



**City of Fairhope
Planning Commission Agenda
5:00 PM
Council Chambers
December 4, 2023**

Sherry Sullivan
Mayor

Council Members

Kevin G. Boone

Jack Burrell, ACMO

Jimmy Conyers

Corey Martin

Jay Robinson

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

1. Call to Order
2. Approval of Minutes
 - November 6, 2023
3. Old/New Business
4. Consideration of Agenda Items

A. UR 23.16 Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of approximately 38,563 LF of buried fiber cable in the City ROW on Blue Island Street.

B. SD 23.32 Public hearing to consider the request of the Applicant/Owner, Corte Cave/Mitchell 1, LLC, for Final Plat Approval of Planters Pointe, a Re-Sub of Lot 2, NW Corner Hwy 181-Hwy 104 Subdivision, a 9-lot subdivision. The property is approximately 21.24 acres and is located on the northwest corner of State Highway 181 and State Highway 104. **PPIN #: 388078**

C. ZC 23.07 Public hearing to consider the request of the Owners, Ryan Creel and Vincent Boothe, for conditional annexation to PUD to be known as The Tin Tops at Gayfer. The property is approximately 5.33 acres and is located at 8437 Gayfer Road Extension. **PPIN #77258**

5. Adjourn

161 North Section Street

P.O. Drawer 429

Fairhope, Alabama 36533

251-928-2136

251-928-6776 Fax

www.fairhopeal.gov

Printed on recycled paper

The Planning Commission met Monday, November 6, 2023, at 5:00 PM at the City Municipal Complex, 161 N. Section Street in the Council Chambers.

Present: Lee Turner; Rebecca Bryant; John Worsham; Hollie MacKellar; Clarice Hall-Black; Jay Robinson; Erik Cortinas; Hunter Simmons, Planning and Zoning Director; Mike Jeffries, Development Services Manager; Michelle Melton, Planner; Chris Williams, City Attorney; and Cindy Beaudreau, Planning Clerk.

Absent: Harry Kohler

Chairman Turner called the meeting to order at 5:00 PM.

Approval of the Minutes October 2, 2023:

John Worsham made a motion to approve the minutes from the October 2, 2023.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; John Worsham; Hollie MacKellar; Clarice Hall-Black; Jay Robinson; Erik Cortinas

NAY: None.

Consideration of Agenda Items:

IR 23.03 Request of the Applicant, Jade Consulting, Inc. for an Informal Review of South Section Village. The property is approximately 57 acres and is located east of Section Street and across from the Hill Top PUD. **PPIN: 18518, 28640, 91082, 103446**

Summary: Hunter Simmons, Planning and Zoning Director, introduced the request for an Informal Review of a property that is outside the city limits. The discussion is to bring this project into the city as a PUD.

Trey Jinright, Jade Consulting, passed out a revised plan. Jason Tickle, 23389 Main Street, presented the request. The proposed plan is a pocket neighborhood design that prioritizes the people who will live there as opposed to the cars. The western third is heavily wooded and the project will preserve that area as much as possible. The project does not have a lot of frontage. There is a small area on Section Street that is next to the VFW and on the north side is the Fairhope Power Substation, to the east is Shellbrook Apartments and beyond that is the gas station and the high school. Mr. Tickle explained that the residential on the western side will be clusters of a dozen or so cottages at a time and have those clusters front on a common green space with shared driveways. He hopes to be able to meet or exceed the green space requirement and the quality of the green space will be superior to what is typical. Each of the cottages are designed with a front porch which will address green space, there will be pathways along the fronts of each of the cottages and each of those paths will tie into a central green space corridor with amenities. The hope is to encourage community. The central park area will have a pool, fitness, pickleball, playground, etc. In an effort to address another major concern that the city is grappling with, the size of the houses is smaller than a lot of the current offerings. They will range from 1,200 to 1,800 square feet to try to address affordability issues. There will be a diversity of home styles. Mr. Tickle shared a PowerPoint showing examples of the common areas and the home varieties. Paver bricks will

be added to give an impression of a pedestrian scale European village. An issue that jumped out when looking at the plan, has to do with conveyance. Lots of these cottages do not front on public roadways which could be addressed by using land condominiums meaning the common areas would be owned collectively and the individual lot owners will own units in the condominium.

John Worsham asked if the entrance would be on Section Street. Mr. Tickle replied that there is a bridge which comes out directly across from the Hill Top neighborhood.

Clarice Hall-Black asked how many homes are proposed. Mr. Tickle stated there are 241 on the drawing. He believes that is too many and he is looking to scale that back. When looking at neighborhoods within the area, 202 homes would be a reasonable goal.

Lee Turner asked which roads were planned to be private. Mr. Tickle answered that as a land condominium, he imagines that all the roads will be private. He has had conversations with staff that the main spine road may be turned over to the city. Mr. Turner stated that he believes that would be a good thing.

Erik Cortinas stated that the bridge on Section Street will require two points of entry and egress from a subdivision this big to accommodate fire apparatus. The bridge will need to be substantially constructed. Mr. Tickle stated that the bridge will be more of a culvert system. Mr. Cortinas asked about a blue line on the web soils and if that is a tributary to a state body. Mr. Jinright replied that the drainage way flows through Lakewood Golf Course and that the city has some definitions on drainageways that they will adhere to. Mr. Jinright stated that he would model the drainage for a hundred-year storm and would most likely design a bottomless culvert.

Rebecca Bryant asked about wetlands. Mr. Jinright stated that the County GIS shows the whole county as wetlands and that is not a good source to review. Mr. Jinright will review the Supreme Court ruling on wetlands.

Mr. Cortinas added that when he was looking at the web soils, he saw two spots there are eluvials with a gritty pond. Mr. Jinright stated that the Supreme Court is in the process of reviewing wetlands.

Mr. Turner stated that he likes the way the project looks and asked Mr. Jinright and Mr. Tickle to look at how close the residences are to the property line and the buffering towards the neighboring properties. Mr. Turner suggested tweaking the connectivity on the north and south.

Ms. Bryant added that she has always liked neighborhoods that are designed around a common area. Mr. Bryant continued that a challenge may be that the citizens here like their cars in garages and asked how they would front the vibrant green space. Would the roads be treated like alleyways to service the cars, or would they be a second front? Ms. Bryant continued that, done right, this development could be emulated in other areas. She is interested in what is found out about the waterways.

Mr. Simmons added that staff received an older version than what the Planning Commission was given earlier with the clustered housing and larger green space. Staff had similar conversations with Mr. Jinright and Mr. Tickle on questions that the Planning Commission has. A PUD would be the only way to accommodate this project.

Mr. Bryant asked that, when submitting for this PUD, to clearly characterize the green space and how it corresponds to the Zoning Ordinance.

Ms. MacKellar loves the creativity, and it is nice to see something that is different and not the average.

Mr. Simmons asked about the frontage on Twin Beech. The plan shows commercial and there is not commercial on Twin Beech until you get to the Citco. Mr. Simmons asked the Planning Commission how they felt about commercial being there. Mr. Turner stated that the developer should propose their plan and not get caught up on residential and commercial. Mr. Turner noted other areas in the country that have mixed commercial and residential that work well. With the amount of density proposed in this project, it may work well to have some commercial within where the residents do not have to get out on the road. Ms. Bryant stated that there could be an indoor/outdoor café could be compatible with the residential across the street.

Jay Robinson stated that he appreciates the creativity, but what concerns him is the large single home lots around it with the open green space and 240 homes. Mr. Robinson is picturing 240 new gas, water, etc. customers. He continued that there are only so many developments that can be added before there is a problem with utilities.

Ms. Hall-Black added that this seems like a good plan but stated that area was zoned the way it was to keep the commercial towards 98 and residential in this area. Mr. Tickle replied that his first instinct was not to put commercial there. The landowner requested that commercial be included because their vision was to have a place where other neighborhoods would feel welcome in this neighborhood. Ms. Hall-Black stated that she did not want this to become a precedent for other commercial businesses to move to that area. Mr. Simmons agreed that was a concern for staff also that the area would not become a new expanding area for commercial.

Mr. Simmons addressed Mr. Robinson's concern stating that this is not the only project that staff is seeing and having conversations about and there are several large projects that are still forthcoming. Mr. Simmons suggesting looking at construction schedules so the projects can grow as the city systems grow to keep up with the growth.

UR 23.14 Request of Mediacom 11.52.11 Utility Review and approval of the proposed installation of aerial fiber and buried coaxial cable for a total of approximately 4,832 LF in the City ROW of the Parkstone subdivision.

Summary: Hunter Simmons, Planning and Zoning Director, presented the request of Mediacom for installation of approximately 4,832 linear feet of aerial fiber and buried coaxial cable in the Parkston subdivision. Mr. Simmons shared the aerial pictures of the area. Mr. Simmons proposed an additional condition to the standard conditions of adding hang tags at least seven days prior to construction along with a live phone line where someone will answer 24 hours a day, 7 days a week. Recently, hang tags have been placed in the evening and digging began the next morning.

Staff recommends approval of UR 23.14 subject to the following conditions with the additional condition of hang tags being placed at least 7 days prior to beginning construction with a live phone line:

1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
4. An additional right-of-way permit may be required for the potholing procedures.
5. Follow-up activities below required by staff and the applicant:
6. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the mapping technician for inclusion in GIS utility maps as needed.
7. Provide draft door hanger for approval at time of pre-construction.
8. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
9. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
10. Applicant shall contact Alabama One Call to locate all existing utilities (750ft max per day).
11. Utilities boxes shall be concentrated near existing boxes.
12. For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

Brandon Johanson, 1613 Nantahala Beach Road, Gulf Breeze, FL, stated that the hang tags are required from their contractors. He stated that hanging them 7 days before construction should not be a problem.

John Worsham made a motion to approve US 23.14 subject to staff recommendations including the additional hang tag recommendation.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; John Worsham; Hollie MacKellar; Clarice Hall-Black; Jay Robinson; Erik Cortinas

NAY: None.

UR 23.15 Request of Mediacom 11.52.11 Utility Review and approval of the proposed installation of 2,303 LF of buried coaxial cable in the City ROW of the Overland subdivision.

Summary: Hunter Simmons, Planning and Zoning Director, presented the request of Mediacom for installation of approximately 2,303 linear feet of buried coaxial cable in the Overland subdivision. Mr. Simmons shared the aerial picture of the area.

Staff recommends approval of UR 23.15 subject to the following conditions with the addition of the hang tag condition:

1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
4. An additional right-of-way permit may be required for the potholing procedures.
5. Follow-up activities below required by staff and the applicant:
6. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the mapping technician for inclusion in GIS utility maps as needed.
7. Provide draft door hanger for approval at time of pre-construction.
8. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
9. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
10. Applicant shall contact Alabama One Call to locate all existing utilities (750ft max per day).
11. Utilities boxes shall be concentrated near existing boxes.
12. For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

Erik Cortinas asked if Mediacom was planning on boring both projects. Mr. Johanson stated that they will be boring both projects.

John Worsham made a motion to approve UR 23.15 with staff recommendations including the hang tag recommendation.

Rebecca Bryant seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; John Worsham; Hollie MacKellar; Clarice Hall-Black; Jay Robinson; Erik Cortinas

NAY: None.

SD 23.28 Public hearing to consider the request of the Applicant, Forrest Daniell & Associates on behalf of the Owner, KWH Properties, LLC for final plat approval of Polo Crossing, a 5-unit Multiple Occupancy Project. The property is approximately 1.77 acres and is located north of Autumn Drive and east of Greeno Road. **PPIN #21517**

Summary: Michelle Melton, Planner, presented the request of Applicant, Forrest Daniell & Associates on behalf of the Owner, KWH Properties, LLC for final plat approval of Polo Crossing, a 5-unit Multiple Occupancy Project. Ms. Melton shared the zoning and aerial maps along with building elevations. The site plan shows that the bike racks and outdoor seating has not been installed. The approved landscape plan from SD 22.10 has not been completed. A new tree was planted but is showing signs of distress. The city horticulturist believes that the tree should be replaced.

Lee Turner asked if Chicken Salad Chick was open. Ms. Melton replied yes. Ms. Melton shared the Temporary Certificate of Occupancy which will expire on December 25, 2023. Mr. Simmons added that an MOP is for 3 or more units. An interpretation was made that without a third unit, they can operate under a Temporary Certificate of Occupancy. MOPs overall may need to be reconsidered due to questions that arose with the two-part process. The close out procedures may need to be revisited. Staff expects this to be complete by December 25, 2023. A permanent Certificate of Occupancy along with any building permits for the other three units will be on hold until this is complete.

Rebecca Bryant asked what stick we have if they do not abide by the requirements. Ms. Melton stated that they would not be able to get building permits for the other units and the open units would have to shut down. Ms. Bryant asked when did the original big oak tree become in poor health. Mr. Simmons stated that the tree was saved during the initial phases of construction, but as construction progressed, arborists began looking into it. Ms. Bryant stated that construction was designed around it and that trenching around the roots may have caused the tree to go into distress. Mr. Simmons stated this was done prior to that work being started.

Hollie MacKellar stated that a larger tree could have been placed there than what is there.

Ms. Bryant asked about what the number of acceptable conditions would be and what if the request was denied until the conditions are met. Mr. Simmons stated that is in the purview of the Planning Commission. Mr. Simmons added that when it comes to landscaping, if the site is stable, staff will recommend approval.

Staff recommends approval of SD 23.28 with the following conditions:

1. Signage shall conform to the Fairhope Sign Ordinance. Developer to provide conforming signage.
2. The tree planted in the roundabout needs to be replaced if it does not survive and the City requires a written commitment from the Applicant stating the same.
3. Additional limestone will be added to the impervious parking area. Staff will approve prior to issuance of final Certificate of Occupancy.
4. An updated O&M Plan shall be provided with updated language regarding parking areas inspections and maintenance.
5. Landscape shall be installed as shown on approved landscape plans prior to issuance of final Certificate of Occupancy.
6. Add seating to the outdoor picnic area and bike rack(s) to the bicycle parking area.

Michael Triplett – 8007 American Way, Daphne, spoke regarding the signage at Chicken Salad Chick which will be installed as soon as it is received and agreed to replace the tree.

Chairman Turner opened the public hearing at 5:48pm with no one present to speak, the public hearing was closed at 5:48pm.

Rebecca Bryant suggested that the tree be replaced.

Rebecca Bryant made a motion to approve SD 23.28 subject to staff recommendations along with changing #2 to read that the tree needs to be replaced and #3 to read pervious.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; John Worsham; Hollie MacKellar; Clarice Hall-Black; Jay Robinson; Erik Cortinas

NAY: None.

SD 23.29 Public hearing to consider the request of the Applicant, S.E. Civil, LLC on behalf of the Owner, FST Windmill Holdings, LLC for final plat approval of Windmill Business Park, a 4-unit Multiple Occupancy Project. The property is approximately 1.48 acres and is located at 9969 Windmill Road. **PPIN #77607, #396213**

Summary: Michelle Melton, Planner, presented the request of the Applicant, S.E. Civil, LLC on behalf of the Owner, FST Windmill Holdings, LLC for final plat approval of Windmill Business Park, a 4-unit Multiple Occupancy Project. Ms. Melton shared the zoning and aerial maps. Ms. Melton stated that all conditions for preliminary plat have been met.

Staff recommends approval of SD 23.29 with no conditions.

Chairman Turner opened the public hearing at 5:52pm with no one present to speak, the public hearing was closed at 5:52pm.

Hollie MacKellar made a motion to approve SD 23.29.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; John Worsham; Hollie MacKellar; Clarice Hall-Black; Jay Robinson; Erik Cortinas

NAY: None.

SD 23.30 Public hearing to consider the request of the Applicant, Dewberry on behalf of the Owner, DR Horton, Inc. - Birmingham for final plat approval of Laurelbrooke Ph. 2, a 50-lot subdivision. The property is approximately 59.13 acres and is located on the east side of State Highway 181 and north of County Road 24. **PPIN #34129**

Chris Williams, City Attorney, excused himself from this presentation.

Summary: Mike Jeffries, Development Services Manager, presented the request of the Applicant, Dewberry on behalf of the Owner, DR Horton, Inc. - Birmingham for final plat approval of Laurelbrooke Ph. 2, a 50-lot subdivision. Mr. Jeffries shared the zoning and aerial maps along with the plat. Phase 1 was approved at the September 7, 2023, Planning Commission meeting and the plat is currently being circulated for signatures. The site is 90% vegetated and the invoices have been provided for the streetlights.

Follow-Up activities required by staff and applicant:

1. Copy of the recorded plat. Final plat must be recorded within 120 days after the date of approval.
2. Copy of the recorded O&M Agreement.

3. Maintenance and Guaranty (M&G) Agreement executed by the developer – the mayor signs this agreement to fully executive it.
 - Remember to include the instrument # from the recorded plat
 - Please include 30 days in paragraph 3

Staff recommends conditional approval of SD 23.30 subject to the following conditions:

1. Completion of Follow-Up Activities listed above.
2. The Plat for Laurelbrooke Phase 1 is record.

Cathy Barnett, Dewberry, stated that they had provided some of the follow-up activities already and that Phase 2 should be smoother than Phase 1.

Chairman Turner opened the public hearing at 5:56pm with no one present to speak, the public hearing was closed at 5:56pm.

Motion:

John Worsham made a motion to approve SD 23.30, with staff recommendations.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; John Worsham; Hollie MacKellar; Clarice Hall-Black; Jay Robinson; Erik Cortinas

NAY: None.

Mr. Simmons asked Ms. Barnett if she was aware of the bonds, and she stated yes.

SD 23.31 Public hearing to consider the request of the Applicant, Sawgrass Consulting, LLC on behalf of the Owner, FST Rockwell, LLC for final plat approval of Rockwell Place, a 2-lot major subdivision. The property is approximately 36 acres and is located on the east side of State Highway 181, south of the Harvest Green East Subdivision and across from The Waters Subdivision. **PPIN #14535**

Summary: Hunter Simmons, Planning and Zoning Director, introduced the request of the Applicant, Sawgrass Consulting, LLC on behalf of the Owner, FST Rockwell, LLC for final plat approval of Rockwell Place, a 2-lot major subdivision. Mr. Simmons stated that typically everything would be wrapped up, but with ALDOT permitting along with jurisdictional changes with preliminary and final approvals with the city and county, there is a separate agreement in draft form about finalizing the roadways. Those portions that would normally be addressed by the Planning Commission will be handled by that agreement, otherwise this is a standard final plat approval.

Mike Jeffries, Development Services Manager, shared the zoning and aerial maps along with the site plan, landscape plan and an updated aerial of the site. The site is 90% stabilized. There will be a future traffic light and mixed-use trail installed.

Follow-Up activities required by staff and applicant:

1. Copy of the recorded plat. Final plat must be recorded within 120 days after the date of approval.
Note: the Completion and Maintenance Agreement shall be executed within 120 days.
2. Copy of the recorded O&M Agreement.

Staff recommends conditional approval of SD 23.31 subject to the following conditions:

1. Completion of Follow-Up Activities listed above.
2. Public Infrastructure installed as part of this project requires final inspections pursuant to the Completion and Maintenance Agreement. Punch list items known now, or discovered in the future, shall be resolved prior to acceptance. Nothing within this Final Plant approval shall be construed to mean the City of Fairhope has performed final inspections on infrastructure intended by the dedicated to the City.
3. All governing bodies must approve of the terms set forth in the Completion and Maintenance Agreement related to the rights-of-way, public infrastructure and connection to Highway 181, including ALDOT and Baldwin County, and the Completion and Maintenance Agreement must be executed by all parties to the Agreement prior to execution of the final plat for recording by the City and/or a representative of the Planning Commission.

Chairman Turner opened the public hearing at 6:02pm with no one present to speak, the public hearing was closed at 6:02pm.

Motion:

Erik Cortinas made a motion to approve SD 23.31 with staff recommendations.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; John Worsham; Hollie MacKellar; Clarice Hall-Black; Jay Robinson; Erik Cortinas

NAY: None.

Adjournment

John Worsham made a motion to adjourn.

AYE: Lee Turner; Rebecca Bryant; John Worsham; Hollie MacKellar; Clarice Hall-Black; Jay Robinson; Erik Cortinas

NAY: None.

Adjourned at 6:04pm.

Lee Turner, Chairman

Cindy Beaudreau, Secretary



This digital package has been condensed for size and some documents may not contain all the original pages. All submittals were reviewed in full by staff in preparation for the reports prepared for the Planning Commission.

City of Fairhope Planning Commission

December 4, 2023



UR 23.16 - Blue Island Avenue & Surrounding Area



Project Name:

C-Spire Fiber Installation

Site Data:

38, 563ft

Project Type:

Directional Bore Underground Fiber

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

N/A

PPIN Number:

N/A

General Location:

Fairwood Drive, Fairhope Avenue, Blue Island Street, North Ingleside Avenue

Surveyor of Record:

N/A

Engineer of Record:

N/A

Owner / Developer:

C-Spire

School District:

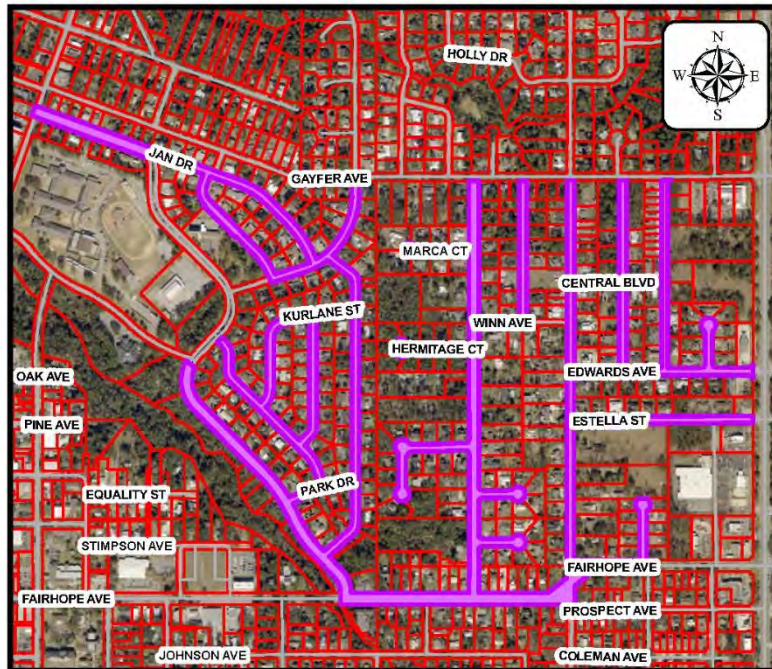
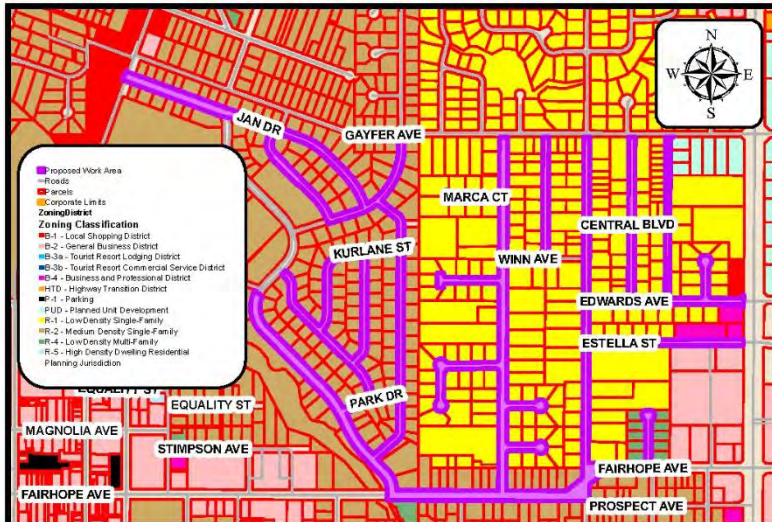
Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

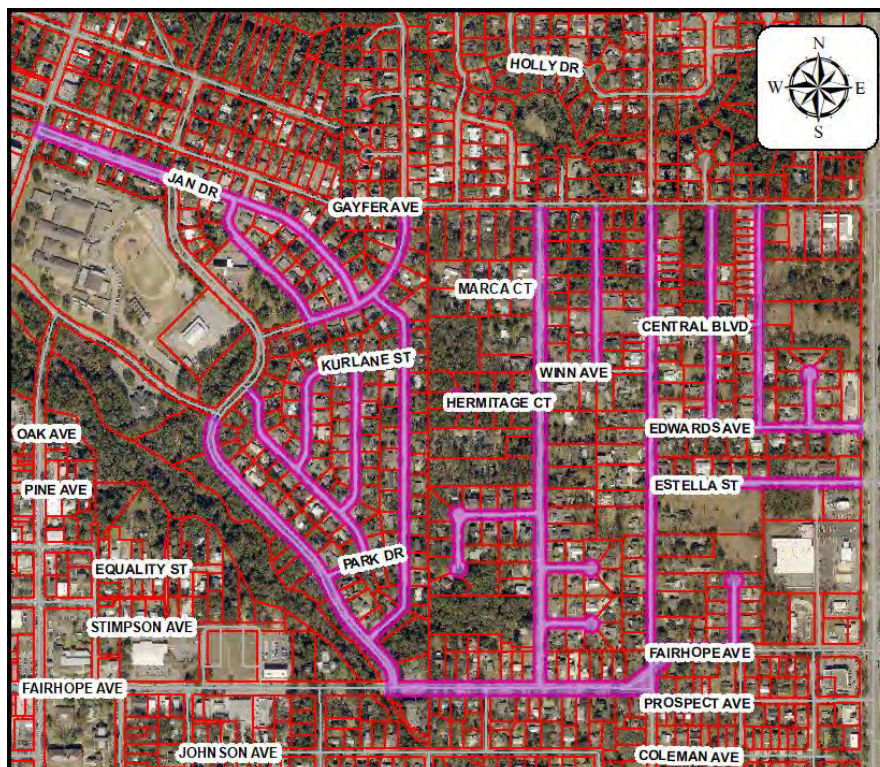
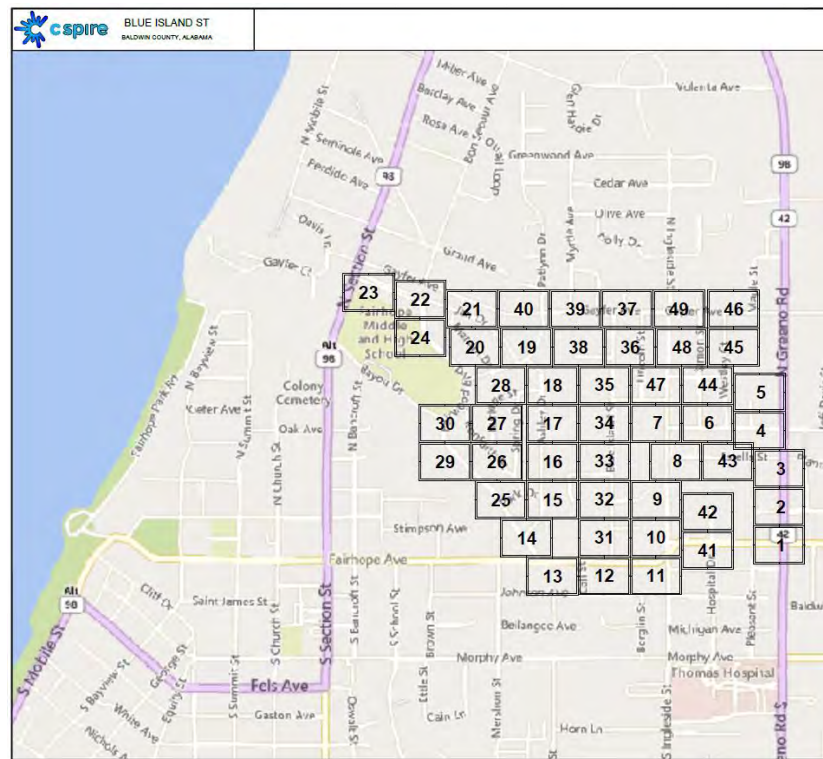
Approved w/ Conditions

Prepared by:

Chris Ambron



Summary of Request: Request of Mediacom for an 11.52.11 Utility Review and approval of the proposed installation of approximately **38,563 ft directional bore buried fiber** along routes outlined on the below location map.



1. Citizen Communication & Notification

- Provide Door Hangers at preconstruction meetings which shall be approved prior to distribution and work.
- Use of portable A-frame style signage at the entrance and exit of work sites.
- Applicant shall dedicate a Point of Contact to answer citizens questions.

2. Permitting, Locating & Phasing

- Subsurface Utility Engineering may be required for sensitive locations within the city as required by the ROW supervisor.
- An additional right-of-way permit may be required for the potholing procedures needed for SUE.
- A traffic control plan shall be submitted with all permits that affect the flow of traffic.
- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department. Permit not valid until approved and paid for on Citizen Serve online portal.
- The City's ROW inspector is to be notified 24 hours prior to any activity within the ROW. The prior notice applied to all activity within the ROW including but not limited to trenching, boring, concrete placement.
- Hand holes/boxes shall not be allowed to be installed in sidewalks. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate with the ROW inspector to resolve any conflicts.
- The applicant shall contact Alabama One Call 811 to locate all existing utilities in the ROW (750 LF maximum daily allocation for COF utility locates per day).
- A phasing plan must be submitted with the permit to alleviate confusion for locating.
- A pre-construction meeting shall be held with the City prior to issuance of any permits.

3. Construction

- A minimum horizontal clearance (separation) of 36" must be maintained from water, sewer, gas, stormwater, and other city utility infrastructure.
- A minimum depth for all telecommunication lines shall be 30".
- Conduit shall match the 811-color code for communication, electric, gas etc. No blue/blue striped conduit is to be used for telecommunications.
- The contractor responsible for *excavating inside right of way will be required to provide video documentation of the integrity of any sanitary sewer line (including laterals) within 3 feet of work being performed. This can be videoed prior to work being performed if locations, including depths, are clearly established by contractor, and said work is not within 3 ft of sewer mains or laterals within right of way. This does not apply to laterals on private property not "publicly maintained" (Private infrastructure).
- Water, sewer, and gas mains/services must be potholed prior to bore/missile crossings. If street cuts are necessary please contact Right of Way inspector for restoration.
- If sidewalk panels need to be removed, the subgrade must be compacted to the satisfaction of the ROW inspector. Cold patch asphalt shall be used as a temporary walking surface until the permanent repair can be done.
- Sidewalk panels shall be a minimum of 4000 psi and be inspected within 24 hours of pouring concrete. Anything over one sidewalk panel shall be poured via concrete truck (no bag mix allowed).

4. Horticultural

- Handholes shall not be located within driplines of trees within City property, to include the right of ways, without explicit written permission from the City Horticulturalist.
- Any proposed trenching shall not be within the dripline of trees.
- If within tree dripline, consult the City of Fairhope Horticulturist prior to earth work.
- Trees shall not be negatively impacted.
- Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. The contractor is responsible for any damaged trees.
- Any work done within the critical root zone shall be done to meet or exceed Internal Society Arboriculture (ISA) standards.
- All roots to be removed shall be severed cleanly at the perimeter of the protected radius.
- Protective barriers shall be used for all trees, barricades shall be erected a minimum of 20' from the trunk.

5. Erosion Control

- Any ROW cuts shall be stabilized (covered) at the end of each day & disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project. Sod shall be watered to ensure survival.
- Any excess soil shall be removed and disposed of properly. Dumping on private property without approval will not be tolerated.
- Mulch / seed shall only be acceptable as temporary cover.
- Inlets shall be protected. BMPs shall be placed at all affected storm inlets.
- If the site is within 100' of a critical area (wetland, etc.), red soil/clay shall not be allowed as fill material, per the City's Red Clay/Soil Ordinance.
- BMPs shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.
-

6. Project Completion, Punch List Walk, & As Built

- The applicant shall provide as-built drawings of all installed lines depicting depths.
- Damage to any City's infrastructure (storm, sewer, water, ditches etc. shall be the responsibility of the permittee to repair to city standards at no cost to the city.
- Any damage that occurs needs to be reported to the city as soon as possible.
- Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency.

7. Staff Recommendation

- The proposed utility construction falls within the corporate limits of the City of Fairhope. Any portions of the project affecting public right-of-way (ROW) maintained by Baldwin County or the Alabama Department of Transportation (ALDOT) shall require permits through the respective agency.
 - This site shall comply with all State, Federal and local requirements, including, but not limited to the following City of Fairhope Ordinances:
 - i. City of Fairhope Wetland Ordinance (#1370), which regulates activity within 20' of wetlands.
 - ii. City of Fairhope Red Soil & Clay Ordinance (#1423), which prohibits the use of red soil / clay within 100' of critical areas.
 - iii. City of Fairhope Erosion and Sediment Control Ordinance (#1398).
 - iv. Chapter 19 Article VI: ROW Construction and Administration, Ordinance (1754)
 - v. City of Fairhope Tree and Landscape Ordinance (#1444)
 - Staff Recommendation: **Approval with Conditions of UR 23.16**
1. A pre-construction meeting shall be held with the City prior to issuance of any permits.
 2. Consultation with the City's horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. **The contractor is responsible for any damaged trees.**
 3. At all street crossing locations, conduct potholing to determine exact location and elevation of existing utilities. Reflect the exact elevation of utilities and GPS coordinates of the pothole locations on a set of as-built drawings.
 - a. An additional right-of-way permit may be required for the potholing procedures.
 4. Follow-up activities below required by staff and the applicant:
 - a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the mapping technician for inclusion in GIS utility maps as needed.
 5. Provide draft door hanger for approval at time of pre-construction.
 6. Approved door hangers shall be in place no later than **7 days** prior to construction.
 7. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
 8. Ensure enough space for proposed work is available within existing easement, if not applicant is responsible for either expanding existing easement or acquiring an additional easement.
 9. Applicant shall contact Alabama One Call to locate all existing utilities **(750ft max per day)**.
 10. Utilities boxes shall be concentrated near existing boxes.

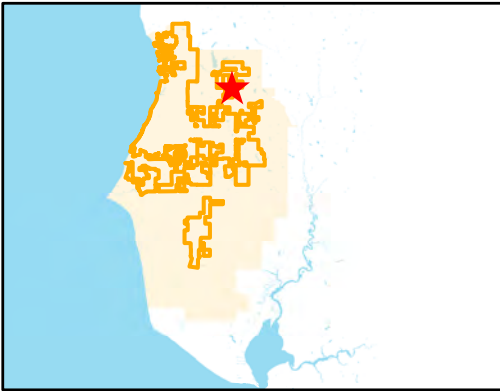
For permitting purposes, applicants shall provide subsurface utility engineering quality-level C, unless otherwise required by the Fairhope Building Department.

City of Fairhope Planning Commission

December 4, 2023



SD 23.32 - Planters Pointe

**Project Name:**

Planters Pointe

Site Data:

21.24

Project Type:

Final Plat of 9-lot subdivision

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

B-2

PPIN Number:

388078

General Location:

Northwest corner of the intersection of
State Highway 104 & State Highway 181

Surveyor of Record:

Thompson Engineering

Engineer of Record:

Thompson Engineering

Owner / Developer:

Corte Cave/Mitchell 1, LLC

School District:

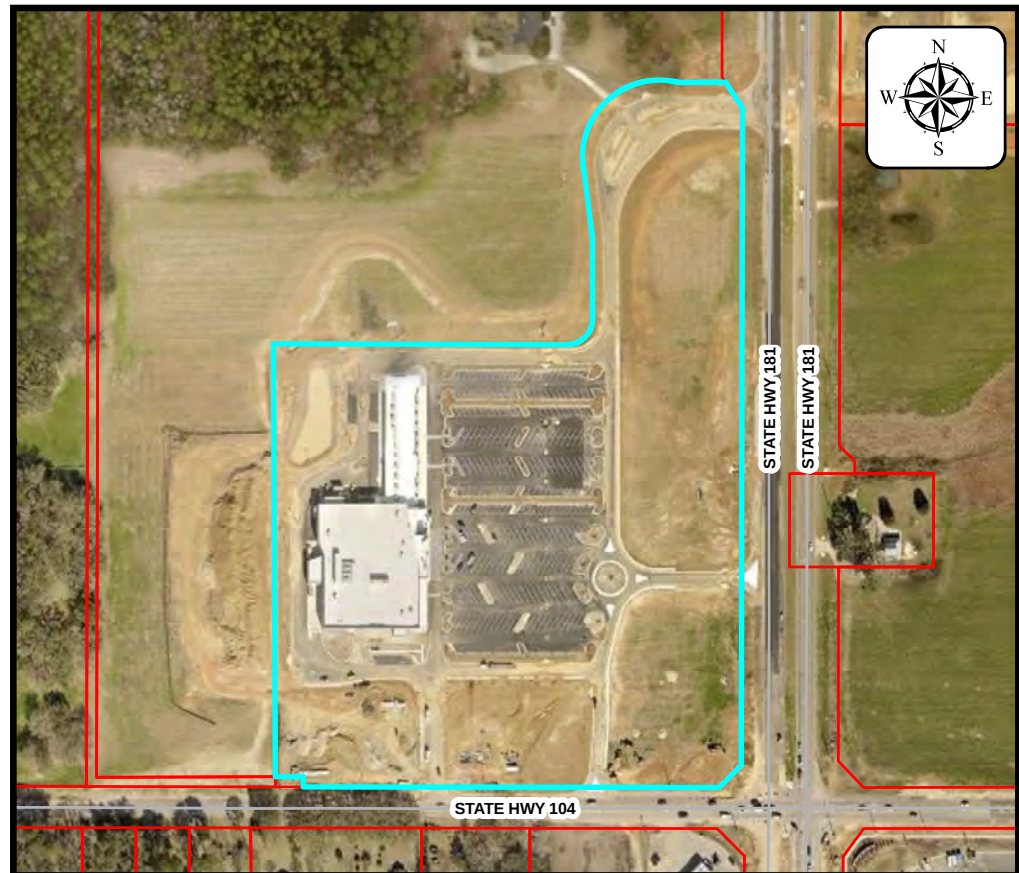
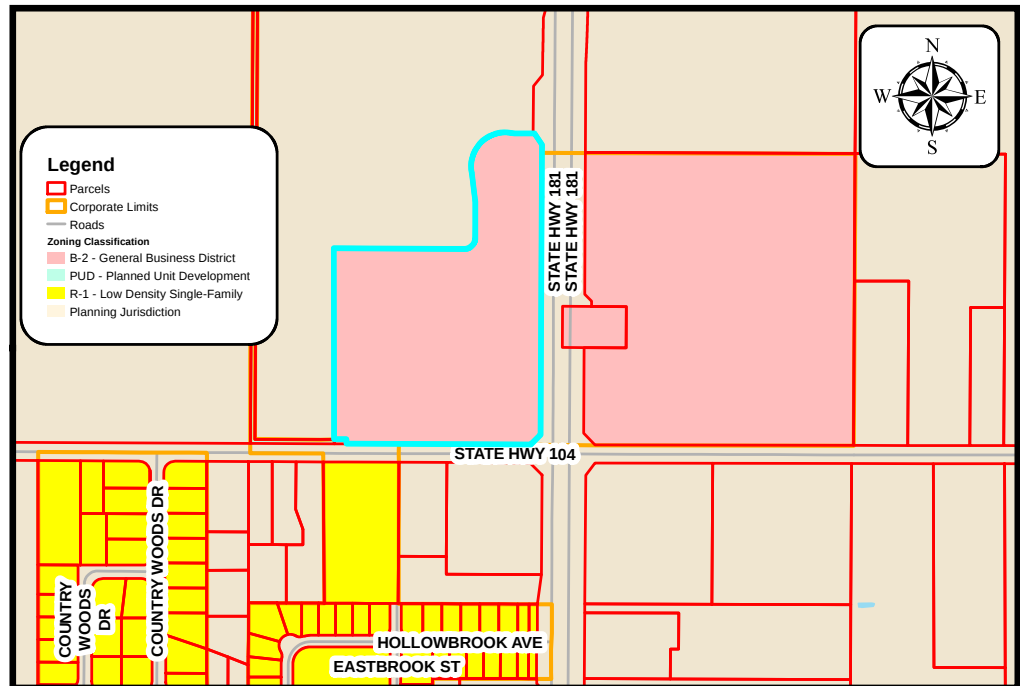
Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

Approve With Conditions

Prepared by:

Mike Jeffries





APPLICATION FOR SUBDIVISION PLAT APPROVAL

Application Type: ☐ Village Subdivision ☐ Minor Subdivision ☐ Informal (No Fee)
☐ Preliminary Plat ☒ Final Plat ☐ Multiple Occupancy Project

Attachments: ☐ Articles of Incorporation or List all associated investors
 Date of Application: October 24, 2023

Property Owner / Leaseholder Information

Name of Property Owner: Corte Cave/Mitchell 1, LLC Phone Number: 251-421-8147
 Address of Property Owner: 22353 State Highway 181
 City: Fairhope State: AL Zip: 36532

Proposed Subdivision Name: Re-Sub Lot 2, NW Corner HWY181-HWY 104 Subdivision
 No. Acres in Plat: 21.24 No. Lots/Units: 9
 Parcel No: 05-46-02-03-0-000-004.168 Current Zoning: B2

Authorized Agent Information

Plat must be signed by the property owner before acceptance by the City of Fairhope

Name of Authorized Agent: _____ Phone Number: _____
 Address: _____
 City: _____ State: _____ Zip: _____
 Contact Person: _____

Surveyor/Engineer Information

Name of Firm: Thompson Engineering Phone Number: 251-666-2443
 Address: 2970 Cottage Hill Road, Suite 190
 City: Mobile State: AL Zip: 36606
 Contact Person: Johnny Holley, PLS

Plat Fee Calculation:

Reference: Ordinance 1269

Signatures:

I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Del Corte

Property Owner/Leaseholder Printed Name

October 24, 2023

Date


 Signature

Fairhope Single Tax Corp. (If Applicable)

Summary of Request:

The owner and applicant is Corte Cave/Mitchell 1, LLC. Frank Leatherwood, P.E. with Thompson Engineering is the EOR for the project. The application is for Final Plat of a 9-lot subdivision located at the northwest corner of St Hwy 181 and St Hwy 104. The property received preliminary Multiple Occupancy Project approval for this site in November 2020. The approved MOP review was for 15 units on what is now proposed lot 1. Preliminary plat approval of the 9-lot subdivision was granted November 2021. A 12-month extension was granted at the October 2, 2023, Planning Commission meeting. The property conditionally annexed into the City Dec. 22nd 2021 Ordinance 1737 and is zoned B-2 -General Business District. Excerpts of the site data table is included below:

<u>OWNERS:</u>	
CORTE, CAVE/MITCHELL 1, LLC 22353 STATE HIGHWAY 181 FAIRHOPE, ALABAMA 36532	
<u>SITE DATA:</u>	
TAX PARCEL NUMBER 05-46-02-03-0-000-004.168	
SMALLEST LOT LOT 8 = 43,224 SQ. FT. = 0.99± ACRES LARGEST LOT LOT 1 = 476,934.65 SQ. FT. = 10.95± ACRES TOTAL ACREAGE ON SITE = 21.24± ACRES TOTAL LOTS = 9	
<u>ZONE:</u>	
CITY OF FAIRHOPE B-2 GENERAL BUSINESS DISTRICT	
<u>SETBACKS:</u>	
PER THE CODE OF ALABAMA 1975, TITLE 45 LOCAL LAWS CHAPTER 2, BALDWIN COUNTY, ARTICLE 26 ZONING AND PLANNING, PART 1 CONSTRUCTION SETBACKS SECTION 45-2-260 REGULATION OF SETBACKS THE SETBACK LINES ALONG BOTH ARE MEASURED FROM THE CENTERLINE OF THE RIGHT-OF-WAY AS BEING 100 FEET, ALL OTHER AS SHOWN	

Comments:

- Utilities:

1. Water - Easements have been provided for infrastructure that falls within private drives and individual lots. A separate easement drawing is included as page 2 of the plat.
 - A Maintenance Bond is required for all work being dedicated to the City.
2. Sewer – Sewer is privately owned and maintained.
 - Private infrastructure located in the public right-of-way requires a Cooperative Maintenance Agreement.
3. Power – Provided by Riviera Utilities
4. Gas – Gas is supplied by Fairhope.
5. Communications provided by AT&T

- Traffic:

1. ALDOT improvements were installed per the Traffic Impact Study. ALDOT holds a bond for the work done and any additional work or deficiencies is the responsibility of the developer to correct to ADLOTS satisfaction.

- A future traffic light will be installed at the northern entrance across from the Rockwell development.

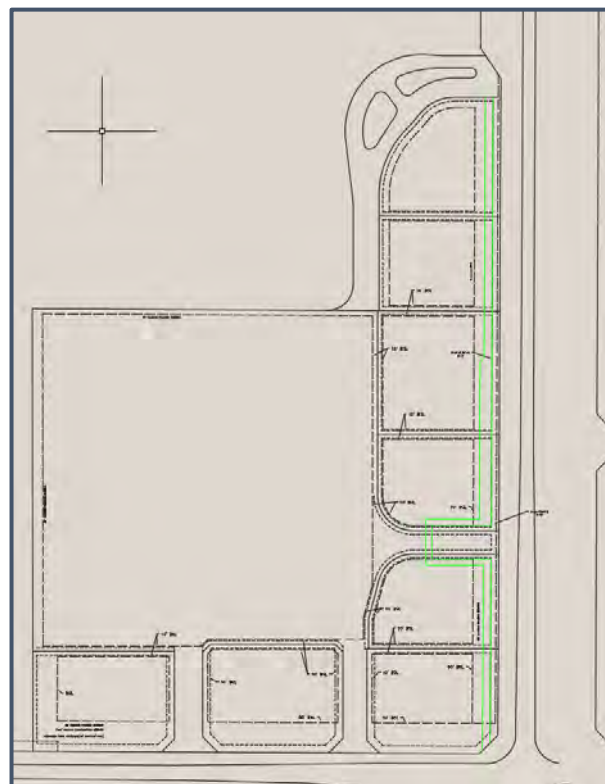
2. The TIS considered the grocery store, 16, 575 sf of leasable area, and 6 outparcels. The subdivision requests includes 8 outparcels. Future developments on the outparcels shall not exceed the estimated trips without providing a revised TIS. A note has been added to the plat to ensure the overall trip generation is reviewed at each development on lots 2-9.

- **Site and Drainage:**

1. A master drainage plan for the site was required and each individual lot will be required at time of future permitting to have an engineer verify compliance with the master drainage plan.
2. The primary drainage work has been completed. An O&M Plan and Agreement was submitted, but checklists need to be revised to include maintenance of the pervious pavement. Once revised the O&M Plan and Agreement will be recorded as part of this approval. The agreement may need to be amended as lots 2-9 are developed.

- **Landscaping:**

1. Landscape plantings have been installed, but the existing plantings are showing signs of shock. They will be monitored and may require replacement if they do not survive.
2. A condition of the Preliminary Plat approval was to submit a revised landscaping plan. A revised plan was not submitted. A multimodal path was suggested by Staff to be included on the revised landscape plan along Hwy 181. Since the revised landscape plan was not submitted, Staff recommends an additional fifteen feet (15') pedestrian access easement adjacent to the drainage/utility easement adjacent to Hwy 181, as approximately shown on the drawing below. If approved by Planning Commission, the easement shall be shown on the Plat and a note shall be added to the Plat that states the pedestrian access easement shall be limited to landscape and paths.



- **General Comments:**

1. The proposed subdivision has not changed any major components of the previously approved MOP Case: SD 20.34 or the preliminary plat Case: SD 21.48.
2. The final plat for this subdivision satisfies the final MOP procedures for SD 20.34.
3. Mandatory Site Plan review is required for each outparcel. A note has been added to the Plat.

- **Punchlist Items:**

1. Need revised Landscape As-Builts reflecting all the plantings to be reviewed for compliance with the Tree Ordinance #1444.
2. Need updated As-Builts to reflect all completed work.
3. Core samples and road testing needs to be submitted and approved by the City.
4. Minor repairs associated with the ALDOT permit.

*The City of Fairhope Subdivision Regulations contain the following criteria in Article V.B.2. **Approval Standards.***

“2. Consistency with Plans, Regulations and Laws - The Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:

a. The proposed subdivision is not consistent with the City’s Comprehensive Plan, and/or the City’s Zoning ordinance, where applicable;

- Meets

b. The proposed subdivision is not consistent with the City’s Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;

- Sidewalks are provided within the project. Bicycle accommodations are not currently included, but Staff recommends an easement be provided along Hwy 181 to accommodate a multi-use trail.

c. The proposed subdivision is not consistent with these Regulations;

- Meets, assuming punch lists items are finalized.

d. The proposed subdivision is not consistent with other applicable state or federal laws and regulations;

- Meets

e. The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City.”

- Meets

Follow-Up Activities Required by Staff and the Applicant:

- Copy of the recorded plat
- Copy of the recorded O&M Agreement
- Maintenance and Guaranty (M&G) Agreement executed by the developer – this document is not considered fully executed until the Mayor signs said agreement.
 - Remember to include the instrument # from the recorded plat
 - Please include 30 days in paragraph 3
- The Cooperative Maintenance Agreement for the sewer and common area in the ROW to be dedicated to the City needs to be signed by the developer.

Staff Recommendation of case SD 23.32 Planters Pointe:

Approve with the Following Conditions:

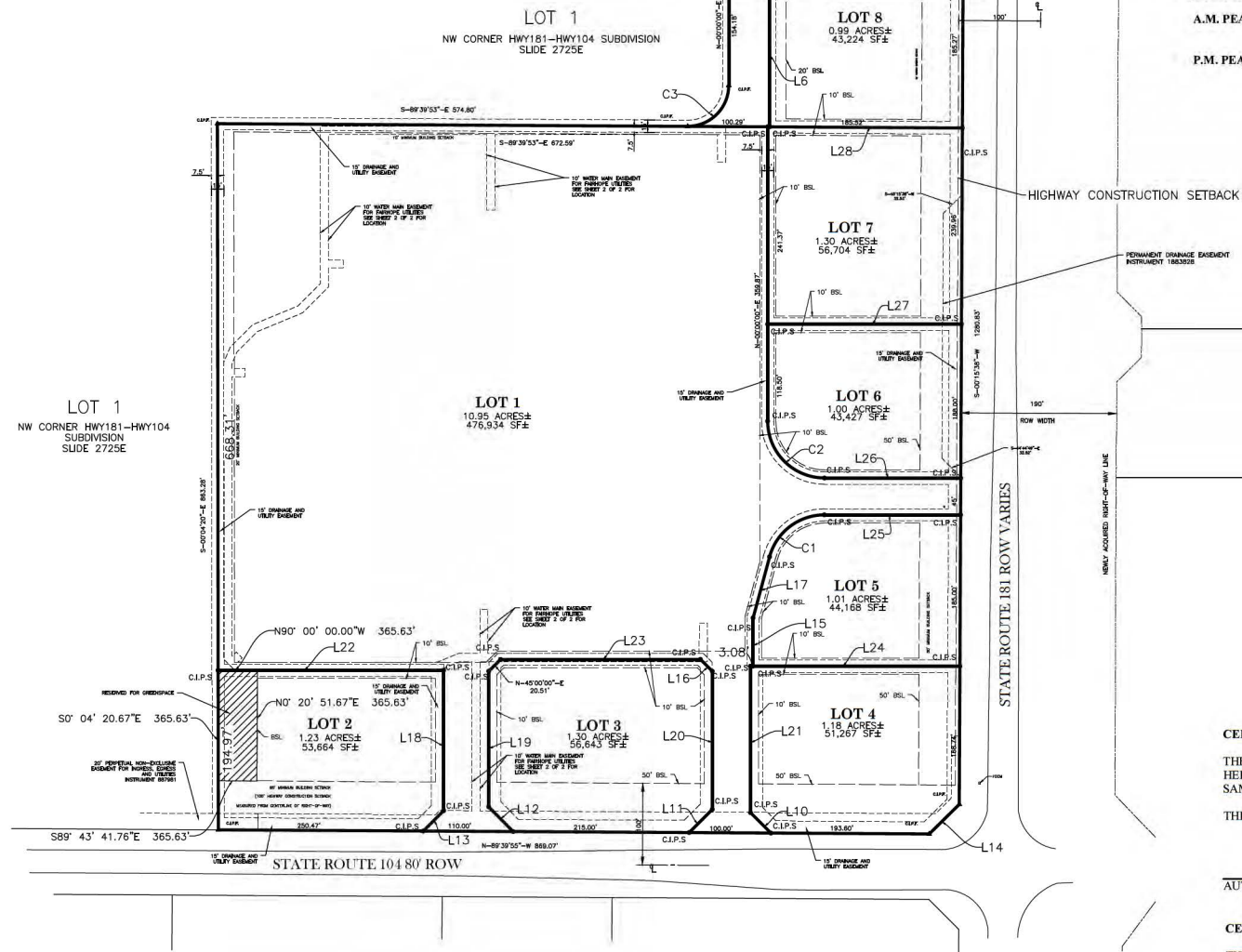
1. The final plat for this subdivision satisfies the final MOP procedures for SD 20.34.
2. Completion of the Punch List items listed above.
3. Completion of the Follow-Up Activities listed above.
4. Add fifteen feet (15') pedestrian access easement adjacent to Highway 181.

Planters Pointe Subdivision

(RE-SUB LOT 2, NW CORNER HWY181-HWY104 SUBDIVISION)

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C9	20.47	175.00	6.70	S86°38'58"E	20.45
C4	10.46	87.00	6.89	N3°26'37"W	10.45
C3	78.83	50.00	90.34	N45°10'03"E	70.92
C5	271.19	150.00	103.59	S44°54'29"W	235.73
C2	109.17	69.50	90.00	S45°00'00"E	98.29
C1	90.82	69.50	74.87	S52°33'46"W	84.50
C6	145.85	187.00	44.69	S22°20'40"W	142.19
C7	36.73	313.00	6.72	N41°19'36"E	36.71
C8	79.92	88.00	52.04	S63°58'56"W	77.20

Line Table			Line Table			Line Table		
Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction
L6	184.95	N0°00'00"E	L16	20.51	N45°00'00"W	L26	166.58	N90°00'00"E
L7	38.28	N0°00'00"W	L17	77.22	S15°07'31"W	L27	236.94	N90°00'00"W
L8	89.75	N90°00'00"E	L18	171.43	N0°00'00"E	L28	238.02	S89°39'39"E
L9	85.53	N90°00'00"E	L19	165.96	S0°00'00"E	L29	236.37	S89°44'22"E
L10	35.25	S44°49'57"E	L20	168.94	N0°00'00"E			
L11	40.16	N45°10'03"E	L21	178.92	S0°00'00"E			
L12	42.34	S44°49'57"E	L22	275.85	N90°00'00"W			
L13	35.46	N45°10'03"E	L23	244.33	N90°00'00"W			
L14	51.63	S45°18'37"W	L24	252.84	N90°00'00"W			
L15	59.09	S0°00'00"E	L25	166.44	N90°00'00"W			



LEGEND

- INDICATES 5/8" CAPPED IRON PIN FOUND
- INDICATES 5/8" CAPPED IRON PIN SET
- INDICATES CRIMPED TOP IRON PIN FOUND
- INDICATES OPEN TOP IRON PIN FOUND
- INDICATES REBAR FOUND
- INDICATES CONCRETE MONUMENT FOUND
- INDICATES AXLE FOUND
- INDICATES CHAIN LINK FENCE
- INDICATES WOOD FENCE
- INDICATES WIRE FENCE
- INDICATES OVERHEAD ELECTRIC LINES
- INDICATES POWER POLE
- INDICATES ACTUAL MEASURE
- INDICATES RECORD MEASURE
- INDICATES SIGN
- INDICATES FIBER OPTIC CABLE MARKER

DESIGN TRAFFIC TRIP GENERATION ESTIMATES:

A.M. PEAK: 395 ENTERING
302 EXITING
P.M. PEAK: 573 ENTERING
559 EXITING

SUBDIVISION NOTES:

- A MINIMUM 15 FOOT DRAINAGE AND UTILITY EASEMENT (AS REQUIRED BY UTILITIES) SHALL BE ALONG EACH SIDE AND/OR REAR LOT LINE.
- ALL DRAINAGE EASEMENTS ARE PRIVATE AND CITY OF FAIRHOPE SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF SAID DRAINAGE EASEMENTS.
- LOT 1 SHALL ADHERE TO THE REQUIREMENTS OF THE APPROVED CITY OF FAIRHOPE MULTI-OCCUPANCY PROJECT (MOP) FOR LOT 2, NW CORNER OF HWY 181-HWY 104 SUBDIVISION AS RECORDED ON SLIDE 0002725-E AT THE OFFICE OF THE JUDGE OF PROBATE BALDWIN COUNTY, ALABAMA.
- ALL LOTS SHALL BE RESPONSIBLE FOR PROVIDING NECESSARY STORM DRAINAGE IMPROVEMENTS TO CONTROL ALL POST-DEVELOPED STORMWATER RUNOFF AND SHALL BE SELF SUFFICIENT.
- ALL PRIVATE UTILITIES, DRIVES AND LANDSCAPE IMPROVEMENTS MAINTENANCE AND REPAIR ARE NOT THE RESPONSIBILITY OF THE CITY OF FAIRHOPE AND SHALL BE THE RESPONSIBILITY OF LOT 1.
- A MANDATORY SITE PLAN REVIEW IS REQUIRED PRIOR TO THE DEVELOPMENT OF ANY LOT.
- EACH DEVELOPMENT ON LOTS 2 THROUGH 9 SHALL SUPPLY A LETTER FROM A REGISTERED ENGINEER THAT PROVIDES THE CUMMULATIVE TRIP GENERATION AT PEAK HOURS TO VERIFY ESTIMATES ARE NOT EXCEEDED.

NOTES:

- Type of Survey: Boundary. No improvements were located except those shown hereon.
- Bearing Basis: All bearings and distances are based on and referenced to Alabama West State Plane Coordinates established by RTK GPS dial up to Continuous Operating Reference Station at the tunnel. The actual bearings and distance were field measured.
- Field Dates: January 9 and 11, 2017
- Street Address: N/A
- No attempt was made by the Surveyor to locate underground improvements or environmentally sensitive conditions.
- This property may be subject to County and City regulations in regards to setbacks, easements and building codes.
- This survey done without the benefit of a Title Search.
- I have consulted the FEMA Flood Insurance Rate Map Community Panel No. 01003C 0661 M, dated April 19, 2019 and found, by graphic plotting only, that said map shows the above described property is found in Zone "X" (Unshaded). The above statement is for information only, and this Surveyor assumes no liability for the correctness of the cited map(s). In addition, the above statement does not represent this Surveyor's opinion of the probability of flooding.

OWNERS:

CORTE, CAVE/MITCHELL 1, LLC
22353 STATE HIGHWAY 181
FAIRHOPE, ALABAMA 36532

SITE DATA:

TAX PARCEL NUMBER
05-46-02-03-0-000-004.168

SMALLEST LOT:
LOT 8 = 43,224 SQ. FT. = 0.99± ACRES
LARGEST LOT:
LOT 1 = 476,934.65 SQ. FT. = 10.95± ACRES
TOTAL ACREAGE ON SITE = 21.24± ACRES
TOTAL LOTS = 9

ZONE:

CITY OF FAIRHOPE
B-2 GENERAL BUSINESS DISTRICT

SETBACKS:

PER THE CODE OF ALABAMA 1975, TITLE 45 LOGICAL LAWS CHAPTER 2, BALDWIN COUNTY, ARTICLE 26 ZONING AND PLANNING, PART 1 CONSTRUCTION SETBACKS SECTION 45-2-260 REGULATION OF SETBACKS THE SETBACK LINES ALONG BOTH ARE MEASURED FROM THE CENTERLINE OF THE RIGHT-OF-WAY AS BEING 100 FEET, ALL OTHER AS SHOWN

SURVEYOR:

THOMPSON ENGINEERING
JOHNNY E. HOLLEY, P.L.S.
ALABAMA LICENSE NUMBER 23660

ENGINEER'S CERTIFICATION

I, THE UNDERSIGNED, A REGISTERED ENGINEER IN THE STATE OF ALABAMA HOLDING CERTIFICATE NUMBER 25751, HEREBY CERTIFY THAT I HAVE DESIGNED THE WITHIN IMPROVEMENTS IN CONFORMITY WITH APPLICABLE CODES AND LAWS AND WITH THE PRINCIPALS OF GOOD ENGINEERING PRACTICE. I FURTHER CERTIFY THAT I HAVE OBSERVED THE CONSTRUCTION OF THE WITHIN IMPROVEMENTS, THAT THE SAME CONFORMS TO MY DESIGN, THAT THE WITHIN IS A TRUE AND ACCURATE REPRESENTATION OF IMPROVEMENTS AS INSTALLED AND THAT SAID IMPROVEMENTS ARE HEREBY RECOMMENDED FOR ACCEPTANCE BY THE CITY OF FAIRHOPE, ALABAMA.

PROJECT ENGINEER

OCTOBER 24, 2023
DATE

PLANTERS POINTE SHOPPING CENTER

NAME OF PROJECT TO WHICH THE CERTIFICATE APPLIES
PLANS WHICH ARE CERTIFIED CONSIST OF PAGE G100 THRU C743, EACH OF WHICH BEARS MY SEAL AND SIGNATURE.

CERTIFICATE OF APPROVAL OF THE CITY OF FAIRHOPE PLANNING COMMISSION

THE UNDERSIGNED AS AUTHORIZED BY THE CITY OF FAIRHOPE HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY.

THIS ____ DAY OF _____, 2021.

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY AT&T - TELEPHONE/COMMUNICATIONS

THE UNDERSIGNED AS AUTHORIZED BY AT&T HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY.

THIS ____ DAY OF _____, 2021.

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY FAIRHOPE UTILITIES - GAS

THE UNDERSIGNED AS AUTHORIZED BY FAIRHOPE UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY.

THIS ____ DAY OF _____, 2021.

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY FAIRHOPE UTILITIES - SEWER & WATER

THE UNDERSIGNED AS AUTHORIZED BY FAIRHOPE UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY.

THIS ____ DAY OF _____, 2021.

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY 911

THE UNDERSIGNED AS AUTHORIZED BY BALDWIN COUNTY 911 HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY.

THIS ____ DAY OF _____, 2021.

AUTHORIZED SIGNATURE

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES

THE UNDERSIGNED AS AUTHORIZED BY RIVIERA UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY.

THIS ____ DAY OF _____, 2021.

AUTHORIZED SIGNATURE

Utility Providers:

Water, Sewer, and Gas
City of Fairhope

Power
Riviera Utilities

Telephone
ATT&T

OWNER'S CERTIFICATION

I, CORTE, CAVE/MITCHELL 1, LLC, HEREBY STATE AS OWNER OF THE WITHIN DESCRIBED LANDS AND HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE PURPOSES HEREIN SET FORTH.

THIS ____ DAY OF _____, 2021.

AUTHORIZED SIGNATURE

CERTIFICATE BY NOTARY PUBLIC

I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY OF _____ IN THE STATE OF _____ DO CERTIFY THAT WHOSE NAME IS SUBSCRIBED TO THE CERTIFICATE OF OWNERSHIP AND DEDICATED, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THE THEY SIGNED AND DELIVERED SAID INSTRUMENT FREE AND VOLUNTARY FOR THE USES AND PURPOSE HEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS THE ____ DAY OF _____, 2021.

NOTARY PUBLIC

Description:

Lot 2, NW Corner Hwy 181-Hwy 104 Subdivision, as recorded on Slide No. 2725-E in the office of the Judge of Probate Baldwin County, Alabama

I state that all parts of this survey and drawing have been completed in accordance with the requirements of the Standards of Practice for Land Surveying in the State of Alabama to the best of my knowledge, information and belief.

OCTOBER 24, 2023
Date

Johnny E. Holley, PLS
Alabama License Number 23660

FINAL PLAT SHEET 1 OF 2

PLANTERS POINTE SUBDIVISION,
RE-SUB LOT 2, NW CORNER
HWY181-HWY104 SUBDIVISION

SECTION 3, T6S, R2E
BALDWIN COUNTY, ALABAMA

L.W. CAVE REAL ESTATE



thompson

ENGINEERING

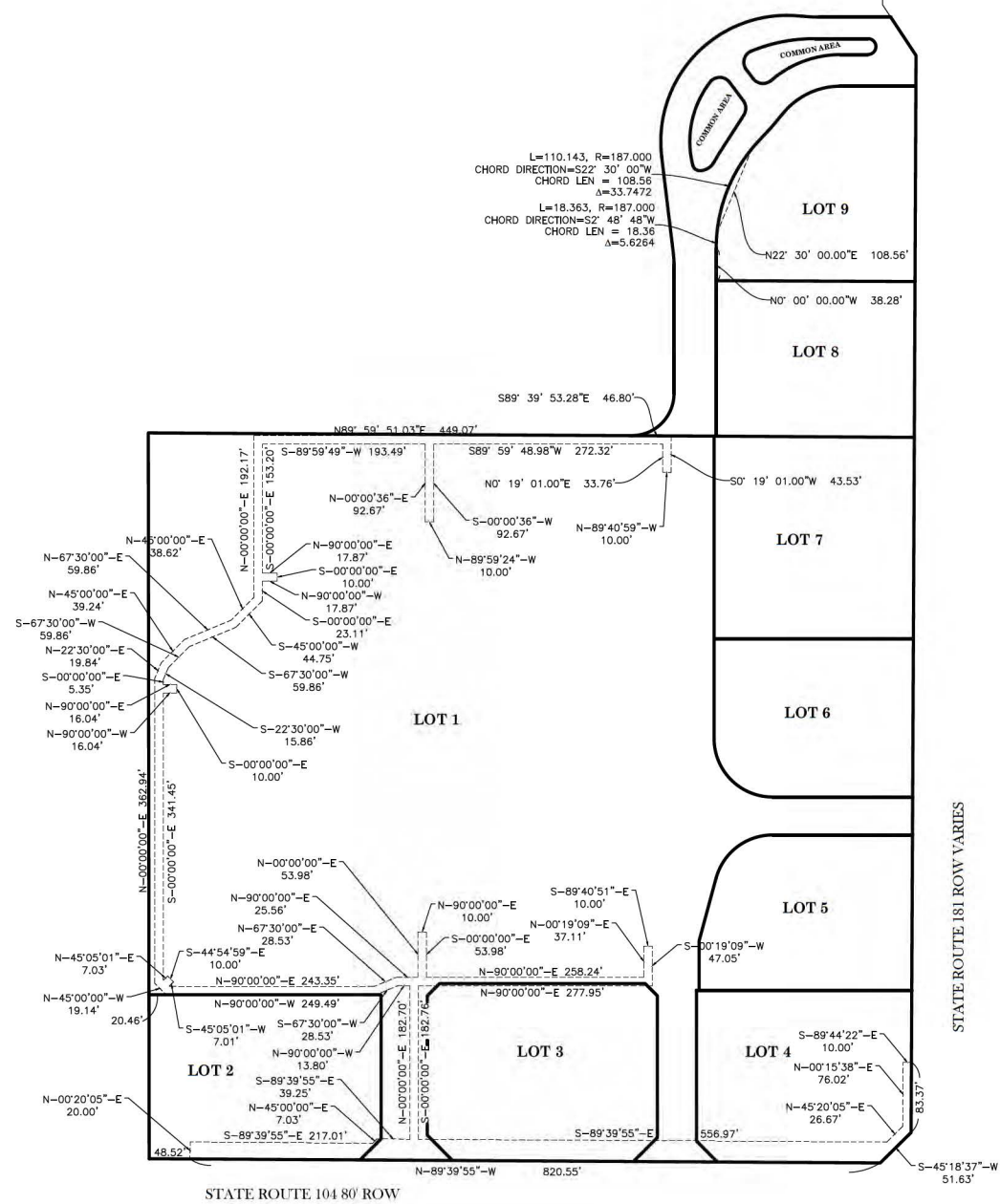
2970 COTTAGE HILL RD., STE. 190
MOBILE, ALABAMA 36606

TEL: (251) 666-2443
FAX: (251) 666-6422

SCALE: 1" = 100' DRAWN BY: JEH APPROVED BY: DBB DATE: SEPT 2021 JOB NO.: 19-1101-0224

DRAWING NO. re-sub lot 2 nw corner 181-104.dwg

THIS DRAWING REPRESENTS DESIGNS PREPARED BY THOMPSON ENGINEERING FOR SPECIFIC USE ON THIS PROJECT AND IS NOT TO BE COPIED, REPRODUCED, OR ALTERED WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE THOMPSON ENGINEERING REPRESENTATIVE AUTHORIZED TO APPROVE THIS USE. UNAUTHORIZED USE IS SUBJECT TO LEGAL ACTION UNDER STATE AND FEDERAL LAW.

**FINAL PLAT SHEET 2 OF 2**[illegible]

**PLANTERS POINTE SUBDIVISION,
RE-SUB LOT 2, NW CORNER
HWY181-HWY104 SUBDIVISION**

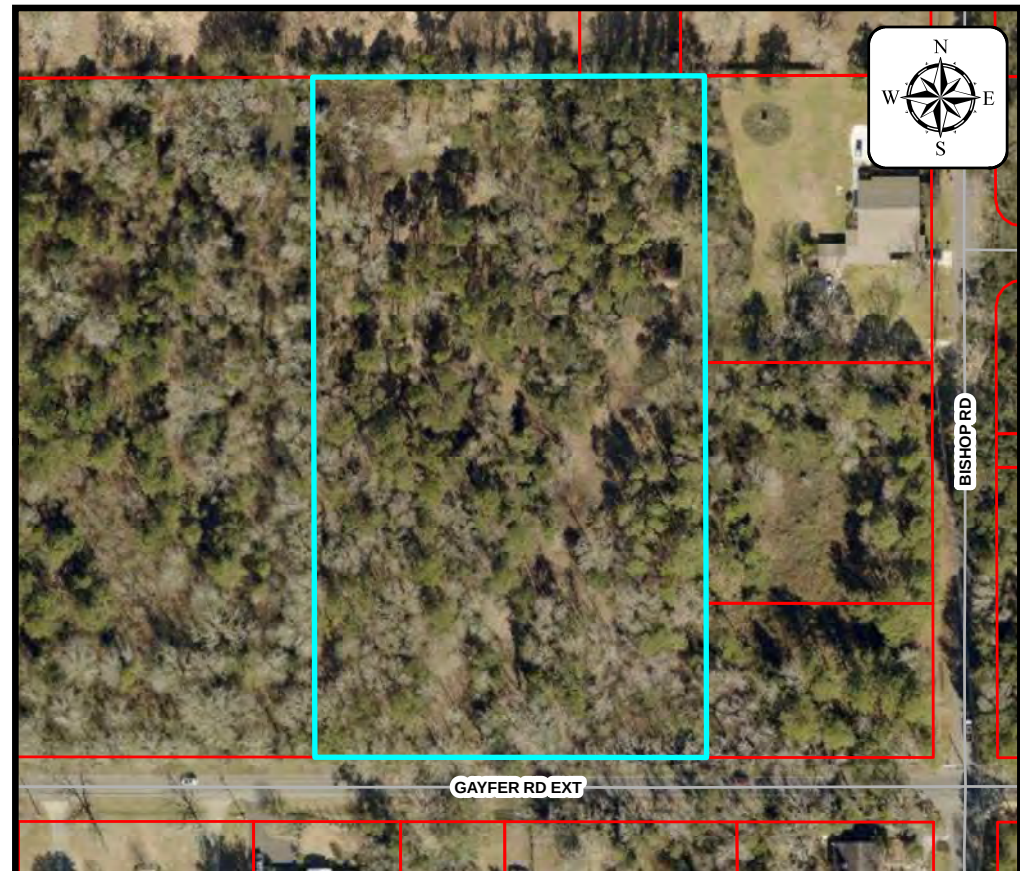
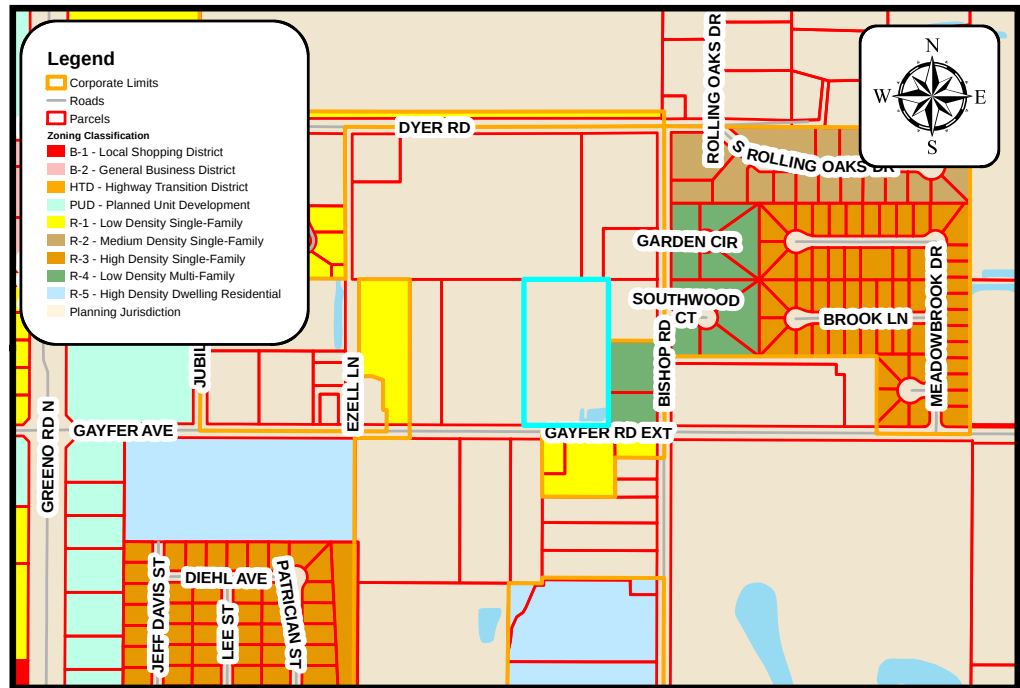
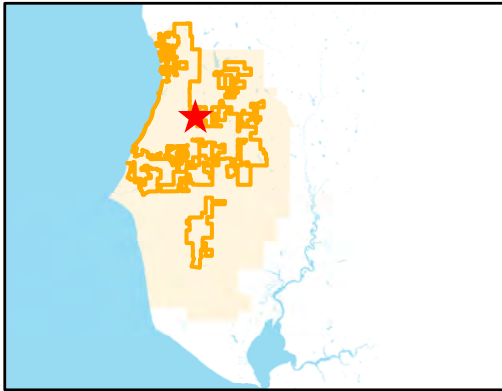
2970 COTTAGE HILL RD., STE. 190 MOBILE, ALABAMA 36606		 ENGINEERING		TEL: (251) 666-2443 FAX: (251) 666-6422
SCALE:	DRAWN BY:	APPROVED BY:	DATE :	JOB NO. :
1" = 100'	JFH	DRB	SEPT 2021	19-1101-

City of Fairhope Planning Commission

December 4, 2023



ZC 23.07 - Tin Tops at Gayfer



Project Name:

Tin Tops at Gayfer

Site Data:

5.31 acres

Project Type:

Conditional Annexation with Rezoning

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

N/A

PPIN Number:

77258

General Location:

North side of Gayfer Road Ext, West of Bishop Road

Surveyor of Record:

N/A

Engineer of Record:

N/A

Owner / Developer:

Ryan Creel & Vince Boothe

School District:

Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

Approve w/ Conditions

Prepared by:

Michelle Melton



APPLICATION FOR ZONING DISTRICT CHANGE

Property Owner / Leaseholder Information

Name: Ryan Creel Phone Number: (251) 379-0081
 Street Address: 125 Seng Grove Blvd
 City: Fairhope State: AL Zip: 36532

Applicant / Agent Information

If different from above.

Notarized letter from property owner is required if an agent is used for representation.

Name: Ryan Creel Phone Number: (251) 379-0081
 Street Address: 125 Seng Grove Blvd
 City: Fairhope State: AL Zip: 36532

Current Zoning of Property: County RSF-E
 Proposed Zoning/Use of the Property: Condominiums - PUD
 Property Address: 10382 Grayfer Ave Ext
 Parcel Number: 05-46-02-09-0-000-014.000
 Property Legal Description:
 Reason for Zoning Change: Selling units as condominiums
vs. renting the units

Property Map Attached

☒ YES ☐ NO

Metes and Bounds Description Attached

☒ YES ☐ NO

Names and Address of all Real Property Owners
 within 300 Feet of Above Described Property Attached.

☒ YES ☐ NO

Character of Improvements to the Property and Approximate Construction Date: _____

Currently under construction

Zoning Fee Calculation:

Reference: Ordinance 1269

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Ryan Creel
 Property Owner/Leaseholder Printed Name

[Signature]
 Signature

Date

10/8/23

Fairhope Single Tax Corp. (If Applicable)

Summary of Request:

The Applicants, Ryan Creel and Vincent Boothe, request conditional annexation with rezoning to a Planned Unit Development (PUD). The proposed PUD consists of ten (10) duplexes. The property is approximately 5.31 acres and is located at 8437 Gayfer Road Extension. The Developer is Creel Construction. Ryan Creel is the authorized agent.

History

The property was the subject of SD 19.40 Tin Tops @ Gayfer a 20-unit MOP in November 2019. The original intent was to lease the units. This was during the time when both the City and Baldwin County had varying, overlapping jurisdictions and the project was approved by both the City and the County. The property at that time was unzoned in Baldwin County. The project has already been approved and permitted. The Applicants now desire to become part of the City. Staff feels PUD zoning makes the most sense for annexation. On its face the project resembles more of a multi-family type zoning such as R-4 or R-5; however, the City does not wish to set that type of zoning trend in this area.

At the time of SD 19.40 some City regulations were applicable, but not all of them. SD 19.40 was approved by the Fairhope Planning Commission with the following conditions:

1. A landscape plan in compliance with ordinance # 1444 (including tree protection details) shall be submitted as a component of the “for construction” drawings prior to issuance of a land disturbance permit.
2. The Utilities Director of Operations requests the water meters serving each unit be placed on each side of the driveway respective to the unit, in lieu of both meters located to one side of the driveway as shown on drawing C04.
3. Subject development is an MOP and not a typical subdivision. In lieu of the final plat approval procedure required for a typical subdivision, the closeout procedure for subject development includes the follow procedures and/or documents:
 - a. One copy of the landscape as-built drawings with a statement from the landscape architect of record indicating the various landscape features have been completed as-designed. The landscape as-built drawings shall be submitted at a time to be determined by the Building Official and Development Services Manager when the initial Certificate of Occupancy (CO) request appears to be imminent.
 - b. One copy of the as-built site/civil construction drawings as required by *Article IV, Section.D.1.b.(18)* at a time to be determined by Building Official and Development Services Manager when the initial Certificate of Occupancy (CO) request appears to be imminent. Include the engineer’s certificate in a similar fashion to that of typical subdivision closeout submittal.
 - c. One copy of the recorded stormwater Operations and Maintenance Plan and Agreement in a similar fashion to that of a typical subdivision closeout submittal.
4. Drainage shall not be required to be directed to the public right-of-way due to adverse effects it may cause.

Comments

The property is now zoned RSF-E by the County. Applicant has submitted building permits, civil drawings, and a landscape plan to the City. Since the property is anticipated to be annexed into the City then City regulations shall apply once the property is outright under the City’s jurisdiction going forward as a PUD. Some of the previous conditions in SD 19.40 may be null and void due to the passage of time and the confusion of the overlapping jurisdictions in effect at the time. However, the Planning Commission has the authority and discretion to determine if any conditions are applicable to the zoning case at hand.

The Applicants have received the required building permits pursuant to the approved MOP. Considering the project is under construction, it is not the intent of this PUD to alter previous approvals, but instead to bring the project into the City and preserve the approved layout without creating a development trend. The project remains unaltered with this PUD, with one exception. The applicant would like to have the ability to sell the individual units, as opposed to renting them all, and has stated such in the narrative. Staff does not object to this form of ownership, but notes that a separate condominium plat will need to be approved by the Fairhope Planning Commission if the Applicants choose to sell units individually.

The Site Analysis table on the Site Plan incorrectly lists the current County zoning as RA as shown below.

SITE ANALYSIS		
<u>SITE ACREAGE (PROPOSED)</u> ±5.31 AC (231,518 SF)	<u>BUILDING HEIGHT</u> ±24 FT	<u>BUILDING (UNDER ROOF)</u> 38,100 SF (10 DUPLEXES)
<u>REQUIRED PARKING</u> 40 SPACES (SEE PARKING DATA)	<u>PROVIDED PARKING</u> 40 SPACES	
<u>JURISDICTION</u> ANNEXING INTO C.O. FAIRHOPE	<u>EXISTING ZONING</u> RA (COUNTY)	<u>PROPOSED ZONING</u> PUD (FAIRHOPE)
<u>IMPERVIOUS AREA</u> 1.25 AC (23.5%)	<u>PERVIOUS AREA</u> 4.06 AC (76.5%)	
BUILDING SETBACKS: FRONT YARD: SIDE YARD: REAR YARD: MAXIMUM BUILDING HEIGHT:		REQUIRED: 30 FT 20 FT 30 FT 35'

LAND USAGE		
DESCRIPTION	AREA	% OF PROPERTY AREA
PROPERTY AREA	5.31 ACRES	--
BUILDING AREA (UNDER ROOF)	0.88 ACRES	16.6%
IMPERVIOUS PAVING	0.37 ACRES	7.0%
GRAVEL PAVING	0.34 ACRES	6.4%
GRASSED/LANDSCAPED AREA	3.72 ACRES	70.0%

The Duplexes

Applicant plans to construct all ten (10) buildings, consisting of twenty (20) units in one (1) phase. All ten (10) buildings are the same building plan. *See below*. The PUD will not have any accessory structures to the main duplexes due to size/site limitations.

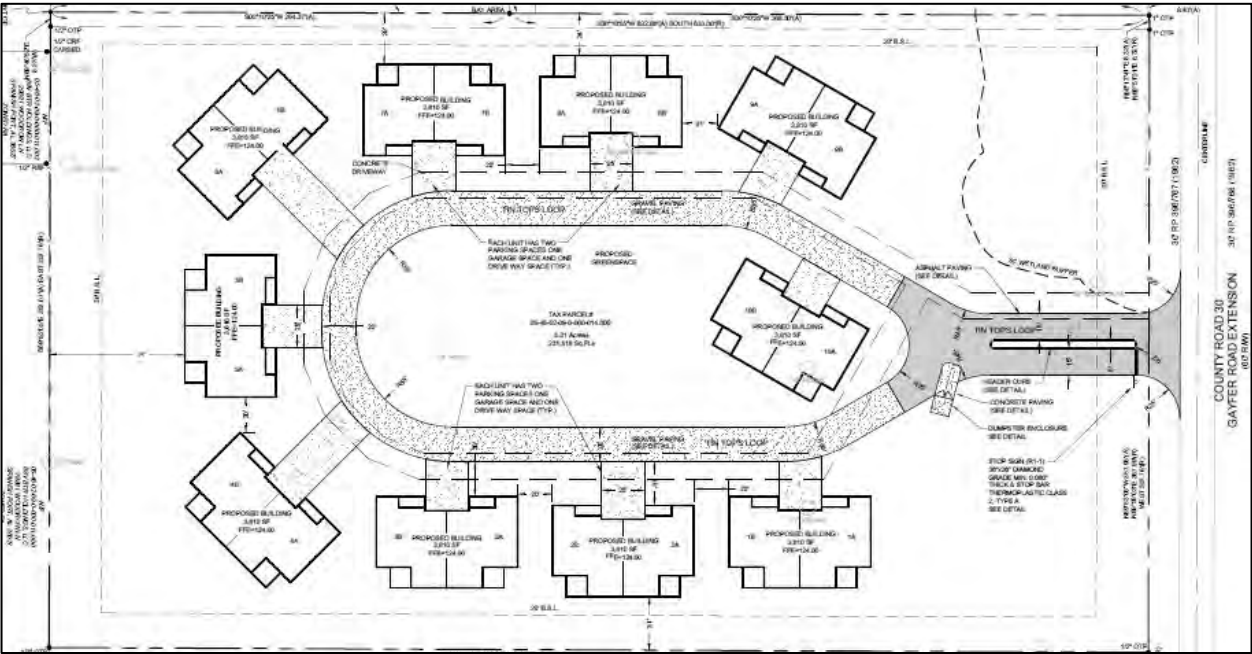
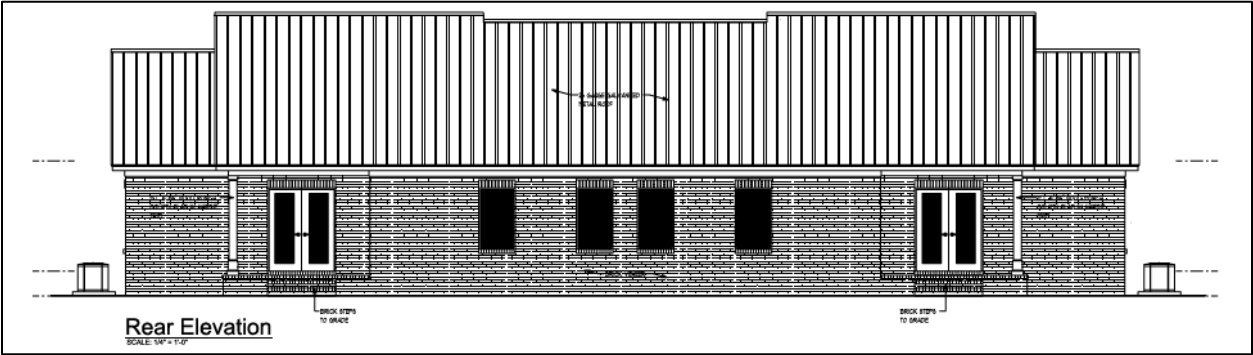
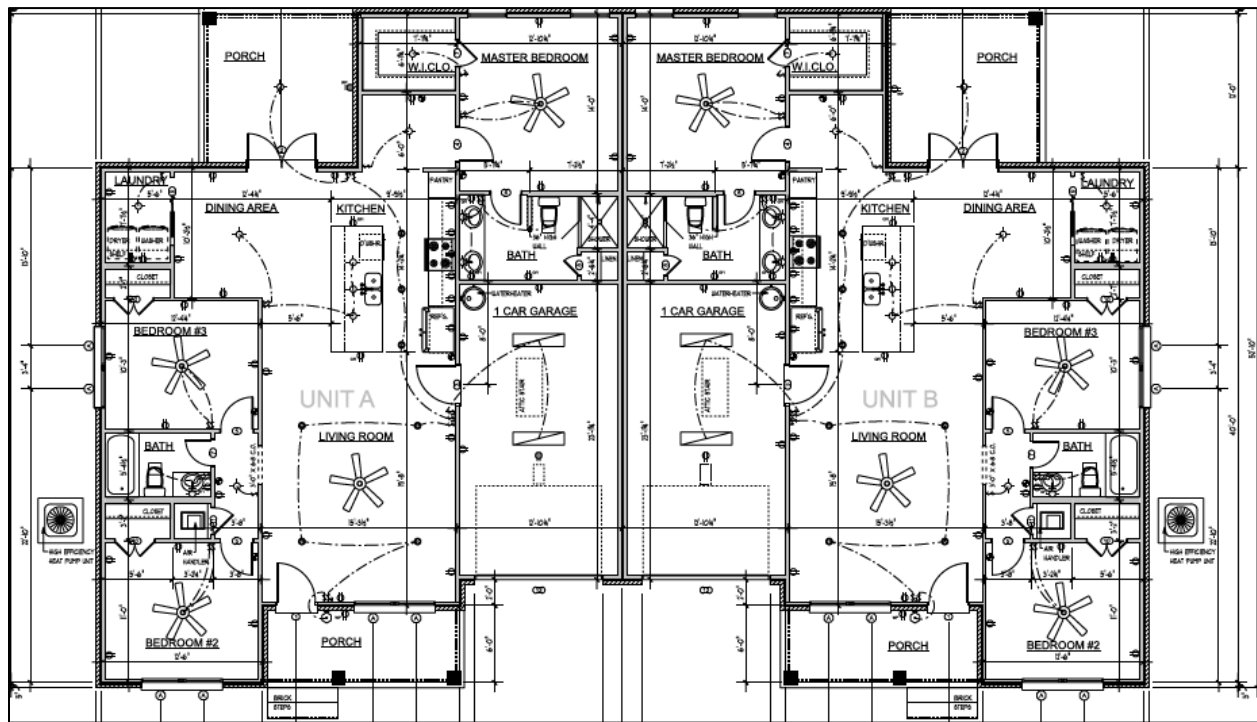
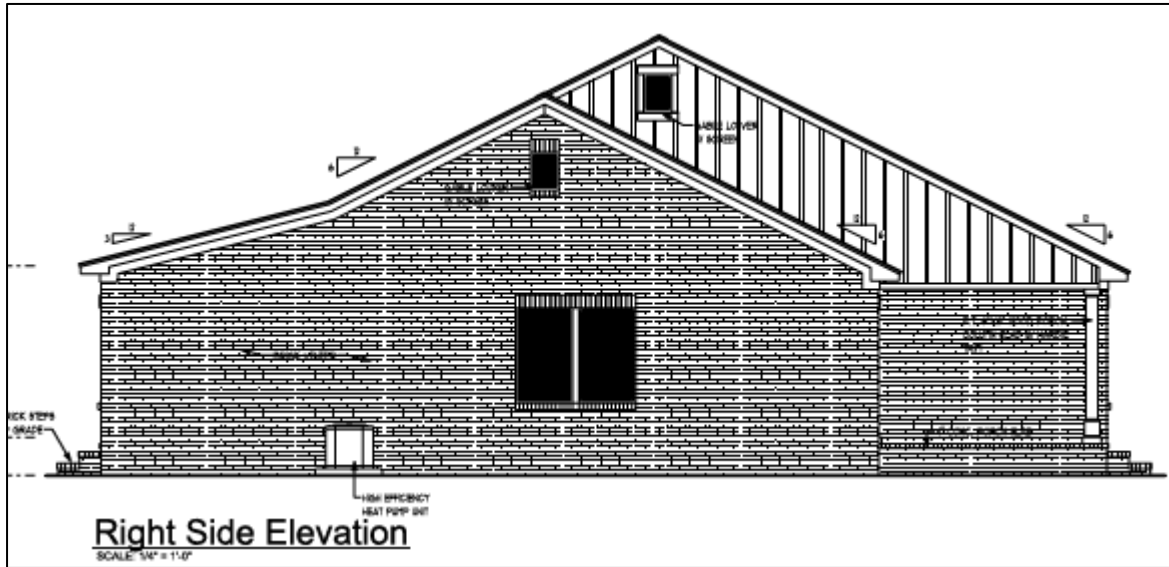
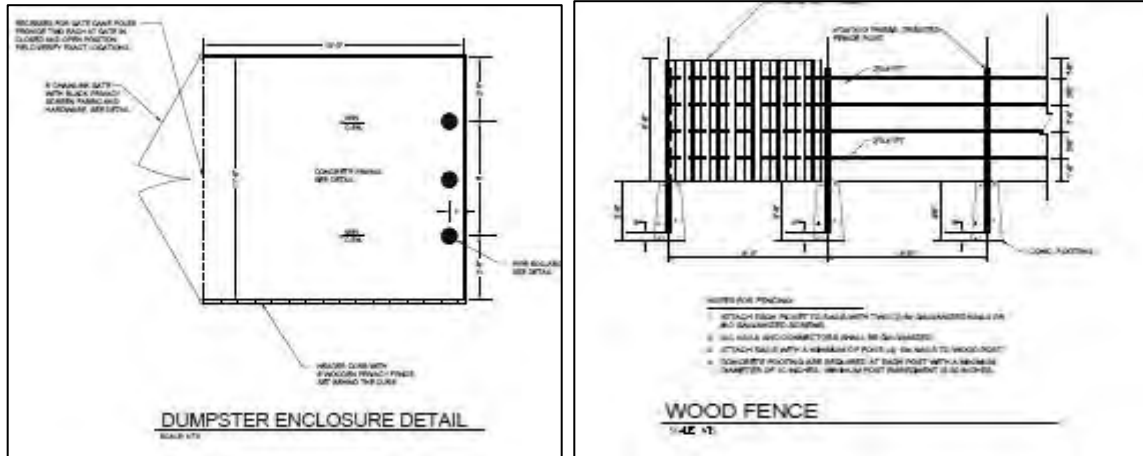


Figure 1: Tin Tops @ Gayfer Site Plan





Tin Tops @ Gayfer does not provide road connectivity outside of this development. A traffic study was not warranted per SD 19.40. There is one (1) loop road without sidewalks that shall remain private. There are no amenities. The dumpster is screened, and the garbage will be handled privately.



Greenspace/Landscape Plans

The greenspace was approved with the MOP, but is memorialized within this PUD. Greenspace shall remain as approved into perpetuity, unless the proposed PUD is amended.

GREENSPACE CALCULATIONS (CITY OF FAIRHOPE):	
ACREAGE IN TOTAL TRACT:	5.31 ACRES
WETLANDS:	0.37 ACRES
PONDS:	0.57 ACRES
GRAVEL ROADS:	0.34 ACRES
NET ACREAGE:	3.66 ACRES
DENSITY (NET) = 20 UNITS/3.66 ACRES:	5.46 UNITS/ACRE
GREENSPACE REQUIRED (20% OF 5.31 ACRES):	1.06 ACRES
GREENSPACE PROVIDED:	1.07 ACRES

The landscape plan that was provided in SD 19.40 was approved with the condition that a tree protection plan also be submitted prior to applying for a land disturbance permit in the City. To date, a tree protection plan has not been submitted; however, the County land disturbance permit may trump that of the City's and nullify this condition.

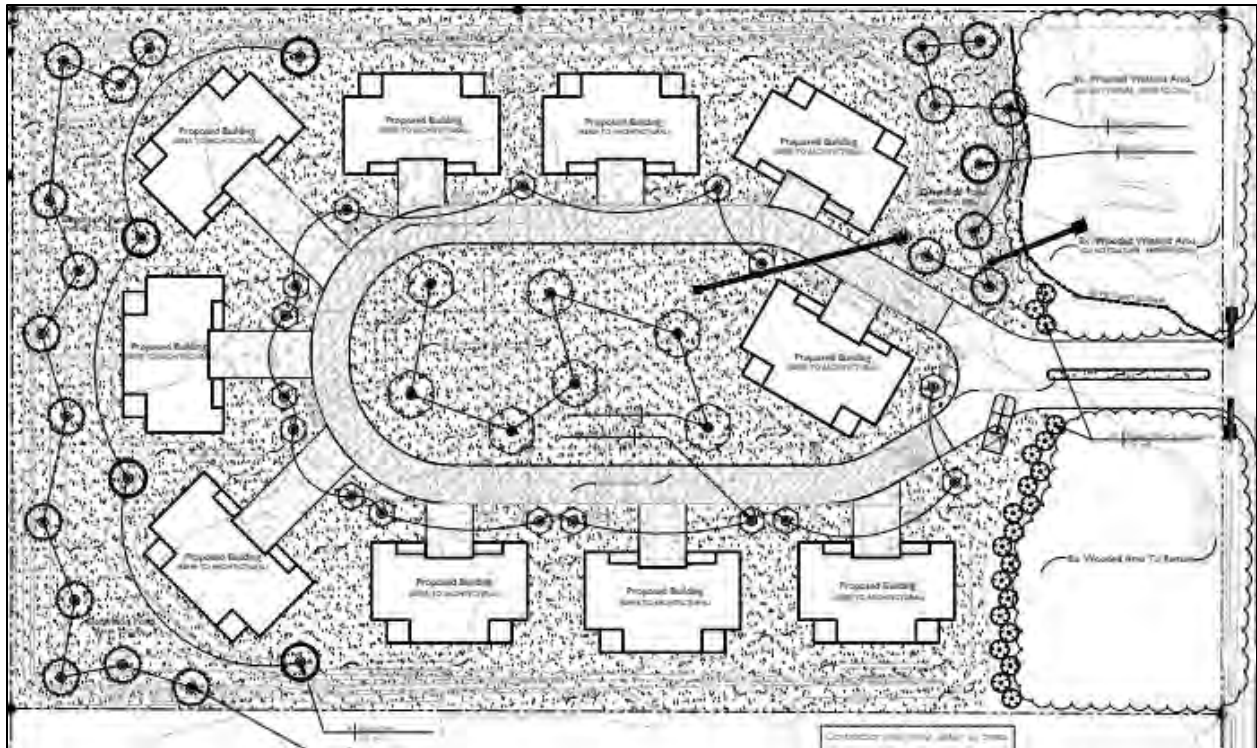


Figure 2: Tin Tops @ Gayfer SD.19.40 previously submitted Landscape Plan.

Wetland

There is a jurisdictional wetland on the property in the southeast corner as was determined by Wetland Sciences Incorporated in a letter dated September 24, 2019. A 30' wetland buffer has been provided and a current ADEM Permit is in effect.

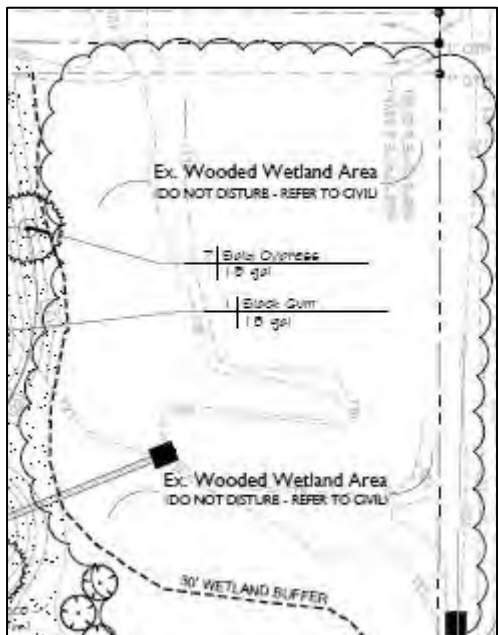


Figure 3: Excerpt from Site Plan.

ADEM NPDES General Permit #:		
ALR100000		
ADEM Authorization #:		
ALR10C3W0		
Facility Name:		
Tin Tops at Gayfer		
PERMITTEE:	*CONTACT:	*PHONE #
Cruel Construction, LLC	Ryan Cruel	(251) 679-8888
*ADDRESS:		
8037 Gayfer Road Extension		
*City:	*State:	*Zip:
Fairhope	AL	36532

Figure 4: ADEM Permit. Photo taken on November 15, 2023.

Detention Pond

There are two (2) detention ponds on the property and a draft O&M Plan has been submitted with this case.

Utilities

Water, Sewer, and Gas will be supplied by Fairhope Utilities. Riviera will provide power.

This PUD requires a Master Development Plan. The draft version of the entire document is large, but a copy is available for review at the City of Fairhope Planning Department.

Recommendation:

Staff recommends Case: ZC 23.07 *Tin Tops @ Gayfer* from County zoned RSF-E to PUD be **Approved with the following condition(s):**

1. If approved by the City Council, two (2) printed and bound copies of the Master Development Plan for the *Tin Tops @ Gayfer* PUD shall be provided to the City.

SITE ANALYSIS		
SITE ACREAGE (PROPOSED)	BUILDING HEIGHT	BUILDING (UNDER ROOF)
±5.31 AC (231,518 SF)	±24 FT	38,100 SF (10 DUPLEXES)
REQUIRED PARKING		PROVIDED PARKING
40 SPACES (SEE PARKING DATA)		40 SPACES
JURISDICTION	ZONING	
BALDWIN COUNTY (C.O. FAIRHOPE ETJ)	UN-ZONED	
IMPERVIOUS AREA	PERVIOUS AREA	
1.25 AC (23.5%)	4.06 AC (76.5%)	
BUILDING SETBACKS:	REQUIRED:	
FRONT YARD:	30 FT	
SIDE YARD:	20 FT	
REAR YARD:	30 FT	
MAXIMUM BUILDING HEIGHT:	35'	

SITE DATA:

1. ACREAGE IN TOTAL TRACT: 5.31 ACRES
2. SMALLEST LOT SIZE: 1,005 SF
3. TOTAL SQUARE FEET OF EACH LOT OR UNIT: 38,100 SF
4. TOTAL NUMBER OF LOTS OR UNITS: 20
5. LINEAR FEET IN STREETS: 953 LF (PRIVATE)
6. NUMBER OF PARKING SPACES: 40 SPACES
7. AMOUNT OF IMPERVIOUS SURFACE: 1.25 ACRES
8. DENSITY (GROSS): 3.77 UNITS/AC
9. DENSITY (NET, FOR CALCULATING GREENSPACE): 5.46 UNITS/AC
10. TOTAL SF OF ALL AREAS RESERVED FOR TOTAL OPEN SPACE: N/A
11. TOTAL SF OF ALL AREAS RESERVED FOR USEABLE OPEN SPACE: N/A
12. GREENSPACE: 1.07 ACRES

NOTE:
THE INTERNAL RIGHTS-OF-WAY, ROADS, EASEMENTS AND DRAINAGE FACILITIES ARE PRIVATE AND WILL BE MAINTAINED BY THE DEVELOPER/OWNER. THE INTERNAL RIGHT-OF-WAYS, ROADS, EASEMENTS AND DRAINAGE FACILITIES WILL NOT BE MAINTAINED BY BALDWIN COUNTY. IF INDIVIDUAL LOTS, SITES, UNITS, ETC., ARE TO BE SOLD, THE DEVELOPER/OWNER SHALL BE REQUIRED TO MEET THE CURRENT BALDWIN COUNTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME, AND THE PROPERTY SHALL BE BROUGHT INTO COMPLIANCE WITH THOSE REGULATIONS PRIOR TO SUCH SALE OR ATTEMPTED SALE.

OWNER:
RYAN CREEL AND VINCENT A BOOTHE
PO BOX 175
MONTROSE, AL 36559

FLOOD ZONE:
FIRM NO. 0100300642M EFFECTIVE DATE APRIL 19, 2019, SHOWS THE PROPERTY TO BE SITUATED IN ZONE X UNSHADED.

UTILITY PROVIDERS:
WATER - FAIRHOPE UTILITIES
SEWER - FAIRHOPE UTILITIES
ELECTRIC - FAIRHOPE UTILITIES

GREENSPACE CALCULATIONS (CITY OF FAIRHOPE):
ACREAGE IN TOTAL TRACT: 5.31 ACRES
WETLANDS: 0.37 ACRES
POND(S): 0.57 ACRES
GRAVEL ROADS: 0.34 ACRES
NET ACREAGE: 3.88 ACRES
DENSITY (NET) = 20 UNITS/3.88 ACRES: 5.16 UNITS/ACRE
GREENSPACE REQUIRED (20% OF 5.31 ACRES): 1.06 ACRES
GREENSPACE PROVIDED: 1.07 ACRES



VICINITY MAP

N.T.S.
SECTION 9, TOWNSHIP 8, SOUTH, RANGE 2, EAST
BALDWIN COUNTY, ALABAMA

LAND USAGE

DESCRIPTION	AREA	% OF PROPERTY AREA
PROPERTY AREA	5.31 ACRES	-
BUILDING AREA (UNDER ROOF)	0.88 ACRES	16.6%
IMPERVIOUS PAVING	0.37 ACRES	7.0%
GRAVEL PAVING	0.34 ACRES	6.4%
GRASSED/LANDSCAPED AREA	3.72 ACRES	70.0%

SITE PLAN NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF FAIRHOPE REGULATIONS AND CODES AS WELL AS O.S.H.A. AND ALDOT & BALDWIN COUNTY STANDARDS.
2. ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED.
3. ALL DIMENSIONS AND RADII ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN THE BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR SITE WORK. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
6. THE SURVEY OF EXISTING CONDITIONS IS SHOWN WITHIN THESE PLANS. ALL EXISTING CONDITIONS SHALL BE VERIFIED TO BE TRUE AND ACCURATE PRIOR TO BEGINNING WORK.
7. REFER TO THE LANDSCAPING PLANS FOR PLANTING LOCATIONS AND DETAILS.
8. PAINTED STRIPING SHALL BE BRIGHT AND CLEAR. STRIPES SHALL BE PER PLAN AND PAINTED ON CLEAN ASPHALT OR CONCRETE.
9. CURBING SHALL BE FORMED AND POURED CONCRETE UNLESS OTHERWISE DETAILED WITHIN THE DRAWINGS. CONCRETE FOR CURBING SHALL BE 3000 PSL.
10. THIS SITE IS ZONED UN-ZONED.
11. TOTAL SITE ACREAGE = ±5.31 ACRES.
12. NOTIFY CITY OF FAIRHOPE INSPECTIONS 24 HOURS BEFORE THE BEGINNING OF EVERY PHASE OF CONSTRUCTION.
13. ALL STRIPING IN R.O.W. TO BE CLASS A TYPE 2 THERMOPLASTIC.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED GOVERNMENTAL INSPECTIONS.
15. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
16. CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED R.O.W. AND MUST BE STORED WITHIN THE SITE.
17. DURING CONSTRUCTION, ACCESS ROADWAYS CONSTRUCTED OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 80,000 POUNDS GROSS WEIGHT SHALL BE PROVIDED. THE WIDTH OF THE ACCESS ROADWAY, DURING CONSTRUCTION, SHALL BE 20 FT PER STANDARD FIRE PREVENTION CODE, LATEST EDITION.
18. ALL TRAFFIC CONTROL SIGNS AND MARKINGS USED ON THE SITE WILL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FHWA, LATEST EDITION. REFER TO THE SIGN CODES CONTAINED IN THE MUTCD FOR ALL TRAFFIC CONTROL SIGNS. NOTE THE COLOR AND SIZE OF ALL PAVEMENT MARKINGS, REFERENCING DETAILS IN ALDOT'S ROADWAY AND TRAFFIC DESIGN STANDARDS WHERE APPLICABLE.
19. NO "PROTECTED TREES" WILL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN, OR EXCESSIVELY PRUNED DURING CONSTRUCTION ACTIVITIES.
20. FIRE LANES AND SIGNAGE TO MEET REQUIREMENTS OF NFPA 1 CHAPTER 18.
21. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL OF THE EXISTING CONDITIONS AT THE SITE, INCLUDING UTILITIES, SURFACES, ETC. AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THEY CAUSE TO NEW AND EXISTING CONSTRUCTION, PROPERTY AND ANY UNAUTHORIZED DISRUPTION TO UTILITIES ON SITE AND TO ADJACENT PROPERTIES.
22. PRIOR TO CONSTRUCTION, EXISTING UTILITIES AT PROPOSED CONNECTIONS AND CROSSINGS SHALL BE FIELD EXCAVATED TO VERIFY LOCATIONS, ELEVATION AND SIZE. NOTIFY THE ENGINEER IMMEDIATELY WITH ANY DEVIATIONS OR CONFLICTS.
23. CONTRACTOR SHALL REFER TO THE ARCH. PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
24. THE DIMENSIONS SHOWN ARE TO THE FACE OF BUILDING UNLESS OTHERWISE NOTED.

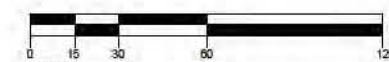
SITE PLAN LEGEND

EXISTING	PROPOSED
	TRAFFIC CONTROL ARROW
	EDGE OF PAVEMENT
	HEADER CURB
	RIBBON CURB
	GRAVEL PAVING
	CONCRETE PAVING
	ASPHALT PAVING

X" SYSL - X" WIDE SINGLE YELLOW SOLID LINE
X" DYSL - X" WIDE DOUBLE YELLOW SOLID LINE
X" SWSL - X" WIDE SINGLE WHITE SOLID LINE

PARKING DATA

PARKING REQUIREMENT	SPACES
TOTAL REQUIRED (2 SPACES/UNIT) =	40
TOTAL PROVIDED =	40
PARKING - EACH UNIT HAS A SINGLE CAR GARAGE. THERE IS ALSO AN UNCOVERED PARKING SPACE (DRIVEWAY)	



S.E. Civil
Engineering & Surveying
9909 Windmill Road
Fairhope, AL 36533
251-976-0466

SITE PLAN

THE TIN TOPS @ GAYFER
8437 GAYFER ROAD EXT
Fairhope, AL 36532



JOB No.
20190451

DATE
9/9/22

DRAWN
TJS

SCALE
1"=30'

SHEET
C01



Project Name:

Tin Tops at Gayfer

Site Data:

Lot 1 – 5.31 acres +/-

Project Type:

Multiple Occupancy Project (20 units)

Jurisdiction:

City of Fairhope Planning Jurisdiction

Zoning District:

Baldwin County – RSF - E

District 17

PPIN: 77258

General Location:

North side of Gayfer Road Extension

approximately 250' west of Bishop Road

Engineer of Record:

Mr. Larry Smith, PE

S.E. Civil Engineering, LLC

Owner:

Ryan Creel and Vince Boothe

Developer:

Ryan Creel and Vince Boothe

School District:

Fairhope Elementary School

Fairhope Middle and High Schools

TINTOPS AT GAYFER

THE TINTOPS AT GAYFER PROJECT IS CURRENTLY UNDER CONSTRUCTION. THIS MOP WAS APPROVED BY THE FAIRHOPE PLANNING COMMISSION AND THE BALDWIN COUNTY P&Z. WE ARE REQUESTING BOTH ANNEXATION INTO THE CITY OF FAIRHOPE AND PUD APPROVAL. WE ARE CURRENTLY APPROVED TO RENT THE 20 UNITS. WE'VE HAD SEVERAL POTENTIAL BUYERS REQUEST TO PURCHASE UNITS AS SECOND HOMES FOR THEMSELVES OR FOR LOVED ONES. SO, WE ARE WANTING TO CONVERT THE UNITS INTO CONDOMINIUMS. THIS CONVERSION WILL ADD VALUE TO THE PROPERTY, REDUCE THE NUMBER OF RENTAL PROPERTIES AND REPLACE SHORT-TERM LEASES WITH LONG-TIME RESIDENTS.

2023.07
RECEIVED
OCT 17 2023

BY: CB

Creel Construction

Duplex Residence
Fairhope, Alabama

Revisions:

Drawn: CHD

Approved: MPB

Drawing:

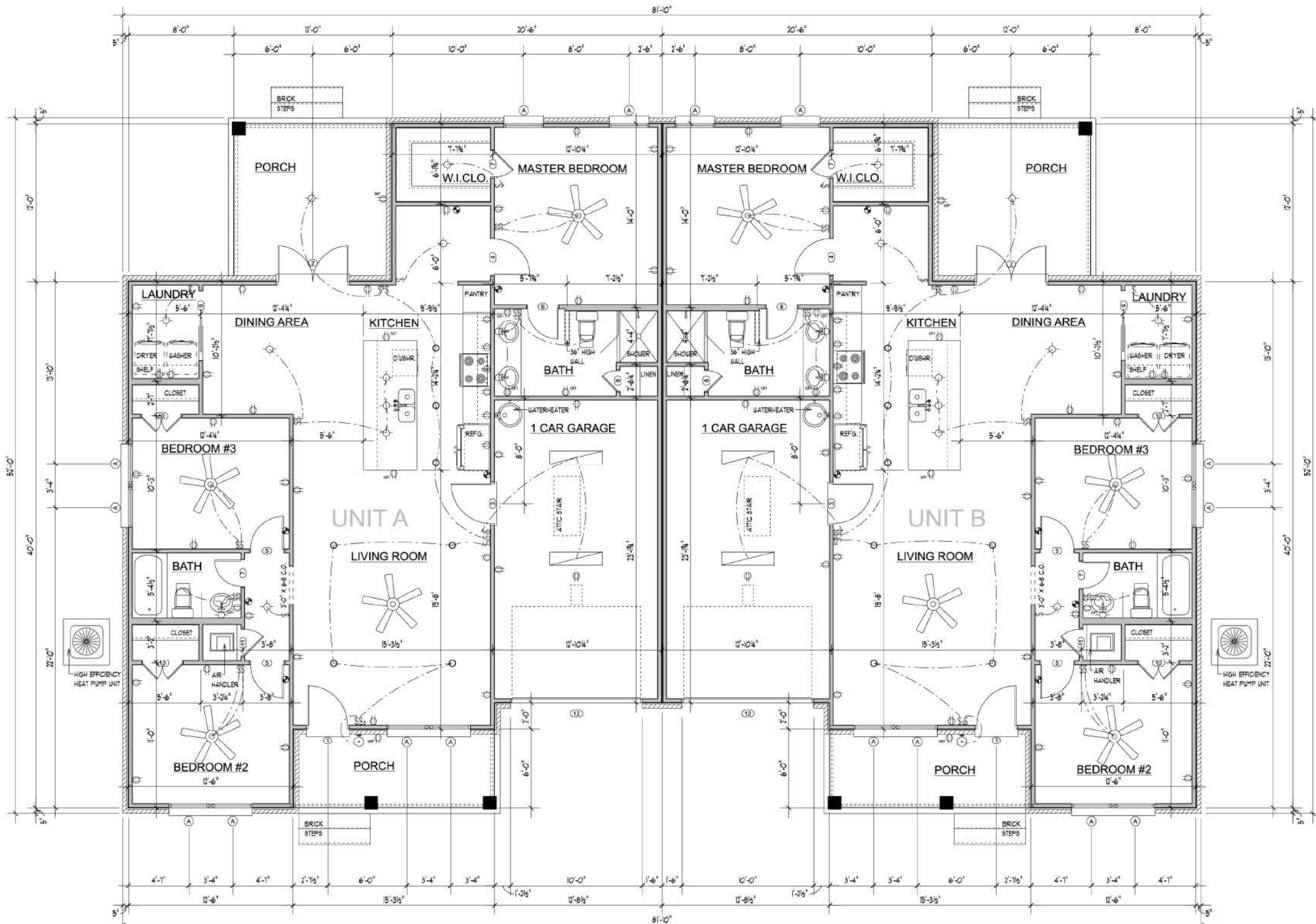
Floor Plan

File No:

D:\Projects\24-2018

Sheet Number:

A 1.00



Floor Plan
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

OPENING ID	WIDTH	HEIGHT	DESCRIPTION
1	3'-0"	6'-8"	Fiberglass Door w/ Temp Glass
2	5'-4"	6'-8"	French Door w/ Temp Glass
3	3'-0"	6'-8"	Steel Insulated Four Panel
4	2'-8"	6'-8"	Interior Four Panel
5	2'-6"	6'-8"	Interior Four Panel
6	2'-4"	6'-8"	Interior Four Panel
7	2'-0"	6'-8"	Interior Four Panel
8	1'-6"	6'-8"	Interior Two Panel
9	2'-8"	6'-8"	Interior Four Panel Pocket Door
10	3'-0"	6'-8"	Interior Four Panel Dbl. Door
11	2'-0"	5'-0"	Interior Four Panel
12	10'-0"	7'-0"	Carriage Style Garage Door

WINDOW SCHEDULE

OPENING ID	WIDTH	HEIGHT	DESCRIPTION	HEADER HEIGHT
A	3'-0"	5'-0"	Dbl. Hung Vinyl Window	6'-8"

CONTRACTOR SHALL VERIFY DOOR & WINDOW SIZE, TYPE AND MANUFACTURER WITH OWNER PRIOR TO CONSTRUCTION.
EXTERIOR DOORS SHALL BE DESIGNED TO CARRY 45 PSF & 45 PSF WIND LOAD. WINDOW SHALL BE DESIGNED TO CARRY 45 PSF AND 45 PSF WIND LOAD. WINDOW SIZES AS SHOWN ARE NOMINAL ONLY, SEE MANUFACTURER'S SPEC FOR ACTUAL SIZE.
BEDROOM WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. A MINIMUM NET CLEAR OPENABLE WIDTH OF 20" AND A MINIMUM NET OPENABLE HEIGHT OF 24" AND A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FIN. FLOOR. PROVIDE TEMPERED GLASS AT REQUIRED LOCATIONS.

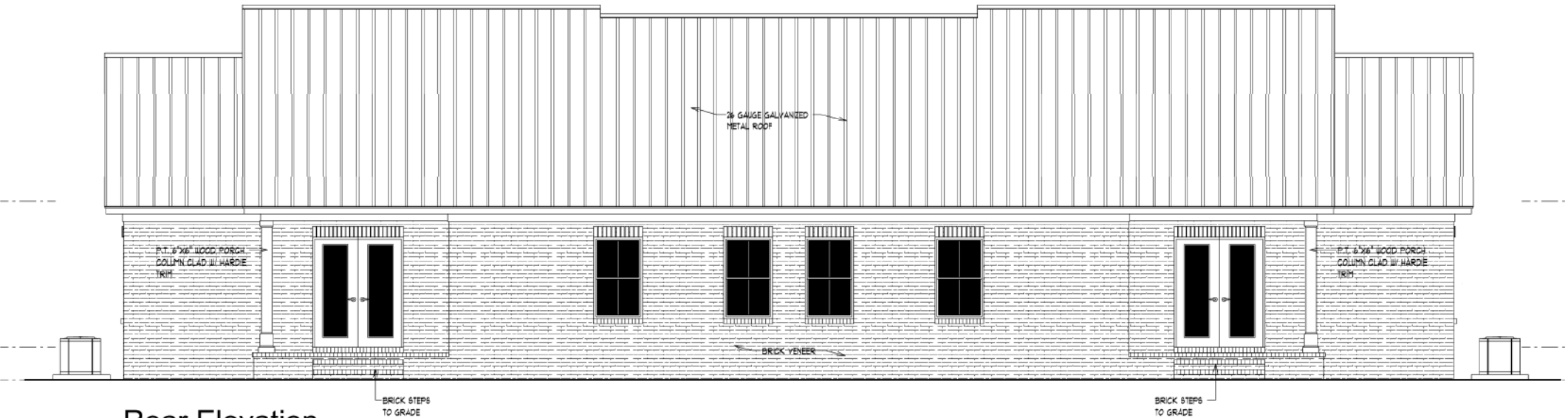
GENERAL NOTES

ALL WORKMANSHIP SHALL COMPLY TO THE 2018 INTERNATIONAL RESIDENTIAL BUILDING CODE UNLESS NOTED OTHERWISE. ALL INSPECTIONS, PERMITS AND APPROVALS ARE THE RESPONSIBILITY OF THE OWNER / GENERAL CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK AND CONSTRUCTION MEETS OR EXCEEDS ALL CURRENT FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS.
MANUFACTURED FLOOR / ROOF TRUSSES WHEN USED SHALL BE DESIGNED FOR PROPER LOAD BEARING AND CERTIFIED BY A REGISTERED ENGINEER FROM THE TRUSS MANUFACTURER.
RESIDENCE SHALL COMPLY WITH THE FOLLOWING INSULATION REQUIREMENTS AS PER CODE 2018 IRC.
CEILINGS: R-38
WALLS: R-13 (2X4 STUDS) R-19 (2X6 STUDS)
FLOORS: R-13
CONTRACTOR SHALL VERIFY WITH OWNER THE SIZE, TYPE AND LOCATION OF ALL PLUMBING FIXTURES PRIOR TO CONSTRUCTION.
HVAC CONTRACTOR SHALL VERIFY COMPLETE HVAC LAYOUT AND DETAILS WITH OWNER / CONTRACTOR AT ROUGH IN STAGE.
GREAT CARE AND EFFORT HAVE GONE INTO THE DESIGN AND PREPARATION OF THESE DRAWINGS, HOWEVER, BECAUSE WE ARE NOT ABLE TO PROVIDE ANY PERSONAL OR ON SITE CONSULTATION AND SUPERVISION OVER THE ACTUAL CONSTRUCTION, THE DESIGNER ASSUMES NO RESPONSIBILITY OVER ANY PHASE OF THE CONSTRUCTION OR FOR ANY DAMAGES DUE TO ANY DEFICIENCIES, OMISSIONS OR ERRORS IN THE DESIGN.
THERE ARE NO WARRANTIES FOR A SPECIFIC USE EXPRESSED OR IMPLIED IN THE USE OF THESE PLANS.

SQUARE FOOTAGE

Unit A Heated/Cooled Area	1,380 sq. ft.
Garage	292 sq. ft.
Porches	233 sq. ft.
Unit B Heated/Cooled Area	1,380 sq. ft.
Garage	292 sq. ft.
Porches	233 sq. ft.

SQUARE FOOTAGE CALCULATIONS ARE MEASURED TO THE OUTSIDE EDGE OF STUD WALL FRAMING UNLESS OTHERWISE NOTED.



Rear Elevation
SCALE: 1/4" = 1'-0"

EXTERIOR NOTES

EXTERIOR FLASHING SHALL BE PROPERLY INSTALLED AT ALL LOCATIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.

GENERAL CONTRACTOR TO PROVIDE ADEQUATE ATTIC VENTILATION AND ROOF VENTING PER LOCAL CODE REQUIREMENTS.

INSTALL CONTINUOUS RIDGE VENT AS REQUIRED FOR PROPER ROOF VENTILATION.

PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS.

ALL PLUMBING AND MECHANICAL VENTS TO BE LOCATED CLOSE TOGETHER WITHIN THE ATTIC SPACE WHEN POSSIBLE TO MINIMIZE THE NUMBER OF ROOF PENETRATIONS.

ALL PLUMBING AND MECHANICAL VENTS WHICH APPEAR ABOVE THE ROOF TO BE LOCATED AWAY FROM ANY PROMINATE VIEW.

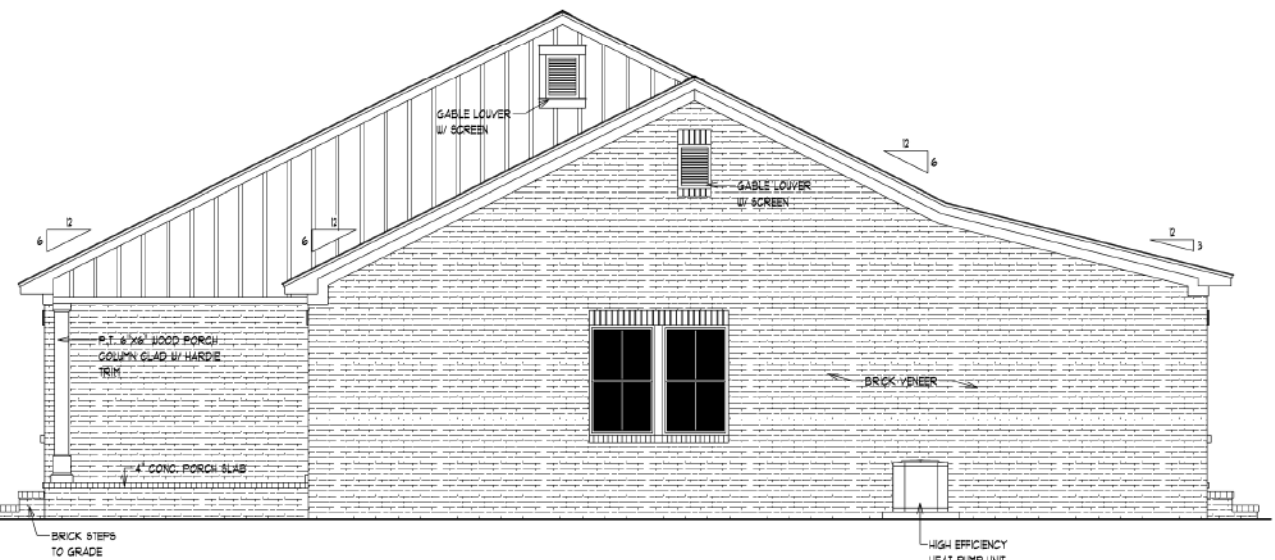
ALL METAL AND PVC VENTS TO BE PAINTED TO CLOSELY MATCH THE ROOF COLOR.

LOCATE ALL UTILITY METERS AWAY FROM ANY PROMINATE VIEW.

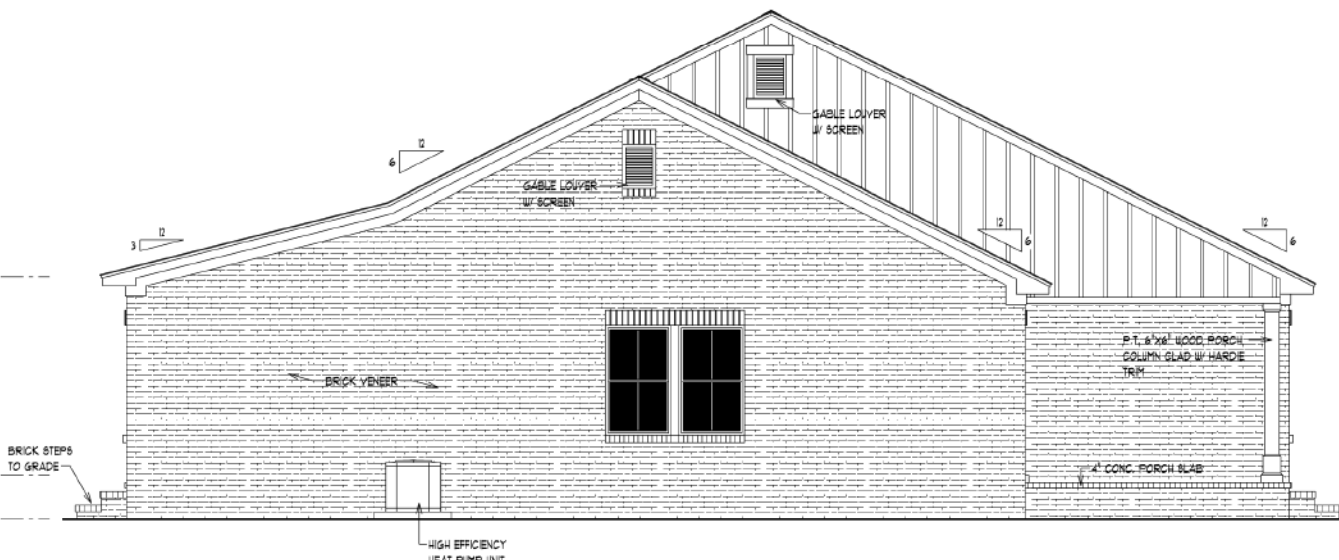
GUTTERS AND DOWNSPOUTS WHEN USED SHALL BE LOCATED TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE HOUSE. VERIFY LOCATION WITH OWNER PRIOR TO INSTALLATION.

GUTTERS AND DOWNSPOUTS ARE NOT SHOWN ON THE ELEVATIONS. PROVIDE RAIN DIVERTER AT EXT. DOORS WHERE GUTTERS ARE NOT PROVIDED.

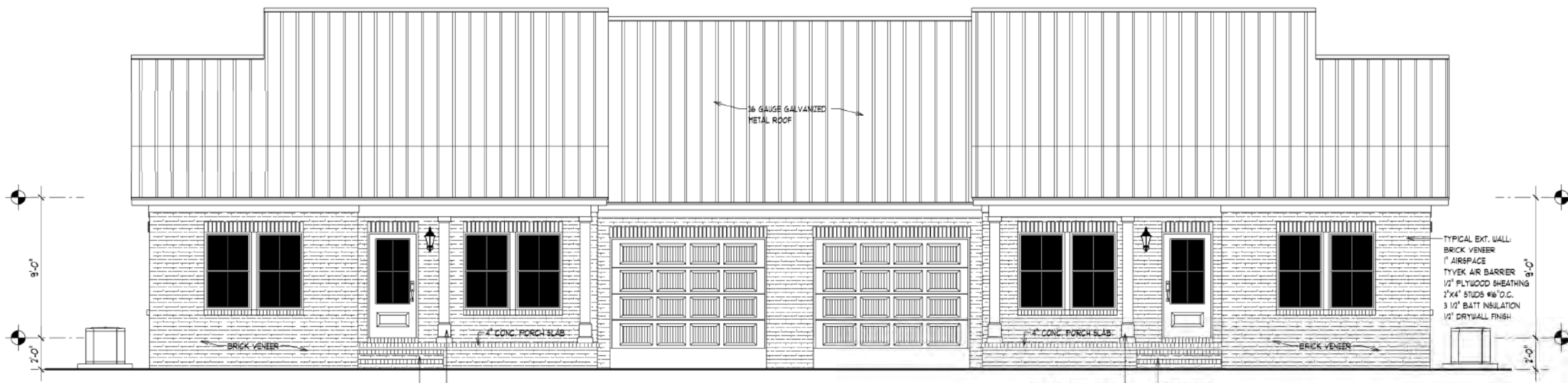
GENERAL CONTRACTOR TO COORDINATE FINISH TOPOGRAPHIC GRADING AND PAVING OF WALKS, DRIVEWAYS, PATIOS, ETC. AS REQUIRED FOR POSITIVE DRAINAGE AWAY FROM THE HOUSE.



Left Side Elevation
SCALE: 1/4" = 1'-0"



Right Side Elevation
SCALE: 1/4" = 1'-0"



Front Elevation
SCALE: 1/4" = 1'-0"



2200 HWY 98
Suite 4, #164
Daphne, AL 36526
coastalhomedesign.com
(251) 990-6033 Office

© COPYRIGHT 2019
COASTAL HOME DESIGN HEREBY RESERVES ITS COMMON LAW AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS, AND DESIGNS. THESE PLANS, IDEAS, AND DESIGNS ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE DESIGNER. REPRODUCTION OF THESE PLANS IS PROHIBITED BY FEDERAL COPYRIGHT LAWS.

Date:
Thursday, November 21, 2019

Creel Construction
Duplex Residence
Fairhope, Alabama

Revisions:

Drawn: CHD

Approved: MPB

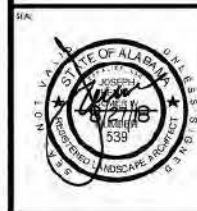
Drawings:
Exterior Elevations

File No:
D:\Projects\24-2018
Sheet Number:

A 2.00

THE TIN TIPS AT GAYFER

GAYFER ROAD EXT.
FAIRHOPE, AL



ISSUED/REVISED
8/27/19 Permitting

LANDSCAPE
PLAN

DESIGNED BY
JC
CHECKED BY
JC
PROJECT NO.
1752
DATE
10/23/17

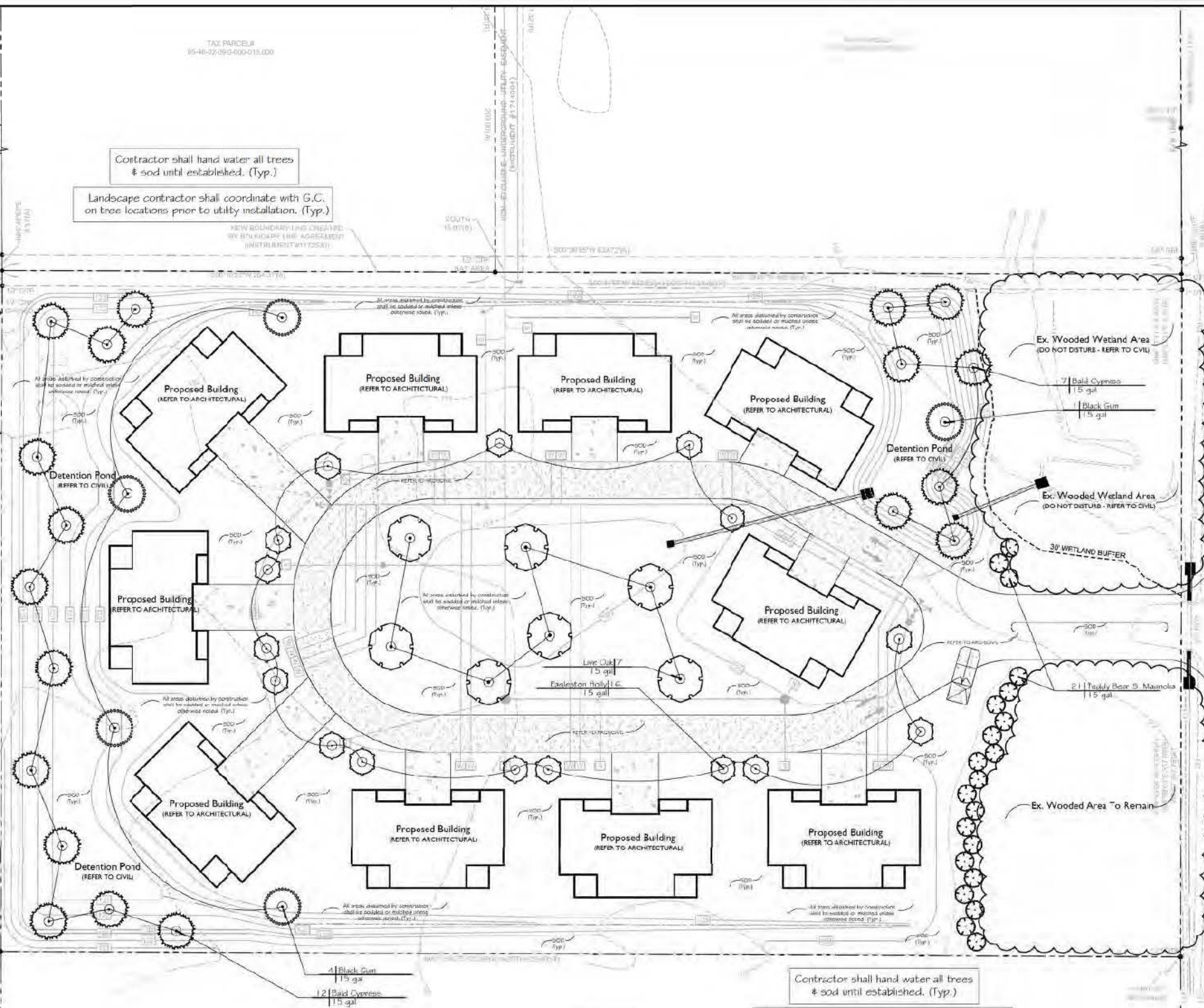
L-1-I

DRAFT - FOR REVIEW ONLY
NOT FOR CONSTRUCTION

NOTE:
NO WORK SHALL BE PERFORMED WITH IN THE
RIGHT OF WAY WITHOUT WRITTEN PERMISSION
FROM THE GOVERNING AUTHORITY. (Typ.)

NOTE:
NO WORK SHALL BE PERFORMED WITH IN THE
RIGHT OF WAY WITHOUT WRITTEN PERMISSION
FROM THE GOVERNING AUTHORITY. (Typ.)

SCALE: 1" = 30'



Contractor shall hand water all trees
& sod until established. (Typ.)

Landscape contractor shall coordinate with G.C.
on tree locations prior to utility installation. (Typ.)

NEW BOUNDARY LINE CREATED
BY BOUNDARY LINE AGREEMENT
(INSTRUMENT #1710004)

Contractor shall hand water all trees
& sod until established. (Typ.)

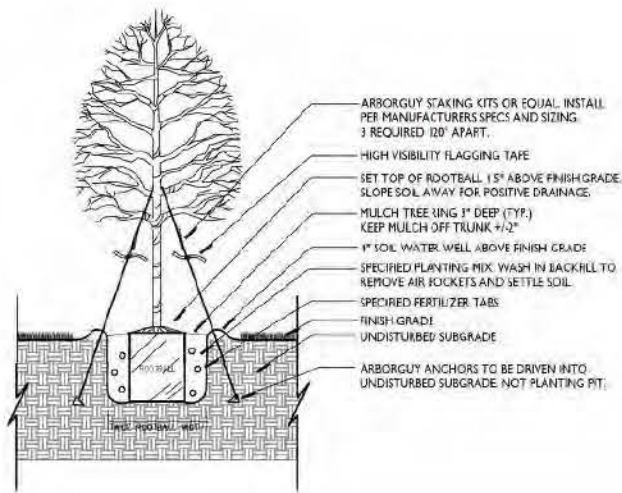
Landscape contractor shall coordinate with G.C.
on tree locations prior to utility installation. (Typ.)

Refer to Civil for All Grading, Drainage,
Erosion Control, & Site Stabilization Other
than shown on landscape plan. (Typ.)



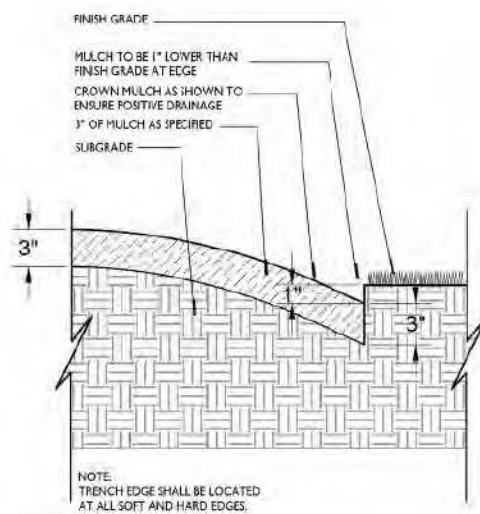
Know what's below.
Call before you dig.

- NOTES:
1. BASE SURVEY PROVIDED BY S.E. CIVIL
 2. LOCATION OF STRUCTURES, HARDSCAPE AND EXISTING VEGETATION SHALL BE FIELD VERIFIED.
 3. VERIFY ALL LAYOUT AND DIMENSIONS IN FIELD.
 4. PLANT COUNTS ARE FOR CONVENIENCE ONLY. FIELD VERIFY ACCORDINGLY.
 5. CONTRACTOR IS RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE.
 6. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.
 7. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN DRAWINGS OR FIELD CONDITIONS.
 8. REFER TO CIVIL FOR ALL UTILITIES, GRADING, DRAINAGE, & HARDSCAPE.



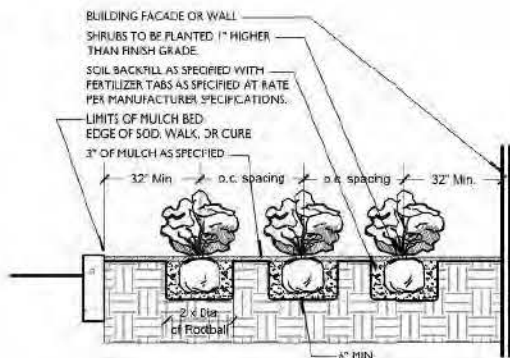
1 TREE PLANTING
N.T.S.

LA-01



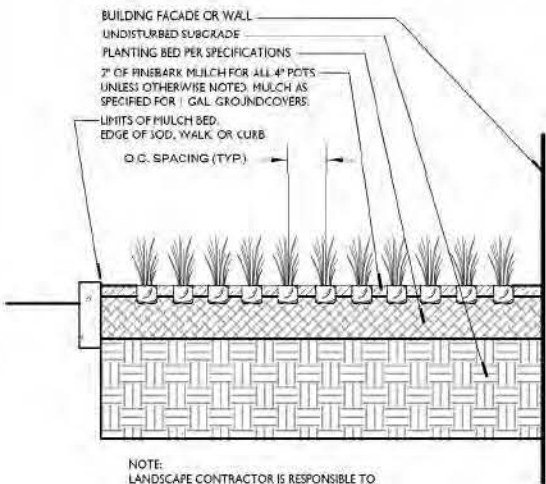
4 TRENCH BED EDGE
N.T.S.

LA-04



2 SHRUB PLANTING DETAIL
N.T.S.

LA-02



3 GROUNDCOVER PLANTING DETAIL
N.T.S.

LA-03

- LANDSCAPE NOTES:
1. This section covers furnishing and installing all landscape plants and non-plant materials covered by the drawings and these specifications. The work shall include materials, labor, equipment and services as described herein and indicated on the drawings. Also, the work shall include the maintenance of all plants and planting areas until acceptance by the Owner, and fulfillment of all guarantee provisions as herein specified.
 2. Before beginning work, the contractor shall thoroughly acquaint himself with the existing site conditions and proposed plans. The intent is to provide a smooth transition between existing conditions that are to remain and the new site features with minimal damage to existing trees and vegetation.
 3. Contractor is made aware of active existing underground utilities. It is the contractors responsibility to familiarize himself with the location of said utilities and other obstructions. The contractor shall investigate and verify, in the field, the existence and location of all utilities and any existing irrigation piping, and take necessary precautions to prevent their disturbance and avoid interruption of service. Contractor is responsible for calling appropriate line location service. All damaged utilities shall be replaced to owners satisfaction by contractor with no additional charge to owner.
 4. Discrepancies between site conditions and conditions on plans shall be call to the attention of the Owner immediately.
 5. Existing grades shall be verified in field prior to beginning any work. Discrepancies shall be brought to the landscape architects attention immediately. Landscape contractor to provide fine grading to ensure positive drainage.
 6. The landscape architect shall have the right to reject any and all work and/or materials at any stage of progress which in his opinion do not meet the requirements of these plans and specifications. Such rejected material shall be removed from the site immediately and replaced with acceptable materials.
 7. Landscape contractor is responsible for obtaining all state and local permits and licenses required to perform this work.
 8. Landscape contractor shall abide by all state and local laws and ordinances. Contractor shall also conform to POA or ARB guidelines if applicable.
 9. All work shall comply with the current edition of the Standard Building Code published by the Southern Building Code Congress International, Inc.
 10. Topsoil shall be sandyloam natural, friable, and fertile with a PH of 5.5 to 6.5. Topsoil shall be free from roots, stones, debris, noxious weeds, or any substance harmful to plant growth. Quality of Topsoil to be approved by Landscape Architect.
 11. Once delivered to the site, the contractor is responsible for the protection, including theft, of all materials.
 12. The landscape plan is to serve as a guide for installation. Field adjustment and changes to layout may be made by Landscape Architect.
 13. Contractor shall layout all plant material per planting plans and schedule a site meeting with landscape architect for approval with a minimum of 48 hours notice.
 14. Quantities shown on plant list are for convenience only.
 15. All groundcover & flower beds shall receive 3" minimum of planting mix consisting of decomposed pinebark or mushroom compost and blended into the top 6" of existing soil. Rake beds smooth and top dress with 2" min. of ground pinebark prior to planting.
 16. All tree and shrub planting pits shall be backfilled with 75% excavated soil & 25% planting mix consisting of decomposed pinebark or mushroom compost.
 17. All trees shrubs and groundcovers shall be planted with Woodace fertilizer tabs at rates per manufactures recommendations. All planting beds shall also be top dressed with a slow release Osmocote fertilizer or equal per manufactures recommendations prior to mulching.
 18. All beds shall receive Freehand pre-emergent herbicide or equal.
 19. Unless otherwise noted, all beds shall receive 3" compacted depth of fresh Long Leaf pine straw free from sticks and pine cones. Groundcover areas with 4" plants or plugs shall be mulched with pulverized pinebark mulch unless otherwise noted.
 20. All bed lines shall have 3" V-Shaped trenches. See detail.
 21. All plant material shall meet or exceed federal, state, and county laws requiring inspection for plant disease and insect control.
 22. All plant material shall be Florida #1 or better and meet the latest standards of the "American Standards for Nursery Stock".
 23. All trees shall be staked with arbor guy (or equal) tree stakes per manufactures recommendations.
 24. All disturbed areas shall be irrigated and sodded.
 25. Contractor shall maintain all plantings and lawn areas until final acceptance by owner and landscape architect. Unless specified otherwise, maintenance includes mowing, edging, weeding, blowing, pruning, watering, mulching, etc.
 26. Brown or defoliated plants shall be removed and replaced immediately.
 27. All materials and workmanship for landscape and irrigation shall be guaranteed for a minimum of one year from final acceptance.
 28. No work shall be performed in any R.O.W. without approval by the appropriate Federal, State, County, or City authority.

6 LANDSCAPE NOTES
NTS

LA-16

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS	
	IE	16	Ilex x attenuata 'Eagleston'	Eagleston Holly	15 gal	1.5" - 2.5" Cal. Min. Tree Form, Single Trunk	
	MT	21	Magnolia grandiflora 'Teddy Bear'	Teddy Bear S. Magnolia	15 gal	1.5" - 2.5" Cal. Min. Greenforest Nursery	
	NW	5	Nyssa sylvatica 'Wildfire'	Black Gum	15 gal	1.5" - 2.5" Cal. Min. Greenforest Nursery	
	QV	7	Quercus virginiana	Live Oak	15 gal	1.5" - 2.5" Cal. Min.	
	TD	19	Taxodium distichum	Bald Cypress	15 gal	1.5" - 2.5" Cal. Min.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
	EO	124,591 sf	Eremochloa ophiuroides	Centipede Sod	sod		

- NOTES:
1. MULCH ALL TREE RINGS WITH LONG LEAF PINESTRAW.
 2. THIS PLANT LIST IS FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY.
 3. SOD ALL AREAS DISTURBED BY CONSTRUCTION.

- APPROVED NURSERIES:
1. GREEN FOREST NURSERY
 2. FLOWERWOOD NURSERY
 3. GREENS NURSERY
 4. CHERRY LAKE NURSERY
 5. POSEY & SON NURSERY
- Other nurseries may be approved at the discretion of the landscape architect.



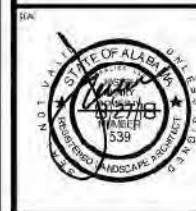
Know what's below.
Call before you dig.

- NOTES
1. BASE SURVEY PROVIDED BY S.E. CIVIL.
 2. LOCATION OF STRUCTURES, HARDSCAPE, AND EXISTING VEGETATION SHALL BE FIELD VERIFIED.
 3. VERIFY ALL LAYOUT AND DIMENSIONS IN FIELD.
 4. PLANT COUNTS ARE FOR CONVENIENCE ONLY. FIELD VERIFY ACCORDINGLY.
 5. CONTRACTOR IS RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE.
 6. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.
 7. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN DRAWINGS OR FIELD CONDITIONS.
 8. REFER TO CIVIL FOR ALL UTILITIES, GRADING, DRAINAGE, & HARDSCAPE.

THE TIN TIPS AT GAYFER

GAYFER ROAD EXT.
FAIRHOPE, AL

DRAFT - FOR REVIEW ONLY
NOT FOR CONSTRUCTION



ISSUED/REVISED
8/27/19 Permitting

LANDSCAPE DETAILS	
DESIGNED BY JC	FILE NAME 081322.A
DRAWN BY JC	SHEET L-1.2
CHECKED BY JC	
PROJECT NO. 1752	
DATE 10/23/17	



CITY OF FAIRHOPE
P.O. DRAWER 429
FAIRHOPE, AL 36533
251/928-2136

PETITION FOR ANNEXATION

STATE OF ALABAMA
COUNTY OF BALDWIN

)(
)(

We, the undersigned PETITIONER(S), owner(s) of the lands in fee simple described in the attached EXHIBIT A, such property being without the Corporate Limits of the City of Fairhope, Alabama, but being contiguous to the said Corporate Limits; and such property not lying within the corporate limits or police jurisdiction of any other municipality, do, by these presents, hereby petition the City of Fairhope, a municipal corporation, that said property be annexed into the City of Fairhope, Alabama.

The subject land is delineated on the map attached hereto as EXHIBIT B that will be prepared by the City of Fairhope to verify property is contiguous.

This petition is filed under authority of Section 11-42-21, Code of Alabama, 1975, as amended.

☐ This petition is for R-1 Zoning

☒ The condition of the Petition is that zoning be established as PUD
Concurrent with Annexation. (Zoning Request)

Is this property colony property ____ Yes X No. If this property is colony property, the Fairhope Single Tax Office must sign as a petitioner.

[Signature]
Signature of Petitioner
[Signature]
Signature of Petitioner

Ryan Creel
Print petitioner's name
Vincent A. Boothe
Print petitioner's name

Signature of Petitioner

Print petitioner's name

Physical Address of property being annexed: 10382 Gayfer Ave Ext.

Petitioner's Current Physical Address:

125 Song Grove Blvd
Fairhope AL 36532

Petitioner's Current Mailing Address:

PO Box 175
Montrose AL 36559

Telephone Number(s): (251) 379-0081

Home

" "

Work

Tax Parcel ID Number: 05-46-02-09-0-000-014.000 Size of Property: 5 acres



September 24, 2019

Ryan Creel
Creel Construction
PO Box 175
Montrose, AL 36559

**Re: Wetland Assessment Report
Gayfer Road, Fairhope, Alabama
WSI Project #2006-358**

Dear Mr. Wilkerson,

As requested, Wetland Sciences, Inc. has completed a wetland assessment within the parcel of property located on Gayfer Road Baldwin County, Fairhope, Alabama. This property is identified with the parcel ID #05-46-02-09-0-000-014.000. During this assessment, Wetland Sciences, Inc. located a wetland complex in the southeastern corner of the subject property (See attached sketch). This wetland complex will fall within the regulatory jurisdiction of the US Army Corps of Engineers (Corps).

Please be advised that various development activities within the jurisdictional wetlands and wetland buffer, such as filling, mechanical land-clearing, and construction of some piling supported structures require permitting from the Corps.

The wetland boundaries shown on the attached sketch were delineated in accordance with the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Atlantic and Gulf Coastal Plain Region (Federal – Corps). The wetland boundary was identified in the field by progressively locating points along the upland/wetland boundary at 15-20-ft. intervals or corresponding with directional changes with the boundary. Each point was identified and located by an experienced wetland scientist. Pink flags were placed at each point clearly marked "Wetland Delineation". Each flagged point also contains specific alpha numeric designator for later tracking of its location. Wetland Sciences, Inc. used a Trimble GeoXT GPS system to locate each point. Data was collected using Trimble's TerraSync Professional Software with further data refinement using Trimble's Pathfinder Professional Software. Please keep in mind that there are many variables that affect the accuracy of the GPS data used to generate the attached sketch. This sketch should be considered approximate unless verified by a survey or other appropriate means.

Any development activities requiring the excavation or placement of fill within the wetlands or wetland buffer located on the property will require permits from the agencies referenced above. As you may or may not know the agencies which regulate wetlands evaluate permits on the basis of avoidance and minimization, practical alternatives, and mitigation. This is a complex process and better explained in person.

This concludes our report. Be advised, the information presented within this report represents the professional opinion of the scientist that performed the work and is intended to furnish the client with a rough approximation of the status of wetland resources on the site under consideration. It is the responsibility of the regulatory agencies to verify our approximation before this determination can be considered legally binding.

Finally, I have included a statement of our firm for services rendered and expenses incurred associated with this effort. If you find this statement in order, please place it in line for payment.

If you have any questions, please do not hesitate to me at (850) 453-4700.

Respectfully,

WETLAND SCIENCES, INC.

A handwritten signature in black ink, appearing to read "Craig Martin".

Craig Martin
Environmental Scientist

Enclosures: As indicated



DAVID WILSON
Chairman
RAYMOND LOVELL
Vice Chairman
ANTHONY LOWERY
Secretary/Treasurer

KATHRYN BYRD
Interim Director



PAUL MUELLER
ALAINNA ELLIOTT
AL TOLBERT
ROY GLENN

MARK D. RYAN
General Counsel

911 TELECOMMUNICATOR CIRCLE, ROBERTSDALE, ALABAMA
36567

Subdivision: The Tin Tops @ Gayfer

Subdivision location: N off Gayfer Road Ext

Requested by: Ryan Creel

Email: creelconstruction@gmail.com

Phone: 251-379-0081

Reservation valid through: 11/13/2024

We have approved the following road names for the development listed above. The road names are reserved for one year (365 days) from the date of this letter. If the road name changes in any way from what is listed on this confirmation letter, please contact our office for approval. If you find that you need these road names reserved beyond one year, you must contact us requesting such or the road names will be automatically released and labeled "available for use".

PreMod	PreDir	PreType	PreSep	Street Name	PosTyp	PosDir	PosMod
				Tin Tops	Loop		

Please feel free to contact our office with any questions or concerns.

Signed: Cindy Taylor

Date: 11/13/2023



BALDWIN COUNTY HIGHWAY DEPARTMENT

P.O. Box 220
SILVERHILL, ALABAMA 36576
TELEPHONE: (251) 937-0371
FAX (251) 937-0201

*JOEY NUNNALLY, P.E.
COUNTY ENGINEER*

September 8, 2022

S.E. Civil, LLC
9969 Windmill Road
Fairhope, AL 36532

Subject: TO-22054 – Commercial Turn-Out Permit onto Gayfer Road Ext

Attached hereto is a permit issued to S.E. Civil, LLC to construct a turnout onto **Gayfer Road Ext** for The Tin Tops at Gayfer at parcel number 05-46-02-09-0-000-014.000. The following requirements should be noted:

1. You are responsible for any damage done to the county roadway and/or ditch as a result of this construction and use.
2. You are responsible to re-vegetate all disturbed areas on the County right-of-way.
3. You are required to construct the drainage pipes and/or driveways so that storm water will not stand on the County right-of-way.
4. Any driveways installed are subject to removal if done in a manner that is unsafe or unacceptable to the County Engineer.
5. Chapter 6 of the MUTCD must be followed for traffic control.
6. For paved County Roads, only asphalt is to be used for the first 5'-0" from the edge of existing pavement. At that point, the material can transition to concrete or other material equal to or greater than asphalt.
7. A line locate shall be called in before any work is done in the County right-of-way.
8. You are responsible for making sure there is 1 (one) foot of cover on all pipes.

You are required to contact the county inspector John Lundy at 251-202-1693 prior to beginning work in the right-of-way. Please feel free to give us a call if you have any questions.

Sincerely,

John Lundy/ Subdivision Inspector

Cc: Area 200 Maintenance Supervisor
File



TO-22054 The Tin Tops @ Gayfer Site Map



Legend

County Maintained Roads

Surface Type

▢ Paved

— 911 Road Centerlines

LAND PARCELS

CROSSDRAIN

Stream

Water

Proposed Turnout

GARDEN CIR

MEADOWBROOK DR

BROOK LN

BISHOP RD

Bishop Rd

Gayfer Rd Ext

GAYFER RD EXT



TO-22054 The Tin Tops @ Gayfer Vicinity Map



Legend

County Maintained Roads
Surface Type

▢ Paved

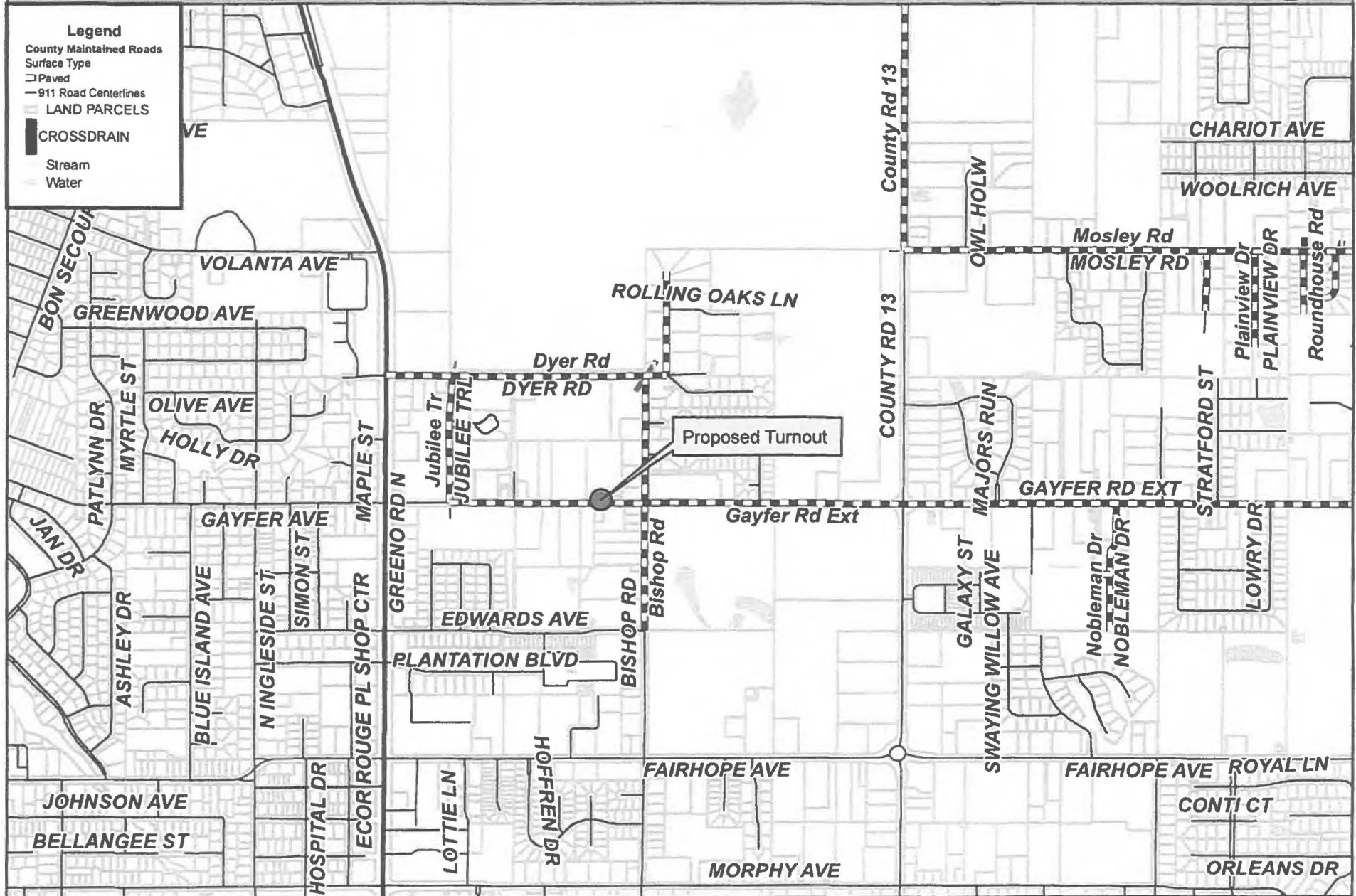
— 911 Road Centerlines

LAND PARCELS

CROSSDRAIN

Stream

Water



Office Use Only

Case No. 10-22054

Received By: MC

Date: 8/29/22

Application Fee: NA

Receipt No: NA

Road ID No: 200802

WO- 220014640

BALDWIN COUNTY HIGHWAY DEPARTMENT

PERMIT DIVISION

P.O. Box 220

Silverhill, Alabama 36576

Telephone: (251) 937-0371

Fax No.: (251) 937-0227

**INDUSTRIAL/COMMERCIAL/RESIDENTIAL MULTIUNIT
RIGHT-OF-WAY ACCESS AND DRAINAGE IMPACT PERMIT**

Applicant

Are you the property owner? ___ yes X no

(If you are not the property owner you must submit Owner Authorization Form signed by the property owner)

Name: SE Civil, LLC

Date: 8/29/22

Mailing Address: 9969 Windmill Road

City: Fairhope State: AL Zip code 36532

Telephone: (251) 990 6566 Fax: () - e-mail: lsmith@secivileng.com

Site Information

Parcel ID Number(s): 05-46 - 02 - 09 - 0 - 000 - 014 . 000

05- - - - -

05- - - - -

Development Name: The Tin Tops @ Gayfer

Or Name of Business

Address of Site: 8437 Gayfer Road Extension City Fairhope

Site Acreage: 5.31 Number of Units or Type of Commercial Activity: 20 units

Development Type

Check One:

X Subdivision/Multifamily

 Retail/Commercial

 Industrial

Engineer: SE Civil, LLC

Mailing Address: 9969 Windmill Road

City: Fairhope State: AL Zip code 36532

Telephone: (251) 990-6566 Fax: () - e-mail: lsmith@secivileng.com

Name of Contractor: unknown

(A copy of the contractor's current license must be submitted)

Mailing Address: _____

City: _____ State: _____ Zip code _____

Telephone: () - Fax: () - e-mail: _____

(Check all that apply)

Commercial Turnout

☐

Driveway Turnout

☒

Drainage

☒

Acceleration Lane

☐

Deceleration Lane

☐

Median Turn Lane

☐

I hereby certify that the information stated on and submitted with this application is true and correct. I also understand that the submittal of incomplete or incorrect information will result in this application not being processed. I understand that payment of these fees does not entitle me to approval of this application and that no refund of these fees will be made. I have reviewed the attached applicable development standards as set forth in the Baldwin County Highway Department and I further understand that the decision of the Baldwin County Highway Department shall be final and conclusive on any question that may arise relating to this permit and/or to any work done or to be performed pursuant thereto.

Applicants Signature: _____

Date: 8/29/22

FOR OFFICE USE ONLY

DATE APPLICATION REVIEWED: 8/30/22

IS THIS A COUNTY MAINTAINED RD: ☒ YES

☐ NO

☐ N/A

ENGINEERING PLANS SUBMITTED: ☒ YES

☐ NO

☐ N/A

TRAFFIC STUDY SUBMITTED: ☐ YES

☐ NO

☒ N/A

ARE TURN LANES WARRANTED: ☐ YES

☐ NO

☒ N/A

COST ESTIMATE SUBMITTED: ☐ YES

☐ NO

☒ N/A

INSPECTION FEE PAID: ☐ YES

☐ NO

☒ N/A

HAS ENGINEER VISITED SITE: ☒ YES

☐ NO

☐ N/A

DOES THIS SITE DRAIN TO CO. ROW: ☐ YES

☐ NO

☐ N/A

COMMENTS: Extend 24" RCP per approved plans and install 4:1 sloped paved headwalls

SIZE OF DRIVEWAY CROSS-DRAIN: 24"

DATE PERMIT ISSUED: 9/8/2022

PERMITTING AGENT: John Lundy

TITLE: Engineer Tech

SIGNATURE: _____

John Lundy

OPERATIONS & MAINTENANCE PLAN AND AGREEMENT

For:

Tin Tops @ Gayfer MOP

Gayfer Avenue
Fairhope, AL 36532

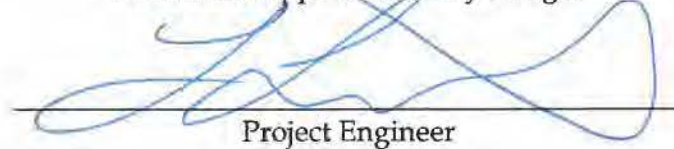
Prepared By:



Project # 20190451

ENGINEER'S CERTIFICATE

I, the undersigned, a Registered Professional Engineer in the State of Alabama holding Certificate Number 26348, hereby certify that I have reviewed the design herein which was done under my direct control and supervision and that, to the best of my professional knowledge and to the best of my belief, conforms to the requirements of the Fairhope Subdivision Regulations and to all other rules, regulations, laws, and ordinances applicable to my design.



Project Engineer

November 15, 2023

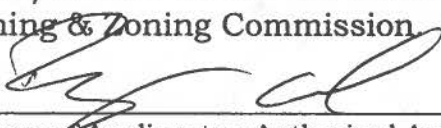
Name of Project to which this Certificate Applies: Tin Tops @ Gayfer MOP
Plans which are certified consist of Page Cover thru C12.

**CERTIFICATION OF PROPERTY OWNER NOTIFICATION LIST**

As Required by the City of Fairhope

Hearings on Zoning Change applications require notification to all property owners within 300 feet of the property under consideration for the change. This list must be the most current property owners' records available from the Baldwin County Revenue Office.

By signing below, I Ryan Creel, (applicant) do hereby certify that the property owner list attached to this application was obtained from the Baldwin County Revenue Office and is a complete list of all real property owners/lessees within 300 feet of the parcel submitted for consideration by the Planning & Zoning Commission.



Signature of Applicant or Authorized Agent

10/8/23

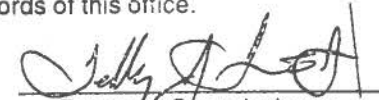
Date of Application

Parcel Number	Pin	Owner Name	Address	City	State	Zip	Property Street Number	Property Street Name
05-46-05-16-0-000-003.001	27783	BYARS, JERRY ETAL BYARS, CAROLYN	20971 BISHOP RD	FAIRHOPE	AL	36532	20971	BISHOP RD
05-46-05-16-0-000-009.001	110552	FAIRHOPE, ALABAMA CONGREGATION OF AND JEHOVAH'S WITNESS	P O BOX 663	FAIRHOPE	AL	36532	8370	GAYFER RD EXT
05-46-02-09-0-000-014.000	77258	CREEL, RYAN ETAL BOOTHE, VINCENT A	P O BOX 175	MONTROSE	AL	36559	8437	GAYFER RD EXT
05-46-02-09-0-000-011.000	24268	68V BTR HOLDINGS L L C	29891 WOODROW LN	SPANISH FORT	AL	36527	8400	DYER RD
05-46-05-16-0-000-004.000	648	TAYLOR, FRANKLIN THOMAS & LINDA KAY	P O BOX 677	FAIRHOPE	AL	36533	0	CO RD 30
05-46-02-09-0-000-015.002	383706	OLDE TOWNE INVESTMENTS L L C	2210 MAIN ST STE H	DAPHNE	AL	36526	0	BISHOP RD
05-46-02-09-0-000-011.002	271784	68V BTR HOLDINGS L L C	29891 WOODROW LN	SPANISH FORT	AL	36527	0	BISHOP RD
05-46-02-09-0-000-013.000	13818	TALLAWAMPA PROPERTIES L L C	P O BOX 384	FAIRHOPE	AL	36533	0	GAYFER RD EXT
05-46-02-09-0-000-015.000	2500	BALDWIN, RICHARD ETUX TAMARA	138 HAWTHORNE CIR	FAIRHOPE	AL	36532	21081	BISHOP RD
05-46-05-16-0-000-003.003	285687	PRUETTE, PAMELA A ETAL OLSEN, DENNIS M; AND OLSEN, JEROME C	4017 WASHINGTON RD	MCMURRAY	PA	15317	20929	BISHOP RD
05-46-05-16-0-000-003.000	32196	MILLENNIUM TRUST COMPANY L L C CUSTODIAN AND FBO MARK R LAZAR ROTH IRA	C/O MARK LAZAR	HAYDEN	ID	83835	20969	BISHOP RD
05-46-02-09-0-000-011.001	24269	NELSON, ALLIE M JR	21145 BISHOP RD	FAIRHOPE	AL	36532	21145	BISHOP RD
05-46-05-16-0-000-008.000	26021	AJ4 PROJECT L L C	P O BOX 1247	FAIRHOPE	AL	36533	8390	GAYFER RD EXT
05-46-05-16-0-000-003.002	72152	TAYLOR, FRANKLIN T & LINDA KAY	P O BOX 677	FAIRHOPE	AL	36533	0	CO RD 30
05-46-02-09-0-000-015.001	109947	SCOTT WHITNEY PROPERTIES L L C	15460 CO RD 3	FAIRHOPE	AL	36532	0	BISHOP RD

STATE OF ALABAMA

BALDWIN COUNTY

I, TEDDY J. FAUST, JR., Revenue Commissioner
in and for said State and County, do hereby
certify that this is a true and correct copy of the
records of this office.


Revenue Commissioner