BE MACHINE TROUPEL FINISH THROUGHOUT.
- 2 CONTRACTOR IS RESPONSIBLE FOR INSTALLING TOILETS SO AS TO COMPLY WITH ALL APPLICABLE CODES, ORDINANCES AND ACCESSIBILITY STANDARDS.
- 3 INSTALL BACKFLOW PREVENTER IN MAIN SERVICE WATER LINE AS REQUIRED BY LOCAL CODE. CONTRACTOR IS RESPONSIBLE FOR PROVIDING FIRE EXTINGUISHERS MODEL #2A10BC ABC RATING. QUANTITY AND LOCATION AS REQUIRED BY FIRE MARSHAL. (MINIMUM OF 4)
- 4 OMTED
- 5 PREPARE FLOOR SLAB AS REQUIRED FOR APPLICATION OF FLOOR SEALER THROUGHOUT ENTIRE BUILDING.

FINISH GENERAL NOTES:

- 1 VINYL BASE TO BE FLAT STOCK OF TYPICAL 1/8" THICKNESS. MIN. SPlice JOINT SPACING SHALL BE 4'-0".
- 2 ALL INTERIOR FINISHES SHALL COMPLY WITH LOCAL BUILDING CODES.
- 3 INTERIOR SIDE OF EXTERIOR CMU WALL SHALL HAVE BLOCK FILLER APPLIED TO DECK. WALL TO BE PAINTED TO BOTTOM OF DECK.
- 4 PAINT TELEPHONE FIRE RETARDANT PLYWOOD BACKBOARD TO MATCH WALLS.
- 5 PAINT WALLS AND APPLY FLOOR SEALANT PRIOR TO INSTALLING VINYL BASE FULLY ADHERE VINYL BASE.
- 6 PROVIDE CLEAR SILICON SEALANT AT ALL REQ'D PLUMBING FIXTURES, ACCESSORIES, FRP, ETC. PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 7 DRYWALL FINISH TO BE CLASS 4.

CONCRETE FLOOR FINISH 2021

- 104 QUALITY ASSURANCE
 - A. SEE RESPONSIBILITY MATRIX (SHT. T-1 OF PLANS) AND SECTION 2.01 OF THIS SPECIFICATION FOR INFORMATION REGARDING AUTHORIZED APPLICATORS.
 - B. COORDINATION WITH A SPECIFICATION REPRESENTATIVE IS REQUIRED PRIOR TO POURING OF THE SLAB, AND PRIOR TO APPLICATION OF THE HARDENER-DENSIFIER.
- 105 DELIVERY, STORAGE, AND HANDLING
 - A. DELIVER MATERIALS TO SITE IN MANUFACTURER'S ORIGINAL, UNOPENED FACTORY NUMBERED CONTAINERS AND PACKAGING WITH LABELS CLEARLY IDENTIFYING PRODUCT NAME AND MANUFACTURER. RECORD NUMBERS FOR OWNER'S RECORDS.
 - B. STORE MATERIALS IN A CLEAN, DRY AREA IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - C. KEEP PRODUCTS FROM FREEZING.
 - D. AVOID DIRECT CONTACT WITH THIS PRODUCT AS IT MAY CAUSE MILD TO MODERATE IRRITATION OF THE EYES AND/OR SKIN.
 - E. PROTECT MATERIALS DURING HANDLING AND APPLICATION TO PREVENT DAMAGE OR CONTAMINATION.
- 106 PROJECT CONDITIONS AND ENVIRONMENTAL REQUIREMENTS
 - A. DO NOT INSTALL PRODUCT UNDER ENVIRONMENTAL CONDITIONS OUTSIDE OF MANUFACTURER'S ABSOLUTE LIMITS.
 - B. DO NOT APPLY CONCRETE DENSIFIER AND CHEMICAL HARDENER WHEN CONCRETE TEMPERATURE IS BELOW 39°F (2.1°C) OR ABOVE 135°F (57.1°C).
 - C. DO NOT USE FROZEN MATERIALS THAT AND AGITATE PRIOR TO USE.
 - D. DO NOT USE ON HIGHLY DENSE OR NON-POROUS SURFACES.
 - E. NO SATISFACTORY PROCEDURES ARE AVAILABLE TO REMOVE PETROLEUM OR RUST STAINS FROM CONCRETE. PREVENTION IS THEREFORE ESSENTIAL. TAKE PRECAUTIONS TO PREVENT STAINING OF CONCRETE PRIOR TO APPLICATION OF HARDENER-DENSIFIER AND FOR MINIMUM OF THREE MONTHS AFTER APPLICATION.
 - F. IT IS RECOMMENDED THAT THE CONCRETE SLAB IS POURED AFTER ERECTION OF WALLS AND STEEL ROOF STRUCTURE. HOWEVER, IF CONDITIONS DO NOT ALLOW THEN THE SLAB MUST BE PROTECTED BY 1/2" PLYWOOD OVER 6-MIL VISQUEEN WHILE MASONRY AND STEEL ERECTION TAKE PLACE.
 - G. PROHIBIT PARKING OF VEHICLES ON CONCRETE SLAB.
 - H. IF CONSTRUCTION EQUIPMENT MUST BE USED FOR ADDITIONAL TRADES, THEN THE SLAB MUST BE CONTINUALLY PROTECTED BY 1/2" PLYWOOD OVER 6-MIL VISQUEEN.
 - I. PROHIBIT PIPE CUTTING MACHINERY ON CONC. SLAB.
 - J. PROHIBIT TEMPORARY PLACEMENT AND STORAGE OF STEEL MEMBERS ON CONCRETE SLAB.
- 107 WARRANTY
 - A. PROVIDE MANUFACTURER'S WARRANTY THAT A STRUCTURALLY SOUND CONCRETE SURFACE PREPARED AND TREATED ACCORDING TO THE MANUFACTURER'S DIRECTIONS WILL REMAIN PERMANENTLY DUSTPROOF, HARDENED AND WATER REPELLENT. IF AFTER THE SPECIFIED SEALING PERIOD THE TREATED SURFACE DOES NOT REMAIN DUSTPROOF, HARDENED AND WATER REPELLENT, PROVIDE, AT MANUFACTURER'S EXPENSE, SUFFICIENT MATERIAL TO TREAT DEFECTIVE AREAS.
- PART 2 PRODUCTS
 - 2.01 MANUFACTURER
 - A. ACCEPTABLE MANUFACTURERS: ASHFORD FORMULA BY CURECRETE DISTRIBUTION, INC. UR MEADOWS INC.
 - 2.02 MATERIALS
 - A. PERFORMANCE BASED SPECIFICATION: CONCRETE DENSIFIER AND CHEMICAL HARDENER COMPOUND SHALL BE A READY-TO-USE, WATER-BASED, COLORLESS LIQUID FORMULATED WITH CHEMICALLY REACTIVE RAW MATERIALS THAT MEETS THE MAXIMUM VOC CONTENT LIMITS OF 400 G/L FOR CONCRETE PROTECTIVE COATINGS AS REQUIRED BY THE U.S. EPA ARCHITECTURAL COATINGS RULE.
 - B. PROPRIETARY BASED SPECIFICATION: CONCRETE DENSIFIER CHEMICAL HARDENER AND CURING COMPOUND SHALL BE LIQUID AS MANUFACTURED BY UR MEADOWS.
 - C. PROPRIETARY BASED SPECIFICATION: ASHFORD FORMULA AS MANUFACTURED BY CURECRETE DISTRIBUTION.
- PART 3 EXECUTION
 - 3.01 EXAMINATION
 - A. EXAMINE SURFACES TO RECEIVE CONCRETE DENSIFIER AND CHEMICAL HARDENER NOTIFY ARCHITECT AND AAP PROJECT MANAGER IF SURFACES ARE NOT ACCEPTABLE. DO NOT BEGIN APPLICATION UNTIL UNACCEPTABLE CONDITIONS HAVE BEEN CORRECTED.
 - 3.02 SURFACE PREPARATION
 - A. PROTECT ADJACENT SURFACES NOT DESIGNATED TO RECEIVE TREATMENT.
 - B. CLEAN AND PREPARE SURFACES TO RECEIVE TREATMENT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, ENSURING THAT ALL STAINS, OIL, GREASE, FORM RELEASE AGENTS, DUST AND DIRT, AND REMNANTS OF THE CURING COMPOUND ARE REMOVED PRIOR TO APPLICATION.
 - 3.03 APPLICATION
 - A. APPLY CONCRETE PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - B. ENSURE APPLICATION EQUIPMENT IS CLEAN AND FREE OF PREVIOUSLY USED MATERIALS.
 - C. DO NOT DILUTE CONCRETE DENSIFIER AND CHEMICAL HARDENER.
 - D. NEW CONCRETE:
 - UR MEADOWS OPTION: APPLY CURE-HARDENER-DENSIFIER TO NEW CONCRETE AS SOON AS THE SURFACE WATER DISAPPEARS AND THE SURFACE WILL NOT BE MARRED BY WALKING WORKMEN WITHIN 2 TO 12 HOURS OF CONCRETE PLACEMENT.
 - ASHFORD OPTION: APPLY CURE-SEAL-HARDENER TO NEW CONCRETE AS SOON AS THE CONCRETE IS FIRM ENOUGH TO WORK ON AFTER TROWELING, EXCEPT ON COLORED CONCRETE WAIT MINIMUM OF 30 DAYS.
 - 4. APPLY UNDILUTED CONCRETE DENSIFIER AND CHEMICAL HARDENER AT RATE PER MANUFACTURER'S RECOMMENDATION USING A SOFT-PRESSURE SPRAYER OR BY SPREADING EVENLY WITH A LOW-BRISTLED BROOM.
 - 5. SQUEEGEE SURFACE COMPLETELY DRY, FLUSHING ANY REMAINING SLUFFERY AREAS UNTIL NO RESIDUE REMAINS.
 - 6. LET VACUUM OR SCRUBBING MACHINES MAY BE USED TO REMOVE RESIDUE, PROVIDED MANUFACTURER'S INSTRUCTIONS ARE FOLLOWED. USE OF MOPS IS PROHIBITED.
 - E. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - F. IF THIS IS THE APPLICATOR'S FIRST PROJECT USING THIS PRODUCT, PROVIDE THE MANUFACTURER'S TECHNICAL REPRESENTATIVE ON-SITE TO FAMILIARIZE INSTALLERS WITH PROPER PROCEDURES.
 - G. PREVENT DAMAGE TO AND BOLLING OF ADJACENT WORK.
 - 3.04 BURNISHING/POLISHING
 - A. BURNISH TREATED FLOOR IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND THE FOLLOWING:
 - 4. FOR NEW CONCRETE, ALLOW DENSIFIER AND HARDENER TO CURE FOR A MINIMUM OF 28 DAYS BEFORE BEGINNING BURNISHING.
 - 5. FOR EXISTING CONCRETE, ALLOW 24 HOURS FOLLOWING APPLICATION, THOROUGHLY CLEANING FLOOR BEFORE BEGINNING BURNISHING OR GRINDING.
 - 6. FOR NEW AND EXISTING FLOOR, BURNISH FLOOR SURFACE BY SUCH MEANS TO ACHIEVE CPAA LEVEL 2 WITH A GLOSS READING OF 40-50 IN THE SALES AREA AND A LEVEL 1 IN REMAINDER OF STORE.
 - 3.05 PROTECTION
 - A. PROTECT FINISHED POLISHED CONCRETE FLOORINGS FROM FOOT TRAFFIC FOR A MINIMUM 12 HOURS IS AFTER APPLICATION OF CONCRETE DENSIFIER-CHEMICAL HARDENER.
 - B. PROTECT INSTALLED FLOORS UNTIL CHEMICAL REACTION PROCESS IS COMPLETE BY COMPLYING WITH THE PRECAUTIONS LISTED UNDER PROJECT CONDITIONS.
 - C. CLEAN FLOOR REGULARLY IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS BECAUSE WATER WILL ACCELERATE THE SEALING AND SCRUBBING WILL IMPART A SHINE.
 - D. CLEAN UP SPILLS IMMEDIATELY AND SPOT-TREAT STAINS WITH GOOD DEGREASER OR OIL EMULSIFIER.
 - E. PRECAUTIONS AND CLEANING ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNTIL SUBSTANTIAL COMPLETION.

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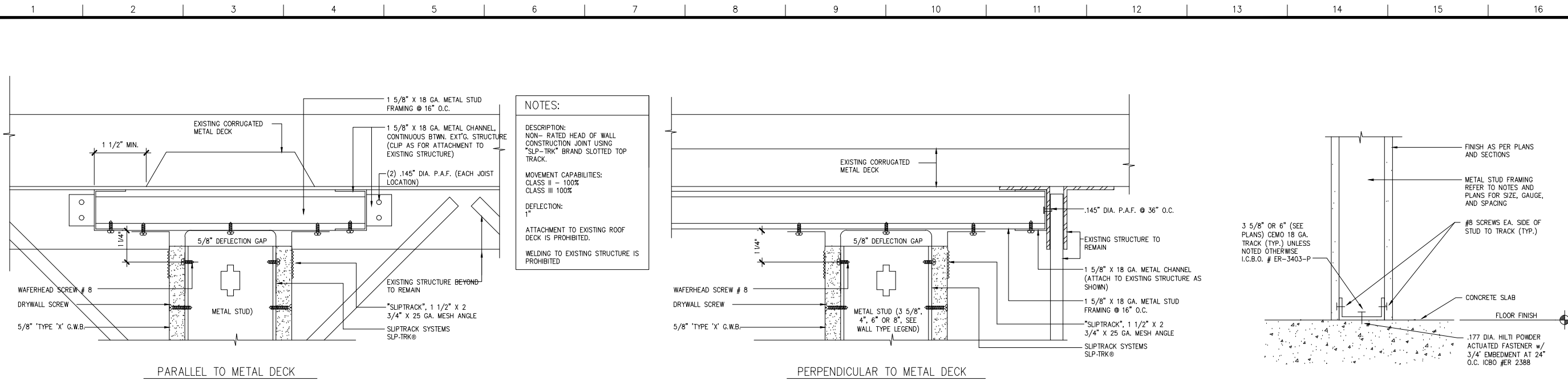


| ISSUE | DATE | DESCRIPTION |
|-------|----------|-----------------------|
| 1 | 06.02.25 | OWNER REVIEW DRAWINGS |
| 2 | | |
| 3 | | |

Advance Auto Parts
ADDRESS: TBD
Fairhope, AL. 36532
STORE # 107874

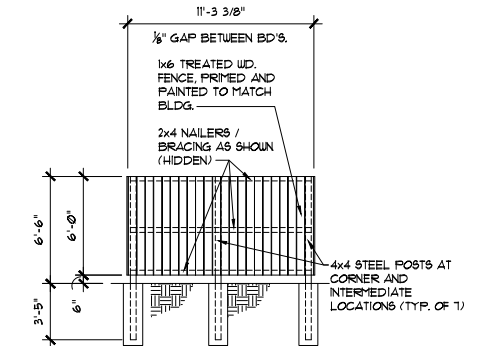
PROJECT NO: 20-013
DRAWN BY: RID
CHKD BY: TFS

SHEET NO:
FLOOR PLAN
A1

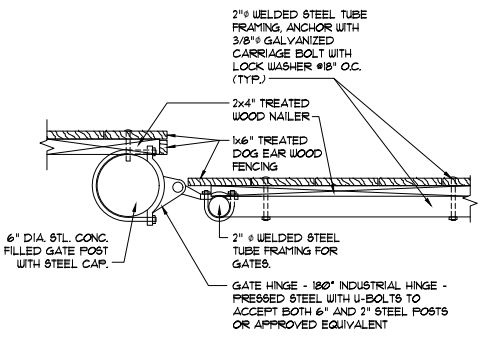


1 WALL CONNECTION DETAIL
A21 SCALE: 6" = 1'-0"

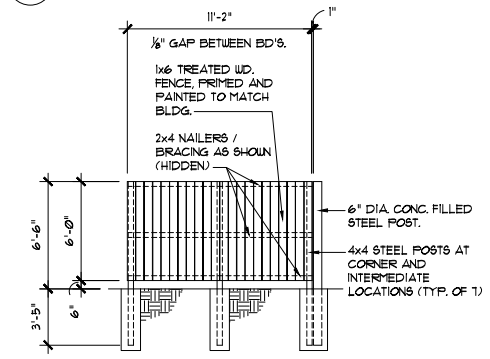
2 FLOOR TRACK DETAIL
A21 SCALE: FULL



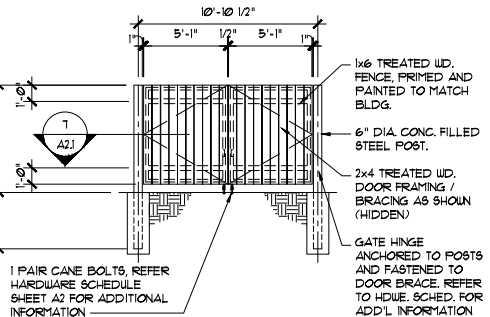
3 DUMPSTER FENCE ELEVATION (REAR)
A21 SCALE: 3/16" = 1'-0"



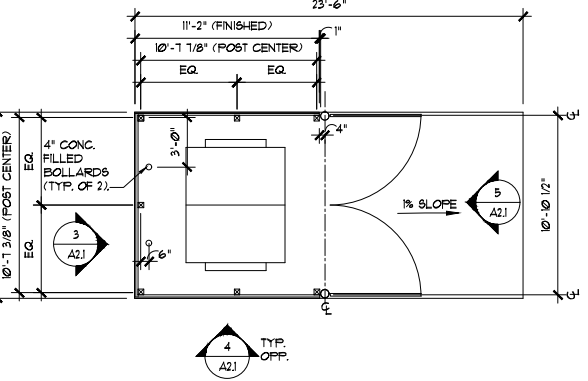
7 SECTION AT GATE POST
A21 SCALE: 1 1/2" = 1'-0"



4 DUMPSTER FENCE ELEVATION
A21 SCALE: 3/16" = 1'-0"



5 DUMPSTER GATE ELEVATION
A21 SCALE: 3/16" = 1'-0"



6 TYPICAL PAD LAYOUT
A21 SCALE: 3/16" = 1'-0"

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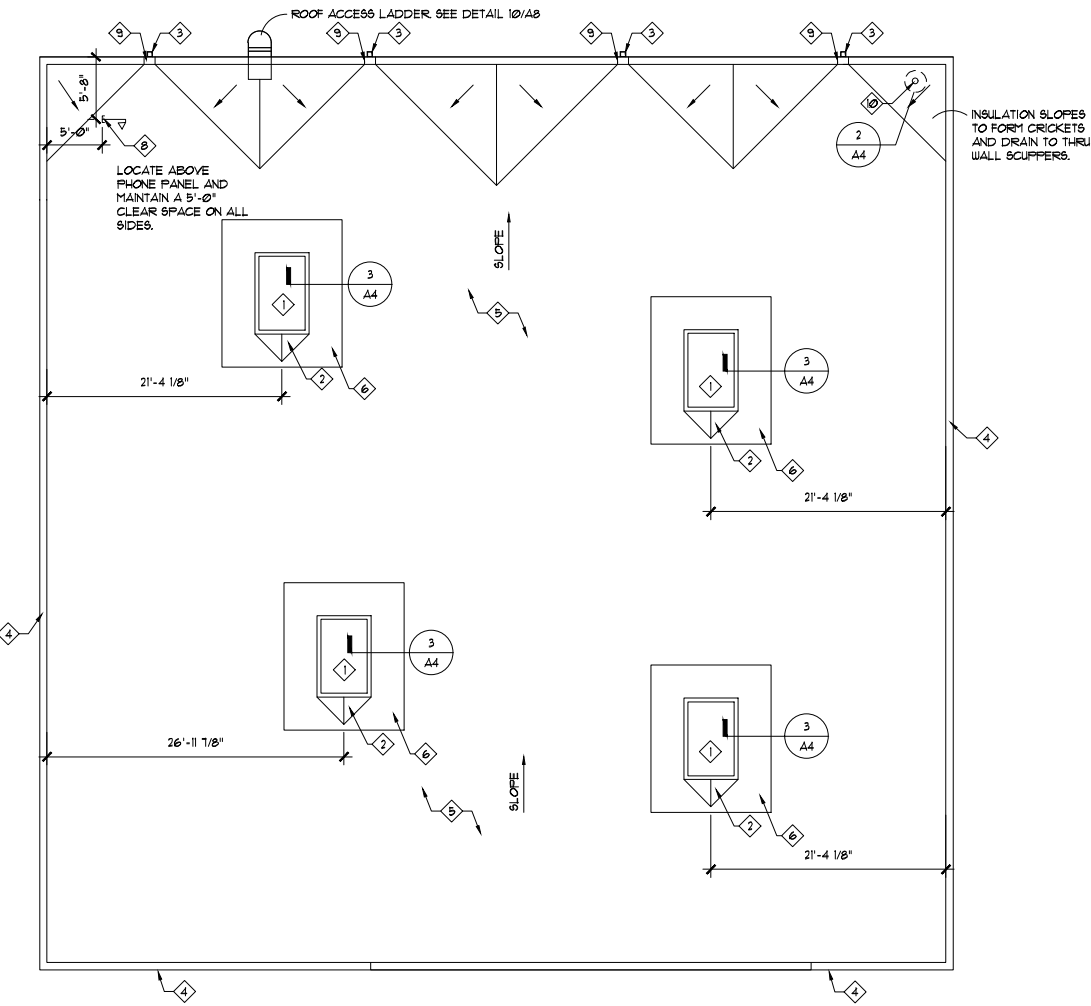
| ISSUE | DATE | DESCRIPTION |
|-------|----------|-----------------------|
| 1. | 06.06.25 | OWNER REVIEW DRAWINGS |
| 2. | | |
| 3. | | |

Advance Auto Parts
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Fairhope, AL. 36532 STORE # 107874

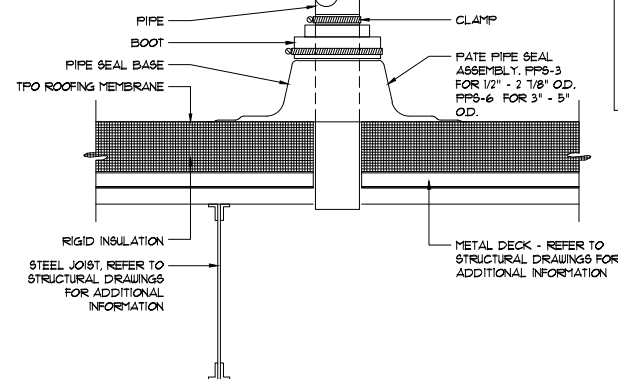
PROJECT NO: 20-013
DRAWN BY: RID
CHKD BY: TFS

SHEET NO:
WALL SECTION
DETAILS
A2.1

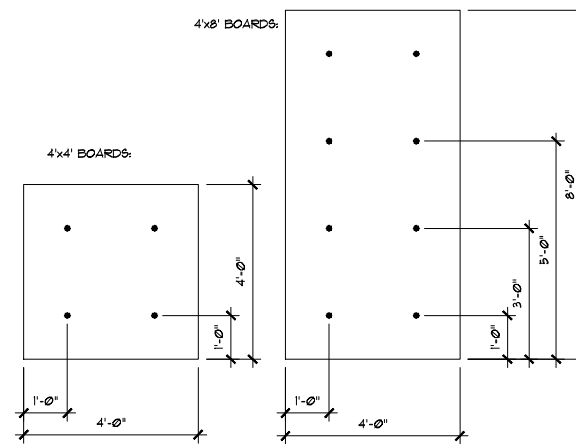
NOTE:
ROOFING INSTALLATION MUST CONFORM TO MINIMUM
FM1-90 TO MAINTAIN FACTORY WARRANTY.



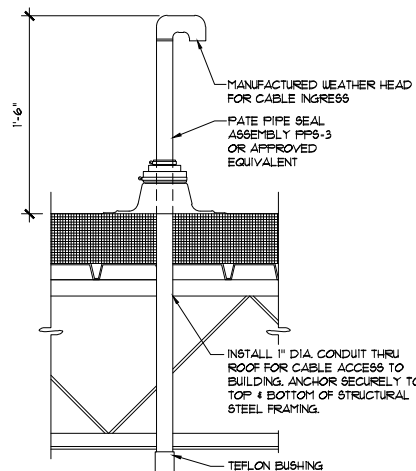
1 ROOF PLAN
A4 SCALE: 1/8" = 1'-0"



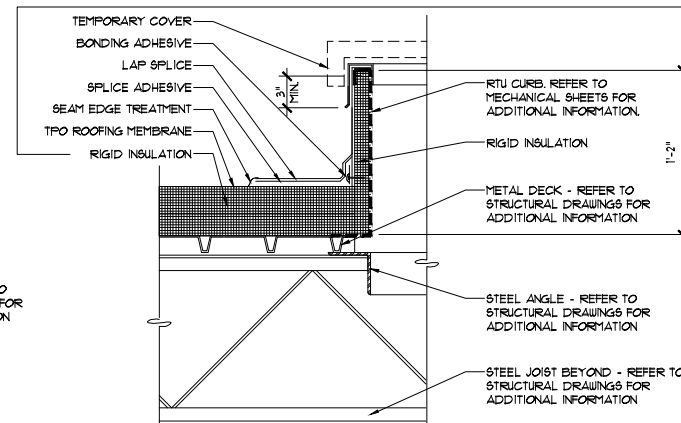
2 PIPE FLASHING DETAIL
A4 SCALE: 1 1/2" = 1'-0"



6 INSULATION FASTENING DIAGRAM
A4 SCALE: 1/2" = 1'-0"



5 CELL TOWER BOOSTER CONDUIT DETAIL
A4 SCALE: 1 1/2" = 1'-0"



3 HVAC ROOF CURB DETAIL
A4 SCALE: 1 1/2" = 1'-0"

ROOF PLAN KEY NOTES:

- 1 RTU, REFER TO MECHANICAL SHEETS FOR ADDITIONAL INFORMATION.
- 2 BUILT-UP CRICKET W/MIN. 1/2" PER FOOT SLOPE.
- 3 NEW 6"x6" METAL DOWNSPOUT AND CONDUCTOR HEAD EQUALLY SPACED. DOWNSPOUTS PREFINISHED TO MATCH A1. PROVIDE SAMPLE TO CM PRIOR TO ORDERING.
- 4 PRE-FINISHED METAL COPING, REFER TO SHEETS A1/A8 FOR ADDITIONAL INFORMATION.
- 5 MEMBRANE ROOFING
- 6 WALK AREA MEMBRANE, REFER TO ROOFING MANUFACTURER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 7 NOT USED
- 8 SATELLITE WEATHER HEAD PENETRATION, REFER TO DETAIL 5/A4.
- 9 THRU WALL SCUFFER SEE SECTION FOR DETAILS
- 10 PLUMBING VENT RE: PLUMBING DRAWINGS

ROOF PLAN GENERAL NOTES:

1. ROOFING MEMBRANE SYSTEM: 60 MIL ULTRAFLY TPO WHITE MECHANICALLY FASTENED TO DECK OVER RIGID POLYISOCYANURATE INSULATION.
2. ROOFING SYSTEM TO HAVE A TOTAL SYSTEMS NO DOLLAR LIMIT WARRANTY FOR FIFTEEN (15) YEARS FROM DATE OF SUBSTANTIAL COMPLETION. WARRANTY SHALL BE DELIVERED TO ADVANCE AUTO PARTS CONSTRUCTION PROJECT MANAGER.
3. ROOFING SYSTEM TO BE INSTALLED BY A QUALIFIED CONTRACTOR/INSTALLER, APPROVED BY MANUFACTURER TO INSTALL MANUFACTURER'S PRODUCTS.
4. ROOFING SYSTEM TO BE INSTALLED IN STRICT ACCORDANCE WITH THE ROOFING SYSTEM MANUFACTURER'S WRITTEN TECHNICAL SPECIFICATIONS
5. ANY DEVIATION OR CHANGES TO THE ROOFING SPECIFICATIONS WITHOUT WRITTEN APPROVAL OF THE ROOFING SYSTEM MANUFACTURER ARE NOT ALLOWED. A PRE-INSTALLED NOTICE SHALL BE PROVIDED TO THE AAP CONSTRUCTION PROJECT MANAGER PRIOR TO CONSTRUCTION.
6. COMPONENTS FOR THE ROOFING SYSTEM TO BE OBTAINED FROM AN APPROVED ROOFING SYSTEM MANUFACTURER (AS LISTED.)
7. APPROVED ROOFING SYSTEM MANUFACTURERS ARE ONLY AS FOLLOWS:
 - A. ELEVATE
26 CENTURY BLVD. - SUITE 205
NASHVILLE, TN 37214
PHONE: VISIT WEB SITE FOR SALES REP IN YOUR AREA.
[HTTPS://WWW.HOLCIM-ELEVATE.COM/US-EN](https://www.holcim-elevate.com/us-en)
 - B. JOHN'S MANVILLE
311 17TH ST.
DENVER, CO 80102
PHONE: 303-918-1000
 - C. GAF
1 CAMPUS DRIVE
PARSHIPPANY, NJ 07054
PHONE: 913-618-3000
8. SELECTED ROOFING CONTRACTOR TO PROVIDE LAYOUT AND FASTENING DRAWINGS AS REQUIRED BY GOVERNING JURISDICTION (LOCAL BUILDING DEPARTMENT).
9. ROOFING CONTRACTOR SHALL PROVIDE A PRE-INSTALLATION NOTICE TO THE AAP PROJECT MANAGER AND THE GENERAL CONTRACTOR.
10. ROOFING INSTALLATION IS TO MEET MINIMUM FM 1-90 REQUIREMENTS.
11. REFER TO FRAMING (STEEL) PLAN FOR ACTUAL SLOPES.
12. GUTTERS AND DOWNSPOUTS PREFINISHED TO MATCH A1. PROVIDE SAMPLE TO CM PRIOR TO ORDERING.

Adams-Stewart Architects
Architecture/Planning/Interior/Construction Administration
P.O. Box 529 • 22615 Highway 59 North
Robertsdale, Alabama 36567
Office: 251.947.3864

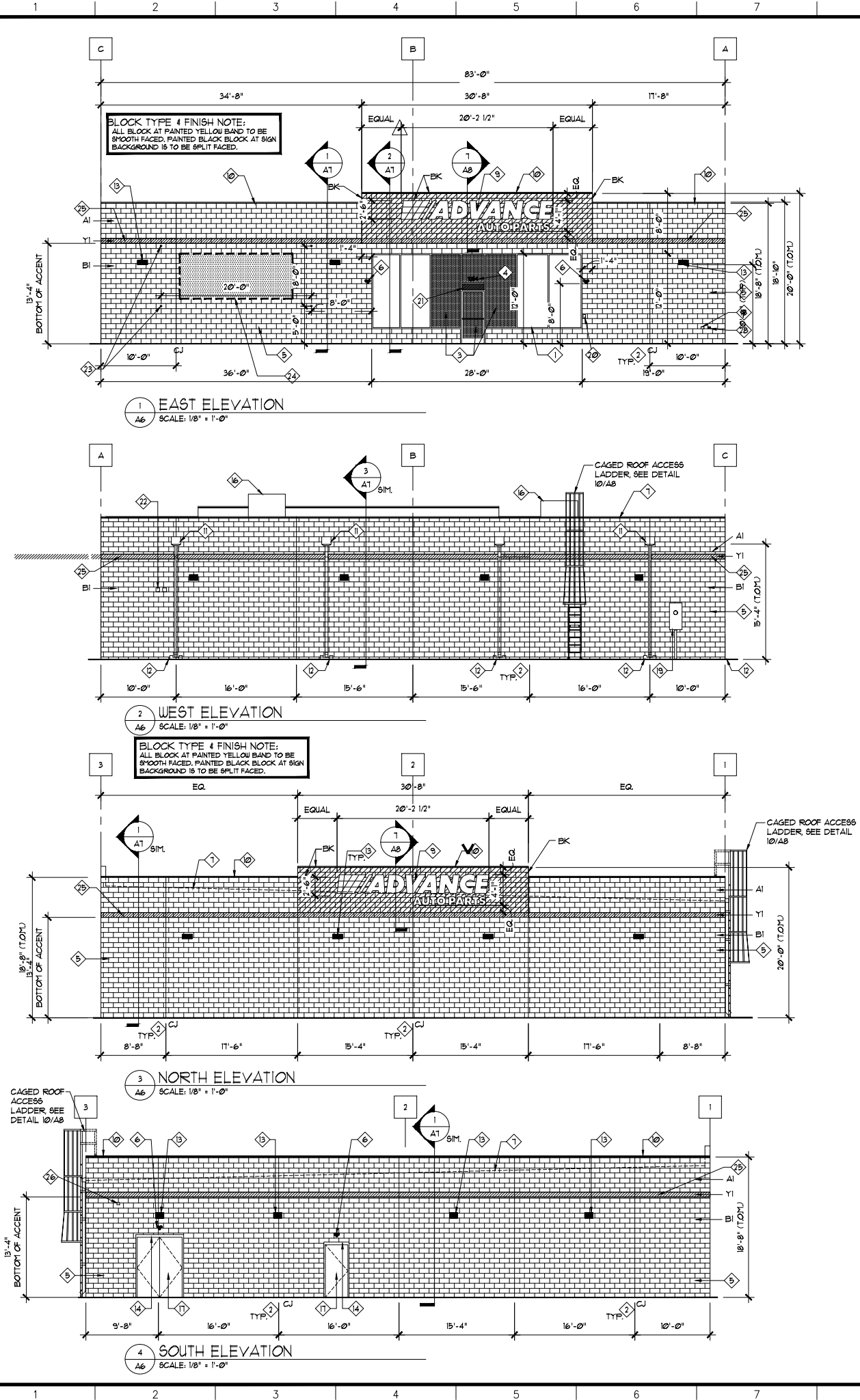


| ISSUE | DATE | DESCRIPTION |
|-------|----------|-----------------------|
| 1. | 06.06.25 | OWNER REVIEW DRAWINGS |
| 2. | | |
| 3. | | |

Advance Auto Parts
ADDRESS: TBD
Fairhope, AL. 36532 STORE # 107874

PROJECT NO: 20-013
DRAWN BY: RID
CHKD BY: TFS

SHEET NO:
ROOF PLAN AND DETAILS
A4

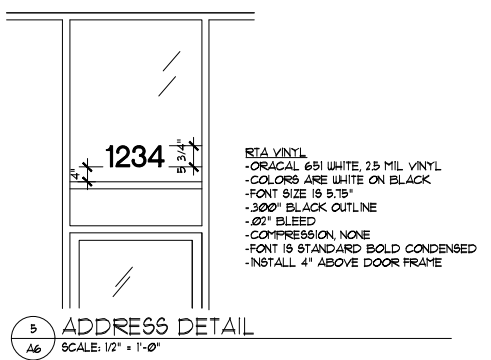


EXTERIOR ELEVATION KEY NOTES:

- 1 PROVIDE KALNEER 451 T - 2" x 4 1/2" MULLION PROFILE, CENTER SET, EXTERIOR LOADED FLUSH GLAZE STOREFRONT SYSTEM WITH 1" CLEAR LOW 'E' INSULATED IMPACT GLASS. STOREFRONT SYSTEM COLOR TO BE CLEAR ANODIZED ALUMINUM. REFER TO RESPONSIBILITY MATRIX FOR ADDITIONAL INFORMATION. NO SUBSTITUTIONS. SEALANT COLOR TO BE MATCH SYSTEM. COORDINATE WITH REP PRIOR TO ORDERING.
- 2 MASONRY CONTROL JOINT, 20'-0" MAX. 4 10'-0" COMBINED MAX. AT CORNER.
- 3 HATCH AREA REPRESENTS AREA OF TEMPERED GLAZING.
- 4 G.C. TO PROVIDE & INSTALL 4 3/4" VINYL WHITE ON BLACK ADDRESS NUMBERS BY MFR. (FAST SIGNS) ON FRONT WINDOWS CENTERED OVER DOOR. BOTTOM EDGE OF NUMBER SHALL SET 4" ABOVE FRAME - REFER TO DETAIL 5/A6 FOR ADDITIONAL INFORMATION.
- 5 SPLIT FACE CMU - REFER TO MFR. PERFORMANCE SPECIFICATION(S) FOR INSTALLATION. REFER TO ELEVATIONS AND MATERIAL SCHEDULE FOR COLOR.
- 6 EMERGENCY LIGHT, REFER TO ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION.
- 7 LINE OF ROOF (BEYOND).
- 8 NOT USED.
- 9 REFER TO ELECTRICAL DRAWINGS FOR SIGNAGE REQUIREMENTS. SIGNAGE IS PERMITTED SEPARATELY AND INSTALLED BY OTHERS. SIGNAGE IS SHOWN FOR REFERENCE ONLY.
- 10 METAL COPING, PAINT TO MATCH ADJACENT CMU (TYP).
- 11 DOWNSPUTS AND CONDUCTOR HEADS PREFINISHED TO MATCH AI. PROVIDE SAMPLE TO CM PRIOR TO ORDERING.
- 12 INSTALL 12"x24"x2 3/8" PRECAST CONCRETE SPLASH BLOCKS UNDER EACH DOWNSPOUT.
- 13 WALL MOUNTED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. QUANTITIES AND LOCATION VARY PER SITE.
- 14 RAIN DEFLECTOR ATTACHED TO DOOR FRAME - REFER TO DOOR HARDWARE SCHEDULE.
- 15 NOT USED.
- 16 ROOF TOP UNIT BEYOND - REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 17 HOLLOW METAL DOOR AND FRAME PAINT TO MATCH COLOR OF ADJACENT WALL SURFACE.
- 18 ELECTRICAL OUTLET, REFER TO ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION.
- 19 ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 20 KNOX BOX IF REQUIRED BY CODE. G.C. TO COORDINATE WITH FIRE MARSHAL FOR TYPE AND FINAL LOCATION.
- 21 SPANDREL PANEL. SEE SHEET A1.
- 22 EXHAUST FAN CAP - REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 23 INSTALL 4 - 1/2" GALVANIZED STEEL ANCHOR EYE BOLTS, EPOXY SET INTO MASONRY WALL FOR FUTURE SIGN BANNER.
- 24 15'-0" x 6'-0" FUTURE SIGN BANNER.
- 25 SMOOTH FACE CMU - REFER TO MFR. PERFORMANCE SPECIFICATION(S) FOR INSTALLATION. REFER TO ELEVATIONS AND MATERIAL SCHEDULE FOR COLOR.
- 26 NOT USED.
- 27 NOT USED.
- 28 WALL HYDRANT, REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

GENERAL NOTES:

- 1 ALL EXTERIOR SIGNS ARE PROVIDED AND INSTALLED BY ADVANCE AUTO PARTS. ALL ELECTRICAL CONNECTIONS ARE BY ELECTRICAL CONTRACTOR. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 2 ALL CONCRETE MASONRY UNITS SHALL BE NORMAL WEIGHT CONCRETE, 1-3/8" x 1-3/8" x 15-3/8", WITH 3/8" MORTAR JOINTS, WITH TOTAL COURSE HEIGHT TO EQUAL 8", IN RUNNING BOND PATTERN.
- 3 PROVIDE TOoled CONCAVE MORTAR JOINTS UNLESS NOTED OTHERWISE. MORTAR JOINTS ARE TO BE STRUCK AND BRUSHED.
- 4 ALL CONTROL BUILDING AND EXPANSION JOINTS TO BE INSTALLED PER ASTM, CONCRETE AND/OR BRICK INDUSTRY STANDARDS AS APPLICABLE.
- 5 PROVIDE SEALANT AT ALL UNLIKE MATERIALS.
- 6 INSTALL WINDOW TINT - LLUMAR SINGLE PANE: DL 05 GR SR CDF - GRAY DOUBLE PANE: DR 15 SR CDF - GRAY (CONTRACTOR TO VERIFY STOREFRONT TYPE IN FIELD)



5 ADDRESS DETAIL
SCALE: 1/2" = 1'-0"

EXTERIOR PAINT SPECIFICATIONS FOR ADVANCE AUTO PARTS - NEW CONSTRUCTION & REPAIRS / REMODEL UPDATED JANUARY 9, 2025)

- NOTE: COLD WEATHER APPLICATION**
- MINIMUM AMBIENT / SUBSTRATE TEMPERATURE OF 35 DEGREES (UNLESS OTHERWISE NOTED)
 - APPLICATION MUST ALLOW FOR 3-6 HOURS ABOVE 35 DEGREES FOR COATINGS TO DRY TO TOUCH
 - FULL CURE TIME OF 48 HOURS NEEDED AT 35 DEGREES OR ABOVE (LOWER TEMPS WILL EXTEND CURE TIME)
 - DO NOT APPLY IF RAIN, SNOW OR HEAVY DEW IS EXPECTED WITHIN 48 HOURS
 - MINIMUM PRODUCT STORAGE TEMPERATURE OF 40 DEGREES REQUIRED

- NEW**
- 1) SURFACE PREPARATION: PRESSURE WASH WITH A MINIMUM OF 2000 PSI TO REMOVE ANY DIRT, MUD, EXCESS MORTAR, ETC. FROM THE BLOCK. MAKE SURE BLOCK IS THOROUGHLY DRY PRIOR TO APPLICATION OF ANY COATINGS.
 - 2) PRIMER / FILLER: PFG SPEEDHIDE 6-15X1 HI-FILL BLOCK FILLER OR PFG PERMA CRETE 4-100X1 BLOCK SURFACER (LOW TEMP ONLY). BLOCK FILLER MUST BE SPRAYED AND BACK-ROLLED WITH LONG NAP ROLLERS. BLOCK TO BE FILLED PINHOLE-FREE PRIOR TO PROCEEDING WITH FINISH COAT.
 - 3) FINISH: 2 COATS PFG SPEEDHIDE 6-210X1 EXTERIOR SATIN FINISH. APPLICATION TO MEET THE REQUIREMENTS OF THE PRODUCT DATA SHEET AT 14 - 16 MILS DFT PER COAT. FINISH COAT SHOULD BE SPRAYED AND BACK ROLLED TO PRODUCE A PINHOLE-FREE SURFACE.
 - COLOR TO BE AAP-A1 - PFG0936-3 SILVER BAND, AAP-B1 UPPER ACCENT - LOWER ACCENT-PFG0936-5 STEAMSHIP.
 - AAP-ACCENT STRIPE - ADVANCE AUTO PARTS YELLOW - AAP BLACK SIGN BAND USE PFG PRX ONE 150 POLYBLOXANE GLOSS - REFER TO FINISH SCHEDULE FOR SITE SPECIFIC COLOR REQUIREMENTS.
 - ** A SITE VISIT IS TO BE PERFORMED BY A PFG PAINT REPRESENTATIVE PRIOR TO FILLER OR PRIMER APPLICATION AND AFTER FINISH TO INSURE SOUND APPLICATION. REFER TO THE RESPONSIBILITY MATRIX FOR CONTACT INFORMATION.
- REPAIR:**
- 1) SURFACE PREPARATION: REQUIREMENTS SAME AS ABOVE.
 - 2) PRIMER / FILLER: PFG SEAL-GRIP 11-02X1 ACRYLIC PRIMER SEALER.
 - 3) FINISH: 2 COATS, PFG SPEEDHIDE 6-210X1 EXTERIOR SATIN FINISH. APPLICATION TO MEET THE REQUIREMENTS OF THE PRODUCT DATA SHEET AT 14 - 16 MILS DFT PER COAT.
 - COLOR TO BE AAP-A1 - PFG0936-3 SILVER BAND UPPER ACCENT - AAP-B1 LOWER ACCENT-PFG0936-5 STEAMSHIP.
 - AAP-Y1 ACCENT BAND - ADVANCE AUTO PARTS YELLOW USE PFG PRX ONE 150 POLYBLOXANE GLOSS REFER TO FINISH SCHEDULE FOR SITE SPECIFIC COLOR REQUIREMENTS.
 - ** A SITE VISIT IS TO BE PERFORMED BY A PFG PAINT REPRESENTATIVE PRIOR TO FILLER OR PRIMER APPLICATION AND AFTER FINISH TO INSURE SOUND APPLICATION. REFER TO THE RESPONSIBILITY MATRIX FOR CONTACT INFORMATION.

- 1) PRE-FINISHED METAL & METAL BACK DOOR FINISHES - AI, BK**
- NOTE: MINIMUM APPLICATION TEMPERATURE OF 45 DEGREES FOR ALL METAL FINISHES**
- REPAIR & NEW (IF NEEDED):**
- 1) SURFACE PREPARATION: SURFACE MUST BE CLEAN DRY AND IN SOUND CONDITION. POWER WASH TO REMOVE ALL OIL, GREASE, DIRT, LOOSE RUST, VISIBLE CONTAMINANTS, PEELING PAINT AND OTHER CONTAMINATION TO ENSURE ADEQUATE ADHESION USING A MINIMUM OF 2000 PSI WATER BLAST. DO NOT USE ANY HYDROCARBON CLEANERS, USE A WATER-BASED CLEANER / DEGREASER SUCH AS CLEAR MAGIC OR SIMPLE GREEN AND RINSE THOROUGHLY, AND ALLOW TO DRY.
 - 2) PRIMER: 1 COAT (MINIMUM) PFG 90-102 PITT-TECH DTM ACRYLIC PRIMER SEALER.
 - 3) FINISH: 2 COATS (MINIMUM) PFG 90-100 PITT-TECH 90MI-GLOSS ACRYLIC FINISH.
 - AAP-BK - ADVANCE AUTO PARTS BLACK.
- 2) PRE-FINISHED METAL & METAL BACK DOOR FINISHES - BK**
- NOTE: MINIMUM APPLICATION TEMPERATURE OF 45 DEGREES FOR ALL METAL FINISHES**
- NEW & REPAIR:**
- 1) SURFACE PREPARATION: SURFACE MUST BE CLEAN DRY AND IN SOUND CONDITION. POWER WASH TO REMOVE ALL OIL, GREASE, DIRT, LOOSE RUST, VISIBLE CONTAMINANTS, PEELING PAINT AND OTHER CONTAMINATION TO ENSURE ADEQUATE ADHESION USING A MINIMUM OF 2000 PSI WATER BLAST. DO NOT USE ANY HYDROCARBON CLEANERS, USE A WATER-BASED CLEANER / DEGREASER SUCH AS CLEAR MAGIC OR SIMPLE GREEN AND RINSE THOROUGHLY, AND ALLOW TO DRY.
 - 2) PRIMER: 1 COAT (MINIMUM) PITT-GUARD 91-340 GRAY EPOXY PRIMER DEPENDING UPON LOCAL REGULATIONS, APPLY IN ACCORDANCE TO THE PRODUCT DATA SHEET.
 - 3) FINISH: 3 COATS (MINIMUM) PFG DURATHANE 90-3303 DTM URETHANE SPECIAL FORMULA.
 - AAP-BK - BLACK.

- 3) METAL HANDRAILS**
- NOTE: MINIMUM APPLICATION TEMPERATURE OF 45 DEGREES FOR ALL METAL FINISHES**
- 1) SURFACE PREPARATION: SURFACE MUST BE CLEAN DRY AND IN SOUND CONDITION. POWER WASH TO REMOVE ALL OIL, GREASE, DIRT, LOOSE RUST, VISIBLE CONTAMINANTS, PEELING PAINT AND OTHER CONTAMINATION TO ENSURE ADEQUATE ADHESION USING A MINIMUM OF 2000 PSI WATER BLAST. DO NOT USE ANY HYDROCARBON CLEANERS, USE A WATER-BASED CLEANER / DEGREASER SUCH AS CLEAR MAGIC OR SIMPLE GREEN AND RINSE THOROUGHLY, AND ALLOW TO DRY. USE MEX TO SOLVENT WIPE AREAS OF HEAVY HAND-OIL CONCENTRATION.
 - 2) PRIMER: AS NEEDED, SPOT PRIME BARE AREAS WITH PFG 4160 RUST INHIBITIVE PRIMER FOR ALL OTHER SURFACES.
 - 3) FINISH: PFG PITT-TECH 90-1503 BLACK ACRYLIC GLOSS ENAMEL, AAP - BLACK.
- 4) PARKING LOT BOLLARDS, MANDATED SAFETY REQUIREMENTS**
- 1) SURFACE PREPARATION: SURFACE MUST BE CLEAN DRY AND IN SOUND CONDITION. POWER WASH IF NEEDED TO REMOVE ALL VISIBLE CONTAMINANTS, PEELING PAINT AND OTHER CONTAMINATION TO ENSURE ADEQUATE ADHESION USING A MINIMUM OF 2000 PSI WATER BLAST. DO NOT USE ANY HYDROCARBON CLEANERS, USE A WATER-BASED CLEANER / DEGREASER SUCH AS CLEAR MAGIC OR SIMPLE GREEN AND RINSE THOROUGHLY, AND ALLOW TO DRY.
 - PRIMER: PFG 90-102 PITT-TECH DTM ACRYLIC PRIMER SEALER
 - FINISH: PFG PITT-TECH 90-1500 SAFETY YELLOW GLOSS ACRYLIC ENAMEL
- REFER TO PRODUCT DATA SHEETS AND LABEL FOR SPECIFIC APPLICATION INSTRUCTIONS AND DRY TIMES.

MATERIAL SCHEDULE

| MATERIAL: | EXTERIOR PAINT: | LOCATION: |
|-----------|-------------------------------|---|
| A1 | AAP-A1, SILVER BAND PFG0936-3 | EXTERIOR BLOCK WALLS, EIFS, STUCCO, METAL, METAL DOORS |
| B1 | AAP-B1, STEAMSHIP PFG0936-5 | EXTERIOR BLOCK WALLS, EIFS, STUCCO, METAL, METAL DOORS |
| Y1 | ADVANCE AUTO PARTS YELLOW | PRE-FINISHED METAL (FACTORY FINISH), STUCCO, EIFS, BLOCK - YELLOW STRIPE |
| BK | ADVANCE AUTO PARTS BLACK | PRE-FINISHED METAL (FACTORY FINISH), STUCCO, EIFS, BLOCK - BLACK SIGNBAND |
| RAILS | BLACK | HANDRAILS (EXTERIOR PAINT ONLY) |
| SAFETY | SAFETY YELLOW | BOLLARDS, MANDATED SAFETY AREAS |

Adams-Stewart Architects
Architectural/Interior/Construction Administration
P.O. Box 529 • 22615 Highway 59 North
Robertsdale, Alabama 36567
Office 251.947.3864



| ISSUE | DATE | DESCRIPTION |
|-------|--------|-----------------------|
| 1 | 06.025 | OWNER REVIEW DRAWINGS |
| 2 | | |
| 3 | | |

Advance Auto Parts
ADDRESS: TBD
Fairhope, AL. 36532 STORE # 107874

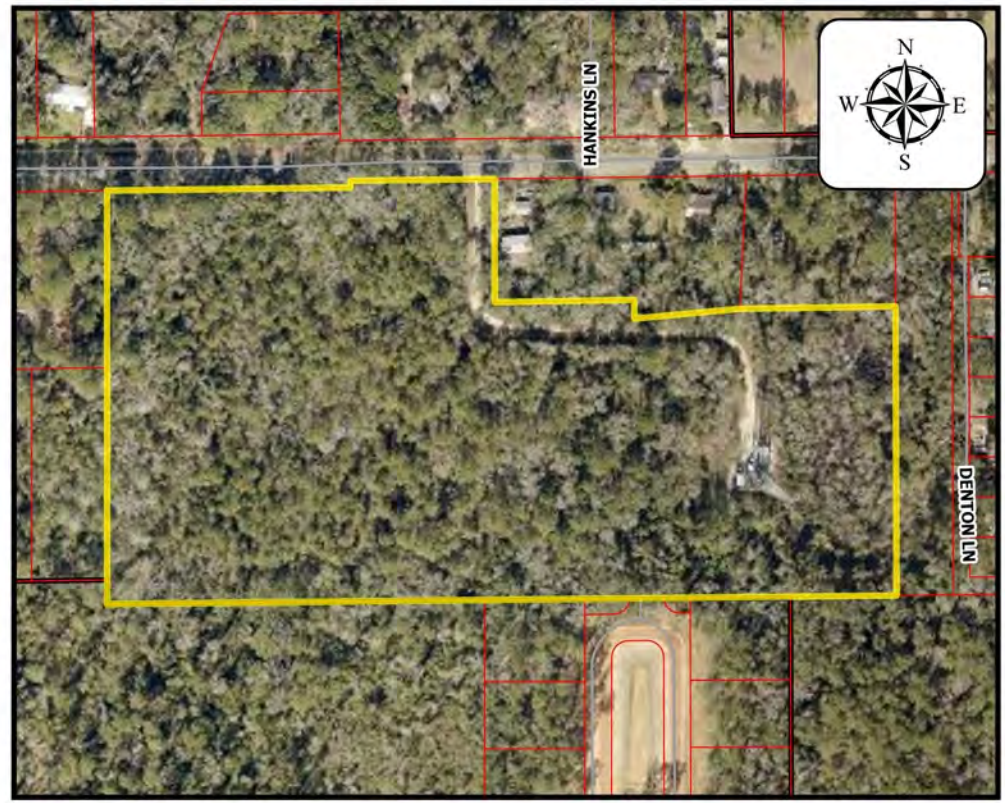
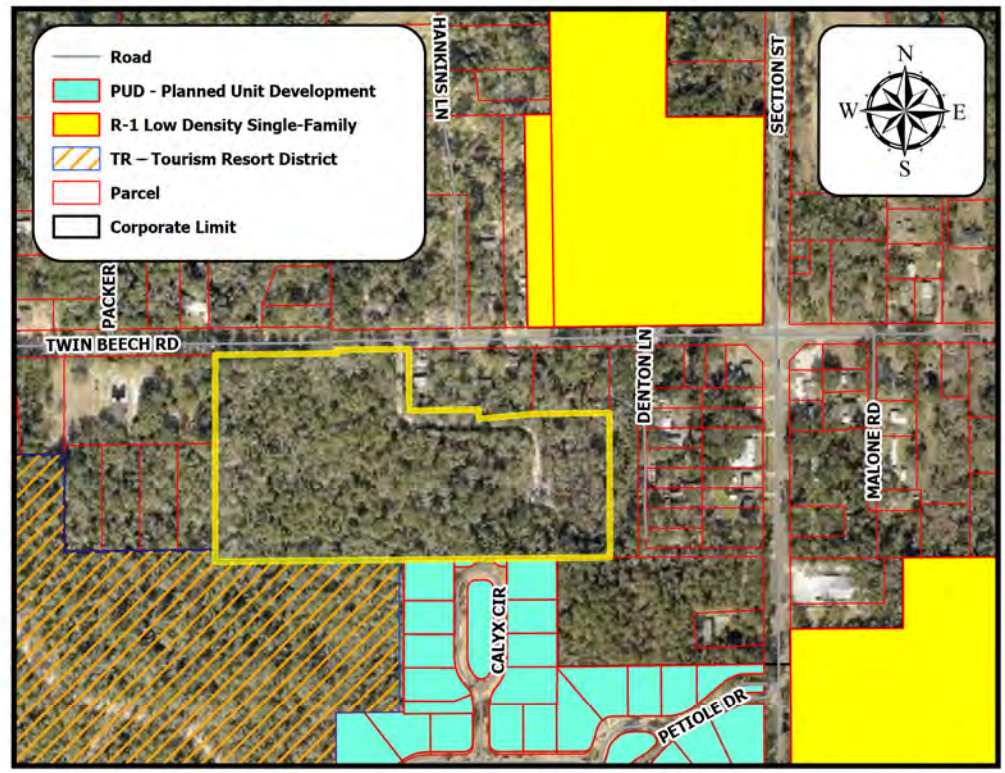
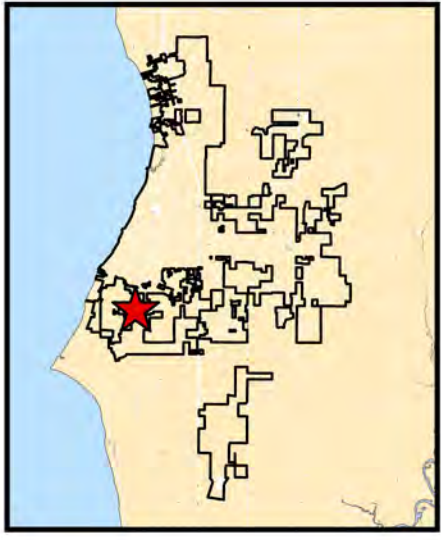
PROJECT NO: 20-013
DRAWN BY: RID
CHKD BY: TFS

SHEET NO:
EXTERIOR ELEVATIONS
A6

City of Fairhope Planning Commission October 6, 2025



ZC 25.09 - Hill Top North



| | |
|----------------------------|---|
| Project Name: | Hill Top North |
| Site Data: | 14 acres |
| Project Type: | Conditional annexation to R-1 Low Density Single-Family |
| Jurisdiction: | Fairhope Planning Jurisdiction |
| Zoning District: | N/A |
| PPIN Number: | 3747 |
| General Location: | Southwest of the intersection of Section Street and Twin Beech Road |
| Surveyor of Record: | Jade Consulting, LLC |
| Engineer of Record: | Jade Consulting, LLC |
| Owner / Developer: | Achee Properties |
| School District: | Fairhope Elementary School Fairhope Middle and High Schools |
| Recommendation: | Approved |
| Prepared by: | Payton Rogers |

SUMMARY OF REQUEST

Public hearing to consider the request of the Applicant, Jade Consulting, LLC, on behalf of the Owner, Achee Properties, for conditional annexation to R-1, Low Density Single-Family Residential District for Hill Top North. The property is approximately 14 acres and is located at 6796 Twin Beech Road.

SITE HISTORY

The subject site is currently located within Baldwin County jurisdiction. There have been no City of Fairhope Planning Commission or Board of Adjustment applications associated with this site.

STAFF COMMENTS

The subject site is currently zoned Base County Zoning District (BCZ) within Baldwin County jurisdiction. The Baldwin County Zoning Ordinance does not provide dimensional standards and is very vague regarding BCZ as it is intended to be a placeholder zoning designation.

The site directly abuts TR, Tourism Resort District to the South as well as the original Hilltop Subdivision, zoned PUD within the City of Fairhope. All other properties abutting to the North, East, and West are located within Baldwin County jurisdiction and similarly zoned BCZ. All abutting properties are either undeveloped or being utilized for residential uses. An existing telecommunications tower is located on the subject site.

As previously mentioned, if approved, the Applicant requests an R-1, Low Density Single-Family Residential District zoning designation. The City of Fairhope dimension standards and use table have been attached at the end of this report as an exhibit. Article III of the City of Fairhope Zoning Ordinance defines R-1 Districts and allowed Uses as follows:

“R-1 Low Density Single-Family Residential District: This district is intended to provide choices of low-density suburban residential environment consisting of single-family homes on large parcels of land. It is sub-classified into four categories (R-1, R-1a, R-1b, and R-1c) based on lot sizes.”

Properties zoned R-1 have a minimum lot area requirement of 15,000 square feet. The subject site is 13.71± acres (597,361± square feet) and as such, if approved, would have the potential for 39± lots to be proposed on site. However, it's important to note that this calculation **does not** account for the existing telecommunications tower, lot setbacks, buffering, or consideration of other necessary infrastructure which will drastically reduce the number of potential future lots.

If approved and annexed into the City, Staff supports the requested R-1 zoning designation as it is most analogous to the surrounding lots dimensions and existing land uses.

Citizen Comments

At the time this report was drafted no public comments were received.

Wetlands

The existence of wetlands on site will be confirmed, and protections will be addressed during the standard Subdivision and development process.

Utilities

Utility information was not provided with this application and is not required. Utility requirements will be addressed during the standard Subdivision and development process.

REZONING CONSIDERATIONS

Standards of Review:

Article II Section C.1.e of the City of Fairhope Zoning Ordinance sets forth the following criteria for reviewing rezoning requests:

1) Compliance with the Comprehensive Plan;

Staff Response: Compliant

2) Compliance with the standards, goals, and intent of this ordinance;

Staff Response: Compliant

3) The character of the surrounding property, including any pending development activity;

Staff Response: Compliant. Nearby properties consist of large parcels of land currently being utilized for residential and/or undeveloped areas.

4) Adequacy of public infrastructure to support the proposed development;

Staff Response: The current application is a conditional annexation request for R-1 zoning without a Site Plan review. Future projects within the subject site shall be required to provide adequate public infrastructure. Development of the subject site requires Fairhope Water and Sewer services, hence the proposed annexation petition.

5) Impacts on natural resources, including existing conditions and ongoing post-development conditions;

Staff Response: Existing conditions are primarily undeveloped aside from an existing telecommunications tower. Post development conditions may impact the existing natural resources on site. However, negative impacts will be limited as all future development must comply with the City of Fairhope Subdivision Regulations and Zoning Ordinance.

6) Compliance with other laws and regulations of the City;

Staff Response: Full compliance with all municipal codes and ordinances will be required at the time of any future development.

7) Compliance with other applicable laws and regulations of other jurisdictions;

Staff Response: Full compliance with all municipal codes and ordinances will be required at the time of any future development.

8) Impacts on adjacent property including noise, traffic, visible intrusions, potential physical impacts, and property values; and

Staff Response: Site conditions are primarily undeveloped aside from an existing telecommunications tower. Post development conditions may impact property adjacent to the site. However, negative impacts will be limited as all future development must comply with the City of Fairhope Subdivision Regulations and Zoning Ordinance.

9) Impacts on the surrounding neighborhood including noise, traffic, visible intrusions, potential physical impacts, and property values.

Staff Response: Site conditions are primarily undeveloped aside from an existing telecommunications tower. Post development conditions may impact the surrounding neighborhood. However, negative impacts will be limited as all future development must comply with the City of Fairhope Subdivision Regulations and Zoning Ordinance

Recommendation:

Staff recommends **APPROVAL** of ZC 25.09 – Hill Top North Conditional Annexation.

EXHIBITS

ZC 25.09 – Hill Top North

October 6, 2025

Excerpt from Table 3-2: Dimension Table – Lots and Principle Structure

| Dimension District or Use | Min. Lot Area / Allowed Units Per Acre (UPA) | Min. Lot Width | Front Setback | Rear Setback | Side Setback | Street Side Setback | Max. Total Lot Coverage by All Structures | Max. Height |
|---------------------------|--|----------------|---------------|--------------|------------------|---------------------|---|------------------|
| R/A | 3 acres/ - | 198' | 75' | 75' | 25' | 50' | none | 30' |
| R-1 | 15,000 s.f./ - | 100' | 40' | 35' | 10' ^b | 20' | 40% | 30' ^a |
| R-1a | 40,000 s.f./ - | 120' | 30' | 30' | 10' ^b | 20' | 25% | 35' |
| R-1b | 30,000 s.f./ - | 100' | 30' | 30' | 10' ^b | 20' | 25% | 35' |
| R-1c | 20,000 s.f./ - | 80' | 30' | 30' | 10' ^b | 20' | 25% | 35' |

Excerpt from Table 3-1: Use Table

| Zoning Districts | R-1 (a, b, c) |
|---------------------------------------|---------------|
| Use Categories / Specific Uses | |
| Dwelling | |
| Single-Family | ● |
| Two-family | |
| Townhouse | |
| Patio Home | |
| Multiple-family / Apartment | |
| Manufactured Home | |
| Mixed-use | |
| Accessory Dwelling | |
| Estate | |
| Civic | |
| Elementary School | ● |
| Secondary School | ● |
| Education Facility | ● |
| Library | ● |
| Place of Worship | |
| Cemetery | ○ |
| Hospital | |
| Public Open Space | ● |
| Common Open Space | ● |
| Community Center or Club | ○ |
| Public Utility | ○ |
| Office | |
| General | |
| Professional | |
| Home Occupation | ∅ |
| Retail | |
| Grocery | |
| Convenience Store | |
| General Merchandise | |
| Shopping Center | |
| Automobile Service Station | |
| Outdoor Sales Limited | |
| Outdoor Sales Lot | |
| Garden Center | |

| Zoning Districts | R-1 (a, b, c) |
|---------------------------------------|---------------|
| Use Categories / Specific Uses | |
| Service | |
| Convalescent or Nursing Home | ○ |
| Clinic | ○ |
| Outdoor Recreation Facility | ○ |
| Day Care | ○ |
| General Personal Services | |
| Mortuary or Funeral Home | |
| Automobile Repair | |
| Indoor Recreation | |
| Dry Cleaner / Laundry | |
| Personal Storage | |
| Bed & Breakfast | |
| Hotel / Motel | |
| Boarding House or Dormitory | |
| Recreational Vehicle Park | |
| Restaurant | |
| Bar | |
| Entertainment Venue | |
| Marina | |
| Kennel or Animal Hospital | |
| Warehouse | |
| Junk Yard or Salvage Yard | |
| Manufacturing | |
| Limited | |
| Light | |
| General | |
| Food Processing | |
| Rural | |
| Agriculture | |
| Rural Market | |
| Plant Nursery | |
| | |
| | |
| | |
| | |

| | | |
|----------------------|------------------------|---------------|
| ● = Allowed By-Right | ∅ = Special Conditions | ○ = On Appeal |
|----------------------|------------------------|---------------|



APPLICATION FOR ZONING DISTRICT CHANGE

Property Owner / Leaseholder Information

Name: Achee Properties Phone Number: (251) - 379- 6218
 Street Address: 19252 Highway 181
 City: Fairhope State: AL Zip: 36532

Applicant / Agent Information

If different from above,
 Notarized letter from property owner is required if an agent is used for representation.

Name: JADE Consulting, LLC Phone Number: 251-928-3443
 Street Address: 208 N. Greeno Rd., Ste. C
 City: Fairhope State: AL Zip: 36532

Current Zoning of Property: BCZ - Base Community Zoning
 Proposed Zoning/Use of the Property: R1
 Property Address: 6796 Twin Beech, Fairhope, AL 36532
 Parcel Number: 05-46-09-30-0-000-021.000 ; PIN 3747
 Property Legal Description: See enclosed
 Reason for Zoning Change: Annexation and Rezone to R-1 to allow a 13 lot single family residential subdivision

- Property Map Attached YES NO
- Metes and Bounds Description Attached YES NO
- Names and Address of all Real Property Owners within 300 Feet of Above Described Property Attached. YES NO

Character of Improvements to the Property and Approximate Construction Date: 2/26/26
13 lot single family residential subdivision

Zoning Fee Calculation:
 Reference: Ordinance 1269

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Chris Achee
 Property Owner/Leaseholder Printed Name
8/25/25
 Date

Signature
 NA
 Fairhope Single Tax Corp. (If Applicable)



CITY OF FAIRHOPE
P.O. DRAWER 429
FAIRHOPE, AL 36533
251/928-2136

PETITION FOR ANNEXATION

STATE OF ALABAMA)
COUNTY OF BALDWIN)

We, the undersigned PETITIONER(S), owner(s) of the lands in fee simple described in the attached EXHIBIT A, such property being without the Corporate Limits of the City of Fairhope, Alabama, but being contiguous to the said Corporate Limits; and such property not lying within the corporate limits or police jurisdiction of any other municipality, do, by these presents, hereby petition the City of Fairhope, a municipal corporation, that said property be annexed into the City of Fairhope, Alabama.

The subject land is delineated on the map attached hereto as EXHIBIT B.

This petition is filed under authority of Section 11-42-21, Code of Alabama, 1975, as amended.

- This petition is for R-1 Zoning
- The condition of the Petition is that zoning be established as _____
Concurrent with Annexation. (Zoning Request)

Is this property colony property _____ Yes No. If this property is colony property the Fairhope Single Tax Office must sign as a petitioner.

Sandra D. Bonner
Signature of Petitioner

Sandra Bonner
Print petitioner's name

Signature of Petitioner

Print petitioner's name

Signature of Petitioner

Print petitioner's name

Physical Address of property being annexed: 6796 TWIN BEECH RD, FAIRHOPE

Petitioner's Current Physical Address:
259 Washington Ave Apt 205
Miami Beach, FL 33139

Petitioner's Current Mailing Address:

Telephone Number(s): _____
Home Work

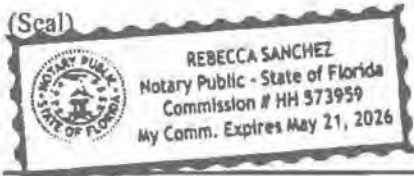
County Tax Parcel Number: 05-46-09-30-0-000-021.000

U.S JUSTICE DEPARTMENT INFORMATION

- Size of property (acres or square feet) 13.97
- If property is occupied, give number of housing units 0
- Number of Persons residing in each unit, and their race 0
- If property is unoccupied, give proposed use Single Family Residential
- If property is being developed as a subdivision, give subdivision name Hill Top North
- Number of lots within proposed subdivision 13

I, REBECCA SANCTEZ a Notary Public in and for said State and County, hereby certify that Sandra Bonner whose name(s) is/are signed to the forgoing Petition and who is/are known to me, this day appeared before me and, being first duly sworn, acknowledge that he/she/they have voluntarily executed this Petition on this day same bears date.

Given under my Hand and Seal this 11 day of August, 2023



REBECCA SANCTEZ
Notary Public

My commission expires May 21, 2026

I, _____ a Notary Public in and for said State and County, hereby certify that _____ whose name(s) is/are signed to the forgoing Petition and who is/are known to me, this day appeared before me and, being first duly sworn, acknowledge that he/she/they have voluntarily executed this Petition on this day same bears date.

Given under my Hand and Seal this _____ day of _____, 20____,

(Seal)

Notary Public

My commission expires _____

I, _____ a Notary Public in and for said State and County, hereby certify that _____ whose name(s) is/are signed to the forgoing Petition and who is/are known to me, this day appeared before me and, being first duly sworn, acknowledge that he/she/they have voluntarily executed this Petition on this day same bears date.

Given under my Hand and Seal this _____ day of _____, 20____,

(Seal)

Notary Public

My commission expires _____

NOTARIZED AUTHORIZATION OF OWNER

I/We, Sandra Bonner as the sole or joint fee simple title holder(s) of the property described as parcels 05-46-09-30-0-000-021.000 in the City of Fairhope, County of Baldwin, State of Alabama, authorize and JADE Consulting, LLC and/or their consultants to act as our agent to seek plan/development plan approval, DOT approvals, and/or all regulatory approvals in connection therewith, on the above referenced property.

Company:

Sandra D. Bonner

By: Sandra Bonner

As Its: Owner

Address: 259 Washington Ave. Apt. 205
Miami Beach, FL 33139

Phone: 786-286-8165 Fax: _____

Email: sdbonner60@yahoo.com

STATE OF Florida
COUNTY OF MIAMI DADE

The forgoing instrument was acknowledged before me this 11 day of August, 2025 by Sandra Bonner as its Owner, who is personally known to me or who has produced FL DL (type of ID) as identification and who did not take an oath.



[Signature]
NOTARY PUBLIC - STATE OF FL

REBECCA SANCHEZ
NAME OF NOTARY - TYPED OR PRINTED

COMMISSION NO: HH573959

STELLAR Team – eXp Realty LLC
11 N Water Street, Suite 10290
Mobile, AL 36602

Date: July 17, 2025

To: City of Fairhope
AND
Mr. Pat Achee

RE: Official Tower Ownership and Tenancy Disclosure – 6570 Twin Beech Road, Fairhope, Alabama

Dear City of Fairhope and Mr. Achee,

Please accept this letter as formal documentation regarding the ownership and tenant details for the telecommunications tower located at 6570 Twin Beech Road, Fairhope, Alabama as provided by Crown Castle USA Inc.

In response to your request, we are providing the following verified information:

Tower Owner:

Crown Castle USA Inc.
8020 Katy Freeway
Houston, TX 77024
www.crowncastle.com

Crown Castle Contact:

Jim W. Robinson
Real Estate Specialist III – Foreclosures / Operational Support
Phone: (713) 570-3071
Fax: (724) 416-6271

Confirmed Tenants:

(Lessee Carriers on the Tower)

- Verizon Wireless
- Southern Communications Services, Inc.
- AT&T Mobility
- DISH Wireless LLC

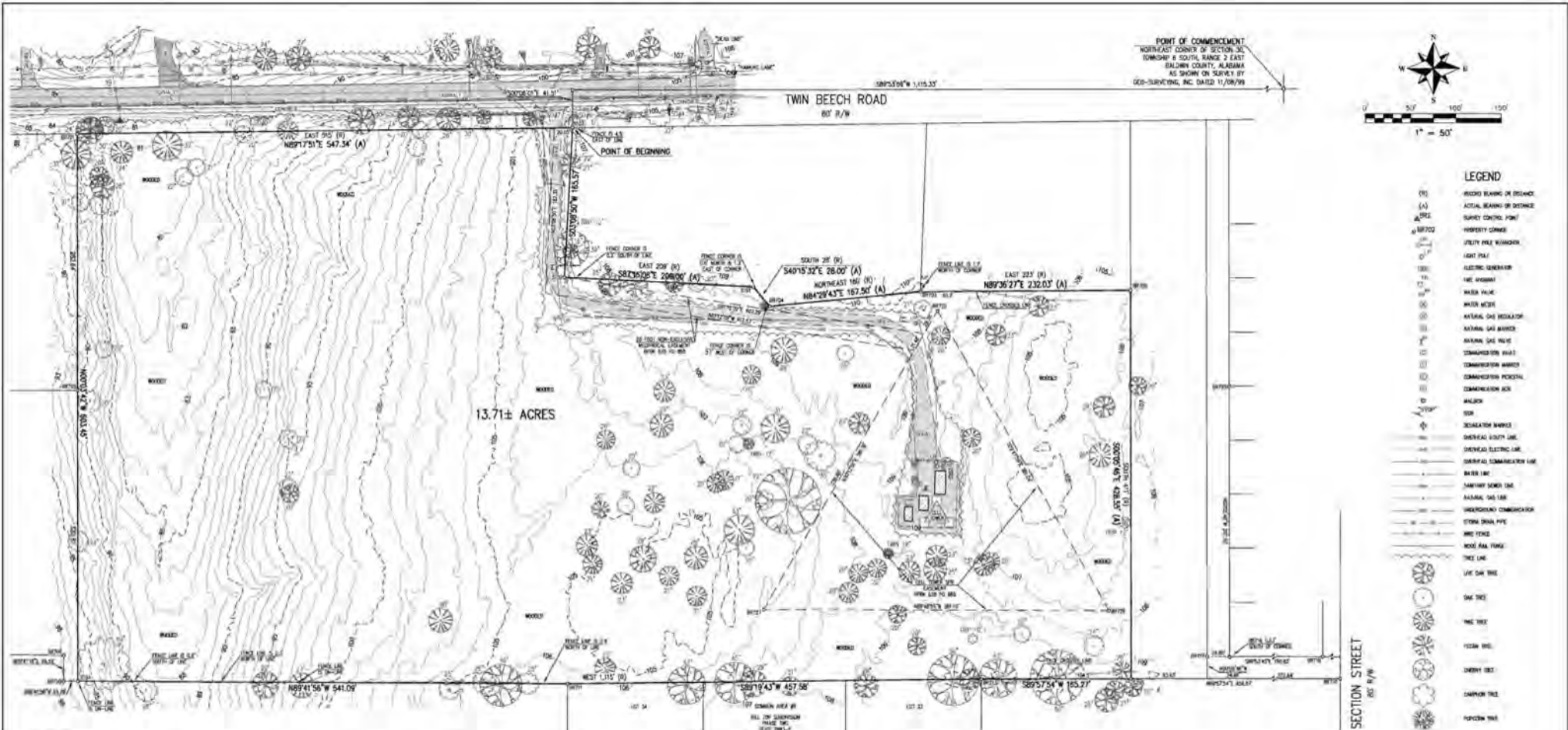
If you require any additional documentation or clarification, please don't hesitate to contact me directly.

Sincerely,

Cheryl Stovall
STELLAR Team – eXp Realty LLC
cheryl.stovall@exprealty.com
(251) 206-9336

STATE OF ALABAMA
COUNTY OF BALDWIN

COMMENCING AT THE NORTHEAST CORNER OF SECTION 30, TOWNSHIP 6 SOUTH, RANGE 2 EAST BALDWIN COUNTY, ALABAMA AS SHOWN ON SURVEY BY GEO-SURVEYING, INC. DATED 11/08/99; THENCE RUN SOUTH 89°-53'-59" WEST ALONG THE NORTH LINE OF SAID SECTION 30 A DISTANCE OF 1,115.33 FEET; THENCE SOUTH 00°-06'-01" EAST A DISTANCE OF 41.51 FEET TO A CAPPED REBAR (WATTIER) ON THE SOUTH RIGHT-OF-WAY LINE OF TWIN BEECH ROAD (80' R/W) AND THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL; THENCE RUN SOUTH 03°-08'-50" WEST A DISTANCE OF 165.57 FEET TO A CAPPED REBAR (WATTIER); THENCE RUN SOUTH 87°-16'-08" EAST A DISTANCE OF 209.00 FEET TO A CAPPED REBAR (WATTIER); THENCE RUN SOUTH 40°-15'-32" EAST A DISTANCE OF 28.00 FEET TO A 1/2" OPEN TOP PIPE; THENCE RUN NORTH 84°-29'-43" EAST A DISTANCE OF 167.50 FEET TO A 1" OPEN TOP PIPE; THENCE RUN NORTH 89°-36'-27" EAST A DISTANCE OF 232.03 FEET TO A CAPPED REBAR (R&C); THENCE RUN SOUTH 00°-05'-46" EAST A DISTANCE OF 428.55 FEET TO A CAPPED REBAR (WATTIER); THENCE RUN SOUTH 89°-57'-54" WEST A DISTANCE OF 165.27 FEET TO A CAPPED REBAR (FAIRHOPE) AT THE NORTHEAST CORNER OF HILL TOP SUBDIVISION, PHASE TWO AS RECORDED IN SLIDE 2893-F OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 89°-19'-43" WEST ALONG THE NORTH LINE OF SAID SUBDIVISION A DISTANCE OF 457.58 FEET TO A CAPPED REBAR (HMR) AT THE NORTHWEST CORNER OF SAID SUBDIVISION; THENCE RUN NORTH 89°-41'-56" WEST A DISTANCE OF 541.09 FEET TO A CAPPED REBAR (WATTIER); THENCE RUN NORTH 00°-03'-42" WEST A DISTANCE OF 603.45 FEET TO A CAPPED REBAR (ILLEGIBLE) ON THE SOUTH RIGHT-OF-WAY LINE OF TWIN BEECH ROAD; THENCE RUN NORTH 89°-17'-51" EAST A DISTANCE OF 547.34 FEET TO THE POINT OF BEGINNING. THE DESCRIBED PARCEL CONTAINS 13.71 ACRES, MORE OR LESS, AND IS THE SAME PARCEL AS DESCRIBED IN THE STATUTORY WARRANTY DEED RECORDED AS INSTRUMENT 1873518 OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA.



POINT OF COMMENCEMENT
NORTHWEST CORNER OF SECTION 36,
TOWNSHIP 6 SOUTH, RANGE 2 EAST,
CALHOUN COUNTY, ALABAMA
AS SHOWN ON SURVEY BY
GEO-SURVEYING, INC. DATED 11/08/99



LEGEND

- (1) REBAR
- (2) ACTUAL BEARING OR BEARING
- (3) SURVEY CONTROL POINT
- (4) PROPERTY CORNER
- (5) FIFTY FOOT WOODPILE
- (6) LIGHT POLE
- (7) ELECTRIC CONDUIT
- (8) GAS PIPING
- (9) WOOD PILE
- (10) METAL GAS BEHEAD
- (11) METAL GAS BEHEAD
- (12) METAL GAS PIPE
- (13) CONCRETE/STON BLOCK
- (14) CONCRETE/STON BEHEAD
- (15) CONCRETE/STON POSTAL
- (16) CONCRETE/STON BOX
- (17) GALVAN
- (18) GALVANIZATION MARKER
- (19) METAL ELECTRIC LINE
- (20) OVERHEAD ELECTRIC LINE
- (21) OVERHEAD CONCRETE/STON LINE
- (22) WATER LINE
- (23) SANITARY SEWER LINE
- (24) GAS LINE
- (25) UNDERGROUND CONCRETE/STON
- (26) STORM DRAIN PIPE
- (27) WIRE TENSILE
- (28) WOOD PILE PILING
- (29) TIE LINE
- (30) LUMBER PILE
- (31) DIRT PILE
- (32) TIE LINE
- (33) WOOD PILE
- (34) WOOD PILE
- (35) CHERRY TREE
- (36) CAMPHOR TREE
- (37) PINE TREE

- NOTES**
- THE PROPERTY DESCRIBED HEREON IS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NO. 1502300443 M AND 1502300444 M DATED 04/18/2019, AND IS SHOWN TO BE IN FLOOD ZONE "X-UNSHADED".
 - THIS SURVEY DOES NOT REFLECT ANY TITLE OR EASEMENT RESEARCH OTHER THAN WHAT IS READILY VISIBLE ON THE SURFACE OR PROVIDED BY THE CLIENT.
 - ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1988 (NAD83) AND WERE ESTABLISHED ON-SITE VIA STATIC GPS OBSERVATIONS THAT WERE PROCESSED WITH OPUS.
 - HORIZONTAL COORDINATES SHOWN HEREON ARE REFERENCED TO STATE PLANE COORDINATES, ALABAMA WEST ZONE, AND AS U.S. SURVEY FOOT, AND WERE ESTABLISHED ON-SITE VIA STATIC GPS OBSERVATIONS THAT WERE PROCESSED WITH OPUS.
 - DISTANCES SHOWN HEREON ARE STATE PLANE COORDINATE GRID DISTANCES. SCALE FACTOR 0.9999950.
 - BEARINGS SHOWN HEREON ARE STATE PLANE COORDINATE GRID BEARINGS. CONVERSIONS MADE FROM GRID NORTH TO GEODETIC NORTH IS $-02^{\circ} 12' 16''$ AT N 1930718.6, S 194577.038.
 - UNDERGROUND UTILITIES SHOWN HEREON WERE ESTABLISHED BY FIELD MEASUREMENTS OF MARKERS PLACED ON THE GROUND BY VARIOUS UTILITY COMPANIES IN RESPONSE TO LINE LOCATE TICKET NUMBER 22001281 ON AS SHOWN ON AS-IS/NOT-TO-SCALE DRAWINGS PROVIDED BY UTILITY COMPANIES.
 - TREES 20" DBH AND LARGER ARE SHOWN HEREON.

STORM STRUCTURE DATA

| STW | 18"TOP | 18"TOP |
|--------------|--------------|--------------|
| 18"TOP | HW(1)=103.79 | HW(1)=100.88 |
| HW(1)=103.79 | HW(1)=103.79 | HW(1)=103.79 |
| 18"TOP | HW(1)=103.68 | HW(1)=100.77 |
| HW(1)=103.68 | HW(1)=103.68 | HW(1)=103.68 |
| 15"TOP | HW(1)=104.24 | HW(1)=101.33 |
| HW(1)=104.24 | HW(1)=104.24 | HW(1)=104.24 |
| 18"TOP | HW(1)=105.10 | HW(1)=102.19 |
| HW(1)=105.10 | HW(1)=105.10 | HW(1)=105.10 |
| 18"TOP | HW(1)=103.32 | HW(1)=100.41 |
| HW(1)=103.32 | HW(1)=103.32 | HW(1)=103.32 |
| 18"TOP | HW(1)=103.73 | HW(1)=100.81 |
| HW(1)=103.73 | HW(1)=103.73 | HW(1)=103.73 |
| 18"TOP | HW(1)=100.07 | HW(1)=97.16 |
| HW(1)=100.07 | HW(1)=100.07 | HW(1)=100.07 |

CONTROL POINT/PROPERTY CORNER DATA

| POINT | NOR (FUT) | EASTING | ELEVATION | DESCRIPTION |
|-------|------------|--------------|-----------|--------------------------|
| BP001 | 182,218.54 | 1,839,922.33 | 84.30 | CAPTOP REBAR (ALLEGED) |
| BP002 | 182,444.47 | 1,842,854.13 | 110.10 | 1" OPEN TOP PIPE |
| BP004 | 182,428.40 | 1,843,687.40 | 109.55 | 1/2" OPEN TOP PIPE |
| BP006 | 182,343.55 | 1,839,927.54 | 97.58 | COMP TOP POLE |
| BP008 | 182,448.08 | 1,841,296.18 | 105.18 | CAPTOP REBAR (FENCE) |
| BP010 | 182,277.79 | 1,841,243.43 | 97.61 | CAPTOP REBAR (FENCE) |
| BP011 | 182,192.04 | 1,840,484.08 | 106.76 | CAPTOP REBAR (FENCE) |
| BP013 | 182,017.40 | 1,840,027.81 | 109.82 | CAPTOP REBAR (FENCE) |
| BP016 | 182,041.64 | 1,841,125.84 | 109.30 | CAPTOP REBAR (FENCE) |
| BP017 | 182,042.22 | 1,841,170.78 | 109.92 | 1" OPEN TOP PIPE |
| BP018 | 182,041.87 | 1,841,361.59 | 110.18 | 1" OPEN TOP PIPE |
| BP020 | 182,036.75 | 1,841,184.14 | 109.81 | COMP TOP POLE |
| BP021 | 182,042.88 | 1,841,002.20 | 97.74 | CAPTOP REBAR (FENCE) |
| CP1 | 183,012.00 | 1,841,371.84 | 105.77 | RED CAPTOP REBAR (WATER) |
| CP2 | 182,449.77 | 1,840,969.25 | 109.69 | CAPTOP REBAR (WATER) |
| CP3 | 183,426.71 | 1,841,464.61 | 106.50 | CAPTOP REBAR (WATER) |
| CP4 | 182,625.00 | 1,840,865.58 | 107.48 | CAPTOP REBAR (WATER) |
| CP10A | 182,074.89 | 1,839,923.33 | 84.30 | CAPTOP REBAR (WATER) |
| CP10B | 182,071.50 | 1,840,086.92 | 109.88 | CAPTOP REBAR (WATER) |

LEGAL DESCRIPTION

STATE OF ALABAMA
COUNTY OF CALHOUN

COMMENCING AT THE NORTHEAST CORNER OF SECTION 36, TOWNSHIP 6 SOUTH, RANGE 2 EAST, CALHOUN COUNTY, ALABAMA AS SHOWN ON SURVEY BY GEO-SURVEYING, INC. DATED 11/08/99, THENCE RUN SOUTH 89°-51'-59" WEST ALONG THE NORTH LINE OF SAID SECTION BY A DISTANCE OF 1,113.33 FEET; THENCE SOUTH 07°-06'-02" EAST A DISTANCE OF 415.5 FEET TO A CAPTOP REBAR (FENCE) ON THE SOUTH RIGHT-OF-WAY LINE OF TWIN BEECH ROAD (NOT SHOWN) AND THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL; THENCE RUN SOUTH 02°-06'-52" WEST A DISTANCE OF 920.8 FEET TO A CAPTOP REBAR (FENCE); THENCE RUN SOUTH 40°-15'-28" EAST A DISTANCE OF 25.00 FEET TO A 1/2" OPEN TOP PIPE; THENCE RUN NORTH 84°-20'-45" EAST A DISTANCE OF 182.00 FEET TO A 1" OPEN TOP PIPE; THENCE RUN NORTH 89°-30'-27" EAST A DISTANCE OF 232.00 FEET TO A CAPTOP REBAR (FENCE); THENCE RUN SOUTH 02°-02'-40" EAST A DISTANCE OF 940.5 FEET TO A CAPTOP REBAR (FENCE); THENCE RUN SOUTH 89°-57'-54" WEST A DISTANCE OF 162.2 FEET TO A CAPTOP REBAR (FENCE) AT THE NORTHEAST CORNER OF FULL TOP SUBDIVISION, PARCEL TWO AS RECORDED IN FILE 02614 OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, CALHOUN COUNTY, ALABAMA; THENCE RUN SOUTH 89°-19'-43" WEST ALONG THE NORTH LINE OF SAID SUBDIVISION A DISTANCE OF 403.9 FEET TO A CAPTOP REBAR (FENCE) AT THE NORTHEAST CORNER OF SAID SUBDIVISION; THENCE RUN NORTH 89°-41'-50" WEST A DISTANCE OF 541.00 FEET TO A CAPTOP REBAR (FENCE); THENCE RUN NORTH 02°-02'-40" WEST A DISTANCE OF 162.4 FEET TO A CAPTOP REBAR (FENCE) ON THE SOUTH RIGHT-OF-WAY LINE OF TWIN BEECH ROAD; THENCE RUN NORTH 89°-11'-57" EAST A DISTANCE OF 543.34 FEET TO THE POINT OF BEGINNING OF THE DESCRIBED PARCEL, CONTAINING 13.71 ACRES, MORE OR LESS, AND IS THE SAME PARCEL AS DESCRIBED IN THE STATISTICAL WARRANTY DEED RECORDED AS INSTRUMENT NUMBER 16 OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, CALHOUN COUNTY, ALABAMA.

SURVEYOR CERTIFICATION

I, **Walter W. Wattle**, being duly sworn, depose and certify that I am a duly Licensed Professional Land Surveyor in the State of Alabama, and I have prepared the foregoing plat of the above described parcel in accordance with the laws of the State of Alabama, and I have not been convicted of any crime involving moral turpitude within the last five (5) years.

Walter W. Wattle
WALTER W. WATTLE, PLS
ALABAMA REGISTRATION NO. 28841