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City Clerk

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Fairhope Board of Adjustments Agenda

November 17, 2025 – 5:00 PM

1. CALL TO ORDER

Anil Vira, Chairman
Frank Lamia, Vice Chairman
Bryan Flowers

Ryan Baker
Donna Cook
Cindy Beaudreau, Secretary

2. APPROVAL OF MINUTES

- October 20, 2025

3. OLD / NEW BUSINESS

OLD BUSINESS

None

NEW BUSINESS

- A. BOA 25.11** Public hearing to consider the request of the Applicant, Rob Littleton, acting on behalf of the Owner, Patricia Littleton, for a 10' front setback variance and a 30' rear setback variance. The property is approximately 0.28 acres and is located at 863 Creek Drive. **PPIN #: 63531**
- B. BOA 25.15** Public hearing to consider the request of the Owner, Mick Blackledge, for a 4' rear setback variance. The property is approximately 0.33 acres and is located at 20105 Bunker Loop. **PPIN #: 294211**

4. ADJOURN

The Board of Adjustments met Monday, October 20, 2025, at 5:00 PM at the City Municipal Complex, 161 N. Section Street in the Council Chambers.

Present: Anil Vira, Chair; Cathy Slagle, Vice-Chair; Frank Lamia; Donna Cook; Ryan Baker; Bryan Flowers; Hunter Simmons, Planning and Zoning Director; Mike Jeffries, Development Services Manager; Payton Rogers, Planning and Zoning Manager; Michelle Melton, City Planner and Cindy Beaudreau, Planning Clerk.

Absent: None

Chairman Vira called the meeting to order at 5:00 PM.

Chairman Vira amended the agenda to move item B to the end.

Approval of Minutes

Ryan Baker made a motion to approve the minutes from the July 21, 2025, meeting.

Cathy Slagle seconded the motion and the motion carried with the following vote:

Aye: Anil Vira, Cathy Slagle, Frank Lamia, Ryan Baker and Donna Cook

Nay: None.

Election of Officers

Cathy Slagle made a motion for Frank Lamia as Vice-Chair.

Ryan Baker made a motion for Anil Vira as Chair and Cindy Beaudreau as Secretary.

Donna Cook seconded the nominations and the motion carried with the following vote:

Aye: Anil Vira, Cathy Slagle, Frank Lamia, Ryan Baker and Donna Cook

Nay: None.

Approval of 2026 Meeting Schedule

Cathy Slagle made a motion to approve the 2026 Meeting Schedule.

Ryan Baker seconded the motion and the motion carried with the following vote:

Aye: Anil Vira, Cathy Slagle, Frank Lamia, Ryan Baker and Donna Cook

Nay: None.

BOA 25.10 Public hearing to consider the request of the Applicant, Jorge Torres, on behalf of the Owner, Rajendra Patel, for a Special Exception to display cars for outside sales on property located at 9960 Fairhope Avenue. The property is approximately 0.50 acres. **PPIN#: 202636**

Michelle Melton, City Planner, presented the request of the Applicant, Jorge Torres, on behalf of the Owner, Rajendra Patel, for a Special Exception to display cars for outside sales on property located at 9960 Fairhope Avenue. Ms. Melton shared the aerial and zoning maps.

Staff recommends approval of BOA 25.10, with the following conditions:

1. Coordinate with Planning and City Horticultural staff to bring the subject site into compliance with the City of Fairhope Tree and Landscape Ordinance, as may be necessary.
2. Coordinate with Planning staff to provide confirmation from an Engineer that the existing retention/detention pond can handle all onsite stormwater for the proposed improvements.
3. Revision of the Site Plan to label the parking space located furthest North on the site as a "Compact Car Space".
4. Any vehicles associated with the Outdoor Sales Lot use shall be stored and displayed on the subject site only within the proposed area delineated by the sixteen (16) parking spaces illustrated on the final Site Plan approved by staff.
5. Completion of an Administrative Re-plat to combine the triangular remnant parcel with Lot 2 of Tillman's Corner Subdivision into a single legal lot of record.
6. Provision of a revised final Site Plan addressing all aforementioned conditions prior to issuance of any associated development permits and/or the issuance or renewal of any associated business license.

Chairman Vira asked if the lots are combined, can they be divided later. Hunter Simmons stated yes.

Ryan Baker asked if this would be a separate business. Ms. Melton stated that it is the same business. Mr. Simmons added that the lots will be viewed as separate.

Chairman Vira opened the public hearing at 5:16pm. Having no one present to speak, the public hearing was closed at 5:16pm.

Jorge Torres, Applicant, explained that the cars would be brought to the lot to be detailed and then transferred to the current lot and added that he wants to clean up the lot and expand his business.

Donna Cook asked how many parking spaces are for customers. Mr. Torres replied that none of the parking spaces are for customers. Customers will park on the current lot.

Motion:

Cathy Slagle made a motion to approve BOA 25.10 with staff recommendations.

Donna Cook seconded the motion and the motion carried with the following vote.

Aye: Anil Vira, Cathy Slagle, Frank Lamia, Ryan Baker and Donna Cook

Nay: None

BOA 25. 13 Public hearing to consider the request of the Owner, FST and Patrick Seals, for a 1' 11" side yard setback variance and a 5' 11" structure separation variance on property zoned R-2 Medium Density Single-Family Residential District. The property is located at 304 Liberty Street and is approximately 0.84 acres. **PPIN#: 15169**

Hunter Simmons, Planning and Zoning Director, presented the request of the Owner, FST and Patrick Seals, for a 1' 11" side yard setback variance and a 5' 11" structure separation variance on property zoned R-2 Medium Density Single-Family Residential District. Mr. Simmons shared the aerial and zoning maps.

Staff recommends approval of BOA 25.13, for the 5'-11" Structure Separation Variance with the following condition:

1. A re-plat that removes historic lot lines is approved and recorded in the Baldwin County Probate.

Staff recommends denial of BOA 25.13, for the 1'-11" Side Yard Setback Variance.

Patrick Seals, Owner, thanked staff for their consideration and stated that he wants to make the house more aesthetic.

Chairman Vira opened the public hearing at 5:28pm.

Carolyn Boothe, 106 Orange Street, stated that she is against any variances.

Don DeGutz, 110 Blakeney Avenue, supports the applicant's variance, but asked the purpose of a 10' separation. Mr. Simmons replied it is necessary to meet fire codes and to limit impervious surfaces.

The public hearing was closed at 5:35pm.

Motion:

Ryan Baker made a motion to approve BOA 25.13, for the 5'-11" Structure Separation Variance with staff recommendations and deny BOA 25.13, for the 1'-11" Side Yard Setback Variance.

Cathy Slagle seconded the motion and the motion carried with the following vote.

Aye: Anil Vira, Cathy Slagle, Frank Lamia, Ryan Baker and Donna Cook

Nay: None.

BOA 25.14 Public hearing to consider the request of the Owner, Chris Pixley, for a Special Exception – to operate a Clinic, d/b/a You Again Medical, on property zoned B-2 – General Business District. The property is approximately 1.78 acres and is located at 19682 Greeno Road. **PPIN#: 21517**

Mike Jeffries, Development Services Manager, presented the request of the Owner, Chris Pixley, for a Special Exception – to operate a Clinic, d/b/a You Again Medical, on property zoned B-2 – General Business District. Mr. Jeffries shared the aerial and zoning maps.

Staff recommends approval of BOA 25.14.

Chris Pixley, Owner, stated that he is excited to move to Fairhope and will be providing hormone replacement and weight management services.

Chairman Vira opened the public hearing at 5:42pm, having no one to speak, the public hearing was closed at 5:42pm.

Cathy Slagle asked if there would be a physician on staff. Mr. Pixley stated yes, and physicians and nurses would refer out to OB/GYNs, when necessary.

Motion:

Cathy Slagle made a motion to approve BOA 25.14.

Frank Lamia seconded the motion and the motion carried with the following vote.

Aye: Anil Vira, Cathy Slagle, Frank Lamia, Ryan Baker and Donna Cook

Nay: None.

BOA 25.12 Public hearing to consider the request of the Applicant, Walcott Adams Verneuille Architects, on behalf of the Owner, Trinity Presbyterian Church, for a Special Exception to allow for a new chapel to be built on property zoned R-2 Medium Density Single-Family Residential District. The property is located at 545 S Mobile Street and is approximately 0.84 acres. **PPIN#: 69949**

Ryan Baker recused himself due to a conflict and Bryan Flowers replaced him on the dais.

Payton Rogers, Planning and Zoning Manager, presented the request of the Applicant, Walcott Adams Verneuille Architects, on behalf of the Owner, Trinity Presbyterian Church, for a Special Exception to allow for a new chapel to be built on property zoned R-2 Medium Density Single-Family Residential District. Mr. Rogers shared the aerial and zoning maps.

Staff recommends approval of BOA 25.12 with the following conditions:

1. Provision of a parking layout plan to Planning Staff illustrating a compliant number of parking spaces for both the Memory Chapel and the existing Fellowship Hall in accordance with Article IV Section E of the Zoning Ordinance, prior to issuance of any associated development permits.
2. Completion of an Administrative Re-plat to combine the subject site with the adjacent Fellowship Hall lot(s), prior to issuance of any associated development permits.

Frank Lamia asked if the required parking plan will take into account the new parking. Mr. Rogers replied that the parking layout plan is only for the Fellowship Hall and Memory Hall.

Chairman Vira asked what a memory chapel is.

Melissa Nolte, Applicant, stated that a memorial chapel is a meditation chapel and will seat approximately 16 people.

Chairman Vira opened the public hearing at 6:03pm.

Carolyn Boothe, 106 Orange Street, stated that her property backs up to the church property and is concerned with safety related to people spending the night at the church. She added that parking is a problem during funerals.

Judy Oxford, 105 Fig Avenue, attended the neighborhood meeting and is concerned with rezoning the property and using every bit of the property. She is also concerned with future parking.

Emily Johnson stated that the church property was rezoned in the 1960's and gave a history of the church property. She is concerned with additional buildings or the property becoming a parking lot in the future.

Teresa Adcock, 17 Pecan Avenue, stated that parking is a problem. People are parking in the grassy area, the street and in Gambino's parking lot. She believes that the church property will continue to grow and that the chapel should be on the bay. She is also concerned with the noise.

The public hearing was closed at 6:18pm.

Cathy Slagle asked if the doors would be open all the time. Melissa Nolte stated that they will only be open during daylight hours.

Ms. Slagle asked how the public would know that it is open. Ms. Nolte stated that it would be part of the branding and public outreach.

Lee Verneuille, Architect, stated that the concept is not planned to have weddings or big functions. The intent is to have a prayerful meditative state.

Ms. Slagle asked for the dimensions. Ms. Nolte stated that it will be 24' wide by 33' in length.

Pastor Matt, 9469 Zelda Street, stated that the new chapel would be a great blessing to the church, they will be good neighbors, and this will be a sacred place.

Chairman Vira asked if the neighbors were happy at the neighborhood meeting. Pastor Matt stated yes, they were happy but were concerned that the use could be changed in the future.

Motion:

Cathy Slagle made a motion to approve BOA 25.12 with staff recommendations.

Frank Lamia seconded the motion and the motion carried with the following vote.

Aye: Anil Vira, Cathy Slagle, Frank Lamia, Bryan Flowers and Donna Cook

Nay: None.

Old/New Business

None

Adjournment

Cathy Slagle made a motion to adjourn.

The motion carried unanimously with the following vote:

Aye: Anil Vira, Cathy Slagle, Frank Lamia, Bryan Flowers and Donna Cook

Nay: None.

Adjourned at 6:22p.m.

Anil Vira, Chairman

Cindy Beaudreau, Secretary

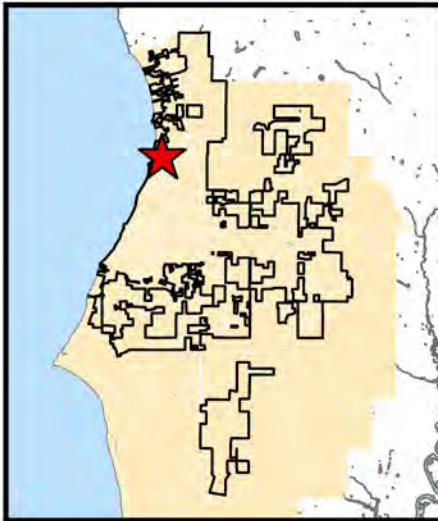
City of Fairhope

Board of Adjustments

November 17, 2025



BOA 25.11 - 863 Creek Drive



Project Name:

863 Creek Drive

Site Data:

0.28 acres

Project Type:

10 foot front setback variance, 30 foot rear setback variance

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

R-1 Low Density Single-Family
Residential District

PPIN Number:

63531

General Location:

West of intersection of Creek Drive and
Section Street

Surveyor of Record:

N/A

Engineer of Record:

N/A

Owner / Developer:

Patricia Littleton

School District:

Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

Approved w/ Conditions

Prepared by:

Name : Michelle Melton



SUMMARY OF REQUEST

Public hearing to consider the request of the Applicant, Rob Littleton, acting on behalf of the Owner, Patricia Littleton, for a 10-foot Front Yard Setback Variance and a 30-foot Rear Yard Setback Variance to allow construction of a single-family dwelling. The property is approximately 0.28± acres and is located at 863 Creek Drive.

SITE HISTORY

At its meeting on January 21, 2014, the Board of Adjustment approved with conditions a 10-foot Front Yard Setback and a 30-foot Rear Yard Setback Variance (BOA 14.01) to allow construction of a dwelling. Associated permits were not issued and the approved Variances were not recorded with Baldwin County Probate, and as such expired after 365 days.

On April 18, 2022, the Board of Adjustment re-approved an identical Variance request (BOA 22.04) without conditions to allow construction of a dwelling. Associated permits were not issued and the approved Variances were not recorded with Baldwin County Probate, and as such expired after 365 days.

Both prior variances granted a 30-foot front yard setback (40-foot typical and a 5-foot rear yard setback (35-foot typical).

Since the 2022 Variance approvals development permits were submitted to the City and subsequently denied. An application for new construction (RES22-000210) was denied on April 14, 2023, due to non-compliance with the 2022 approved variances. A second application for new construction (RES22-000345) was denied due to the submitted survey not reflecting the Variance approvals and not accurately illustrating street trees. As these permits were not approved nor issued prior to the expiration date of the 2022 Variance, said Variances expired. Hence this application.

STAFF COMMENTS

As detailed in both the 2014 and 2022 staff reports the subject site is a non-standard shape which has been exacerbated over the years due to erosion creating a hardship based on the lots dimensions resulting in justifiably extraordinary and exceptional conditions for the site. The setbacks requested by the Applicant allow for a residence to be built on the subject property. Without the variances the buildable footprint is very limited (see exhibits).

It should be noted that similar variance requests have been approved in the immediate area. In 2019 the Board approved Front and Rear Yard Setback Variances at 861 Creek Drive. Additionally, the Board approved a Front Yard Setback Variance in 2020 at 282 Creek Drive.

Jurisdictional wetlands exist on the subject site and are illustrated on the submitted site plan in addition to the required 20-foot wetland buffer. Wetland Resources conducted the delineation in 2022 and again in October 2025 in anticipation of this application and have indicated that the wetlands have not changed in that time. The October delineation has been included within the agenda packet.

The required width of wetland buffers differ among various city rules and regulations. Article V.F(4)(b) of the Subdivision Regulations requires a 30-foot wetland buffer and provides some exceptions (Figure 1).

Feature	Buffer Width (feet)
Fish River	100
Other Watersheds	50
Mobile Bay	50
Wetlands (Jurisdictional and Isolated)	30
Ponds/Lakes/Isolated wetlands	30

c. The buffer applies to all properties except those properties that are an existing lot of record and/or included on an approved preliminary subdivision plat (as of appropriate date).

Figure 1: Article V.F(4)b

It is important to note that while current regulations require new subdivisions to have a 30-foot wetland buffer, lots of record made prior to the adoption of current regulations (2007) default to a minimum 20-foot wetland buffer. As the subject site was originally platted in 1961 (Lot K on Slide 407-B attached as an exhibit) a 20-foot wetland buffer is required.

Additionally, it should be noted that Section 6 of the Wetlands Ordinance (#1370) states that any regulated activity requires a permit in, “(b) any established Buffer, or (c) in the absence of any established Buffer, within any area that is within 20 feet of any Wetland.”

There is an existing gravel drive near the southwest corner of the property which is located inside the required wetland buffer zone. The Applicant stated in their 2022 Variance approval that their desire was to have a circular driveway to help accommodate storage of a recreational vehicle (RV) on site. At that time, this driveway was not illustrated on the site plan associated with the approved variance. However, when permit applications were later submitted the proposed plans illustrated a circular driveway cutting through the required wetland buffer, and as such, the permit was ultimately denied.

Under the current proposal, the house footprint has been enlarged from 1,213± square feet (2022 proposal) to 1,663± square feet resulting in the proposed home being located even closer to the wetland buffer. Additionally, the proposed site plan illustrates a driveway which, while not located inside the wetland buffer, is proposed to be within 1-foot 3-inches of the wetland buffer area. This is a serious concern of Staff’s as the proposed driveway could potentially be extended into the wetland buffer to connect to the existing gravel drive. As such, if approved, a condition requiring the removal of the existing gravel drive and replacing it with vegetation may be appropriate. This would remove any possibility of connecting the two drives and would have the added benefit of improving the wetland buffer area.

Lastly, if the Applicant’s intent is to store an RV on the subject site it should be noted that full compliance with Article III.D(7) of the Zoning Ordinance will be required.

VARIANCE CONSIDERATIONS

Standards of Review:

Variances are not intended to be granted frequently. The applicant must clearly show the Board that the request is due to very unusual characteristics of the property and that it satisfies the variance standards. What constitutes extraordinary and exceptional conditions and unnecessary hardship is a matter to be determined from the facts and circumstances of each application.

Article II Section C.3.e(1) of the City of Fairhope Zoning Ordinance states that the Board of Adjustments may grant a Variance if:

- (a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography;
- (b) The application of the ordinance to this particular piece of property would create an unnecessary hardship. Personal financial hardship is not a justification for a variance;
- (c) Such conditions are peculiar to the particular piece of property involved; and
- (d) Relief, if granted, would not cause substantial detriment to the public good and impair the purpose and intent of this ordinance; provided however, that no variance may be granted for a use of land or building or structure that is prohibited by this ordinance.

CONCLUSION AND RECOMMENDATION

Based on the preceding, approval of the requested Variances seems to be reasonable and consistent with past approvals both for the subject site and surrounding properties. However, Staff is concerned about the possibility of the proposed impervious driveway extending into the required wetland buffer to connect with an existing gravel driveway. If approved, a condition requiring the removal of the existing gravel drive and replacing it with vegetation should be required. This would remove any possibility of connecting the two drives and would have the added benefit of improving the wetland buffer zone.

Recommendation:

Staff recommends **APPROVAL** of BOA 25.11 to allow a 10-foot Front Yard Setback Variance and a 30-foot Rear Yard Setback Variance resulting in a 30-foot front yard setback and a 5-foot rear yard setback, subject to the following conditions:

- 1) Recording of the approved Variances with Baldwin County Judge of Probate;
- 2) Issuance of associated development permits within 365 days of Variance approval;
- 3) Removal of the existing gravel drive and replacing it with vegetation; and
- 4) On site storage of recreational vehicles shall be in full compliance with Article III.D(7) of the City of Fairhope Zoning Ordinance.

November 17, 2025

Dimension District or Use	Min. Lot Area / Allowed Units Per Acre (UPA)	Min. Lot Width	Front Setback	Rear Setback	Side Setback	Street Side Setback	Max. Total Lot Coverage by All Structures	Max. Height
R/A	3 acres/ -	198'	75'	75'	25'	50'	none	30'
R-1	15,000 s.f./ -	100'	40'	35'	10' ^b	20'	40%	30' ^a
R-1a	40,000 s.f./ -	120'	30'	30'	10' ^b	20'	25%	35'
R-1b	30,000 s.f./ -	100'	30'	30'	10' ^b	20'	25%	35'
R-1c	20,000 s.f./ -	80'	30'	30'	10' ^b	20'	25%	35'

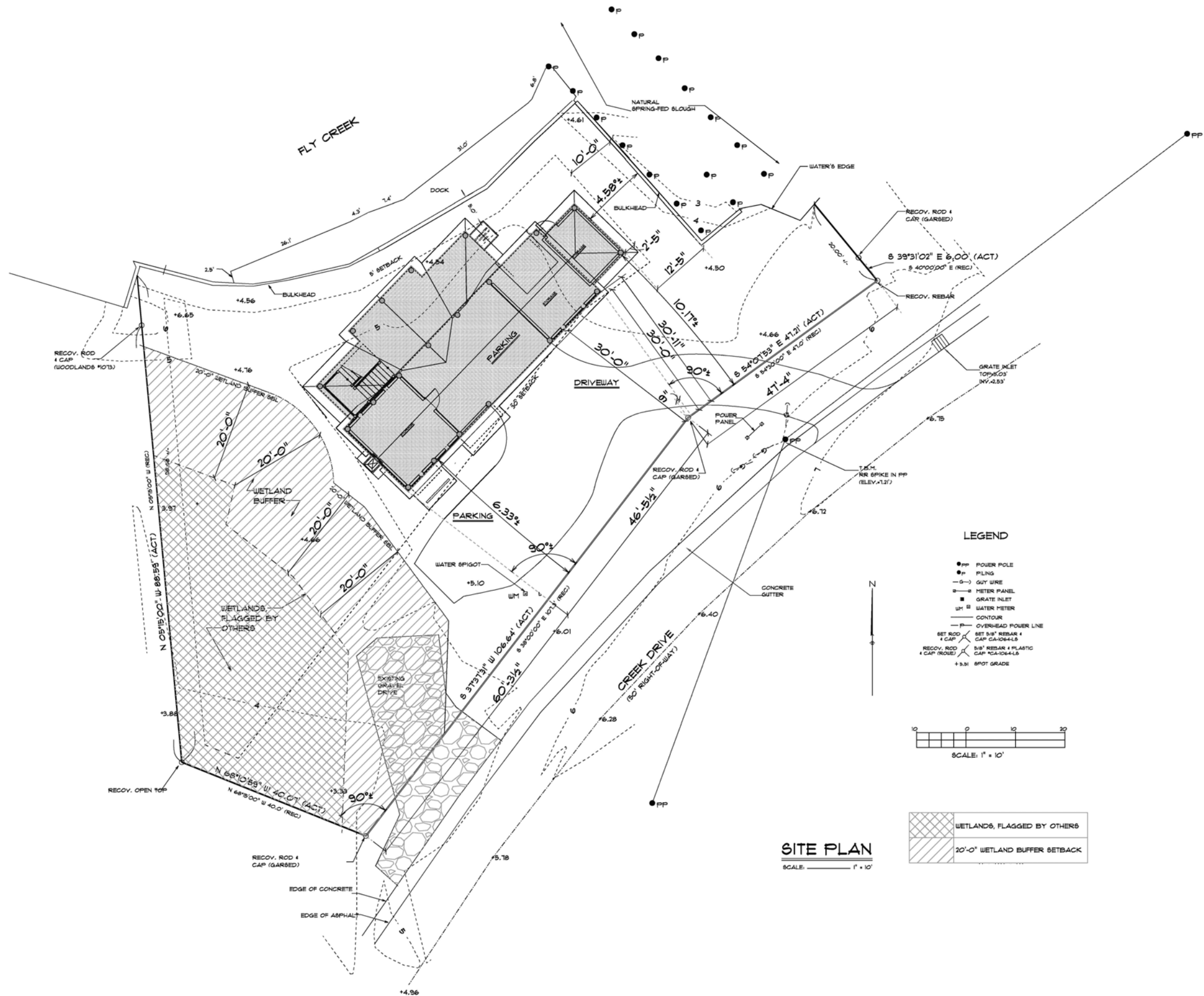
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BOA 25.11 – 863 Creek Drive
November 17, 2025

VOLANTA VIEW, NO. 2

A Subdivision in the Town of Fairhope, Ala.

The map shows a complex network of roads and property lines. A specific area is circled in green, and a yellow line is drawn across the map. The title "VOLANTA VIEW, NO. 2" is at the top, followed by the subtitle "A Subdivision in the Town of Fairhope, Ala.".



SITE PLAN
SCALE: 1" = 10'

LEGEND

- PP POWER POLE
- P PILING
- G-G GUY WIRE
- M-M METER PANEL
- GR GRATE INLET
- WM WATER METER
- CON CONTOUR
- OP OVERHEAD POWER LINE
- SET ROD 1 CAP (WOODLANDS NOTES)
- SET 5/8" REBAR 4 CAP GALVANIZED
- RECOV. ROD 4 CAP (ROULE)
- 5/8" REBAR 4 PLASTIC CAP 1CA-1064-LB
- + 5.51 SPOT GRADE

SCALE: 1" = 10'

WETLANDS, FLAGGED BY OTHERS
20'-0" WETLAND BUFFER SETBACK

- NOTE:**
Great care and effort have gone into the creation of the design of these plans. However, because of the impossibility of providing any personal and/or "on-the-site" consultation and supervision over the actual construction, and because of the great variance in local building code requirements and other local building and weather conditions, designer assumes no responsibility for any damages, including structural failures, due to any deficiencies, omissions or errors in the design, blueprints, or specifications. For soil and/or weather conditions (i.e. hurricanes, earthquakes, snow, etc.) it is recommended that you consult a local engineer of your choice and check with your local building officials prior to start of actual construction. These drawings are not to be copied or reproduced without written permission from CHATHAM HOME PLANNING.
- NOTE:**
Contractor shall verify the accuracy of all dimensions, ceiling heights, beam and joist designations, complying with all code requirements, and the provisions for duct layouts, heating and air conditioning systems and proposed electrical & plumbing layouts prior to commencement of construction.
- NOTE:**
THE PLUMBING CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND SUBMIT DETAILS SHOWING THE ROUTING PLANNED PRIOR TO CONSTRUCTION.
- NOTE:**
CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, CODE REQUIREMENTS, SUBDIVISION COVENANTS, SETBACKS AND ALL OTHER MATTERS REQUIRED BY ALL PREVAILING AUTHORITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- NOTE:**
OWNER AND FOUNDATION CONTRACTOR SHALL VERIFY LOCATION AND ORIENTATION OF THE BUILDING ON THE PROPOSED LOT PRIOR TO CONSTRUCTION.
- NOTE:**
ALL ELEVATIONS ARE APPROXIMATE AND SHALL BE VERIFIED BY OWNER/BUILDER PRIOR TO CONSTRUCTION.
- NOTE:**
FINISH GRADE TO SLOPE AWAY FROM ALL STRUCTURES AND ADJACENT PROPERTIES.
- NOTE:**
CONTRACTOR TO PROVIDE DRAINS, GUTTERS & DOWNSPOUTS AS REQUIRED.
- NOTE:**
ALL FILL MATERIAL TO BE CONCRETE SAND FOR MAXIMUM COMPACTION.
- NOTE:**
ALL DIMENSIONS TO OUTSIDE OF FILE/WALL EXCEPT WHERE NOTED.
- NOTE:**
ALL WINDOWS 18" OR LESS ABOVE FINISHED FLOOR SHALL BE TEMPERED GLASS AS PER "IRC" SECTION R308.4.
- NOTE:**
OPENING DESIGNATION 3062 x 3'-0" x 6'-2" - VERIFY w/ MANUFACTURER FOR SIZE & ROUGH OPENINGS.
- NOTE:**
BUILDER SHALL INSTALL ADEQUATE ATTIC VENTILATION.
- NOTE:**
IF PERIMETER INSULATION IS USED BELOW ROOF DECKING, I.E. OPEN/CLOSED CELL INSULATION, THEN ATTIC VENTILATION IS NOT REQUIRED.
- NOTE:**
ALL FLASHING AROUND WINDOWS & DOORS SHALL BE INSTALLED AS PER CODE TO PREVENT MOISTURE PENETRATION.
- NOTE:**
ALL ROOF FLASHING, SIDING FLASHING, EAVE & OTHER REQUIRED FLASHING SYSTEMS SHALL BE INSTALLED AS PER CODE REQUIREMENT & SHALL PREVENT MOISTURE PENETRATION.
- NOTE:**
BUILDER SHALL VERIFY PROPER VENTILATION REQUIRED FOR GAS FIREPLACE PRIOR TO CONSTRUCTION.
- NOTE:**
BUILDER & OWNER TO DETERMINE LOCATION OF ALL MECHANICAL EQUIPMENT, DISTRIBUTION SYSTEM, AND RETURN AIR SYSTEM.

TRICIA & ROB LITTLETON
863 CREEK DRIVE
FAIRHOPE, ALABAMA

PRELIMINARY PLANS: 03/11/25
PROGRESS SET: 03/24/25, 05/15/25
FINAL REVIEW: 06/23/25, 06/24/25
FINAL PRINT: 06/25/25
REV 1: 10-02-25 (MOVED HOUSE, WETLAND LOCATION)
REV 2: 10-14-25 (KITCHEN BUMP-OUT REDUCED TO 36")

CHATHAM HOME PLANNING
FAIRHOPE, ALABAMA (251) 528-0388

BOBCHATHAM.COM

Date: 10/14/25	Drawn By: ash	c h p
Scale:	Sheet Number: 0	
Plan Number:	1212-A-1	

F-5 FOUNDATION DETAIL
SCALE: _____ 1/2" = 1'-0"

Technical drawing of a bridge pier cross-section. The drawing shows a vertical pier structure with various components and construction details. Key elements include:

- Top Section:** A horizontal beam labeled "1" T&G PLYWOOD DECKING GLUE & NAIL". Above this beam is a "TOP OF GIRDER" line. To the right, a vertical section shows "1/2" SHEETROCK" and "2x6 STUD WALL @ 16" O.C.". A "DBL. 2x12 BEAM, typ." is shown below the plywood decking.
- Mid-Section:** A horizontal beam labeled "P/T 2x12 F.J. @ 12" O.C.". Below this beam are "5/8" Ø GALVANIZED BOLTS (COUNTERSINK)". A "3"x12" R/S P/T BEAM CONT." is shown below the bolts. To the right, a vertical section shows "P/T W.D. (SEE DET.)".
- Foundation Section:** A horizontal beam labeled "3000 psi 6" CONC. SLAB REINF. w/ 6x6 #10 W.M. OVER .006 POLYETHYLENE". Below this slab is a "SLOPE SLAB 1/8" PER FT." and a "FIN. FLR." line. A "P.T. 12" dia. WD. PILING, typ." is shown to the right. A "SLOPE" arrow points to the right, and a "FINISH GRADE" line is indicated.
- Base Section:** A horizontal beam labeled "SAND CLAY FILL - COMPACTED TO 95% PROCTOR DENSITY". Below this fill is a "1'-2"
- Notes:**
 - "PILING SHALL BE EMBEDDED INTO GROUND 10' MIN."

F-4 FOUNDATION DETAIL
SCALE: 1/2" = 1'-0"

Labels:

- 5/8" CDX SHEATHING
- 1/2" TYPEK HOUSEWRAP
- 5/8" ARTISAN SHIPLAP SIDING
- 2x6 STUD WALL @ 16" O.C.
- 1" TAG PLYWOOD DECKING GLUE & NAIL
- 1/2" SHEETROCK
- 5/8" ARTISAN SHIPLAP SIDING
- DBL. 2X12 BEAM
- 2x3 HARDIE ANGLD 3/12 UP.
- 5/4x12 HARDIE BOARD BRD.
- P/T 2X12 F.J. @ 12' O.C.
- TOP OF GIRDER
- 3000 psi 6" CONC. SLAB REINF. w/ 6x6 #10 W.M. OVER .006 POLYETHYLENE
- SLOPE SLAB 1/8" PER FT.
- GROUND LEVEL
- FIN. FLR.
- SAND CLAY FILL COMPACTED TO 95% PROCTOR DENSITY
- 5/8" Ø GALVANIZED BOLTS (COUNTERSINK)
- 3" X12" R/S P/T BEAM CONT. P.T. 12" dia. WD. FINISH, typ.
- SLOPE
- FINISH GRADE
- 1'-2"
- FILING SHALL BE EMBEDDED INTO GRADING 10" MIN.

F-3 FOUNDATION DETAIL
SCALE: 1/2" = 1'-0"

Labels:

- WEATHING SHEURAP
- 5/8" CDX SHEATHING W/TYK HOUSEURAP
- 1/2" SHEETROCK
- 2x6 STUD WALL @ 16" O.C.
- 5/8" ARTISAN SHIPLAP SIDING
- DBL. 2x12 BEAM, typ.
- 2x3 HARDIE BAND BRD., ANGLED 3/12, typ.
- P/T 2x12 F.J., @ 12" O.C.
- 5/4x12 HARDIE BAND BRD., typ.
- P/T 2x BLOCKING AS REQ'D.
- 5/8" Ø GALVANIZED BOLTS (COUNTERSINK) 3"x12" R/S P/T BEAM CONT.
- P.T. 12" dia. WD. PILING, typ.
- FINISH GRADE
- SLOPE
- 3000 psi 6" CONC. SLAB REINF. w/ 6x6 #10 WM. .006 POLYETHYLENE
- 1/8" FER FT.
- SAND CLAY COMPACTED PROCTOR D
- 1'-2"
- FILING SHALL BE EMBEDDED INTO GROUND 10' MIN.

Notes:

- F-6
- SCALE

F-2 FOUNDATION DETAIL
SCALE: 1/2" = 1'-0"

N. DETAIL

2x3 HARDIE BAND BRD.
ANGLED 3/12, typ.

3"x12" R/S P/T BEAM CONT.

5/4x12 HARDIE BAND BRD., typ.

1/2" SHEETROCK

2x6 STUD WALL @ 16" O.C.

1" FLYWOOD

1/2" 1" DECKING GLUE + NAIL

5/8" CDX SHEATHING
W/ TYVEK HOUSEWRAP

5/8" ARTISAN
SHIPLAP SIDING

DBL 2x12
BEAM, typ.

2x3 HARDIE BAND BRD,
ANGLED 3/12, typ.

3"x12" R/S P/T BEAM CONT.

5/4x12 HARDIE BAND BRD., typ.

5/8" 0 GALVANIZED
BOLTS (COUNTERSINK)

3000 PSI 6" CONC. SLAB
REINF. w/ 6x6 #10 W.M. OVER
.006 POLYETHYLENE

GROUND
LEVEL

FIN. FLR.

SLOPE SLAB
1/8" PER FT.

SAND CLAY FILL
COMPACTED TO 95%
PROCTOR DENSITY

1-2"

PILING SHALL BE EMBEDDED
INTO GROUND 10' MIN.

P.T. 12" dia. WD. PILING, typ.

SLOPE

FINISH GRADE

100'

F.F.,
C.

AB
OVER

FILL
TO 95%
DENSITY

F-1 FOUNDATION DETAIL
SCALE: _____ 1/2" = 1'-0"

NOTE:
BUILDER SHALL VERIFY PROPER VENTILATION REQUIRED FOR
GAS FIREPLACE PRIOR TO CONSTRUCTION.

PRELIMINARY PLANS: 03/11/25
PROGRESS SET: 03/24/25, 05/15/25
FINAL REVIEW: 06/23/25, 06/24/25
FINAL PRINT: 06/25/25

MAIN FLOOR:	1178 sq. ft.
ATTIC:	468 sq. ft.
TOTAL INTERIOR:	1646 sq. ft.
COVERED PORCH:	310 sq. ft.
COVERED GRD. FLR.:	1398 sq. ft.
STORAGE:	244 sq. ft.
TOTAL EXTERIOR:	1952 sq. ft.
TOTAL UNDER ROOF	3598 sq. ft.

1178 sq. ft.
468 sq. ft.
1646 sq. ft.
310 sq. ft.
1398 sq. ft.
244 sq. ft.
1952 sq. ft.
3598 sq. ft.

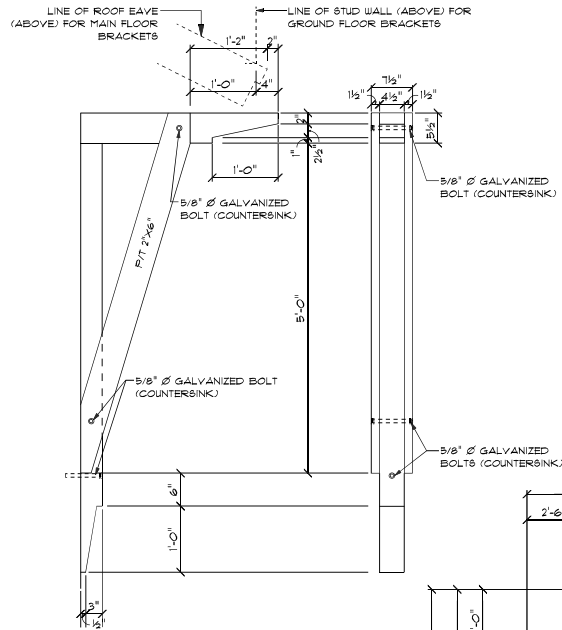
BOBCHATHAM.COM	
Date : 06/25/25	Drawn By : suh
Scale :	Sheet Number : 1
Plan Number :	212-A-

$$c_{hp}$$

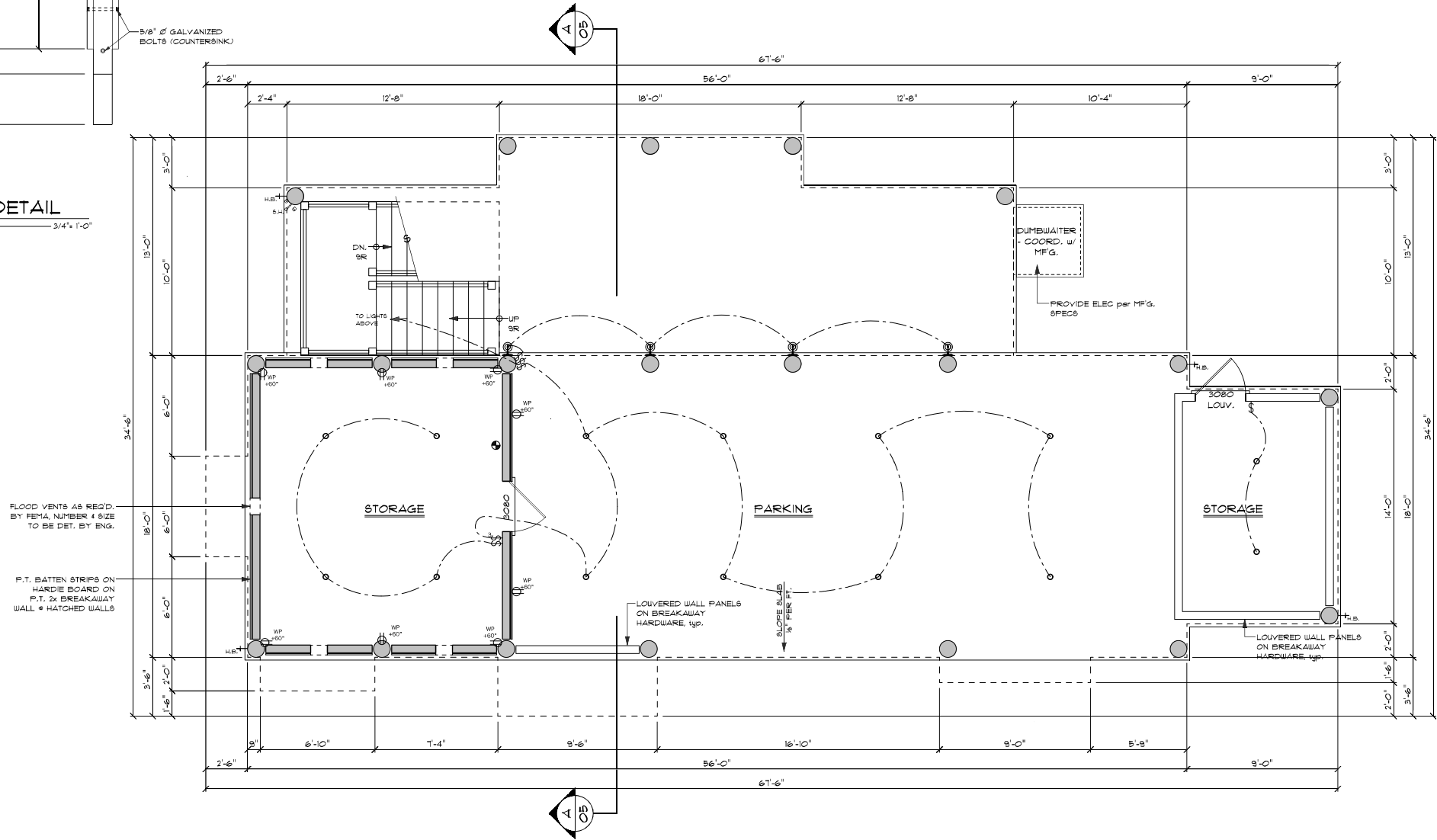
FOUNDATION PLAN

SCALE: _____ $1/4" = 1'-0"$

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B-1 BRACKET DETAIL
SCALE: 3/4" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND	
Name	Symbol
Ceiling Fan	
Hanging Pendant Light	
Cable TV Outlet	
Extractor Fan	
Wall Mounted Light	
Stair Riser Light	
Outlet	
Outlet 220v	
Outlet Water Proof	
Outlet GFI	
Recessed Light	
Strip Light	
Under Cabinet Strip Outlets (GFI as required by code)	
Smoke & Carbon Monoxide Detector	
Switch	
Switch 3 Way	

NOTE:
Great care and effort have gone into the creation of the design of these plans. However, because of the impossibility of providing any personal and/or "on-the-site" consultation and supervision over the actual construction, and because of the great variance in local building code requirements and other local building and weather conditions, designer assumes no responsibility for any damages, including structural failures, due to any deficiencies, omissions or errors in the design, blueprints, or specifications. For soil and/or weather conditions (i.e. hurricanes, earthquakes, snow, etc.) it is recommended that you consult a local engineer of your choice and check with your local building officials prior to start of actual construction. These drawings are not to be copied or reproduced without written permission from CHATHAM HOME PLANNING.

NOTE:
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NOTE:
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NOTE:
CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, CODE REQUIREMENTS, SUBDIVISION COVENANTS, SETBACKS AND ALL OTHER MATTERS REQUIRED BY ALL PREVAILING AUTHORITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

NOTE:
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NOTE:
ALL ELEVATIONS ARE APPROXIMATE AND SHALL BE VERIFIED BY OWNER/BUILDER PRIOR TO CONSTRUCTION.

NOTE:
FINISH GRADE TO SLOPE AWAY FROM ALL STRUCTURES AND ADJACENT PROPERTIES.

NOTE:
CONTRACTOR TO PROVIDE DRAINS, GUTTERS & DOWNSPOUTS AS REQUIRED.

NOTE:
ALL FILL MATERIAL TO BE CONCRETE SAND FOR MAXIMUM COMPACTION.

NOTE:
ALL DIMENSIONS TO OUTSIDE OF FILE/WALL EXCEPT WHERE NOTED.

NOTE:
ALL WINDOWS 18" OR LESS ABOVE FINISHED FLOOR SHALL BE TEMPERED GLASS AS PER "IRC" SECTION R308.4.

NOTE:
OPENING DESIGNATION 3062 x 3'-0" x 6'-2" - VERIFY w/ MANUFACTURER FOR SIZE & ROUGH OPENINGS.

NOTE:
BUILDER SHALL INSTALL ADEQUATE ATTIC VENTILATION.

NOTE:
IF PERIMETER INSULATION IS USED BELOW ROOF DECKING, i.e. OPEN/CLOSED CELL INSULATION, THEN ATTIC VENTILATION IS NOT REQUIRED.

NOTE:
ALL FLASHING AROUND WINDOWS & DOORS SHALL BE INSTALLED AS PER CODE TO PREVENT MOISTURE PENETRATION.

NOTE:
ALL ROOF FLASHING, SIDEWALL FLASHING, EAVE & OTHER REQUIRED FLASHING SYSTEMS SHALL BE INSTALLED AS PER CODE REQUIREMENT & SHALL PREVENT MOISTURE PENETRATION.

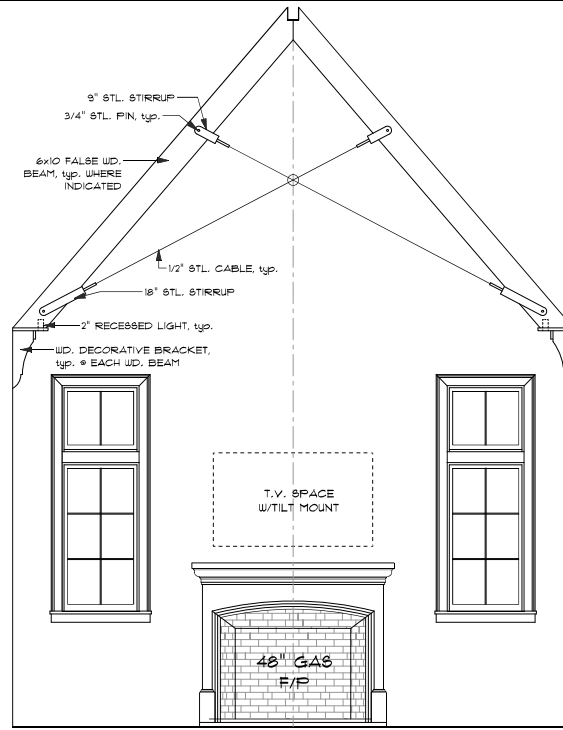
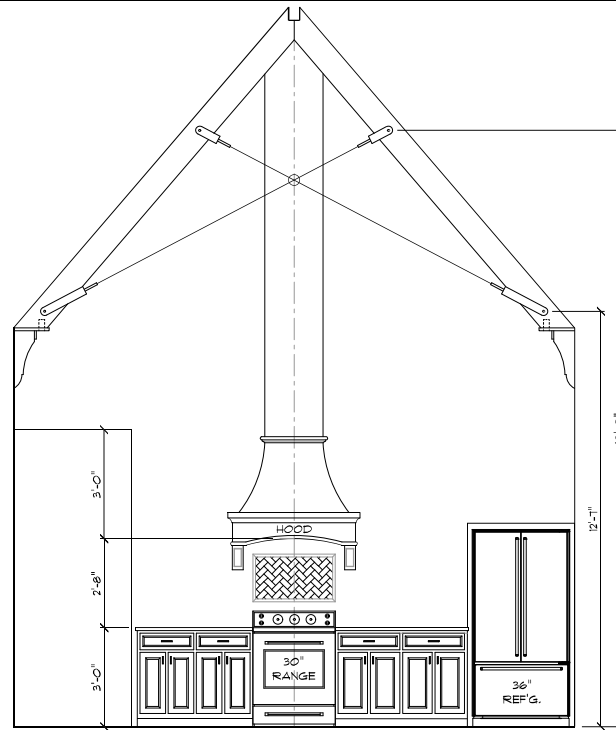
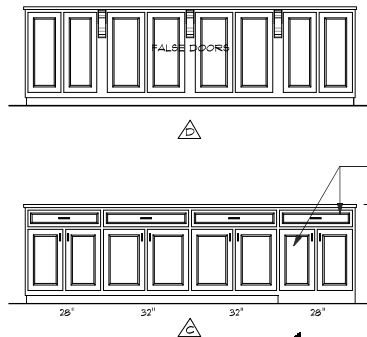
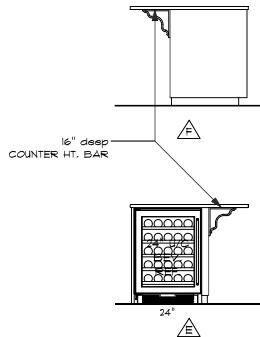
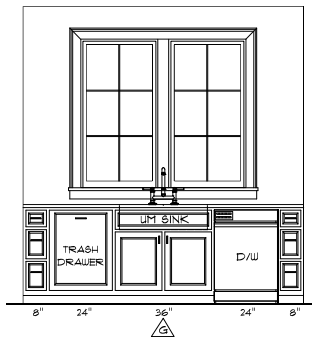
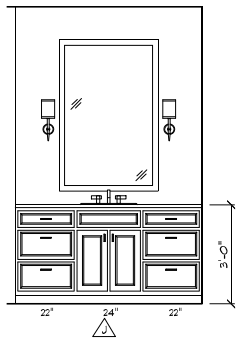
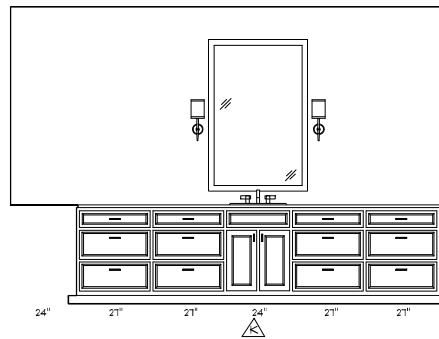
NOTE:
BUILDER SHALL VERIFY PROPER VENTILATION REQUIRED FOR GAS FIREPLACE PRIOR TO CONSTRUCTION.

NOTE:
BUILDER & OWNER TO DETERMINE LOCATION OF ALL MECHANICAL EQUIPMENT, DISTRIBUTION SYSTEM, AND RETURN AIR SYSTEM.

AREAS:

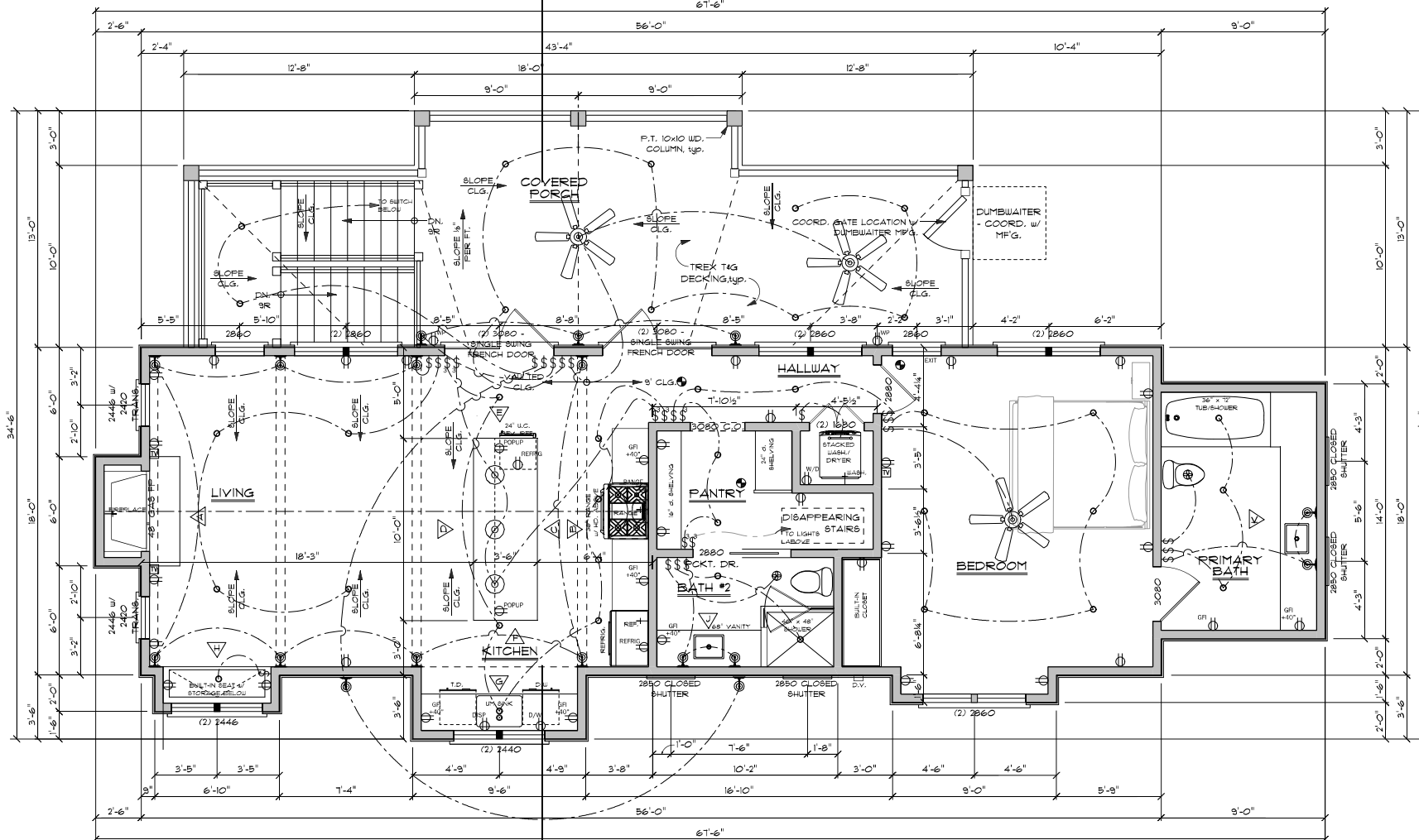
MAIN FLOOR:	209 sq. ft.
ATTIC:	448 sq. ft.
TOTAL INTERIOR:	1657 sq. ft.
COVERED PORCH:	361 sq. ft.
COVERED GRD. FLR.:	1335 sq. ft.
STORAGE:	268 sq. ft.
TOTAL EXTERIOR:	1964 sq. ft.
TOTAL UNDER ROOF:	3621 sq. ft.

CHATHAM HOME PLANNING	
FAIRHOPE, ALABAMA (251) 328-0388	
BOBCHATHAM.COM	
Date : 06/25/25	Drawn By : eah
Scale :	Sheet Number : 2
Plan Number :	1212-A-1



INTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"



MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND	
Name	Symbol
Ceiling Fan	
Hanging Pendant Light	
Cable TV Outlet	
Extractor Fan	
Wall Mounted Light	
Stair Riser Light	
Outlet	
Outlet 220v	
Outlet Water Proof	
Outlet GFI	
Recessed Light	
Strip Light	
Under Cabinet Strip Outlets (GFI as required by code)	
Smoke & Carbon Monoxide Detector	
Switch	
Switch 3 Way	

AREAS:

MAIN FLOOR:	1029 sq. ft.
ATTIC:	448 sq. ft.
TOTAL INTERIOR:	1697 sq. ft.
COVERED PORCH:	361 sq. ft.
COVERED GRD. FLR.:	1335 sq. ft.
STORAGE:	268 sq. ft.
TOTAL EXTERIOR:	1364 sq. ft.
TOTAL UNDER ROOF:	3621 sq. ft.

NOTE:
Great care and effort have gone into the creation of the design of these plans. However, because of the impossibility of providing any personal and/or "on-the-site" consultation and supervision over the actual construction, and because of the great variance in local building code requirements and other local building and weather conditions, designer assumes no responsibility for any damages, including structural failures, due to any deficiencies, omissions or errors in the design, blueprints, or specifications. For soil and/or weather conditions (i.e. hurricanes, earthquakes, snow, etc.) it is recommended that you consult a local engineer of your choice and check with your local building official prior to start of actual construction. These drawings are not to be copied or reproduced without written permission from CHATHAM HOME PLANNING.

NOTE:
Contractor shall verify the accuracy of all dimensions, ceiling heights, beam and joist designations, complying with all code requirements, and the provisions for duct layouts, heating and air conditioning systems and proposed electrical & plumbing layouts prior to commencement of construction.

NOTE:
THE PLUMBING CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND SUBMIT DETAILS SHOWING THE ROUTING PLANNED PRIOR TO CONSTRUCTION.

NOTE:
CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, CODE REQUIREMENTS, SUBDIVISION COVENANTS, SETBACKS AND ALL OTHER MATTERS REQUIRED BY ALL PREVAILING AUTHORITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

NOTE:
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NOTE:
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NOTE:
FINISH GRADE TO SLOPE AWAY FROM ALL STRUCTURES AND ADJACENT PROPERTIES.

NOTE:
CONTRACTOR TO PROVIDE DRAINS, GUTTERS & DOWNSPOUTS AS REQUIRED.

NOTE:
ALL FILL MATERIAL TO BE CONCRETE SAND FOR MAXIMUM COMPACTION.

NOTE:
ALL DIMENSIONS TO OUTSIDE OF FILE/WALL EXCEPT WHERE NOTED.

NOTE:
ALL WINDOWS 18" OR LESS ABOVE FINISHED FLOOR SHALL BE TEMPERED GLASS AS PER "IRC" SECTION R308.4.

NOTE:
OPENING DESIGNATION 3062 x 3'-0" x 6'-2" - VERIFY w/ MANUFACTURER FOR SIZE & ROUGH OPENINGS.

NOTE:
BUILDER SHALL INSTALL ADEQUATE ATTIC VENTILATION.

NOTE:
IF PERIMETER INSULATION IS USED BELOW ROOF DECKING, i.e. OPEN/CLOSED CELL INSULATION, THEN ATTIC VENTILATION IS NOT REQUIRED.

NOTE:
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NOTE:
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NOTE:
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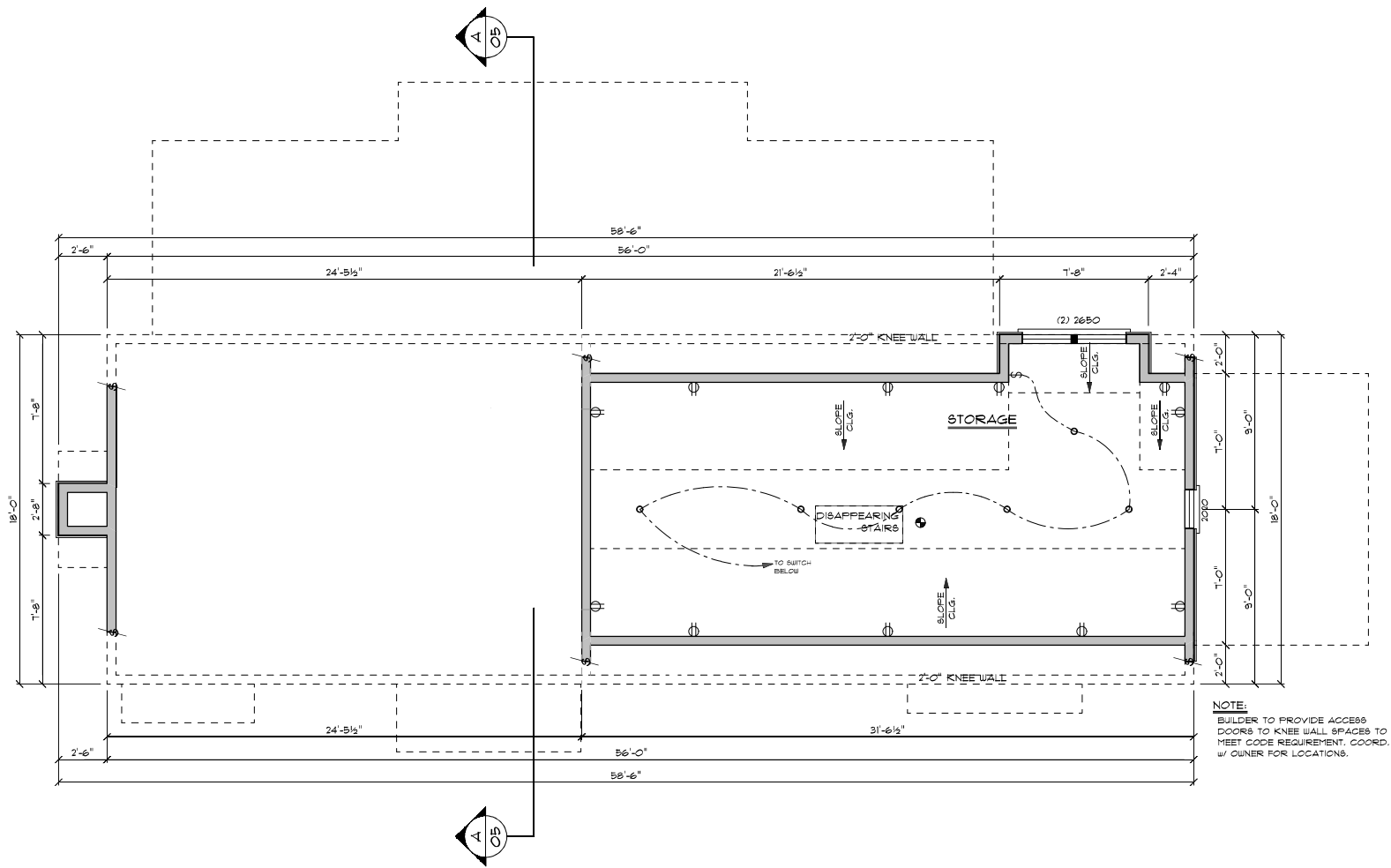
NOTE:
BUILDER & OWNER TO DETERMINE LOCATION OF ALL MECHANICAL EQUIPMENT, DISTRIBUTION SYSTEM, AND RETURN AIR SYSTEM.

TRICIA & ROB LITTLETON
863 CREEK DRIVE
FAIRHOPE, ALABAMA

PRELIMINARY PLANS: 03/11/25
PROGRESS SET: 03/24/25, 05/15/25
FINAL REVIEW: 06/23/25, 06/24/25
FINAL PRINT: 06/25/25

CHATHAM HOME PLANNING	
FAIRHOPE, ALABAMA (251) 928-0888	
BOBCHATHAM.COM	
Date: 06/25/25	Drawn By: suh
Scale:	Sheet Number: 3
Plan Number:	1212-A-1

chp



ATTIC LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND	
Name	Symbol
Ceiling Fan	
Hanging Pendant Light	
Cable TV Outlet	
Extractor Fan	
Wall Mounted Light	
Stair Riser Light	
Outlet	
Outlet 220v	
Outlet Water Proof	
Outlet GFI	
Recessed Light	
Strip Light	
Under Cabinet Strip Outlets (GFI as required by code)	
Smoke & Carbon Monoxide Detector	
Switch	
Switch 3 Way	

NOTE:
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NOTE:
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NOTE:
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NOTE:
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NOTE:
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NOTE:
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NOTE:
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AREAS:

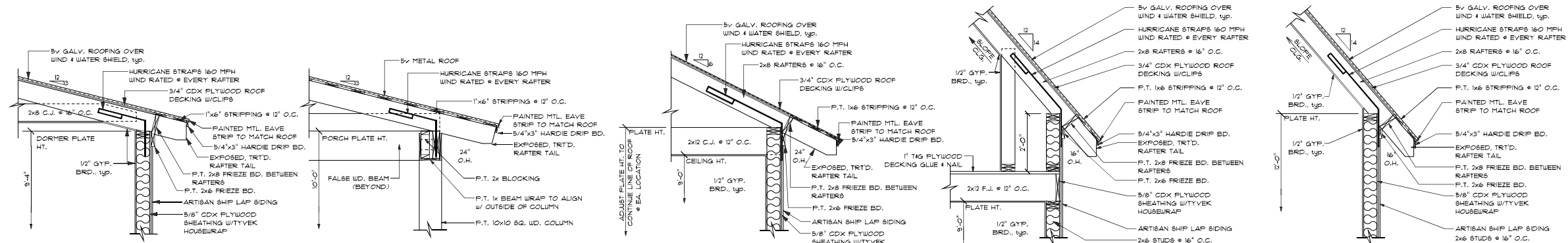
MAIN FLOOR:	1209 sq. ft.
ATTIC:	448 sq. ft.
TOTAL INTERIOR:	1657 sq. ft.
COVERED PORCH:	361 sq. ft.
COVERED GRD. FLR.:	1335 sq. ft.
STORAGE:	268 sq. ft.
TOTAL EXTERIOR:	1964 sq. ft.
TOTAL UNDER ROOF:	3621 sq. ft.

TRICIA & ROB LITTLETON
863 CREEK DRIVE
FAIRHOPE, ALABAMA

PRELIMINARY PLANS: 03/11/25
PROGRESS SET: 03/24/25, 05/15/25
FINAL REVIEW: 06/23/25, 06/24/25
FINAL PRINT: 06/25/25

CHATHAM HOME PLANNING			
FAIRHOPE, ALABAMA		(251) 528-0988	
BOBCHATHAM.COM			
Date :	06/25/25	Drawn By :	ewh
Scale :		Sheet Number :	4
Plan Number :	1212-A-1		

c h p



NOTE:
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NOTE:
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NOTE:
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NOTE:
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NOTE:
OPENING DESIGNATION 3062 - 3'-0" x 6'-2" - VERIFY w/ MANUFACTURER FOR SIZE & ROUGH OPENINGS.

NOTE:
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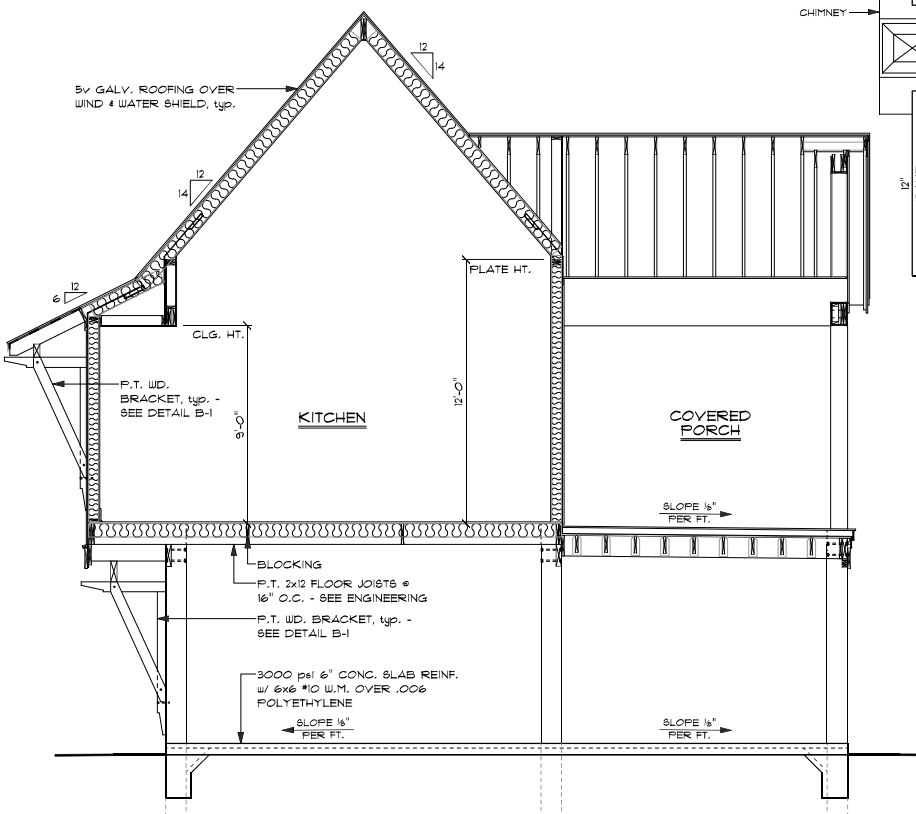
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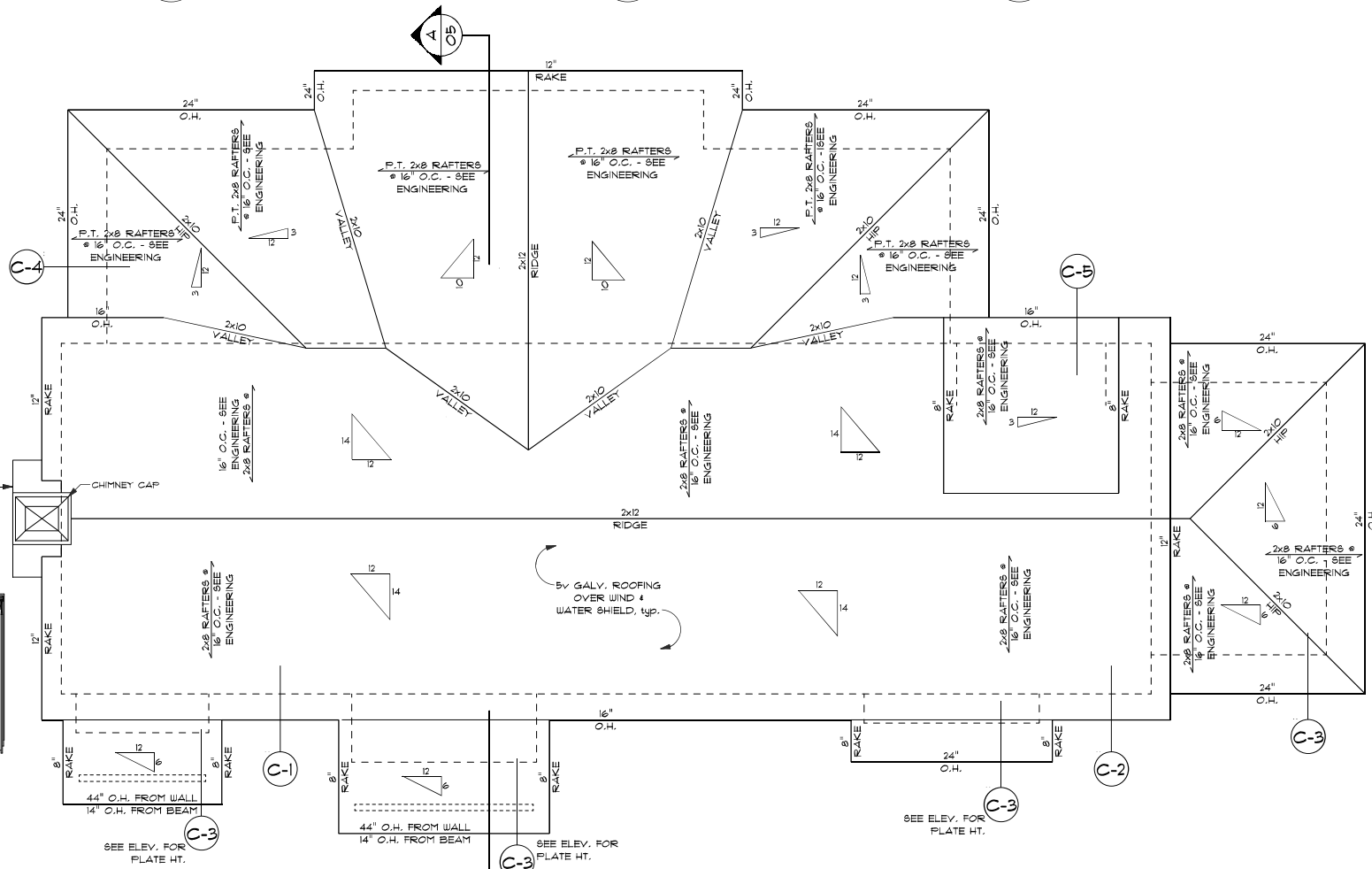
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SECTION A-A
SCALE: 1/4" = 1'-0"

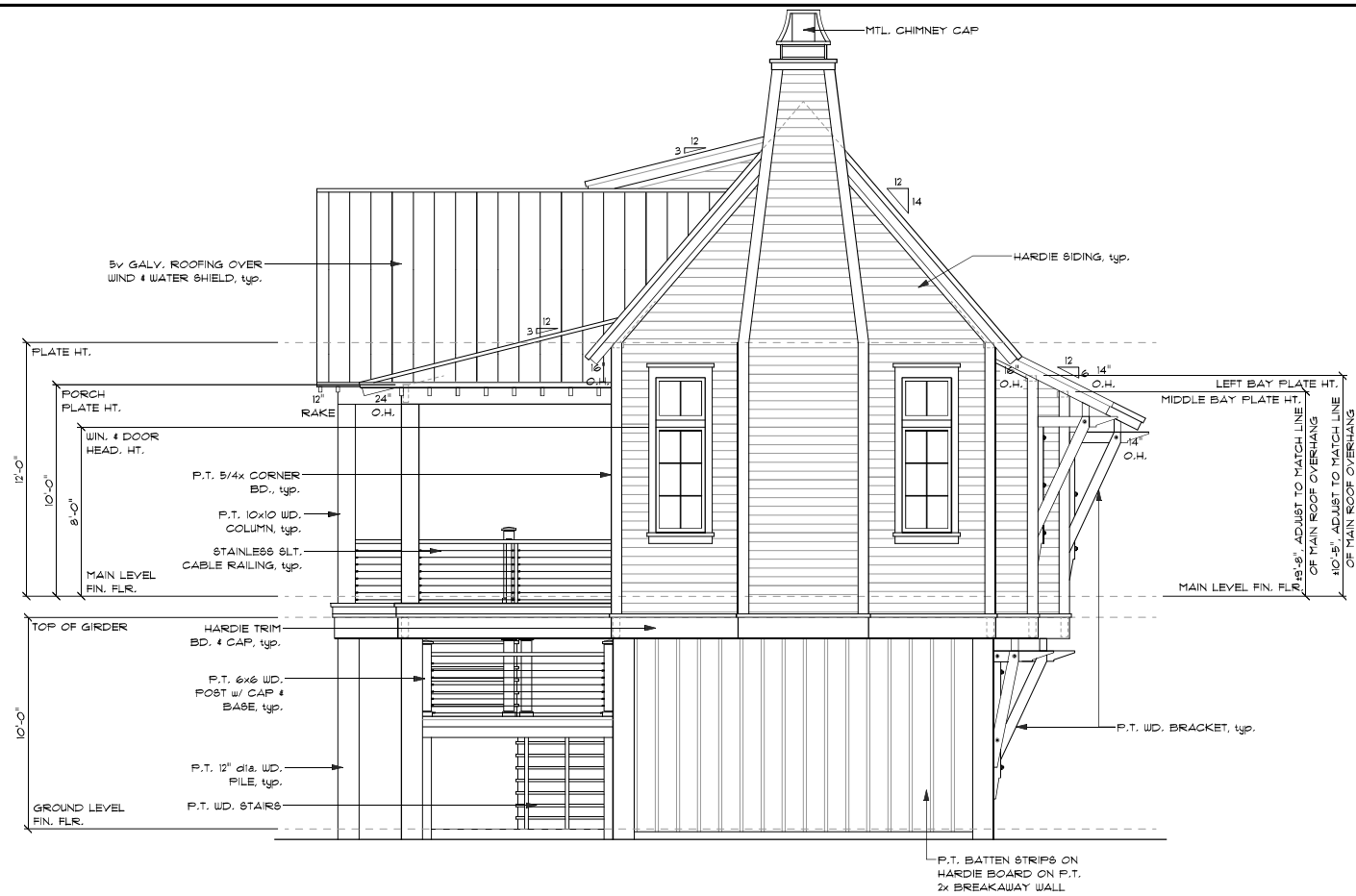


ROOF PLAN
SCALE: 1/4" = 1'-0"

TRICIA & ROB LITTLETON
863 CREEK DRIVE
FAIRHOPE, ALABAMA

PRELIMINARY PLANS: 03/11/25
PROGRESS SET: 03/24/25, 05/15/25
FINAL REVIEW: 06/23/25, 06/24/25
FINAL PRINT: 06/25/25

CHATHAM HOME PLANNING		
FAIRHOPE, ALABAMA (251) 928-0989		
BOBCHATHAM.COM		
Date: 06/25/25	Drawn By: euh	c h p
Scale:	Sheet Number: 5	
Plan Number: 1212-A-1		



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



CREEK ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
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NOTE:
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NOTE:
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NOTE:
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NOTE:
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NOTE:
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NOTE:
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NOTE:
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NOTE:
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NOTE:
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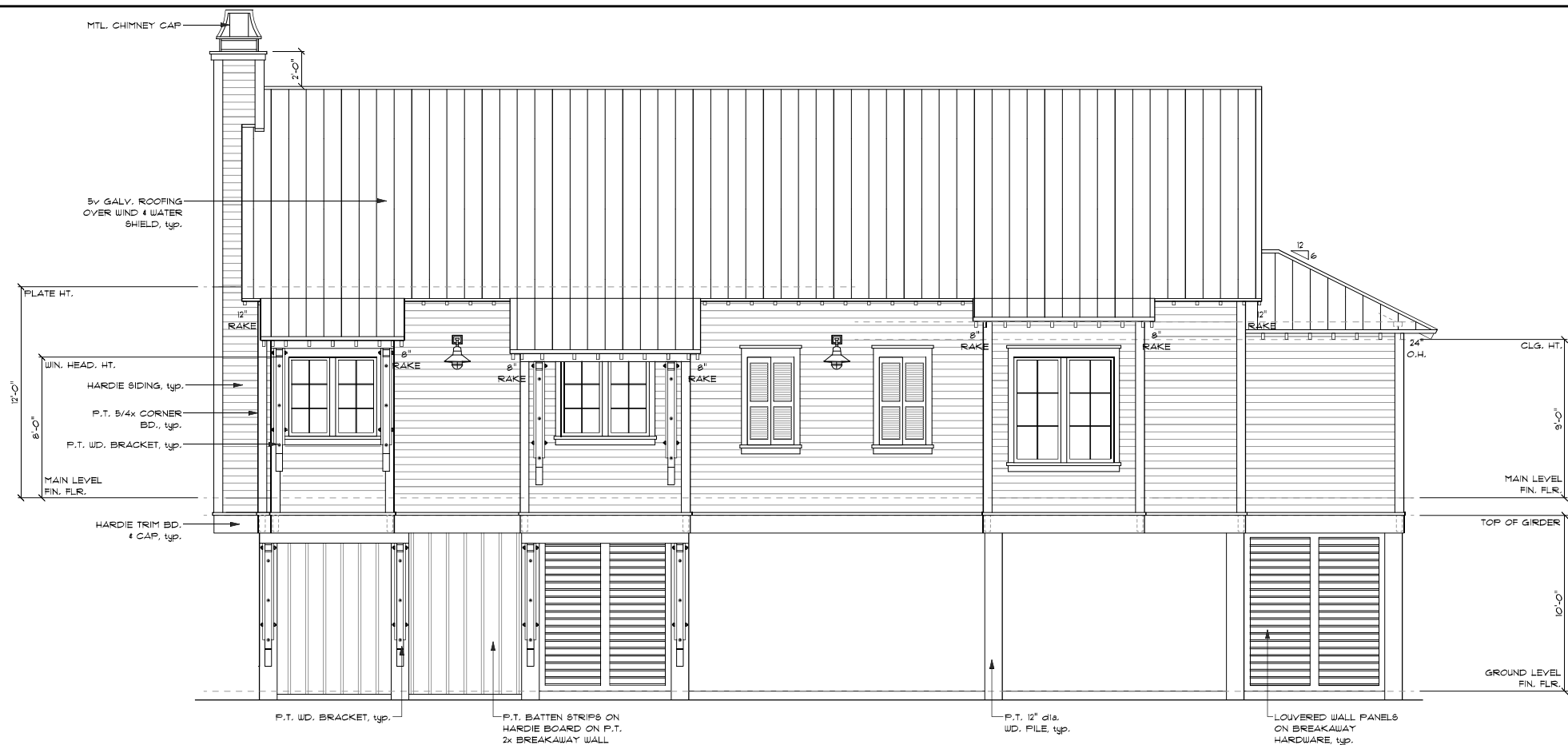
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TRICIA & ROB LITTLETON
863 CREEK DRIVE
FAIRHOPE, ALABAMA

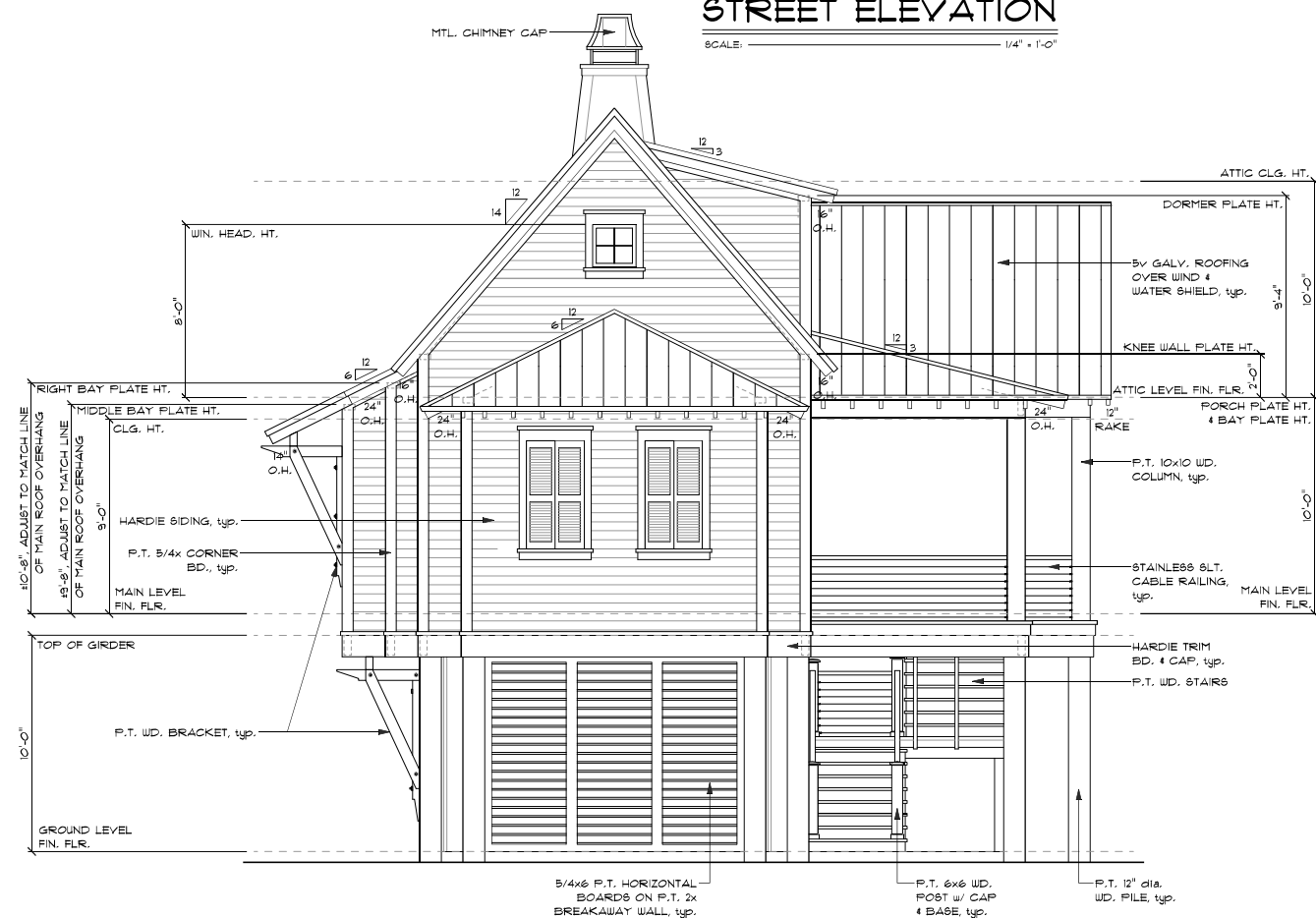
PRELIMINARY PLANS: 03/11/25
PROGRESS SET: 03/24/25, 05/15/25
FINAL REVIEW: 06/23/25, 06/24/25
FINAL PRINT: 06/25/25

CHATHAM HOME PLANNING			
FAIRHOPE, ALABAMA (251) 328-0388			
BOBCHATHAM.COM			
Date: 06/25/25	Drawn By: suh	c h p	6
Scale:	Sheet Number:		
Plan Number:	1212-A-1		



STREET ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
Great care and effort have gone into the creation of the design of these plans. However, because of the impossibility of providing any personal and/or "on-the-site" consultation and supervision over the actual construction, and because of the great variance in local building code requirements and other local building and weather conditions, designer assumes no responsibility for any damages, including structural failures, due to any deficiencies, omissions or errors in the design, blueprints, or specifications. For soil and/or weather conditions (i.e. hurricanes, earthquakes, snow, etc.) it is recommended that you consult a local engineer of your choice and check with your local building officials prior to start of actual construction. These drawings are not to be copied or reproduced without written permission from CHATHAM HOME PLANNING.

NOTE:
Contractor shall verify the accuracy of all dimensions, ceiling heights, beam and joist designations, complying with all code requirements, and the provisions for duct layouts, heating and air conditioning systems and proposed electrical & plumbing layouts prior to commencement of construction.

NOTE:
THE PLUMBING CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND SUBMIT DETAILS SHOWING THE ROUTING PLANNED PRIOR TO CONSTRUCTION.

NOTE:
CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, CODE REQUIREMENTS, SUBDIVISION COVENANTS, SETBACKS AND ALL OTHER MATTERS REQUIRED BY ALL PREVAILING AUTHORITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

NOTE:
OWNER AND FOUNDATION CONTRACTOR SHALL VERIFY LOCATION AND ORIENTATION OF THE BUILDING ON THE PROPOSED LOT PRIOR TO CONSTRUCTION.

NOTE:
ALL ELEVATIONS ARE APPROXIMATE AND SHALL BE VERIFIED BY OWNER/BUILDER PRIOR TO CONSTRUCTION.

NOTE:
FINISH GRADE TO SLOPE AWAY FROM ALL STRUCTURES AND ADJACENT PROPERTIES.

NOTE:
CONTRACTOR TO PROVIDE DRAINS, GUTTERS & DOWNSPOUTS AS REQUIRED.

NOTE:
ALL FILL MATERIAL TO BE CONCRETE SAND FOR MAXIMUM COMPACTION.

NOTE:
ALL DIMENSIONS TO OUTSIDE OF FILE/WALL EXCEPT WHERE NOTED.

NOTE:
ALL WINDOWS 16" OR LESS ABOVE FINISHED FLOOR SHALL BE TEMPERED GLASS AS PER "IRC" SECTION R308.4.

NOTE:
OPENING DESIGNATION 3062 x 3'-0" x 6'-2" - VERIFY w/ MANUFACTURER FOR SIZE & ROUGH OPENINGS.

NOTE:
BUILDER SHALL INSTALL ADEQUATE ATTIC VENTILATION.

NOTE:
IF PERIMETER INSULATION IS USED BELOW ROOF DECKING, I.E. OPEN/CLOSED CELL INSULATION, THEN ATTIC VENTILATION IS NOT REQUIRED.

NOTE:
ALL FLASHING AROUND WINDOWS & DOORS SHALL BE INSTALLED AS PER CODE TO PREVENT MOISTURE PENETRATION.

NOTE:
ALL ROOF FLASHING, SIDEWALL FLASHING, EAVE & OTHER REQUIRED FLASHING SYSTEMS SHALL BE INSTALLED AS PER CODE REQUIREMENT & SHALL PREVENT MOISTURE PENETRATION.

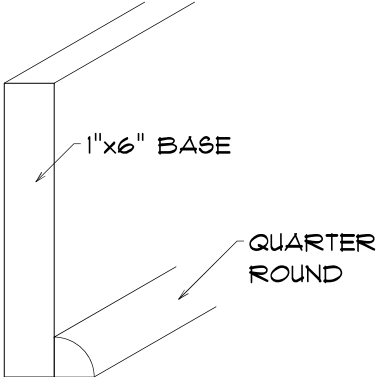
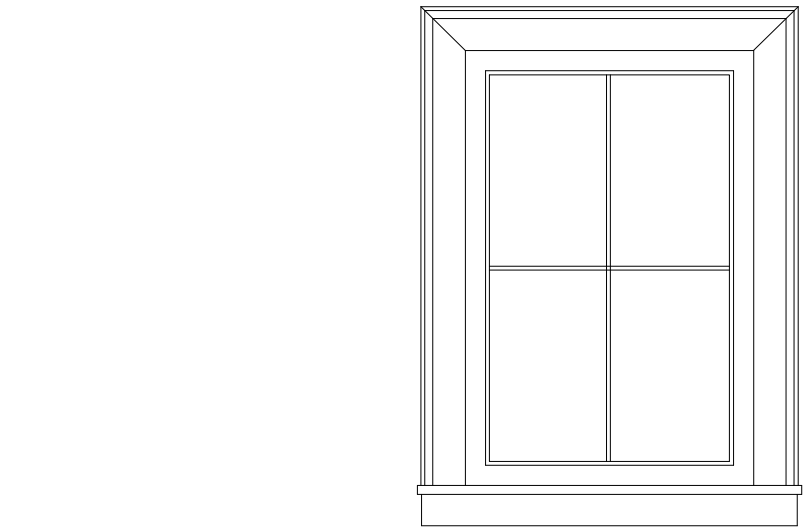
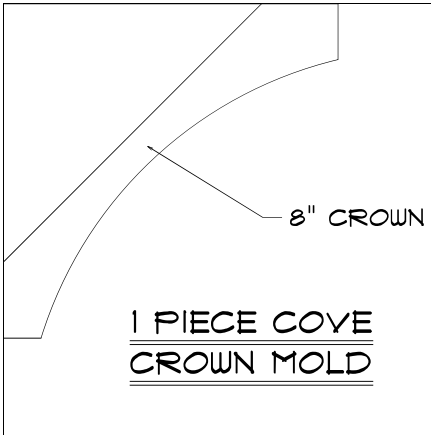
NOTE:
BUILDER SHALL VERIFY PROPER VENTILATION REQUIRED FOR GAS FIREPLACE PRIOR TO CONSTRUCTION.

NOTE:
BUILDER & OWNER TO DETERMINE LOCATION OF ALL MECHANICAL EQUIPMENT, DISTRIBUTION SYSTEM, AND RETURN AIR SYSTEM.

TRICIA & ROB LITTLETON
863 CREEK DRIVE
FAIRHOPE, ALABAMA

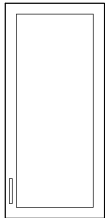
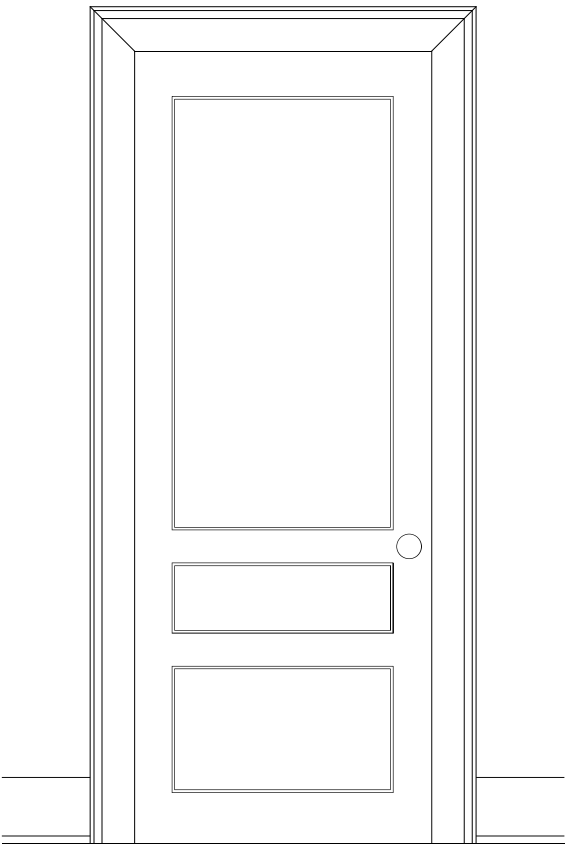
PRELIMINARY PLANS: 03/11/25
PROGRESS SET: 03/24/25, 05/15/25
FINAL REVIEW: 06/12/25, 06/24/25
FINAL PRINT: 06/25/25

CHATHAM HOME PLANNING		
FAIRHOPE, ALABAMA (251) 928-0388		
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Plan Number:	1212-A-1	

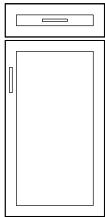


BASEBOARD

TYPICAL DOOR & WINDOW TREATMENT



CAB. DOOR
TOP CAB.



CAB. DOOR
BOTTOM CAB.

TYP. CABINET DOOR
& DRAWER FRONT

NOTE:
ALL VANITIES ARE TO BE 36" HIGH
ALL WALL CABINETS HAVE 3" CROWN W/ CAP
ALL SMALL TOP DRAWERS 5" TALL TYP.

ROOM FINISH SCHEDULE																													
		FLOOR								WALLS								CEILING				TRIM							
		HARDWOOD, OAK	TILE SELECTED BY OWNER	SMOOTH FINISH CONCRETE	STAINED CONCRETE	CARPET	5/4"x4" T&G TRTD. WD. DECKING	RANDOM SIZE TRAVERTINE	PRECAST PAVERS	TREX, COMPOSITE DECKING	1/2" GYPSUM TAPE FLOAT, SAND 4 PAINT 2 COATS LATEX	1/2" US. GYPSUM TAPE FLOAT, SAND 4 WALLPAPER (GRASSCLOTH)	5/8" FIRE CODE GYPSUM TAPE FLOAT, SAND 4 PAINT 2 COATS LATEX	VERTICAL 1"x6" 1/2" GROOVE WD.	SEE ELEVATIONS	BRICK	3/8" BEAD BOARD WAINSCOT	6" HORIZONTAL SHIPLAP, PAINTED WHITE	1/2" GYPSUM TAPE FLOAT, SAND 4 PAINT SMOOTH FIN.	5/8" FIRE CODE GYPSUM TAPE FLOAT, SAND 4 PAINT 2 COATS LATEX	1"x6" 1"x6" 1/2" GROOVE WD.	CORNERED WOOD CEILING	EXPOSED BEAMS WITH SMOOTH FINISH GYP.	1" MEMBER CROWN MOLD	3" MEMBER CROWN MOLD	5" MEMBER CROWN MOLD	1"x8" BASEBOARD W/QUARTER ROUND SEE DTL.	3 1/2" DOOR 4 WINDOW TRIM SEE DETAIL	MATERIAL TO MATCH CEILING
STORAGE																													
COVERED DECK																													
LIVING																													
KITCHEN																													
PANTRY																													
BATH #2																													
HALLWAY																													
PRIMARY BEDROOM																													
PRIMARY BATH																													

ALL FINISHES TO BE DETERMINED BY OWNER

NOTE:
Great care and effort have gone into the creation of the design of these plans. However, because of the impossibility of providing any personal and/or "on-the-site" consultation and supervision over the actual construction, and because of the great variance in local building code requirements, and other local building and weather conditions, designer assumes no responsibility for any damages, including structural failures, due to any deficiencies, omissions or errors in the design, blueprints, or specifications. For soil and/or weather conditions (i.e. hurricanes, earthquakes, snow, etc.) it is recommended that you consult a local engineer of your choice and check with your local building officials prior to start of actual construction. These drawings are not to be copied or reproduced without written permission from CHATHAM HOME PLANNING.

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NOTE:
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TRICIA & ROB LITTLETON
863 CREEK DRIVE
FAIRHOPE, ALABAMA

PRELIMINARY PLANS: 03/11/25
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CHATHAM HOME PLANNING
FAIRHOPE, ALABAMA (251) 328-0988

BOBCHATHAM.COM

Date : 06/25/25

Drawn By : suh

Scale :

Sheet Number : 8

Plan Number : 1212-A-1

chp

**CITY OF FAIRHOPE
BOARD OF ADJUSTMENT**

January 21, 2014

BOA 14-01 Request of Patricia Niemeyer for a front and rear setback variance for property located at 863 Creek Drive.

STAFF INTERPRETATION:

The subject property is zoned R-1 (Low Density Single Family Residential District). Patricia Niemeyer is seeking a variance to the provisions of Table 3-2: Dimension Table – Lots and Principle Structure in the Fairhope Zoning Ordinance.

Table 3-2 requires that all principle structures in the R-1 zoning district adhere to a minimum rear-yard setback of thirty-five feet (35') and a minimum front yard setback of forty feet (40'). The applicant would like to reduce the rear yard setback to five feet (5') and the front yard setback to thirty feet (30'); thus resulting in a thirty foot (30') rear setback variance and a ten foot (10') front setback variance.

Considering the odd shape of the subject property, staff feels a hardship does exist. The setbacks requested by the applicant will allow for a residence to be built on the property. Please see the attached marked up surveys of the property. Even if the variances requested by the applicant are granted, it appears that it will be challenging to come up with a site plan that fits on the oddly shaped lot.

The property is bordered on all sides by City of Fairhope R-1 zoned property.

A variance is a deviation from the literal provisions of the Zoning Ordinance, which is granted by the Board of Zoning Adjustment when strict conformity to the Zoning Ordinance would cause an unnecessary hardship owing to circumstances unique to the property on which the variance is granted. In order to authorize any variance from the terms of this Ordinance, the Board of Adjustment must and shall find that:

- (a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography;

- (b) The application of the ordinance to this particular piece of property would create an unnecessary hardship. Personal financial hardship is not a justification for a variance.
- (c) Such conditions are peculiar to the particular piece of property involved; and,
- (d) Relief, if granted, would not cause substantial detriment to the public good and impair the purpose and intent of this ordinance; provided however, that no variance may be granted for a use of land or building or structure that is prohibited by this ordinance.

It is incumbent upon the applicant to demonstrate that a combination of the zoning regulations and uncommon physical conditions inherent in the property prevent making reasonable use of the land as permitted by the zoning regulations.

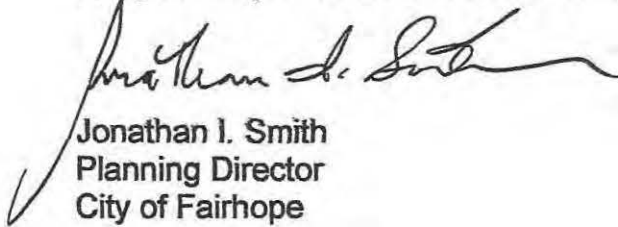
Facts to be considered in this case:

1. The subject property is oddly shaped and there appears to be an existing hardship due to the dimensions of the property. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its shape.
2. This variance application meets the established Zoning Ordinance criteria for the issuance of a variance due to the existing dimensions (shape) of the property.
3. The applicant is requesting a thirty foot (30') rear setback variance and a ten foot (10') front setback variance.
4. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography due to the odd shape of the subject property and the existing dimensions.

STAFF RECOMMENDATION:

The application meets the mandatory criteria established in the Zoning Ordinance for the issuance of a variance. Due to the shape of the subject property staff recommends the Board of Adjustment approve the thirty foot (30') rear setback and ten foot (10') front setback variance requests.

Respectfully Submitted for Consideration,



Jonathan I. Smith
Planning Director
City of Fairhope

The applicant, Rob Littleton, on behalf of the Owner, Patricia Niemeyer, is requesting a 30' variance to the rear setback and a 14' variance to the front setback on Lot K of the Volanta View Number 2 Subdivision. The property is zoned R-1 Low Density Single-Family Residential District. If approved, the rear setback for Lot K would be 5' in lieu of the required 35' and the front setback would be 26' in lieu of the required 40'.

This property was considered by the Board of Adjustments in BOA Case 14.01. In 2014, the applicant requested a 30' variance to the rear setback and a 10' variance to the front setback on Lot K of the Volanta View Number 2 Subdivision. Due to the shape of the subject property, staff recommended the Board of Adjustments approve the thirty-foot rear setback and the ten-foot front setback variance request. The Board of Adjustments approved the variance request, per staff recommendation.

Current BOA Case 22.04 makes a similar request. The difference is the front setback variance request. Figure 1 details the proposed dwelling layout on the site in relation to the variances granted in BOA Case 14.01. The proposed site plan indicates that the dwelling is 26' from the front property line. As such, the applicant requests a 14' variance of the front setback, which is more than the 2014 BOA variance requested.

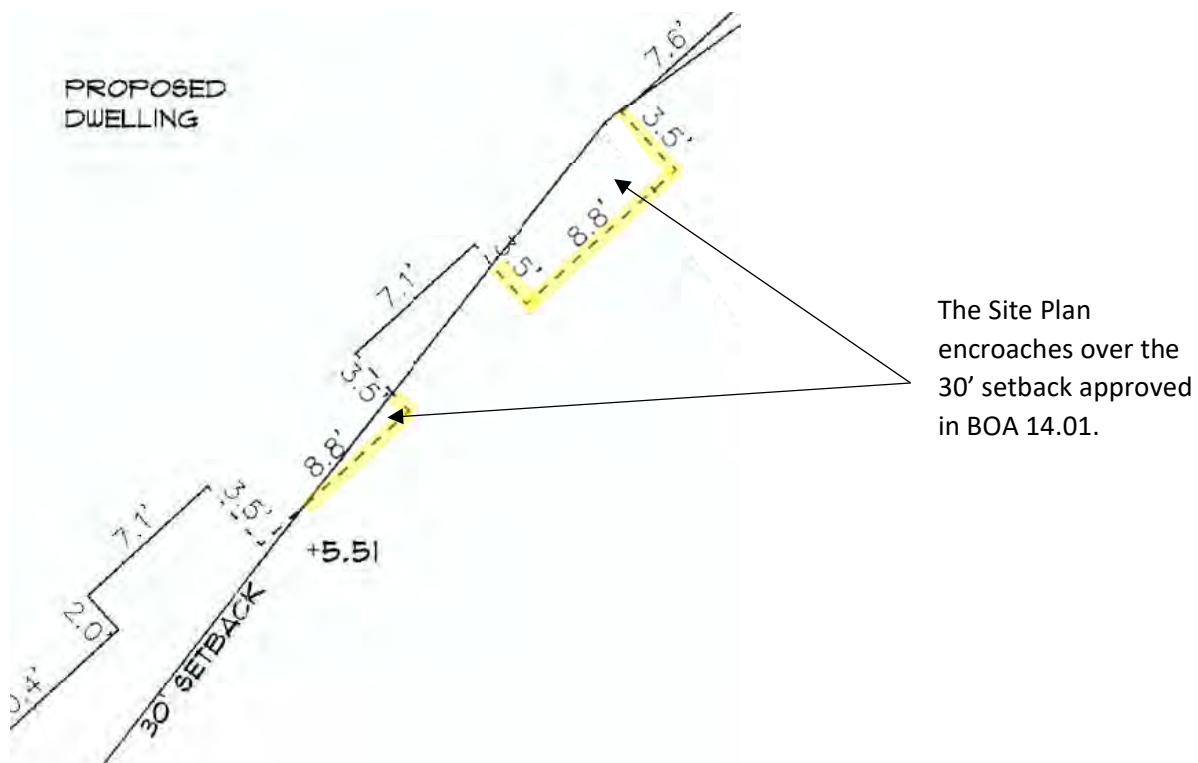


Figure 1: Encroachment of the Site Plan on the 2014 30' Front Setback

The Zoning Ordinance states that, “prior to granting a variance, the Board shall find that...there are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography” (Article II, Section A, 4.d.(3)(a)). As cited in

BOA 14.01, the subject property is oddly shaped, creating a hardship due to the dimensions the property. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its shape.

When discussing topography, however, there is no hardship. As shown in Figure 2, the site experiences three feet in total topography change over the entire site.

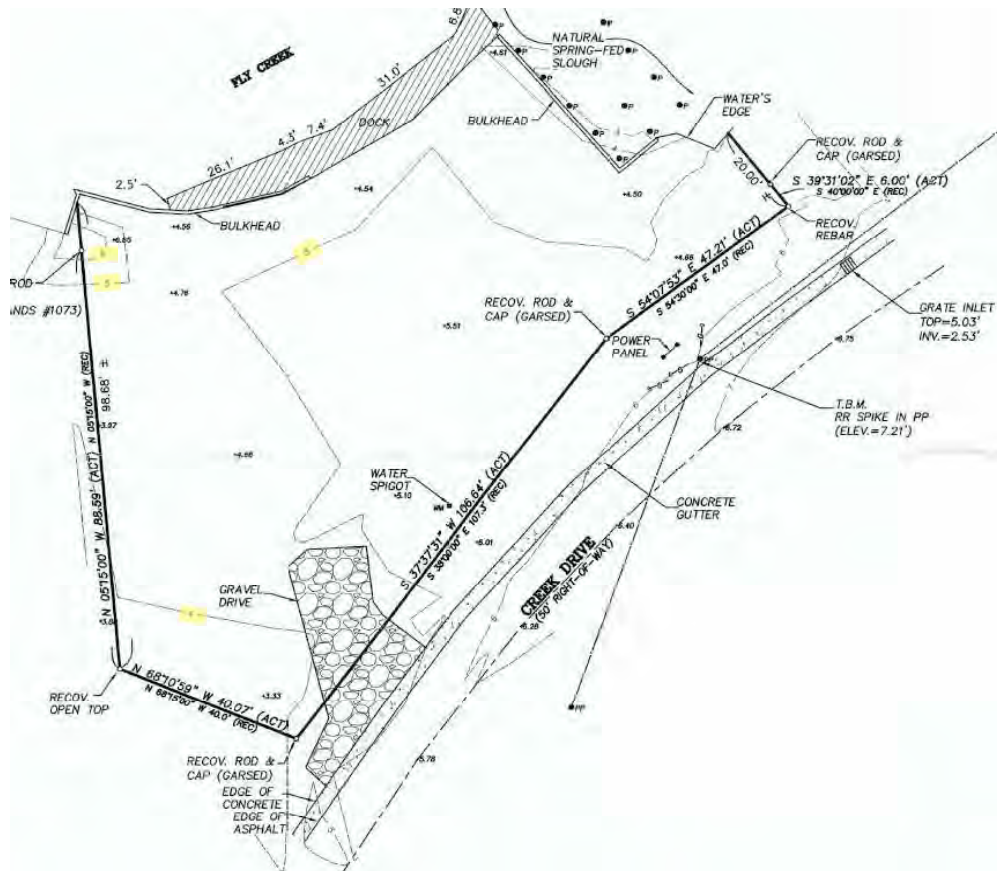


Figure 2: Site Topography

Since topography is not an issue, translation of any structure on site is possible. Figure 3 shows an adjusted site plan that translates the proposed dwelling within the setbacks as they were approved in 2014. The 20' wetland buffer is scaled in as well.

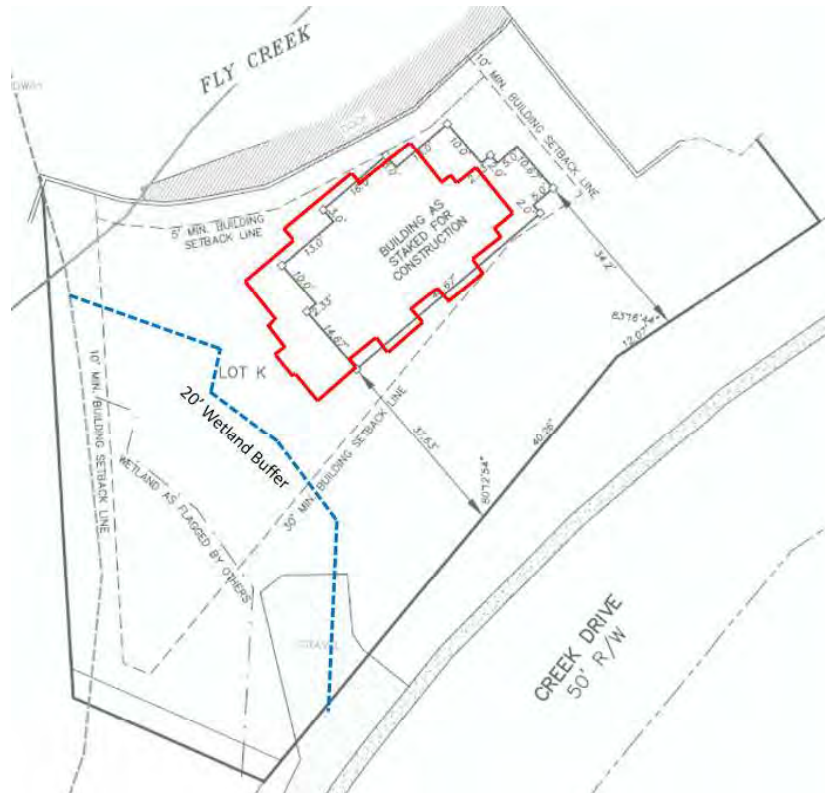


Figure 3: Adjusted Site Plan

For reference, building elevations are included below in Figure 4.



Figure 4: Building Elevations

Due to the fact that topography would allow for translation of a structure within the building setbacks, staff recommends DENIAL of BOA 22.04. Staff does not support the variance to the front setback of 14 feet. However, staff supports a variance to the front setback of 10 feet and a variance to the rear setback of 30 feet, as originally approved in BOA 14.01.

Analysis and Recommendation: Variance Criteria

(a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography.

Response: The lot shape is not typical. The lot has an unusual pie shape where a 40' front and rear set back meet each other over most of the lot. A portion of the area that does not have overlapping front and rear setbacks contains wetlands.

(b) The application of the ordinance to this particular piece of property would create an unnecessary hardship. Personal financial hardship is not a justification for a variance.

Response: Staff maintains agreement with the recommendation made in BOA 14.01.

(c) Such conditions are peculiar to the particular piece of property involved; and

Response: The triangular shape of the subject property, combined with the wetlands, is unique.

(d) Relief, if granted, would not cause substantial detriment to the public good and impair the purpose and intent of this ordinance; provided however, that no variance may be granted for a use of land or building or structure that is prohibited by this ordinance.

Response: Staff does not believe that granting the variance would cause substantial detriment to the public good or impair the purpose and intent of the ordinance.

Recommendation:

Staff recommends DENIAL of BOA 22.04. Staff does not support the variance to the front setback of 14 feet. However, staff supports a variance to the front setback of 10 feet and a variance to the rear setback of 30 feet, as originally approved in BOA 14.01.

Zoning Ordinance Requirements:

The City of Fairhope Zoning Ordinance defines a variance as follows:

Variances: A modification of the strict terms of the relevant regulations in a district with regard to placement of structures, developmental criteria or provision facilities. Examples would be: allowing smaller yard dimensions because an existing lot of record is of substandard size; waiving a portion of required parking and/or loading space due to some unusual circumstances; allowing fencing and/or plant material buffering different from that required due to some unusual circumstances. Variances are available only on appeal to the Board of Adjustment and subject to satisfaction of the standards specified in this ordinance.

The Board of Adjustments is authorized to grant variances through Article II.A.d(3) which says the following:

d. Duties and Powers: The Board shall have the following duties and powers:

(3) Variances - To authorize upon appeal in specific cases variance from the terms of this ordinance not contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of this ordinance will, in an individual case, result in unnecessary hardship, so that the spirit of this ordinance shall be observed, public safety and welfare secured, and substantial justice done.

Prior to granting a variance, the Board shall find that:

- (a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography;
- (b) The application of this ordinance to the particular piece of property would create an unnecessary hardship;
- (c) Such conditions are peculiar to the particular piece of property involved; and,
- (d) Relief, if granted, would not cause substantial detriment to the public good or impair the purpose and intent of this ordinance; provided however, that no variance may be granted for a use of land or building or structure that is prohibited by this ordinance.

The Ordinance provides guidance for variance requests through the following criteria:
Article II.C.3.e.

Criteria – (1) An application for a variance shall be granted only on the concurring vote of four Board members finding that:

- (a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography;
- (b) The application of the ordinance to this particular piece of property would create an unnecessary hardship. Personal financial hardship is not a justification for a variance.
- (c) Such conditions are peculiar to the particular piece of property involved; and
- (d) Relief, if granted, would not cause substantial detriment to the public good and impair the purpose and intent of this ordinance; provided however, that no variance may be granted for a use of land or building or structure that is prohibited by this ordinance.

When a variance is granted by the Zoning Board of Adjustment it has the following effect:

Article II.C.3.g.

Effect of Variance - Any variance granted according to this section and which is not challenged on appeal shall run with the land provided that:

- (1) The variance is acted upon according to the application and subject to any conditions of approval within 365 days of the granting of the variance or final decision of appeal, whichever is later; and
- (2) The variance is recorded with the Judge of Probate.

CITY OF FAIRHOPE BOARD OF ADJUSTMENTS (BOA)
CITY OF FAIRHOPE PLANNING AND ZONING DEPARTMENT
P.O. BOX 429
FAIRHOPE, AL 36533
Telephone: (251) 928-8003

NOTICE OF ACTION TAKEN

BOA MEETING DATE:	April 18, 2022
CASE NUMBER:	BOA 22.04
PROJECT NAME:	863 Creek Drive
PROPERTY LOCATION:	North side of Creek Dr., West of N. Section St.
PPIN#:	63531
APPLICANT:	Rob Littleton on behalf of Patricia Niemeyer
ENGINEER/SURVEYOR:	Rowe Engineering and Surveying, Inc.
REQUEST:	10' Front and 30' Rear Setback Variance
ACTION TAKEN BY THE BOARD:	Approved
CONDITIONS OF APPROVAL:	

BALDWIN COUNTY, ALABAMA
HARRY D'OLIVE, JR. PROBATE JUDGE
Filed/cert. 4/ 5/2023 10:09 AM
TOTAL \$ 13.00
1 Pages

2056081



Reviewed by:
Casey Potts

SURVEY LEGEND	
CRF ○	CAPPED REBAR FOUND
RBF ○	REBAR FOUND
OTP ○	OPEN TOP PIPE FOUND
NF ○	NAIL FOUND
CRS ●	CAPPED REBAR SET
CMF ■	CONCRETE MONUMENT FOUND
(R)	RECORD DIMENSION
(A)	ACTUAL DIMENSION
○	POWER POLE
(W)	WATER METER

SURVEYOR'S NOTES:

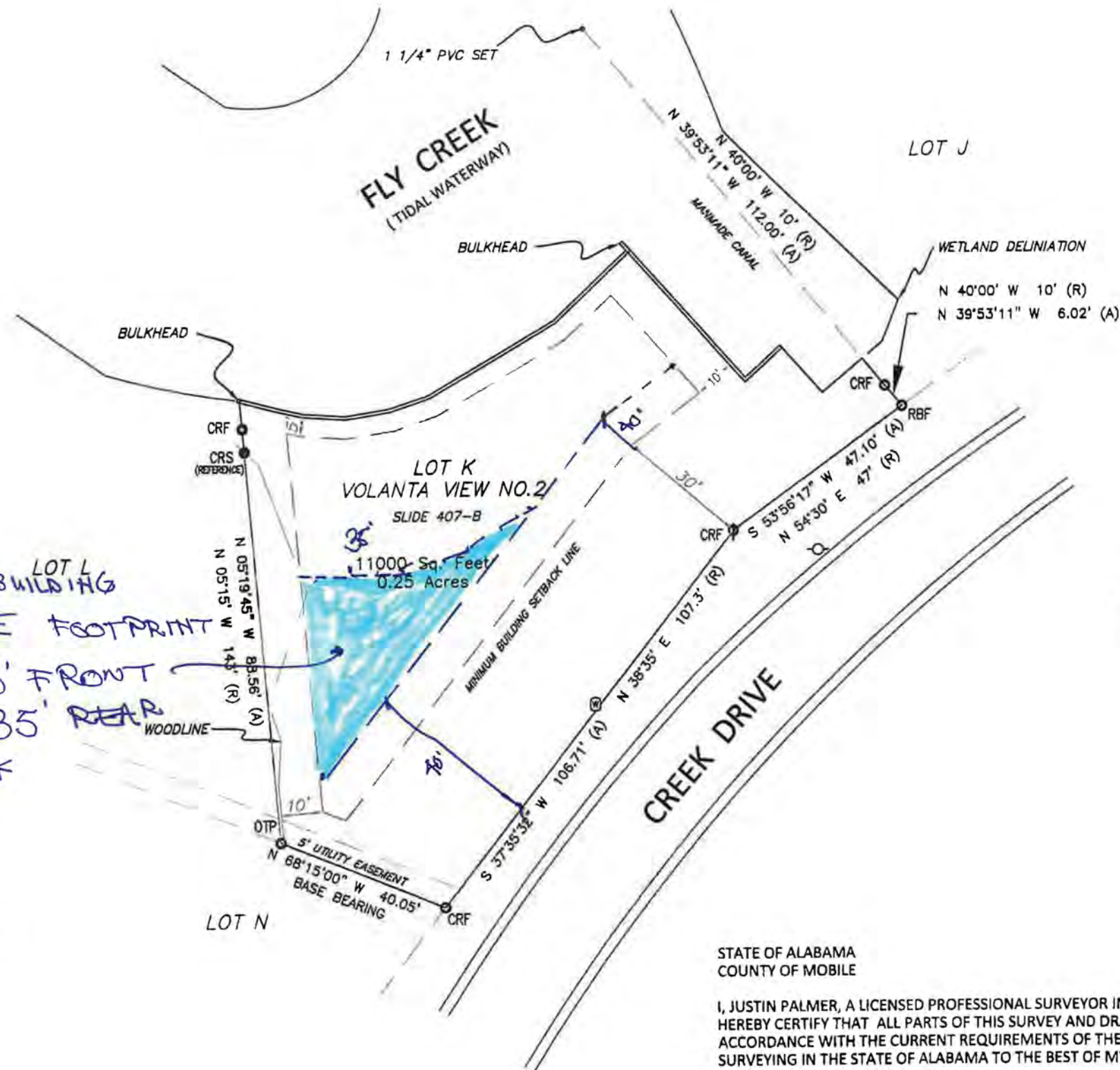
1. UNLESS STATED OTHERWISE HEREON, THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF AN ABSTRACT OF TITLE. NO LIABILITY IS ASSUMED BY THE UNDERSIGNED FOR LOSS RELATING TO ANY MATTER THAT MIGHT BE DISCOVERED BY AN ABSTRACT OR TITLE SEARCH OF THE PROPERTY.
2. REPRODUCTIONS OF THIS PLAT ARE NOT VALID UNLESS SEALED WITH AN ORIGINAL SURVEYOR'S SEAL.
3. TYPE OF SURVEY - BOUNDARY SURVEY
4. BEARINGS REFERENCED FROM RECORD PLAT OF LOT K, VOLANTA VIEW NO. 2 SUBDIVISION ACCORDING TO PLAT THEREOF RECORDED IN MAP BOOK 5 PAGE 162 IN THE OFFICE OF PROBATE COURT RECORDS, BALDWIN COUNTY, ALABAMA.
5. FIELD WORK WAS PERFORMED 04/15/2015.

ADDITIONAL NOTES:

THE FOREGOING IS A TRUE AND CORRECT PLAT OF LOT K VOLANTA VIEW NO. 2 ACCORDING TO THE PLAT RECORDED IN MAP BOOK 5 PAGE 162 IN THE OFFICE OF PROBATE COURT RECORDS, BALDWIN COUNTY, ALABAMA., THAT THERE ARE NO ENCROACHMENTS BY BUILDINGS OF ADJOINING PROPERTY EXCEPT AS SHOWN; THAT THERE ARE NO RIGHT-OF-WAY, EASEMENTS, OR JOINT DRIVEWAYS, OVER OR ACROSS SAID LAND VISIBLE ON THE SURFACE EXCEPT AS SHOWN; THAT THERE ARE NO ELECTRIC OR TELEPHONE WIRES (EXCLUDING WIRES WHICH SERVE THE PREMISES ONLY) OR STRUCTURES OR SUPPORTS THEREOF, INCLUDING POLES, ANCHORS AND GUY WIRES, ON OR OVER SAID PREMISES EXCEPT AS SHOWN.

PROPERTY DESCRIPTION:

LOT K VOLANTA VIEW NO. 2 AS PER THE RECORD PLAT LOCATED IN MAP BOOK 5, PAGE 162, IN THE OFFICE OF PROBATE RECORDS, BALDWIN COUNTY, ALABAMA.



STATE OF ALABAMA
COUNTY OF MOBILE

I, JUSTIN PALMER, A LICENSED PROFESSIONAL SURVEYOR IN MOBILE COUNTY, ALABAMA, HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

Justin Palmer 5/5/15
JUSTIN PALMER, PLS
AL. LICENSE NO. 34934
DATE

THE WOODLANDS GROUP LLC
COA - 1073 - LS



1.		
2.		
3.		
4.		
5.		

PATRICIA NIEMEYER
PROPERTY
LOT K VOLANTA VIEW NO.2
BALDWIN COUNTY, ALABAMA

FIELD WORK BY: JP, CG	DATE: 04/20/15
DRAWN BY: JP	DRAWING NO.: 14008
CHECKED BY: JP	SHEET 1 OF 1
SCALE: 1"=30'	

THE WOODLANDS GROUP LLC
22873 US HWY. 98, FAIRHOPE, AL 36532
PHONE : 251-929-4774

SURVEY LEGEND	
CRF ○	CAPPED REBAR FOUND
RBF ○	REBAR FOUND
OTP ○	OPEN TOP PIPE FOUND
NF ○	NAIL FOUND
CRS ●	CAPPED REBAR SET
CMF ■	CONCRETE MONUMENT FOUND
(R)	RECORD DIMENSION
(A)	ACTUAL DIMENSION
○	POWER POLE
W	WATER METER

SURVEYOR'S NOTES:

1. UNLESS STATED OTHERWISE HEREON, THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF AN ABSTRACT OF TITLE. NO LIABILITY IS ASSUMED BY THE UNDERSIGNED FOR LOSS RELATING TO ANY MATTER THAT MIGHT BE DISCOVERED BY AN ABSTRACT OR TITLE SEARCH OF THE PROPERTY.
2. REPRODUCTIONS OF THIS PLAT ARE NOT VALID UNLESS SEALED WITH AN ORIGINAL SURVEYOR'S SEAL.
3. TYPE OF SURVEY - BOUNDARY SURVEY
4. BEARINGS REFERENCED FROM RECORD PLAT OF LOT K, VOLANTA VIEW NO. 2 SUBDIVISION ACCORDING TO PLAT THEREOF RECORDED IN MAP BOOK 5 PAGE 162 IN THE OFFICE OF PROBATE COURT RECORDS, BALDWIN COUNTY, ALABAMA.
5. FIELD WORK WAS PERFORMED 04/15/2015.

ADDITIONAL NOTES:

THE FOREGOING IS A TRUE AND CORRECT PLAT OF LOT K VOLANTA VIEW NO. 2 ACCORDING TO THE PLAT RECORDED IN MAP BOOK 5 PAGE 162 IN THE OFFICE OF PROBATE COURT RECORDS, BALDWIN COUNTY, ALABAMA., THAT THERE ARE NO ENCROACHMENTS BY BUILDINGS OF ADJOINING PROPERTY EXCEPT AS SHOWN; THAT THERE ARE NO RIGHT-OF-WAY, EASEMENTS, OR JOINT DRIVEWAYS, OVER OR ACROSS SAID LAND VISIBLE ON THE SURFACE EXCEPT AS SHOWN; THAT THERE ARE NO ELECTRIC OR TELEPHONE WIRES (EXCLUDING WIRES WHICH SERVE THE PREMISES ONLY) OR STRUCTURES OR SUPPORTS THEREOF, INCLUDING POLES, ANCHORS AND GUY WIRES, ON OR OVER SAID PREMISES EXCEPT AS SHOWN.

PROPERTY DESCRIPTION:

LOT K VOLANTA VIEW NO. 2 AS PER THE RECORD PLAT LOCATED IN MAP BOOK 5, PAGE 162, IN THE OFFICE OF PROBATE RECORDS, BALDWIN COUNTY, ALABAMA.



1.		
2.		
3.		
4.		
5.		

PATRICIA NIEMEYER
PROPERTY
LOT K VOLANTA VIEW NO.2
BALDWIN COUNTY, ALABAMA

FIELD WORK BY: JP, CG	DATE: 04/20/15
DRAWN BY: JP	DRAWING NO.: 14008
CHECKED BY: JP	SHEET 1 OF 1
SCALE: 1"=30'	

THE WOODLANDS GROUP LLC
22873 US HWY. 98, FAIRHOPE, AL 36532
PHONE : 251-929-4774

October 16, 2025

Rob Littleton
Post Office Box 2141
Fairhope, Alabama 36533



Subject: Wetland Delineation
Lot K, Block U2, Volanta View Subdivision
Creek Drive / Fly Creek (PPIN: 63531)
Fairhope, Baldwin Co., Alabama

Dear Rob:

As requested, Wetland Resources has again conducted a wetland delineation on the above-described lot located between the south bank of Fly Creek and the north side of Creek Drive in Fairhope, Baldwin Co., Alabama.

I determined that a small area along the west property line is wetlands, as was found in 2022. The wetland boundary is essentially the same as previously determined and has been delineated using the approved U.S. Army Corps of Engineers method, according to the *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Atlantic and Gulf Coastal Plain Region*. The wetland boundary is marked with pink pin flags printed with **WETLAND DELINEATION**. Flags are sequentially numbered to assure accurate mapping.

Data was collected on vegetation, soils, and hydrology at representative sample points and wetland determination data forms have been completed and are attached. I expect the city will want the wetland boundary overlain on the property survey plat. The city may also want a copy of the data forms and this letter.

The Corps is the regulatory authority regarding wetlands and other waters that fall under Section 404 of the Clean Water Act jurisdiction. Section 404 regulates placement of fill in jurisdictional waters, including wetlands, as well as other activities that have the same effect as fill, such as mechanized land-clearing. If no fill is to be placed in wetlands, no permit from the Corps will be required.

A sketch showing the approximate wetland boundary is attached and should be provided to your professional land surveyor. The wetland boundary should be located and overlain on the property survey plat. Wetland area present should be stated in square feet.

If you have any questions or need anything further, please do not hesitate to contact me.

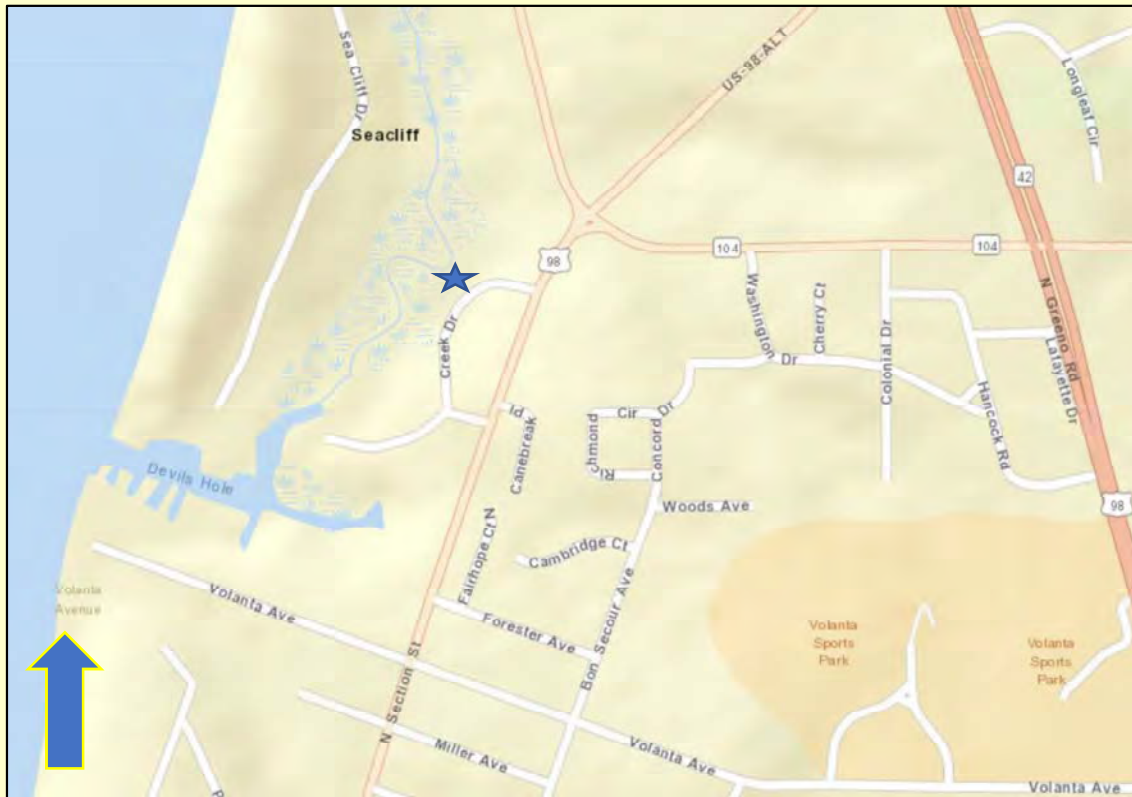
Sincerely,

Gena Todia

Attachments:
Vicinity Map and Wetland Sketch
Wetland Determination Data Forms

Location Map

Lot K, Block U2, Volanta View Subdivision
Creek Drive / Fly Creek (PPIN: 063531)
Fairhope, Baldwin Co., Alabama



Wetland Delineation Sketch

Questions: Contact Gena Todia, Wetland Resources at (251) 402-6055, jaget@zebra.net



WETLAND DETERMINATION DATA FORM – Atlantic and Gulf Coastal Plain Region

Project/Site: Lot K, Blk U2, Volanta View, Creek Dr. City/County: Fairhope / Baldwin Sampling Date: 10/10/2025
Applicant/Owner: Rob and Patricia Littleton (PIN: 63531) State: Ala. Sampling Point: U-1
Investigator(s): Gena Todia, Wetland Resources Section, Township, Range: S 8 - T 6S - R 3E
Landform (hillslope, terrace, etc.): flood plain (filled) Local relief (concave, convex, none): none Slope (%): <1
Subregion (LRR or MLRA): LRR T Lat: 30.544969 Long: -87.898241 Datum: WGS84
Soil Map Unit Name: Hb - Hyde, Bayboro, and Muck soils NWI classification: E1UBLx

Are climatic / hydrologic conditions on the site typical for this time of year? Yes ☒ No ☐ (If no, explain in Remarks.)
Are Vegetation ☐, Soil ☐, or Hydrology ☐ significantly disturbed? Are "Normal Circumstances" present? Yes ☒ No ☐
Are Vegetation ☐, Soil ☐, or Hydrology ☐ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes ☐	No ☒	Is the Sampled Area within a Wetland?	Yes ☐	No ☒
Hydric Soil Present?	Yes ☐	No ☒			
Wetland Hydrology Present?	Yes ☐	No ☒			

Remarks:

This sample point is located in the central area of the lot. This lot was filled and bulkheaded years ago. It has been landscaped along the south edge and the remainder, except the small wetland area along the west boundary, is mowed regularly.

HYDROLOGY

Wetland Hydrology Indicators:

Primary Indicators (minimum of one is required; check all that apply)

- | | |
|--|--|
| ☐ Surface Water (A1) | ☐ Aquatic Fauna (B13) |
| ☐ High Water Table (A2) | ☐ Marl Deposits (B15) (LRR U) |
| ☐ Saturation (A3) | ☐ Hydrogen Sulfide Odor (C1) |
| ☐ Water Marks (B1) | ☐ Oxidized Rhizospheres along Living Roots (C3) |
| ☐ Sediment Deposits (B2) | ☐ Presence of Reduced Iron (C4) |
| ☐ Drift Deposits (B3) | ☐ Recent Iron Reduction in Tilled Soils (C6) |
| ☐ Algal Mat or Crust (B4) | ☐ Thin Muck Surface (C7) |
| ☐ Iron Deposits (B5) | ☐ Other (Explain in Remarks) |
| ☐ Inundation Visible on Aerial Imagery (B7) | |
| ☐ Water-Stained Leaves (B9) | |

Secondary Indicators (minimum of two required)

- | |
|--|
| ☐ Surface Soil Cracks (B6) |
| ☐ Sparsely Vegetated Concave Surface (B8) |
| ☐ Drainage Patterns (B10) |
| ☐ Moss Trim Lines (B16) |
| ☐ Dry-Season Water Table (C2) |
| ☐ Crayfish Burrows (C8) |
| ☐ Saturation Visible on Aerial Imagery (C9) |
| ☐ Geomorphic Position (D2) |
| ☐ Shallow Aquitard (D3) |
| ☐ FAC-Neutral Test (D5) |
| ☐ Sphagnum moss (D8) (LRR T,U) |

Field Observations:

Surface Water Present?	Yes ☐	No ☒	Depth (inches): <u>n/a</u>
Water Table Present?	Yes ☐	No ☒	Depth (inches): <u>>20</u>
Saturation Present? (includes capillary fringe)	Yes ☐	No ☒	Depth (inches): <u>>20</u>

Wetland Hydrology Present? Yes ☐ No ☒

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

FAC-Neutral Test is negative at 1:5.

VEGETATION – Use scientific names of plants.

 Sampling Point: U-1

Tree Stratum (Plot sizes: <u>30-ft. radius</u>)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:																
1. <u>Pinus elliotii</u>	<u>10.0</u>	<u>yes</u>	<u>FACW</u>	Number of Dominant Species That Are OBL, FACW, or FAC: <u>1</u> (A)																
2. _____	_____	_____	_____	Total Number of Dominant Species Across All Strata: <u>6</u> (B)																
3. _____	_____	_____	_____	Percent of Dominant Species That Are OBL, FACW, or FAC: <u>16.6%</u> (A/B)																
4. _____	_____	_____	_____	Prevalence Index worksheet: <table style="width: 100%;"> <tr> <td style="width: 50%;">Total % Cover of:</td> <td style="width: 50%;">Multiply by:</td> </tr> <tr> <td>OBL species _____</td> <td>x 1 = _____</td> </tr> <tr> <td>FACW species _____</td> <td>x 2 = _____</td> </tr> <tr> <td>FAC species _____</td> <td>x 3 = _____</td> </tr> <tr> <td>FACU species _____</td> <td>x 4 = _____</td> </tr> <tr> <td>UPL species _____</td> <td>x 5 = _____</td> </tr> <tr> <td>Column Totals: _____ (A)</td> <td>_____ (B)</td> </tr> <tr> <td colspan="2">Prevalence Index = B/A = _____</td> </tr> </table>	Total % Cover of:	Multiply by:	OBL species _____	x 1 = _____	FACW species _____	x 2 = _____	FAC species _____	x 3 = _____	FACU species _____	x 4 = _____	UPL species _____	x 5 = _____	Column Totals: _____ (A)	_____ (B)	Prevalence Index = B/A = _____	
Total % Cover of:	Multiply by:																			
OBL species _____	x 1 = _____																			
FACW species _____	x 2 = _____																			
FAC species _____	x 3 = _____																			
FACU species _____	x 4 = _____																			
UPL species _____	x 5 = _____																			
Column Totals: _____ (A)	_____ (B)																			
Prevalence Index = B/A = _____																				
5. _____	_____	_____	_____																	
6. _____	_____	_____	_____																	
7. _____	_____	_____	_____																	
50% of total cover: <u>5.00</u> 20% of total cover: <u>2.00</u>	<u>10.0</u>	= Total Cover																		
Sapling Stratum (<u>30-ft. radius</u>)				Hydrophytic Vegetation Indicators: <u>1</u> - Rapid Test for Hydrophytic Vegetation <u>2</u> - Dominance Test is >50% <u>3</u> - Prevalence Index is ≤3.0 ¹ Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.																
1. <u>none</u>	_____	_____	_____																	
2. _____	_____	_____	_____																	
3. _____	_____	_____	_____																	
4. _____	_____	_____	_____																	
5. _____	_____	_____	_____	Definitions of Vegetation Strata: Tree – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and 3 in. (7.6 cm) or larger in diameter at breast height (DBH). Sapling – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and less than 3 in. (7.6 cm) DBH. Shrub – Woody plants, excluding woody vines, approximately 3 to 20 ft (1 to 6 m) in height. Herb – All herbaceous (non-woody) plants, including herbaceous vines, regardless of size AND woody plants, except woody vines, less than approximately 3 ft (1 m) in height. Woody vine – All woody vines, regardless of height. Hydrophytic Vegetation Present? Yes _____ No ☒																
6. _____	_____	_____	_____																	
7. _____	_____	_____	_____																	
50% of total cover: _____ 20% of total cover: _____	<u>0.0</u>	= Total Cover																		
Shrub Stratum (<u>30-ft. radius</u>)																				
1. <u>Rhododendron indicum</u>	<u>10.0</u>	<u>yes</u>	<u>UPL</u>	Definitions of Vegetation Strata: Tree – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and 3 in. (7.6 cm) or larger in diameter at breast height (DBH). Sapling – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and less than 3 in. (7.6 cm) DBH. Shrub – Woody plants, excluding woody vines, approximately 3 to 20 ft (1 to 6 m) in height. Herb – All herbaceous (non-woody) plants, including herbaceous vines, regardless of size AND woody plants, except woody vines, less than approximately 3 ft (1 m) in height. Woody vine – All woody vines, regardless of height. Hydrophytic Vegetation Present? Yes _____ No ☒																
2. <u>Ilex cornuta</u>	<u>5.0</u>	<u>yes</u>	<u>UPL</u>																	
3. _____	_____	_____	_____																	
4. _____	_____	_____	_____																	
5. _____	_____	_____	_____																	
6. _____	_____	_____	_____	Definitions of Vegetation Strata: Tree – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and 3 in. (7.6 cm) or larger in diameter at breast height (DBH). Sapling – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and less than 3 in. (7.6 cm) DBH. Shrub – Woody plants, excluding woody vines, approximately 3 to 20 ft (1 to 6 m) in height. Herb – All herbaceous (non-woody) plants, including herbaceous vines, regardless of size AND woody plants, except woody vines, less than approximately 3 ft (1 m) in height. Woody vine – All woody vines, regardless of height. Hydrophytic Vegetation Present? Yes _____ No ☒																
7. _____	_____	_____	_____																	
50% of total cover: <u>7.50</u> 20% of total cover: <u>3.00</u>	<u>15.0</u>	= Total Cover																		
Herb Stratum (<u>30-ft. radius</u>)																				
1. <u>Paspalum notatum</u>	<u>30.0</u>	<u>yes</u>	<u>FACU</u>																	
2. <u>Kummerowia striata</u>	<u>30.0</u>	<u>yes</u>	<u>FACU</u>	Definitions of Vegetation Strata: Tree – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and 3 in. (7.6 cm) or larger in diameter at breast height (DBH). Sapling – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and less than 3 in. (7.6 cm) DBH. Shrub – Woody plants, excluding woody vines, approximately 3 to 20 ft (1 to 6 m) in height. Herb – All herbaceous (non-woody) plants, including herbaceous vines, regardless of size AND woody plants, except woody vines, less than approximately 3 ft (1 m) in height. Woody vine – All woody vines, regardless of height. Hydrophytic Vegetation Present? Yes _____ No ☒																
3. <u>Eremochloa ophiuroides</u>	<u>20.0</u>	<u>yes</u>	<u>UPL</u>																	
4. <u>Phyllanthus urinaria</u>	<u>15.0</u>	<u>no</u>	<u>FAC</u>																	
5. <u>Axonopus fissifolius</u>	<u>5.0</u>	<u>no</u>	<u>FACW</u>																	
6. <u>Centella erecta</u>	<u>0.5</u>	<u>no</u>	<u>FACW</u>																	
7. _____	_____	_____	_____	Definitions of Vegetation Strata: Tree – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and 3 in. (7.6 cm) or larger in diameter at breast height (DBH). Sapling – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and less than 3 in. (7.6 cm) DBH. Shrub – Woody plants, excluding woody vines, approximately 3 to 20 ft (1 to 6 m) in height. Herb – All herbaceous (non-woody) plants, including herbaceous vines, regardless of size AND woody plants, except woody vines, less than approximately 3 ft (1 m) in height. Woody vine – All woody vines, regardless of height. Hydrophytic Vegetation Present? Yes _____ No ☒																
8. _____	_____	_____	_____																	
9. _____	_____	_____	_____																	
10. _____	_____	_____	_____																	
11. _____	_____	_____	_____																	
12. _____	_____	_____	_____	Definitions of Vegetation Strata: Tree – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and 3 in. (7.6 cm) or larger in diameter at breast height (DBH). Sapling – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and less than 3 in. (7.6 cm) DBH. Shrub – Woody plants, excluding woody vines, approximately 3 to 20 ft (1 to 6 m) in height. Herb – All herbaceous (non-woody) plants, including herbaceous vines, regardless of size AND woody plants, except woody vines, less than approximately 3 ft (1 m) in height. Woody vine – All woody vines, regardless of height. Hydrophytic Vegetation Present? Yes _____ No ☒																
50% of total cover: <u>50.25</u> 20% of total cover: <u>20.10</u>	<u>100.5</u>	= Total Cover																		
Woody Vine Stratum (<u>30-ft. radius</u>)																				
1. <u>none</u>	_____	_____	_____																	
2. _____	_____	_____	_____																	
3. _____	_____	_____	_____	Definitions of Vegetation Strata: Tree – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and 3 in. (7.6 cm) or larger in diameter at breast height (DBH). Sapling – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and less than 3 in. (7.6 cm) DBH. Shrub – Woody plants, excluding woody vines, approximately 3 to 20 ft (1 to 6 m) in height. Herb – All herbaceous (non-woody) plants, including herbaceous vines, regardless of size AND woody plants, except woody vines, less than approximately 3 ft (1 m) in height. Woody vine – All woody vines, regardless of height. Hydrophytic Vegetation Present? Yes _____ No ☒																
4. _____	_____	_____	_____																	
5. _____	_____	_____	_____																	
50% of total cover: _____ 20% of total cover: _____	<u>0.0</u>	= Total Cover																		
Remarks: (If observed, list morphological adaptations below).																				

SOIL

Sampling Point: U-1**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-3	10YR3/2	100					SALM	The entire soil profile appears
3-8	10YR4/2	60					SALM	to be fill material at least to
3-8	10YR3/6	40					SALM	16 in. below the surface
8-16	10YR3/1	70					LMSA	No redox features were
8-16	10YR4/3	30					LMSA	observed
16-20	10YR3/1	100					LMSA	

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, MS=Masked Sand Grains.²Location: PL=Pore Lining, M=Matrix.**Hydric Soil Indicators:**

☐ Histosol (A1)
☐ Histic Epipedon (A2)
☐ Black Histic (A3)
☐ Hydrogen Sulfide (A4)
☐ Stratified Layers (A5)
☐ Organic Bodies (A6) (LRR P, T, U)
☐ 5 cm Mucky Mineral (A7) (LRR P, T, U)
☐ Muck Presence (A8) (LRR U)
☐ 1 cm Muck (A9) (LRR P, T)
☐ Depleted Below Dark Surface (A11)
☐ Thick Dark Surface (A12)
☐ Coast Prairie Redox (A16) (MLRA 150A)
☐ Sandy Mucky Mineral (S1) (LRR O, S)
☐ Sandy Gleyed Matrix (S4)
☐ Sandy Redox (S5)
☐ Stripped Matrix (S6)
☐ Dark Surface (S7) (LRR P, S, T, U)

☐ Polyvalue Below Surface (S8) (LRR S, T, U)
☐ Thin Dark Surface (S9) (LRR S, T, U)
☐ Loamy Mucky Mineral (F1) (LRR O)
☐ Loamy Gleyed Matrix (F2)
☐ Depleted Matrix (F3)
☐ Redox Dark Surface (F6)
☐ Depleted Dark Surface (F7)
☐ Redox Depressions (F8)
☐ Marl (F10) (LRR U)
☐ Depleted Ochric (F11) (MLRA 151)
☐ Iron-Manganese Masses (F12) (LRR O, P, T)
☐ Umbric Surface (F13) (LRR P, T, U)
☐ Delta Ochric (F17) (MLRA 151)
☐ Reduced Vertic (F18) (MLRA 150A, 150B)
☐ Piedmont Floodplain Soils (F19) (MLRA 149A)
☐ Anomalous Bright Loamy Soils (F20) (MLRA 149A, 153C, 153D)

Indicators for Problematic Hydric Soils³:

☐ 1 cm Muck (A9) (LRR O)
☐ 2 cm Muck (A10) (LRR S)
☐ Reduced Vertic (F18) (outside MLRA 150A,B)
☐ Piedmont Floodplain Soils (F19) (LRR P, S, T)
☐ Anomalous Bright Loamy Soils (F20) (MLRA 153B)
☐ Red Parent Material (TF2)
☐ Very Shallow Dark Surface (TF12)
☐ Other (Explain in Remarks)

³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):Type: none observed

Depth (inches): _____

Hydric Soil Present? Yes _____ No ☒**Remarks:**

SALM = sandy loam
 LMSA = loamy sand

WETLAND DETERMINATION DATA FORM – Atlantic and Gulf Coastal Plain Region

Project/Site: Lot K, Blk U2, Volanta View, Creek Dr. City/County: Fairhope / Baldwin Sampling Date: 10/10/2025
Applicant/Owner: Rob and Patricia Littleton (PIN: 63531) State: Ala. Sampling Point: W-1
Investigator(s): Gena Todia, Wetland Resources Section, Township, Range: S 8 - T 6S - R 3E
Landform (hillslope, terrace, etc.): flood plain (partially filled) Local relief (concave, convex, none): Concave Slope (%): <1
Subregion (LRR or MLRA): LRR T Lat: 30.544891 Long: -87.898446 Datum: WGS84
Soil Map Unit Name: Hb - Hyde, Bayboro, and Muck soils NWI classification: none

Are climatic / hydrologic conditions on the site typical for this time of year? Yes ☒ No ☐ (If no, explain in Remarks.)
Are Vegetation ☐, Soil ☐, or Hydrology ☐ significantly disturbed? Are "Normal Circumstances" present? Yes ☒ No ☐
Are Vegetation ☐, Soil ☐, or Hydrology ☐ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes ☐ No ☒	Is the Sampled Area within a Wetland?	Yes ☐ No ☒
Hydric Soil Present?	Yes ☐ No ☒		
Wetland Hydrology Present?	Yes ☐ No ☒		

Remarks:

This sample point is located along the west property line of the lot. This lot was filled and bulkheaded years ago. It has been landscaped along the south edge and the remainder, except the small wetland area along the west boundary, is mowed regularly.

HYDROLOGY

Wetland Hydrology Indicators:

Primary Indicators (minimum of one is required; check all that apply)

☐ Surface Water (A1)	☐ Aquatic Fauna (B13)
☒ High Water Table (A2)	☐ Marl Deposits (B15) (LRR U)
☒ Saturation (A3)	☐ Hydrogen Sulfide Odor (C1)
☐ Water Marks (B1)	☒ Oxidized Rhizospheres along Living Roots (C3)
☐ Sediment Deposits (B2)	☐ Presence of Reduced Iron (C4)
☐ Drift Deposits (B3)	☐ Recent Iron Reduction in Tilled Soils (C6)
☐ Algal Mat or Crust (B4)	☐ Thin Muck Surface (C7)
☐ Iron Deposits (B5)	☐ Other (Explain in Remarks)
☐ Inundation Visible on Aerial Imagery (B7)	
☐ Water-Stained Leaves (B9)	

Secondary Indicators (minimum of two required)

☐ Surface Soil Cracks (B6)
☐ Sparsely Vegetated Concave Surface (B8)
☐ Drainage Patterns (B10)
☐ Moss Trim Lines (B16)
☐ Dry-Season Water Table (C2)
☐ Crayfish Burrows (C8)
☐ Saturation Visible on Aerial Imagery (C9)
☒ Geomorphic Position (D2)
☐ Shallow Aquitard (D3)
☒ FAC-Neutral Test (D5)
☐ Sphagnum moss (D8) (LRR T,U)

Field Observations:

Surface Water Present?	Yes ☐ No ☒	Depth (inches): <u>n/a</u>
Water Table Present?	Yes ☐ No ☒	Depth (inches): <u>8</u>
Saturation Present? (includes capillary fringe)	Yes ☐ No ☒	Depth (inches): <u>3</u>

Wetland Hydrology Present? Yes ☒ No ☐

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

FAC-Neutral Test is positive at 5:0.

VEGETATION – Use scientific names of plants.

 Sampling Point: W-1

Tree Stratum (Plot sizes: <u>entire wetland</u>)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:
1. <u>Magnolia virginiana</u>	<u>10.0</u>	<u>yes</u>	<u>FACW</u>	Number of Dominant Species That Are OBL, FACW, or FAC: <u>7</u> (A) Total Number of Dominant Species Across All Strata: <u>7</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100%</u> (A/B)
2. <u>Triadica sebifera</u>	<u>8.0</u>	<u>yes</u>	<u>FAC</u>	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
50% of total cover: <u>9.00</u> 20% of total cover: <u>3.60</u>	<u>18.0</u>	= Total Cover		Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling Stratum (<u>entire wetland</u>)				
1. <u>Magnolia virginiana</u>	<u>5.0</u>	<u>yes</u>	<u>FACW</u>	
2. <u>Triadica sebifera</u>	<u>5.0</u>	<u>yes</u>	<u>FAC</u>	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
50% of total cover: <u>5.00</u> 20% of total cover: <u>2.00</u>	<u>10.0</u>	= Total Cover		
Shrub Stratum (<u>entire wetland</u>)				Hydrophytic Vegetation Indicators: <u> </u> 1 - Rapid Test for Hydrophytic Vegetation ☒ 2 - Dominance Test is >50% <u> </u> 3 - Prevalence Index is ≤3.0 ¹ Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
1. <u>Taxodium distichum (planted)</u>	<u>10.0</u>	<u>yes</u>	<u>OBL</u>	
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
50% of total cover: <u>5.00</u> 20% of total cover: <u>2.00</u>	<u>10.0</u>	= Total Cover		
Herb Stratum (<u>entire wetland</u>)				Definitions of Vegetation Strata: Tree – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and 3 in. (7.6 cm) or larger in diameter at breast height (DBH). Sapling – Woody plants, excluding woody vines, approximately 20 ft (6 m) or more in height and less than 3 in. (7.6 cm) DBH. Shrub – Woody plants, excluding woody vines, approximately 3 to 20 ft (1 to 6 m) in height. Herb – All herbaceous (non-woody) plants, including herbaceous vines, regardless of size AND woody plants, except woody vines, less than approximately 3 ft (1 m) in height. Woody vine – All woody vines, regardless of height. Hydrophytic Vegetation Present? Yes ☒ No _____
1. <u>Panicum repens</u>	<u>70.0</u>	<u>yes</u>	<u>FACW</u>	
2. <u>Ludwigia octovalvis</u>	<u>40.0</u>	<u>yes</u>	<u>OBL</u>	
3. <u>Murdannia keisak</u>	<u>20.0</u>	<u>no</u>	<u>OBL</u>	
4. <u>Persicaria hydropiperoides</u>	<u>8.0</u>	<u>no</u>	<u>OBL</u>	
5. <u>Hypericum mutilum</u>	<u>5.0</u>	<u>no</u>	<u>FACW</u>	
6. <u>Fuirena breviseta</u>	<u>5.0</u>	<u>no</u>	<u>FACW</u>	
7. <u>Persicaria longiseta</u>	<u>5.0</u>	<u>no</u>	<u>FACW</u>	
8. <u>Sagittaria latifolia</u>	<u>5.0</u>	<u>no</u>	<u>OBL</u>	
9. <u>Rubus pensilvanicus</u>	<u>5.0</u>	<u>no</u>	<u>FAC</u>	
10. <u>Carex glaucescens</u>	<u>3.0</u>	<u>no</u>	<u>OBL</u>	
11. <u>Phyllanthus urinaria</u>	<u>3.0</u>	<u>no</u>	<u>FAC</u>	
12. <u>Cyperus flavescens</u>	<u>3.0</u>	<u>no</u>	<u>OBL</u>	
50% of total cover: <u>86.00</u> 20% of total cover: <u>34.40</u>	<u>172.0</u>	= Total Cover		
Woody Vine Stratum (<u>entire wetland</u>)				
1. <u>none</u>				
2. _____	_____	_____	_____	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
50% of total cover: _____ 20% of total cover: _____	<u>0.0</u>	= Total Cover		
Remarks: (If observed, list morphological adaptations below).				

SOIL

Sampling Point: W-1**Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-2	10YR3/2	100					LMSA	
2-7	10YR5/2	98	10YR3/6	2	C	M	LMSA	Also oxidized rhizospheres.
7-11	10YR5/4	90					LMSA	
7-11	10YR4/1	10					LMSA	
11-20	2.5Y5/3	50					clay	
11-20	7.5YR5/4	50					clay	

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, MS=Masked Sand Grains.²Location: PL=Pore Lining, M=Matrix.**Hydric Soil Indicators:**

- ☐ Histosol (A1)
☐ Histic Epipedon (A2)
☐ Black Histic (A3)
☐ Hydrogen Sulfide (A4)
☐ Stratified Layers (A5)
☐ Organic Bodies (A6) (LRR P, T, U)
☐ 5 cm Mucky Mineral (A7) (LRR P, T, U)
☐ Muck Presence (A8) (LRR U)
☐ 1 cm Muck (A9) (LRR P, T)
☐ Depleted Below Dark Surface (A11)
☐ Thick Dark Surface (A12)
☐ Coast Prairie Redox (A16) (MLRA 150A)
☐ Sandy Mucky Mineral (S1) (LRR O, S)
☐ Sandy Gleyed Matrix (S4)
☒ Sandy Redox (S5)
☐ Stripped Matrix (S6)
☐ Dark Surface (S7) (LRR P, S, T, U)

- ☐ Polyvalue Below Surface (S8) (LRR S, T, U)
☐ Thin Dark Surface (S9) (LRR S, T, U)
☐ Loamy Mucky Mineral (F1) (LRR O)
☐ Loamy Gleyed Matrix (F2)
☐ Depleted Matrix (F3)
☐ Redox Dark Surface (F6)
☐ Depleted Dark Surface (F7)
☐ Redox Depressions (F8)
☐ Marl (F10) (LRR U)
☐ Depleted Ochric (F11) (MLRA 151)
☐ Iron-Manganese Masses (F12) (LRR O, P, T)
☐ Umbric Surface (F13) (LRR P, T, U)
☐ Delta Ochric (F17) (MLRA 151)
☐ Reduced Vertic (F18) (MLRA 150A, 150B)
☐ Piedmont Floodplain Soils (F19) (MLRA 149A)
☐ Anomalous Bright Loamy Soils (F20) (MLRA 149A, 153C, 153D)

Indicators for Problematic Hydric Soils³:

- ☐ 1 cm Muck (A9) (LRR O)
☐ 2 cm Muck (A10) (LRR S)
☐ Reduced Vertic (F18) (outside MLRA 150A,B)
☐ Piedmont Floodplain Soils (F19) (LRR P, S, T)
☐ Anomalous Bright Loamy Soils (F20)
 (MLRA 153B)
☐ Red Parent Material (TF2)
☐ Very Shallow Dark Surface (TF12)
☐ Other (Explain in Remarks)

³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):Type: none observed

Depth (inches): _____

Hydric Soil Present? Yes ☒ No ☐**Remarks:**

LMSA = loamy sand

The entire soil profile appears to be fill material, but this area was not filled enough to overcome wetland hydrology.

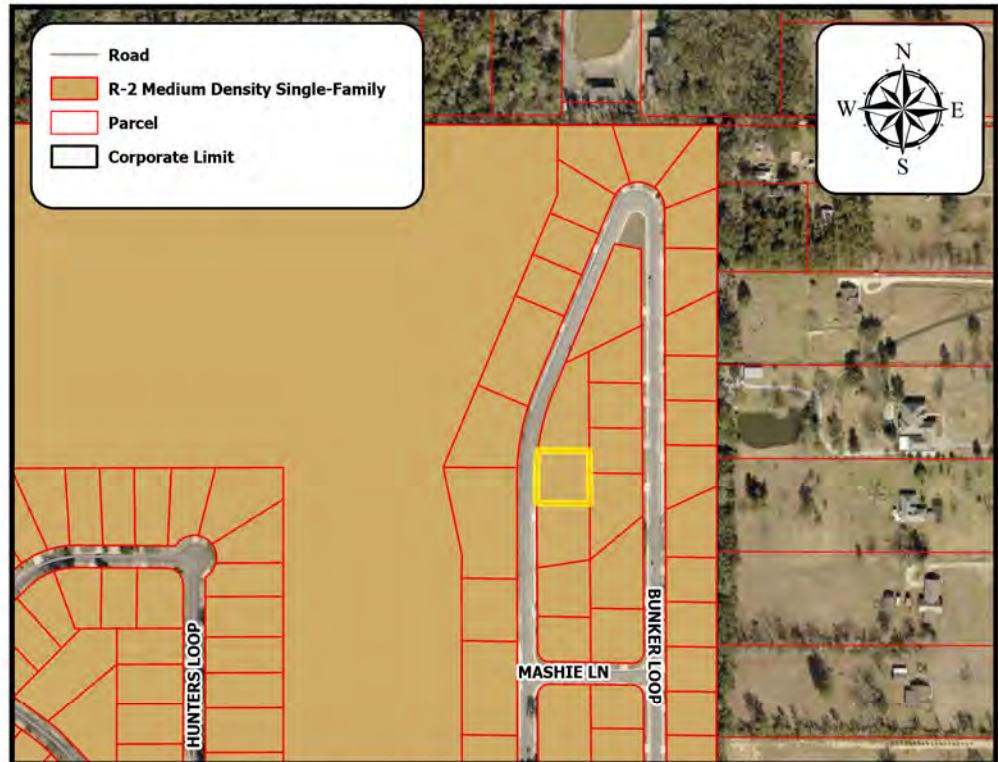
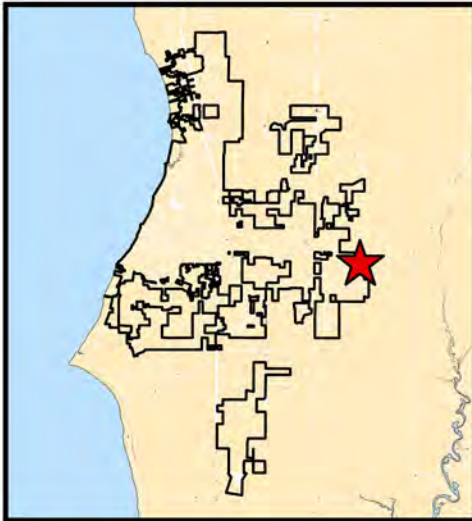
City of Fairhope

Board of Adjustments

November 17, 2025



BOA 25.15 - 20105 Bunker Loop



Project Name:

20105 Bunker Loop

Site Data:

0.33 acres

Project Type:

4 foot rear setback variance

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

R-2 Medium Density Single-Family

PPIN Number:

294211

General Location:

Quail Creek subdivision

Surveyor of Record:

N/A

Engineer of Record:

N/A

Owner / Developer:

Mick Blackledge

School District:

Fairhope Elementary School

Fairhope Middle and High Schools

Recommendation:

Denial

Prepared by:

Payton Rogers



SUMMARY OF REQUEST

Public hearing to consider the request of the Owner, Mick Blackledge, for a 4' rear setback variance. The property is approximately 0.33 acres and is located at 20105 Bunker Loop.

SITE HISTORY

There have been no Board of Adjustments applications associated with this site.

STAFF COMMENTS

The subject site has an existing wooden deck attached to the rear of the primary dwelling which is approximately 30± feet from the rear property line. The Applicant wishes to renovate the deck to include a roof for the structure in order to convert it into a screened-in porch. As a result, once completed the deck would be 31± feet from the rear property line.

It is important to note that per the Quail Creek Estates Unit V Subdivision, recorded in Probate in 2007, the subject site has a required rear yard setback of 35 feet for primary structures. The existing deck is 482± square feet and is located approximately 30± feet from the rear property line. The City of Fairhope Zoning Ordinance does not impose setback restrictions on uncovered decks and as such they are permitted to be located within a rear yard setback. However, if the existing deck were to be covered and enclosed, as proposed, the deck would then be considered to be part of the primary dwelling, and as such, subject to compliance with the required 35-foot rear yard setback. Hence this application.

It should be noted that Article II Section C.3.e of the Zoning Ordinance lays out the standards for reviewing Variance requests for approval. One of the primary considerations among this criteria is the presence of an unnecessary hardship on the property which precludes the reasonable use of the land. In response to this the applicant provided the following justification for the request:

"I have a nice garden developed over the past 10 years. The uncovered deck is unusable on hot or rainy days. This precludes enjoying the garden during these times. In addition, my collection of garden furnishing and cookout grill and cooker are weathering substantially due to the hot and wet conditions."

The complete comments and all application materials may be viewed within the complete agenda package.

VARIANCE CONSIDERATIONS

Standards of Review:

Variances are not intended to be granted frequently. The applicant must clearly show the Board that the request is due to very unusual characteristics of the property and that it satisfies the variance standards. What constitutes extraordinary and exceptional conditions and unnecessary hardship is a matter to be determined from the facts and circumstances of each application.

Article II Section C.3.e(1) of the City of Fairhope Zoning Ordinance states that the Board of Adjustments may grant a Variance if:

- (a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography;
- (b) The application of the ordinance to this particular piece of property would create an unnecessary hardship. Personal financial hardship is not a justification for a variance;
- (c) Such conditions are peculiar to the particular piece of property involved; and
- (d) Relief, if granted, would not cause substantial detriment to the public good and impair the purpose and intent of this ordinance; provided however, that no variance may be granted for a use of land or building or structure that is prohibited by this ordinance.

CONCLUSION AND RECOMMENDATION

The Applicant has not provided sufficient evidence of any extraordinary and/or exceptional conditions which may create unnecessary hardship on the land such that a Variance would be necessary for the reasonable use of the property. Staff is unaware of any reason that would prevent the Applicant from designing a covered deck to meet the required 35-foot rear setback, and as such, cannot support the requested variance.

Recommendation:

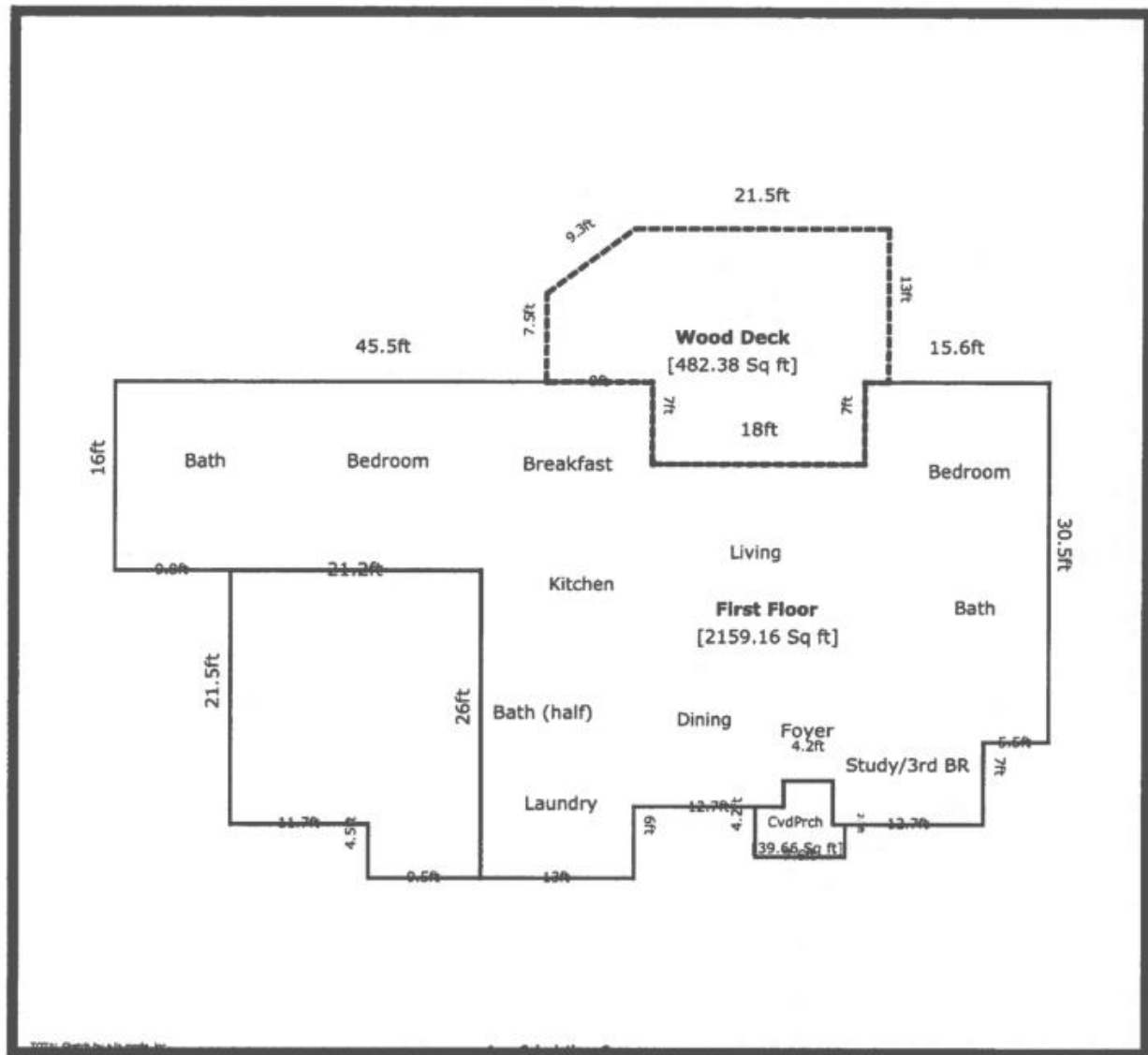
Staff recommends **DENIAL** of the 4' Rear Yard Setback Variance.

EXHIBITS

BOA 25.15 – 20105 Bunker Loop

November 17, 2025

Existing Conditions

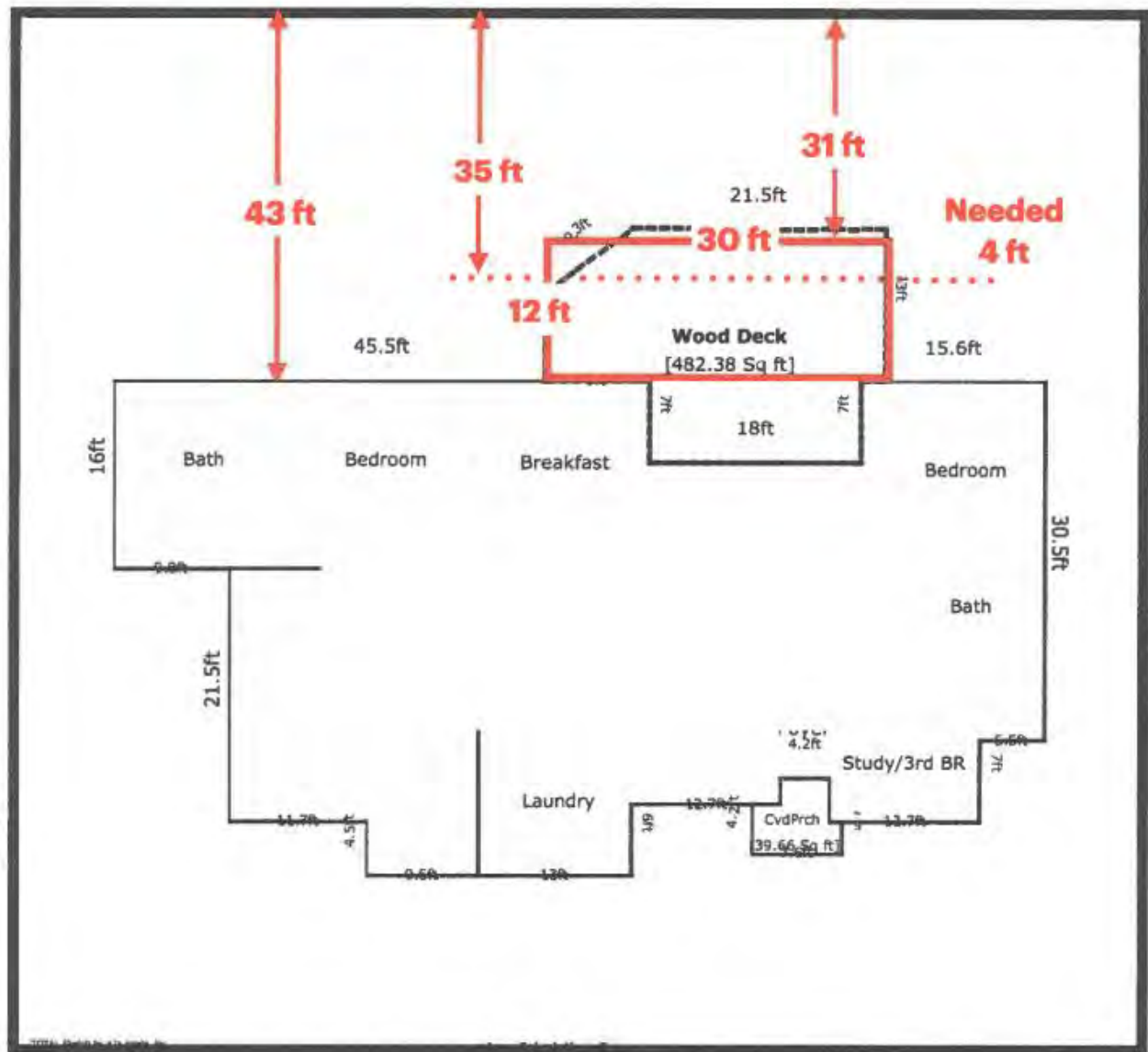


EXHIBITS

BOA 25.15 – 20105 Bunker Loop

November 17, 2025

Proposed Conditions





APPLICATION FOR BOARD OF ADJUSTMENTS

Application Type: ☐ Administrative Appeal ☐ Special Exception ☒ Variance

Property Owner / Leaseholder Information

Name: Mick L. Blackledge Phone Number: 850-240-4950
 Street Address: 20105 Bunker Loop
 City: Fairhope State: Alabama Zip: 36532

micklhome.com

Applicant / Agent Information

If different from above.

Notarized letter from property owner is required if an agent is used for representation.

Name: _____ Phone Number: _____
 Street Address: _____
 City: _____ State: _____ Zip: _____

Site Plan with Existing Conditions Attached: ☒ YES ☐ NO
 Site Plan with Proposed Conditions Attached: ☒ YES ☐ NO
 Variance Request Information Complete: ☒ YES ☐ NO
 Names and Address of all Real Property Owners
 within 300 Feet of Above Described Property Attached: ☒ YES ☐ NO

Applications for Administrative Appeal or Special Exception:

Please attach as a separate sheet(s) information regarding the administrative decision made or information regarding the use seeking approval. Please feel free to be as specific or as general as you wish in your description. This information will be provided to the Board before the actual meeting date. It is to your benefit to explain as much as possible your position or proposal.

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Mick L. Blackledge
 Property Owner/Leaseholder Printed Name

Mick L. Blackledge
 Signature

10/06/2025
 Date

Fairhope Single Tax Corp. (If Applicable)



VARIANCE REQUEST INFORMATION

What characteristics of the property prevent / preclude its development?:

- | | | |
|--|------------------------------------|--|
| ☒ Too Narrow | ☐ Elevation | ☐ Soil |
| ☐ Too Small | ☐ Slope | ☐ Subsurface |
| ☐ Too Shallow | ☐ Shape | ☐ Other (specify) |

Describe the indicated conditions: I have a home with a deck built in 2014 which passed inspections. I am applying to cover the deck with a roof to make a screened porch. The setback of 35 ft needs to be varied to 31 feet to allow the addition.

How do the above indicated characteristics preclude reasonable use of your land?

I have a nice garden developed over the past 10 years. The uncovered deck is unusable on hot or rainy days. This precludes enjoying the garden during these times. In addition my collection of garden furnishing and cookout grill and cooker are weathering substantially due to the hot and wet conditions.

What type of variance are you requesting (be as specific as possible)?

The setback from the rear property line needs to be 31 feet instead of the R-2 standard of 35 feet. The house now sets at 43 feet from the rear boundary.
4 foot variance on rear

Hardship (taken from Code of Alabama 1975 Section 11-52-80):

"To authorize upon appeal in specific cases such variance from the terms of the (zoning) ordinance as will not be contrary to the public interest, where, owing to special conditions, a literal enforcement of the provision of the (zoning) ordinance will result in unnecessary hardship and so that the spirit of the (zoning) ordinance shall be observed and substantial justice done."

BOA Fee Calculation:

	Residential	Commercial
Filing Fee:	\$100	\$500
Publication:	\$20	\$20
TOTAL:	\$	

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

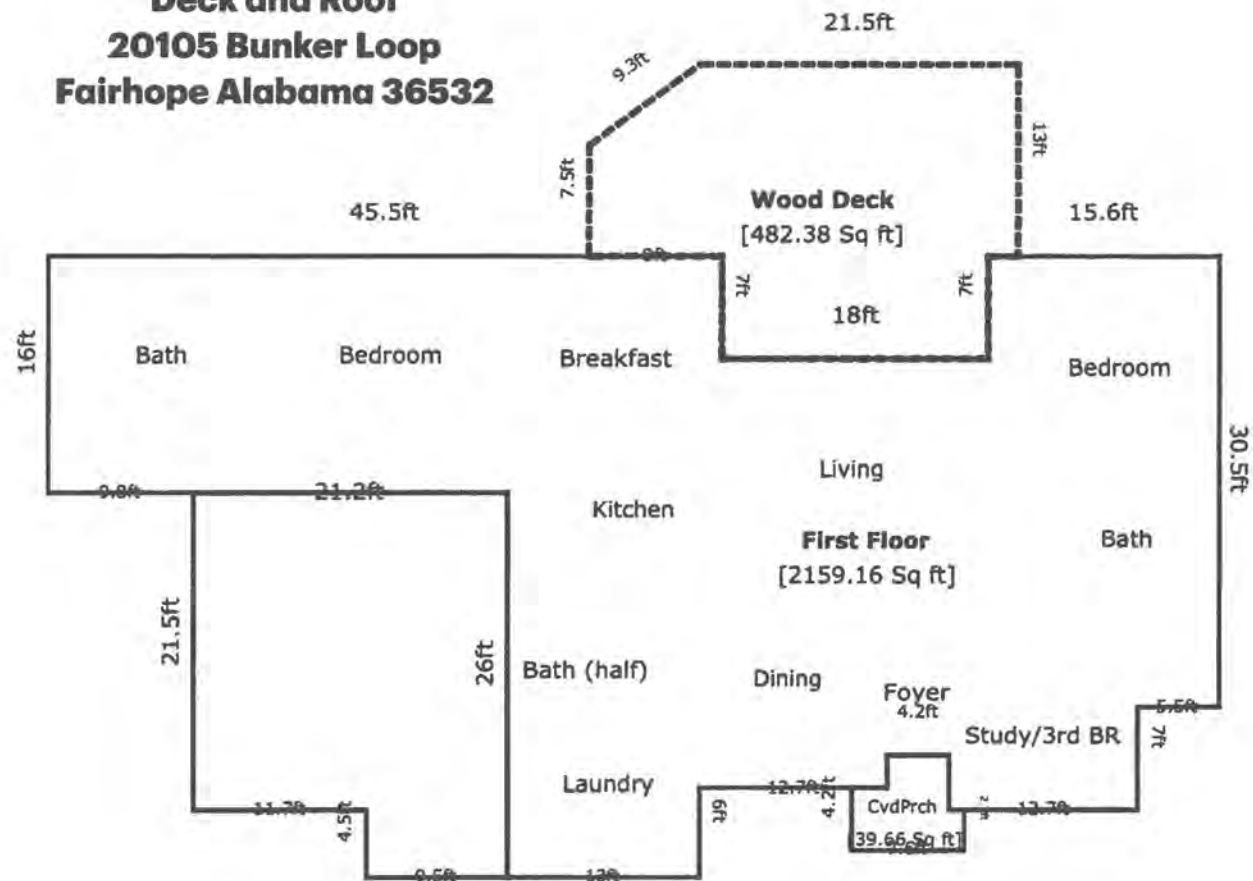
Mick L. Blackledge
 Property Owner/Leaseholder Printed Name

Mick L. Blackledge
 Signature

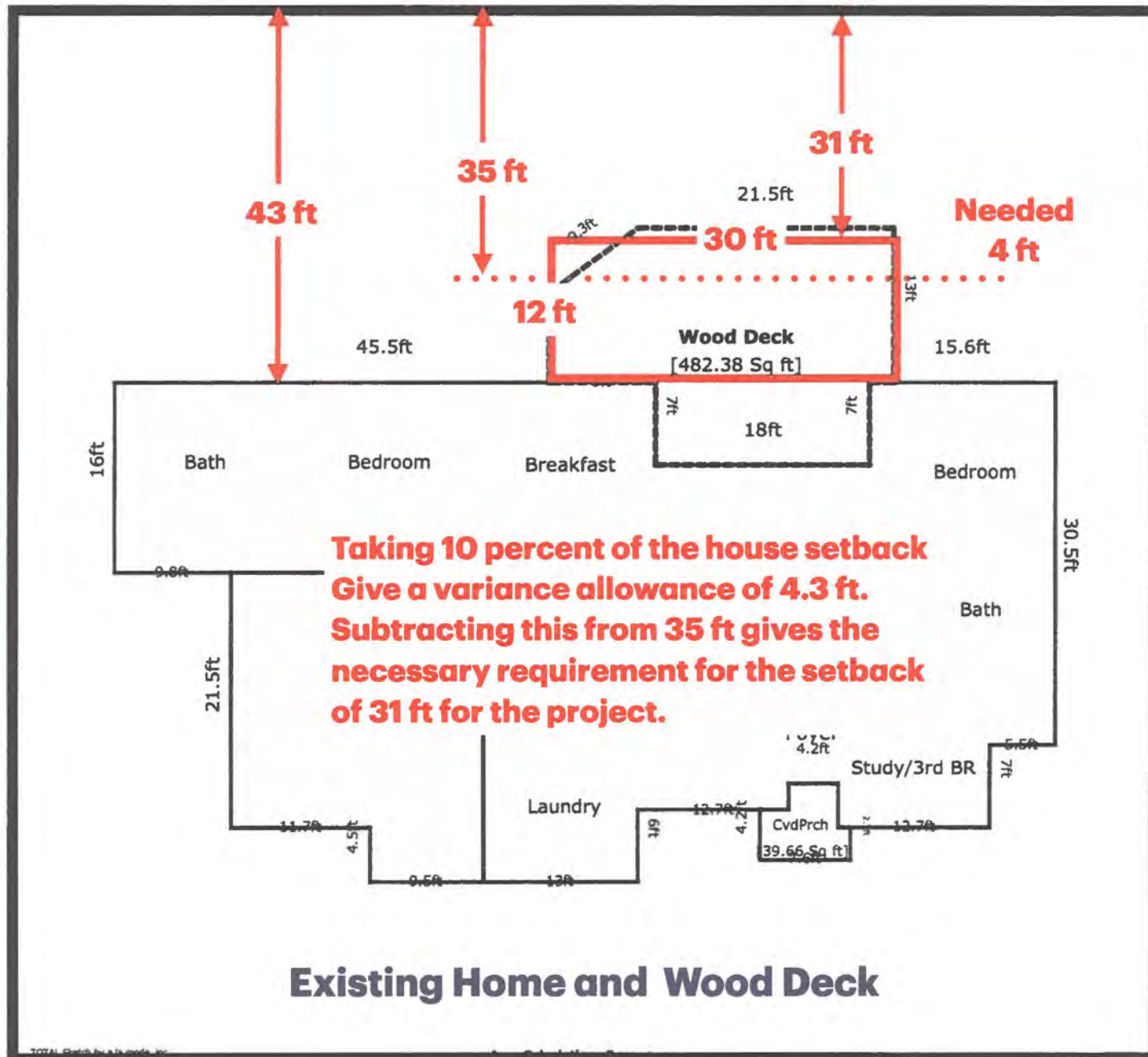
10/06/2025
 Date

Fairhope Single Tax Corp. (If Applicable)

**Column and Beam
Deck and Roof
20105 Bunker Loop
Fairhope Alabama 36532**



Existing Home and Wood Deck



2321 B

**STATE OF ALABAMA
COUNTY OF BALDWIN
CITY OF FAIRHOPE**

OWNER'S CERTIFICATE OF ACCEPTANCE:

We, the undersigned, acting for QUAIL CREEK JOINT VENTURE, (An Alabama Partnership) and with full authority, hereby certify that the said partnership is the Owner of the within platted and described lands and do hereby accept the within Subdivision.

QUAIL CREEK JOINT VENTURE

DO-LEEN CORPORATION PRESIDENT

By: M. L. Egan 1-10-07
Partner Date

Attest: Heather Packer

QUAIL CREEK ASSOCIATIONS, INC PRESIDENT

By: C. Alvin Rohde 1/10/07
Partner Date

Attest: Samuel D. Nelson

**STATE OF ALABAMA
COUNTY OF BALDWIN**

I, a Notary Public, in and for Baldwin County, Alabama, hereby certify that the individuals whose names above are signed to the foregoing OWNERS CERTIFICATE, and who are known to me, acknowledged before me on this date that, being informed of the contents of said CERTIFICATE, they as such Officers and with full authority, executed the same voluntarily for and as the acts of said Partnership.

Given under my hand and seal this 10th day of January, 2007

Crystal D. Nelson
Notary Public - Baldwin County, Alabama

My Commission Expires: 12/8/08

SURVEYOR'S CERTIFICATE:

STATE OF ALABAMA
COUNTY OF BALDWIN

I, Seth W. Moore, a registered land surveyor, hereby state that all parts of this survey and Subdivision plat have been completed in accordance with the requirements by the Standards of Practice for Land Surveying in the State of Alabama and that the attached is a true and correct map of the following description.

Beginning at the North East corner of Lot 187 Unit IV - "A", OF Quail Creek Estates, as recorded on Slide 2060-P in the Judge of Probate's Office Baldwin County, Alabama; thence run North 87° 27' 03" West, 9.88 feet to an iron pin for The Point of Beginning, thence run North 00° 05' 55" East, a distance of 1,999.02 to an iron pin; thence run North 89° 59' 45" West, 356.88 feet to an iron pin; thence run South 00° 25' 34" West, 156.54 to an iron pin, thence run South 22° 59' 43" West, 669.98 feet to an iron pin; thence run South 13° 00' 26" East, 199.88 feet to an iron pin; thence run South 00° 01' 32" East, 1,010.00 feet to an iron pin lying on the North Right-of-way line of Quail Creek Drive; thence run East, along said North Right-of-way line 98.82 feet to a point; thence run along a curve to the left, concave Northwesterly, having a radius of 25 feet, an arc distance of 39.36 feet to a point; thence run South 89° 46' 57" East, 50.00 feet to a point; thence run along a curve to the left, concave Northeasterly, having a radius of 25 feet, and an arc distance of 39.18 feet to a point; thence run South 89° 59' 00" East, 42.90 feet to a point, thence run along a curve to the right, concave Southerly, having a radius of 245.00 feet, and an arc distance of 132.22 feet to a point; thence run along a curve to the left, concave Northerly, having a radius of 25 feet, and an arc distance of 34.62 feet to a point; thence run along a curve to the left, concave Westerly, having a radius of 50.51 feet, and an arc distance of 36.84 feet to a point; thence run North 89° 48' 58" East, a distance of 50.00 feet to the Northwest corner of said Lot 187 Unit IV-"A", thence South 87° 27' 03" East, along the North line of said Lot 187 a distance of 109.25 feet to the Point of Beginning. Said parcel contains 24.31 Acres, more or less.

I further state that the improvements presently situated on said property are located within the boundaries thereof; that there are no encroachments upon said property by buildings or fences situated on adjoining property; and that there are no joint driveways, easements, nor rights-of-way visible on the surface, except as noted hereon.

All according to my survey made this 1st day of November, 2006.

I also state that I have examined the current FIA Official Flood Hazard Map, Community Number 010006, Panel Number 0540 K, and found referenced lot above lies in Flood Zone X.

I also state that this drawing and or certification does not reflect any title or easement research, other than what is visible on the ground or provided by the clients at time of survey.

QUAIL CREEK ESTATES, UNIT V
FINISH FLOOR ELEVATIONS

LOT	ELEVATION	LOT	ELEVATION
259	82	288	75
260	87	289	76
261	88.5	290	75
262	90	291	75
263	88	292	69
264	91	293	73
265	92	294	77
266	90	295	83
267	88	296	81
268	87	297	74
269	85	298	81
270	87	299	79
271	92	300	82
272	95	301	86
273	95	302	84
274	96	303	89
275	102	304	90
276	103	305	91
277	98	306	89
278	95	307	84
279	94	308	80
280	93	309	84
281	79	310	87
282	86	311	83
284	78	312	81.5
285	80	313	84
286	74	314	85.5
287	73	315	84
		316	80

FF EL = FINISH FLOOR ELEVATION

SURVEYOR'S NOTES:

- All Measurements were made in accordance with U. S. Standards.
- Description as furnished by Client.
- There may be recorded or unrecorded Easements, Right-of-ways, or other instruments that could affect the Boundaries of said properties.
- There was No attempt to determine the existence, Location or extent of any sub-surface features such as but not limited to Septic Tanks, Fuel Tanks, Underground Utilities, etc.
- Bearings and Distances shown hereon were "Computed" from actual field traverses.
- The Basis of Bearings for this Survey is as shown hereon.
- We did not locate any Environmental issues such as but not limited to Wetlands, Septic Tanks, etc., except as noted hereon.
- Measurements of the residence are exterior dimensions and are not to be used for calculating square footage of residence.
- Subject property is Zoned R-2.
- Unless otherwise noted all corners west marked with iron pins and caps.
- Unless otherwise noted all lots have a 7.5-foot wide drainage & Utility Easement along all side lot lines.
- Unless otherwise noted all lots have a 10-foot wide drainage & Utility Easement along all front and rear lot lines.
- The Building Setbacks are:
Front and Rear Yard - 35'
Side Yard - 10'
Side Street Setback - 20'

NOTES:

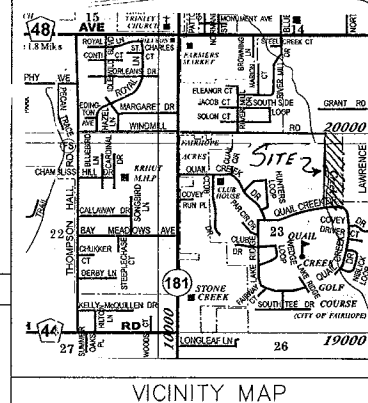
The City of Fairhope is not responsible for maintenance of any common areas, easements dedicated for public use and detention/retention facilities, it is however the responsibility of the homeowners association for maintenance of the above.

Sidewalks will be installed in conjunction with the residential construction of each lot.

Trees shall be planted per the City of Fairhope's codes for size and distance apart.

S- 2321 B Pg.2

JUDGE OF PROBATE



46-06-14-0-012
Hugh King Cunningham
11800 Grant Road
Fairhope, AL 36532

WATER & SEWER UTILITY CERTIFICATE:

The undersigned, as authorized by the City of Fairhope, hereby approves the within plat for the recording of same in the Office of the Judge of Probate, Baldwin County, Alabama, this the 30 day of January, 2007.

Authorized representative

46-06-14-0-011

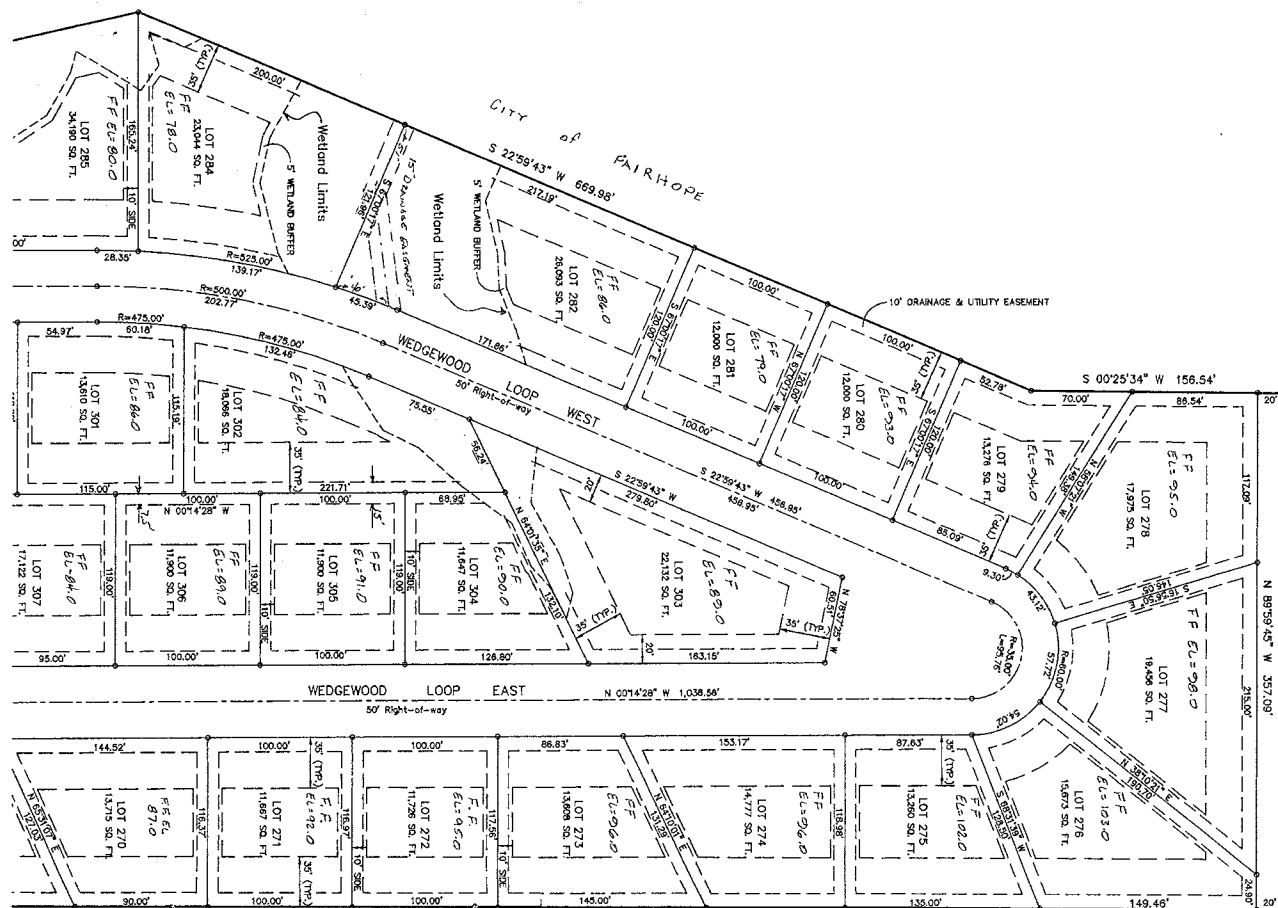
46-06-14-0-010
Melanie B Kercher
10800 Grant Road
Fairhope, AL 36532

POWER UTILITY CERTIFICATE:

The undersigned, as authorized by City of Fairhope, hereby approves the within plat for the recording of same in the Office of the Judge of Probate, Baldwin County, Alabama, this the 30 day of January, 2007.

Authorized representative

SEE SHEET 1 of 2 FOR CONTINUATION



FAIRHOPE PLANNING COMMISSION

STATE OF ALABAMA
COUNTY OF BALDWIN
CITY OF FAIRHOPE

We, the PLANNING AND ZONING COMMISSION of the CITY OF FAIRHOPE, ALABAMA, do hereby approve the within Subdivision on this the 30th day of January, 2007.

PLANNING AND ZONING COMMISSION OF THE CITY OF FAIRHOPE, ALABAMA

James Mifford for Betty Rivarbank
Secretary

46-06-23-0-002
Gerald Moore
19905 Lawrence Road
Fairhope, AL 36532

PROFESSIONAL ENGINEER'S CERTIFICATE:

I, Ack W. Moore, a Registered Professional Engineer in the State of Alabama, hereby state that I have designed the within improvements in conformity with applicable codes and laws and with the principles of good engineering practice including the drainage design requirements of the Baldwin County Subdivision Regulations. I further state that I have provided oversight of the construction to my design, and that to the best of my knowledge and belief the within is a true and accurate representation of improvements as installed.

Ack W. Moore 12/18/06
Ack W. Moore - P.E.
Ala. Reg. No. 3384

46-06-23-0-001.001
Johnny Gillian
19999 Lawrence Road
Fairhope, AL 36532

REVISION	DESCRIPTION	DATE



MOORE SURVEYING, INC.

PROFESSIONAL LAND SURVEYING

555 NORTH SECTION STREET, FAIRHOPE, ALABAMA 36532
PHONE (251) 928-6777 FAX (251) 990-6070

Seth W. Moore
Seth W. Moore, P.L.S.
Ala. Reg. No. 16671

LEGEND	
ARC = Arc Length	
CAL = Calculated	
CAB = Cable TV	
CON = Concrete	
COV = Covered	
ELC = Electrical	
ELEV = Elevation	
FC = Fence Corner	
MSD = Measured	
OP = Overlaid Power	
PL = Property Line	
PP = Power Pole	
R = Radius	
SC = Recorded	
TEL = Telephone	
UG = Underground	
WL = Water Line	
DRAWN BY	SWM
DATE	11/01/2006
JOB NUMBER	2006-221
FIELD WORK	
SHEET	2 of 2
SCALE	1" = 60'

**QUAIL CREEK ESTATES
UNIT V
FAIRHOPE, AL.**