



Sherry Sullivan
Mayor

Council Members

Andrea F. Booth
Jack Burrell, ACOM
Jimmy Conyers
Joshua N. Gammon
Jay Robinson

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

Fairhope Board of Adjustments Agenda

January 22, 2026 – 5:00 PM

1. CALL TO ORDER

Anil Vira, Chairman
Frank Lamia, Vice Chairman
Bryan Flowers

Ryan Baker
Donna Cook
Cindy Beaudreau, Secretary

2. APPROVAL OF MINUTES

- December 15, 2025

3. OLD/NEW BUSINESS

OLD BUSINESS

Revised Board of Adjustments Meeting Schedule

NEW BUSINESS

A. BOA 26.01 Moved to the February meeting at the Applicant's request.

B. BOA 26.02 Public hearing to consider the request of the Owner, Patricia Schultze, for a 13.6-foot Rear Yard Setback Variance on property zoned R-2, Medium Density Single-Family Residential District. The property is located at 375 Ridgewood Circle and is 0.31± acres. **PPIN#: 24357**

4. ADJOURN

The Board of Adjustments met Monday, December 15, 2025, at 5:00 PM at the City Municipal Complex, 161 N. Section Street in the Council Chambers.

Present: Anil Vira, Chair; Frank Lamia, Vice-Chair; Bryan Flowers; Ryan Baker; Cathy Slagle; Payton Rogers, Planning and Zoning Manager and Cindy Beaudreau, Planning Clerk.

Absent: Donna Cook

Chairman Vira called the meeting to order at 5:00 PM.

Approval of Minutes

Frank Lamia made a motion to approve the minutes from the December 17, 2025, meeting.

Bryan Flowers seconded the motion and the motion carried with the following vote:

Aye: Anil Vira, Frank Lamia, Bryan Flowers, Ryan Baker and Cathy Slagle

Nay: None.

New Business

BOA 25.17 Public hearing to consider the request of the Owner, Jennifer Starling for a Special Exception - to allow for a clinic on property zoned B-2 – General Business District. The property is located at 311 Magnolia Avenue, Suite 109. The property is approximately 0.38 acres. **PPIN#: 15161**

Payton Rogers, Planning and Zoning Manager, presented the request of the Owner, Jennifer Starling for a Special Exception - to allow for a clinic on property zoned B-2 – General Business District. The property is located at 311 Magnolia Avenue, Suite 109. The property is approximately 0.38 acres. Mr. Rogers shared the aerial and zoning maps.

Staff recommends approval of BOA 25.17.

Jennifer Starling, Owner, 11360 Deborah Steele Lane, shared that she is an individual therapist. She will be working by herself but hopes to grow her business.

Chairman Vira opened the public hearing at 5:05pm. Having no one present to speak, the public hearing was closed at 5:05pm.

Motion:

Ryan Baker made a motion to approve BOA 25.17.

Frank Lamia seconded the motion and the motion carried with the following vote.

Aye: Anil Vira, Frank Lamia, Bryan Flowers, Ryan Baker and Cathy Slagle

Nay: None.

Old Business

None

Adjournment

Ryan Baker made a motion to adjourn.

The motion carried unanimously with the following vote:

Aye: Anil Vira, Frank Lamia, Bryan Flowers, Ryan Baker and Cathy Slagle

Nay: None.

Adjourned at 5:07p.m.

Anil Vira, Chairman

Cindy Beaudreau, Secretary

BOARD OF ADJUSTMENTS AND APPEALS DEADLINES 2026

AGENDA IS SUBJECT TO CHANGE BY THE BOARD

Meeting Date, 5:00 PM

Submittal Deadline, 3:00 PM

Thursday, January 22, 2026
*Moved due to MLK Holiday

Monday, December 8, 2025

Monday, February 23, 2026
*Moved due to Mardi Gras Parade

Monday, January 12, 2026

Monday, March 16, 2026

Monday, February 9, 2026

Monday, April 20, 2026

Monday, March 9, 2026

Monday, May 18, 2026

Monday, April 13, 2026

Monday, June 15, 2026

Monday, May 11, 2026

Monday, July 20, 2026

Monday, June 8, 2026

Monday, August 17, 2026

Monday, July 13, 2026

Monday, September 21, 2026

Monday, August 10, 2026

Monday, October 19, 2026

Monday, September 14, 2026

Monday, November 16, 2026

Monday, October 5, 2026

Monday, December 21, 2026

Monday, November 9, 2026

Thursday, January 21, 2027
*Moved due to MLK Holiday

Monday, December 7, 2026

**BOARD OF ADJUSTMENTS AND APPEALS MEETINGS ARE HELD IN THE COUNCIL CHAMBERS,
FAIRHOPE MUNICIPAL COMPLEX AT 161 N. SECTION STREET.**

**IT IS THE RESPONSIBILITY OF THE APPLICANT TO SEE THAT ALL SUBMITTALS ARE MADE IN A
COMPLETE AND TIMELY SEQUENCE, AND TO HAVE THE CASE PRESENTED BEFORE THE BOARD
AT SCHEDULED MEETINGS.**

****INCOMPLETE SUBMITTALS WILL NOT BE PLACED ON THE AGENDA.****

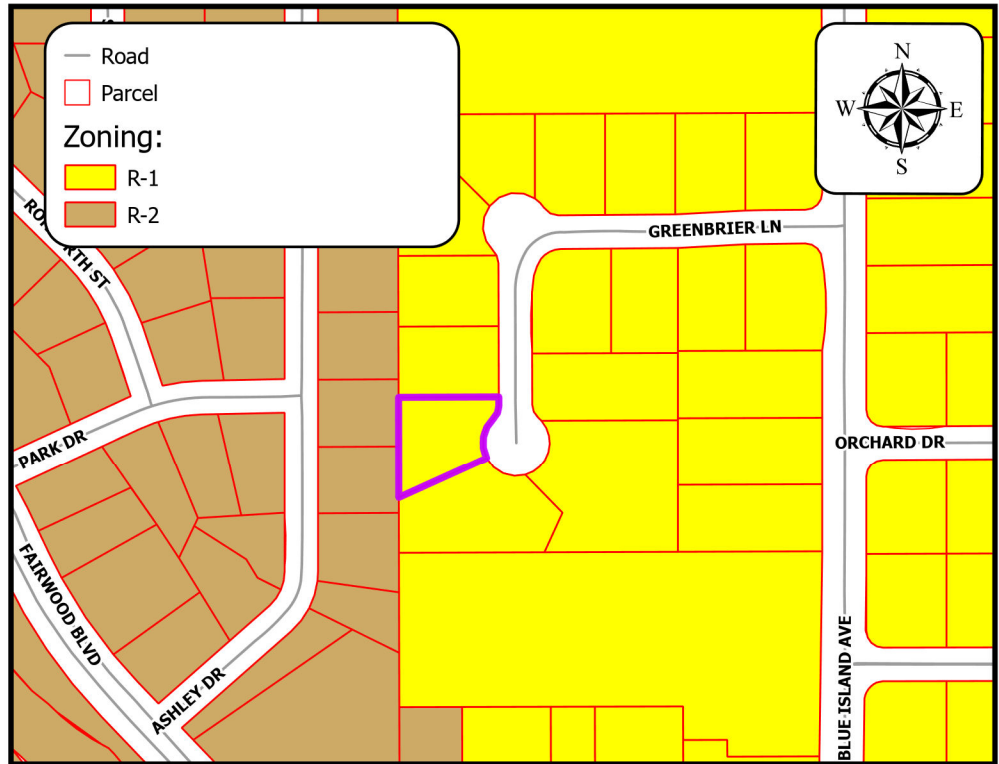
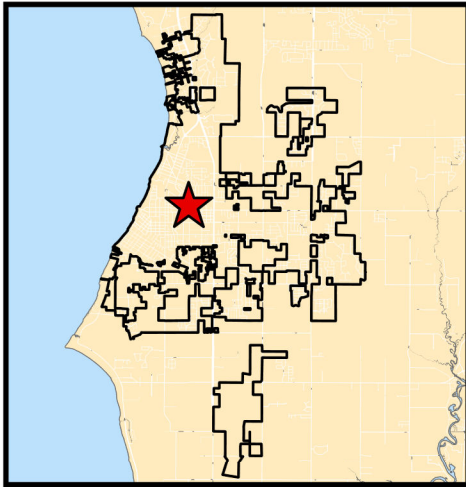
City of Fairhope

Board of Adjustments

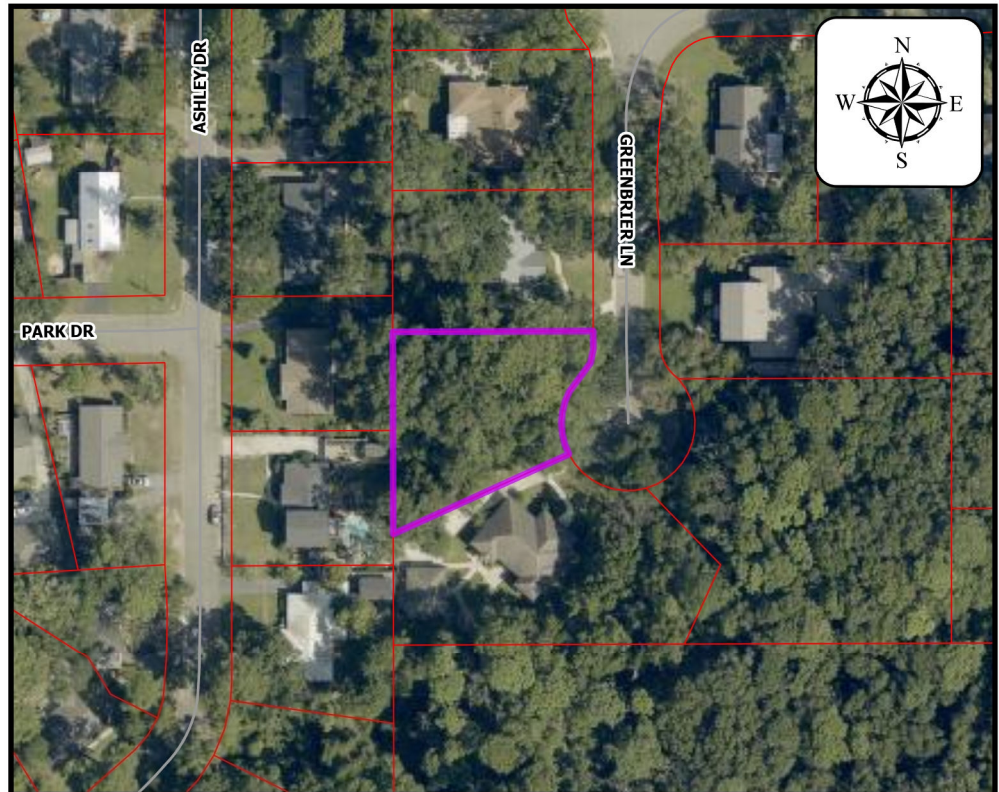
January 22, 2026



BOA 26.01 - 11 Greenbrier Lane



<u>Project Name:</u>	11 Greenbrier Lane
<u>Site Data:</u>	0.38 acres
<u>Project Type:</u>	10 foot setback variance
<u>Jurisdiction:</u>	Fairhope Planning Jurisdiction
<u>Zoning District:</u>	R-1 Low Density Single-Family District
<u>PPIN Number:</u>	113535
<u>General Location:</u>	End of cul-de-sac of Greenbrier Lane
<u>Surveyor of Record:</u>	N/A
<u>Engineer of Record:</u>	N/A
<u>Owner / Developer:</u>	Karen Rice
<u>School District:</u>	Fairhope Elementary School Fairhope Middle and High Schools
<u>Recommendation:</u>	Denial
<u>Prepared by:</u>	Payton Rogers



SUMMARY OF REQUEST

Public hearing to consider the request of the Owner, Karen Rice, for a 10-foot Front Yard Setback Variance on property zoned R-1, Low Density Single-Family Residential District. The property is located at 11 Greenbrier Lane and is 0.38± acres.

SITE HISTORY

There have been no other Board of Adjustments applications associated with this site.

STAFF COMMENTS

The applicant is requesting a 10-foot Front Yard Setback Variance to allow construction of a single-family dwelling to be within the required 40-foot front yard setback. The Zoning Ordinance requires all structures to be a minimum of 40 feet from the front property line in an R-1, Low Density Single-Family Residential District.

The subject site is Lot 9 within Greenbrier Subdivision Unit 2 and is currently one (1) of only three (3) undeveloped lots within the subdivision. Greenbrier Subdivision was approved by the Planning Commission and recorded in Baldwin County Probate Court in 1993 (see exhibits). The 1993 plat did not illustrate any revised setbacks, and as such, setbacks for all properties are determined by the underlying zoning district as required by the current Zoning Ordinance. Article III.C.1. Table 3-2 of the Zoning Ordinance details setback requirements for R-1 districts as follows:

Dimension, District or Use Zoning District	Front Setback	Rear Setback	Side Setback
R-1	40'	35'	10' ^b

b. Where a driveway is in the side, and extends past the front of the principle structure, the side setback shall be 15'. Driveways shall not be within 3 feet of the side lot line. The area between the side lot line and driveway shall be vegetated and remain pervious.

It's important to note that various easements are recorded on the 1993 plat for the subject site (see exhibits). The site contains a 7.5-foot drainage easement along the northern property line, a 20-foot drainage easement crossing the southeast corner of the lot diagonally, and a 10-foot utility easement along the front lot line abutting Greenbrier Lane. In addition to the aforementioned easements, there is another drainage easement bisecting the subject site across the middle of the lot ranging in size from 20-feet wide at its smallest up to 35-feet wide at its largest. Just North of this easement on the subject site is a large gully approximately 50-feet wide and 15-feet deep (see exhibits).

The applicant is proposing to construct a 2,900± square foot single-family dwelling on the property located on the area northwest of the gully. As proposed, the dwelling would encroach approximately 10 feet inside the required 40-foot front yard setback.

The applicant's full narrative can be found within the application package attached to this report. However, the applicant provided the following as justification for their request within the attached narrative:

"The existing gully on Lot 9 Greenbrier Subdivision creates a hardship to abide by the required 40-foot [setback]."

Staff acknowledges that the lot has physical elements which make construction within the required setbacks challenging. However, the lot is buildable as it is. A different footprint could potentially allow construction within the required setbacks while maintaining compliance with Zoning standards. The information provided with this application leaves staff undetermined on whether a Variance is warranted.

However, it should be noted that similar Variance requests have been approved in the area. At its meeting on April 17, 2006 the Board of Adjustment approved a 15-foot Front Yard Setback Variance request (ZBA 06-06) for property directly abutting the subject site to the East located at 95 Blue Island Avenue (Lot 1 of Greenbrier Subdivision Unit 1). Similarly to the subject site, 95 Blue Island is zoned R-1 requiring a 40-foot front yard setback. A portion of the same gully that bisects the subject site of this application extends across 95 Blue Island, hence the 2006 variance request. The Board approved the 2006 request allowing a 25-foot front yard setback for construction of a single-family dwelling. The meeting minutes and Notice of Action for ZBA 06-06 can be viewed attached to this report.

It is worth noting that out of the nineteen (19) Lots within Greenbrier Subdivision only two (2) are affected by the existing gulleys in such a way that development of said lots may benefit from setback relief. The subject site is one (1) and the other is 95 Blue Island Avenue. All other lots within the neighborhood do not appear to have any topographical challenges such that may necessitate a Variance.

Citizen Comments

During the public comment period Staff received comments from two (2) individuals who were not in support of the Variance request. The citizens' primary concerns appear to be regarding the potential for the proposed dwelling to not conform with the Greenbrier Homeowners Association (HOA) Covenants & Restrictions. Stating that the applicant has not yet received approval for any plans from said HOA.

It should be noted, however, that the covenants for Greenbrier Subdivision, recorded in Baldwin County Probate Court in 1990 (Document Number 1990-108644) do not include setback standards nor does the 1993 plat. Additionally, the City of Fairhope Board of Adjustments does not consider individual subdivision covenants & restrictions when making Variance determinations. The applicant will need to address any concerns the HOA may have with that body prior to submittal of a building permit application.

The aforementioned public comments can be found in their entirety within the application package attached to this report.

VARIANCE CONSIDERATIONS

Standards of Review:

Variations are not intended to be granted frequently. The applicant must clearly show the Board that the request is due to very unusual characteristics of the property and that it satisfies the variance standards. What constitutes extraordinary and exceptional conditions and unnecessary hardship is a matter to be determined from the facts and circumstances of each application.

Article II Section C.3.e(1) of the City of Fairhope Zoning Ordinance states that the Board of Adjustments may grant a Variance if:

- (a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography;
- (b) The application of the ordinance to this particular piece of property would create an unnecessary hardship. Personal financial hardship is not a justification for a variance;
- (c) Such conditions are peculiar to the particular piece of property involved; and
- (d) Relief, if granted, would not cause substantial detriment to the public good and impair the purpose and intent of this ordinance; provided however, that no variance may be granted for a use of land or building or structure that is prohibited by this ordinance.

CONCLUSION AND RECOMMENDATION

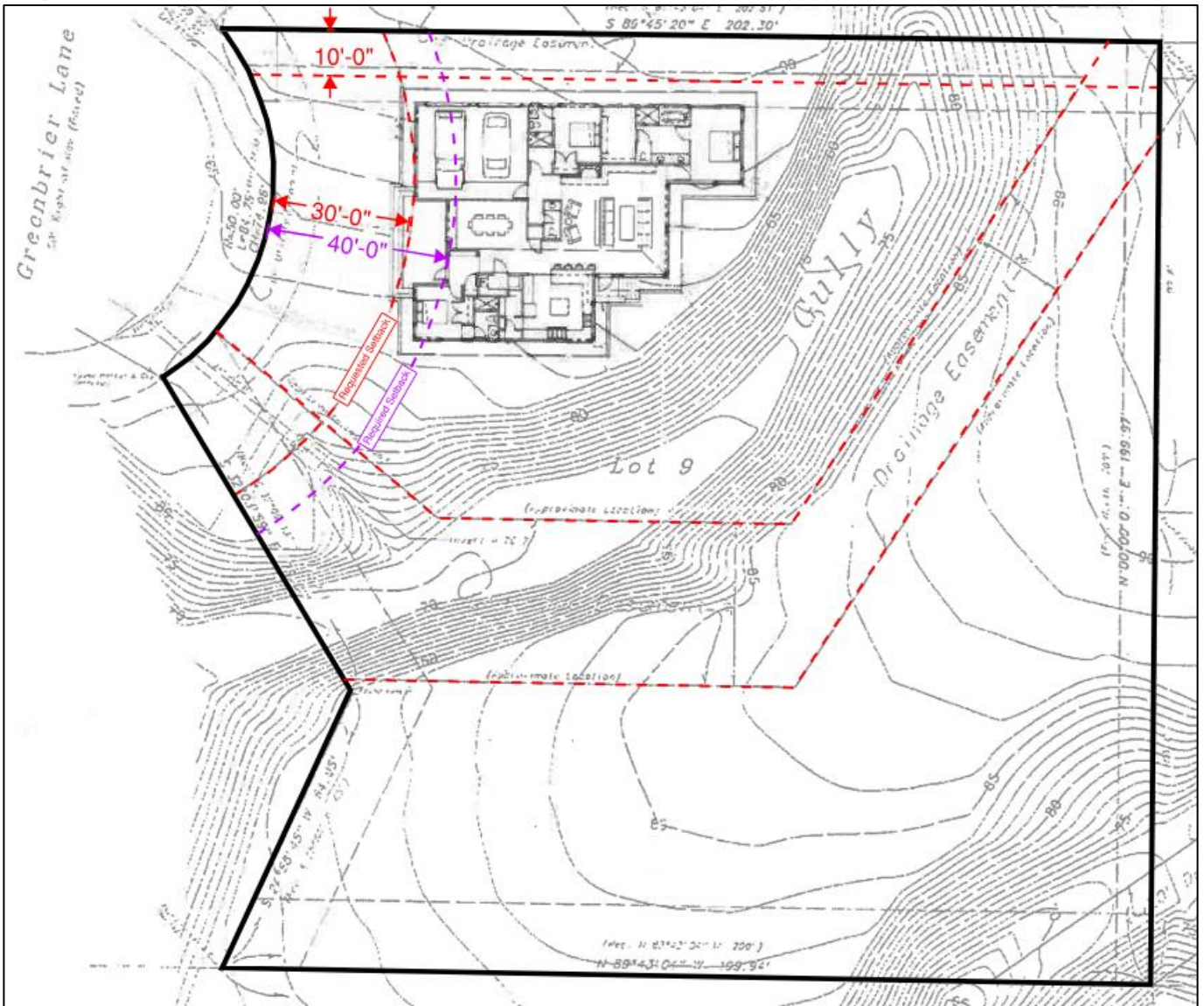
The Applicant **has provided evidence** of extraordinary and/or exceptional conditions which may create unnecessary hardship on the land such that a Variance may be necessary for the reasonable use of the property. However, applying the standard requirements of the Zoning Ordinance to the subject site **would not create** unnecessary hardships as the site can be developed as is without the need for a Variance. As illustrated by the attached Topography Map for Greenbrier Subdivision the topographical challenges presented by this application **are peculiar** to this and two (2) other properties within the subdivision. If approved, the Variance request **would not** appear to cause substantial detriment to the public good as it would allow development on a scale similar to what has already been constructed within the neighborhood. Additionally, it's important to note that the proposed Variance is in keeping with past variance approvals made by this Board on other properties located within Greenbrier Subdivision.

As it relates to Variance requests, Staff is limited in their scope for consideration with regard to a staff recommendation and must adhere to what the Zoning Ordinance does and/or does not allow. While staff acknowledges that the lot has physical elements which make construction within the required setbacks challenging the lot is buildable as is if the applicant were to utilize a different building footprint.

Recommendation:

Based on the preceding, Staff recommends **DENIAL** of BOA 26.01 – 11 Greenbrier Lane Variance request for a 10-foot Front Yard Setback Variance.

Proposed Site Plan

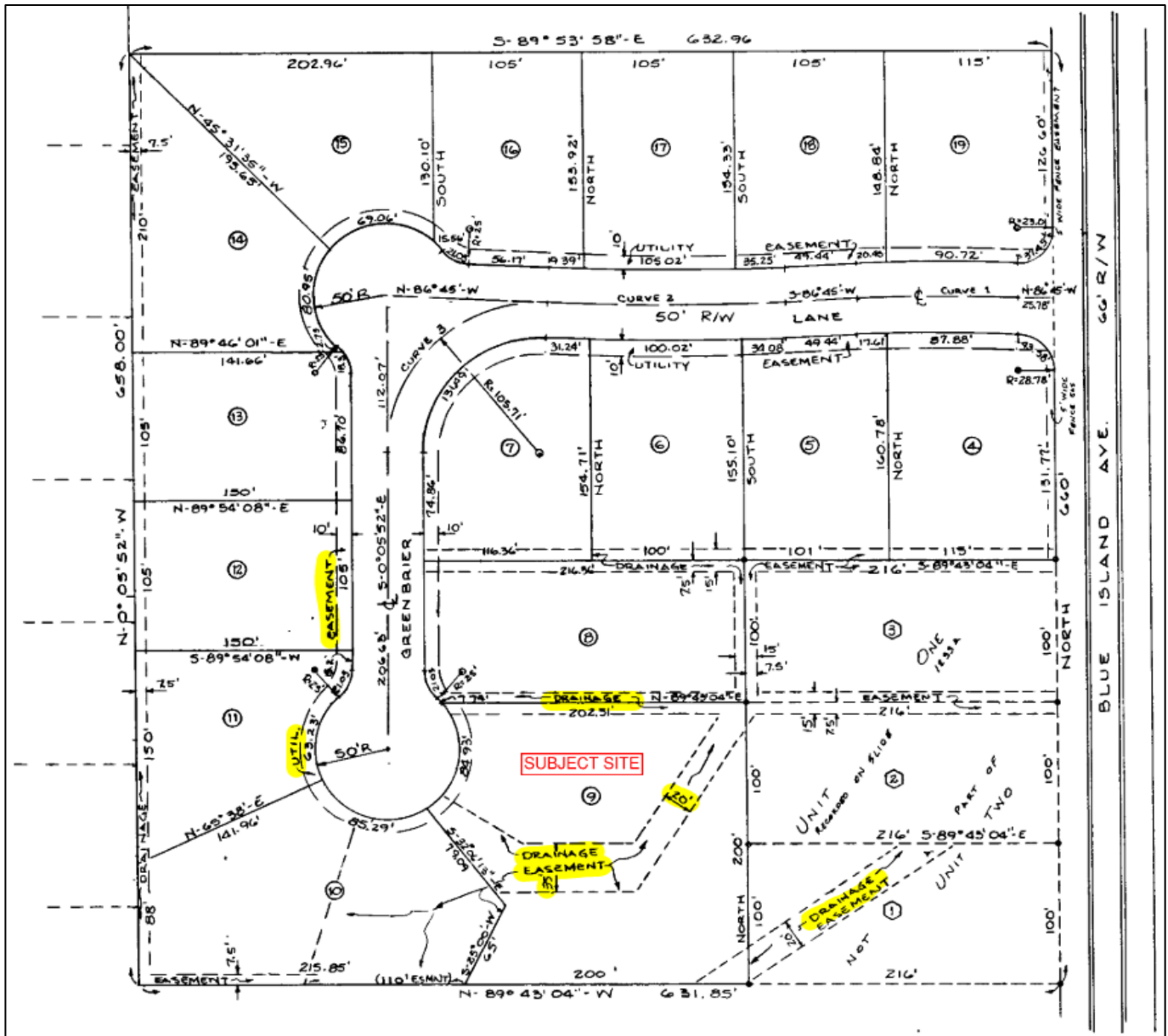


EXHIBITS

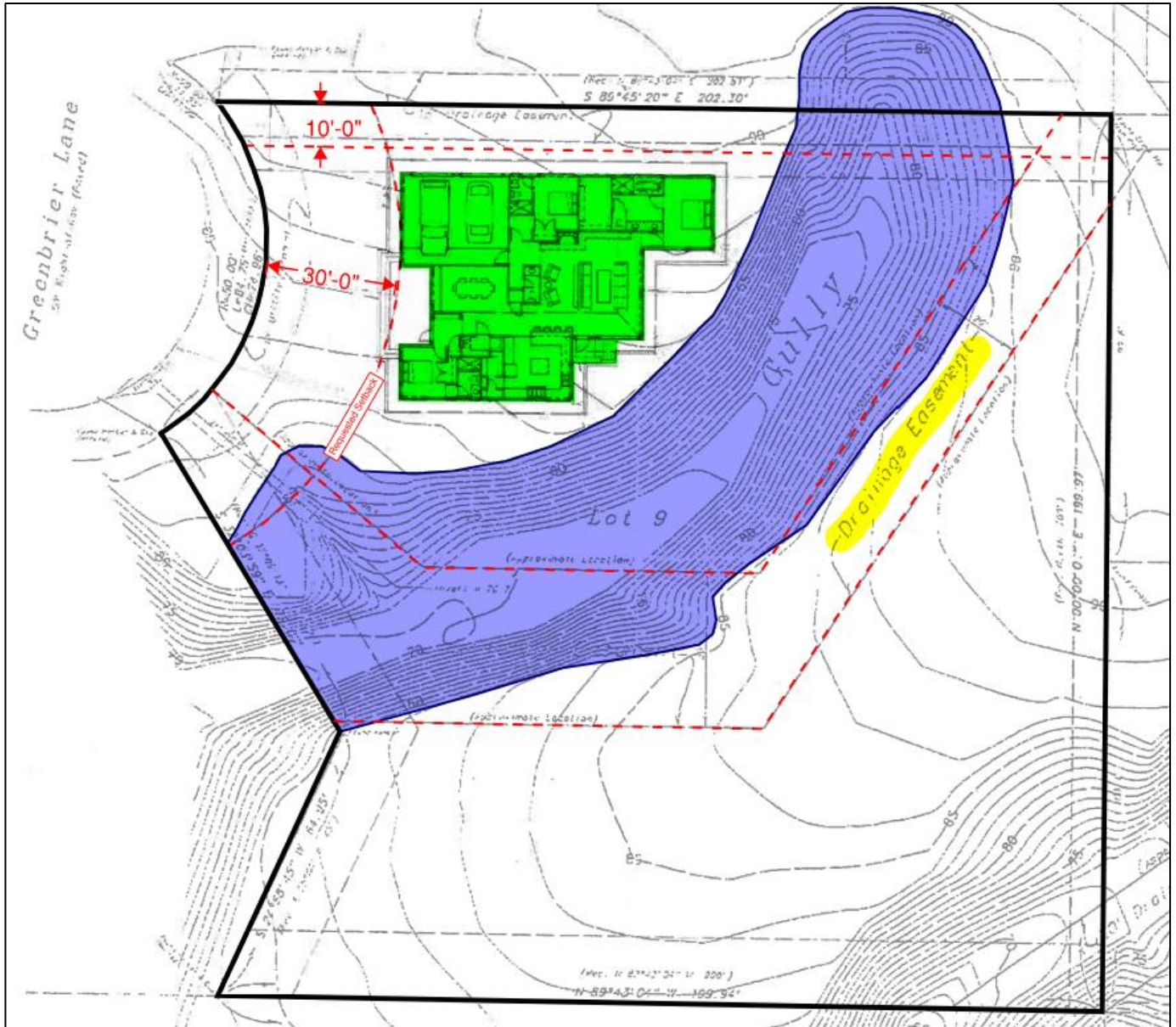
BOA 26.01 – 11 Greenbrier Lane

January 22, 2026

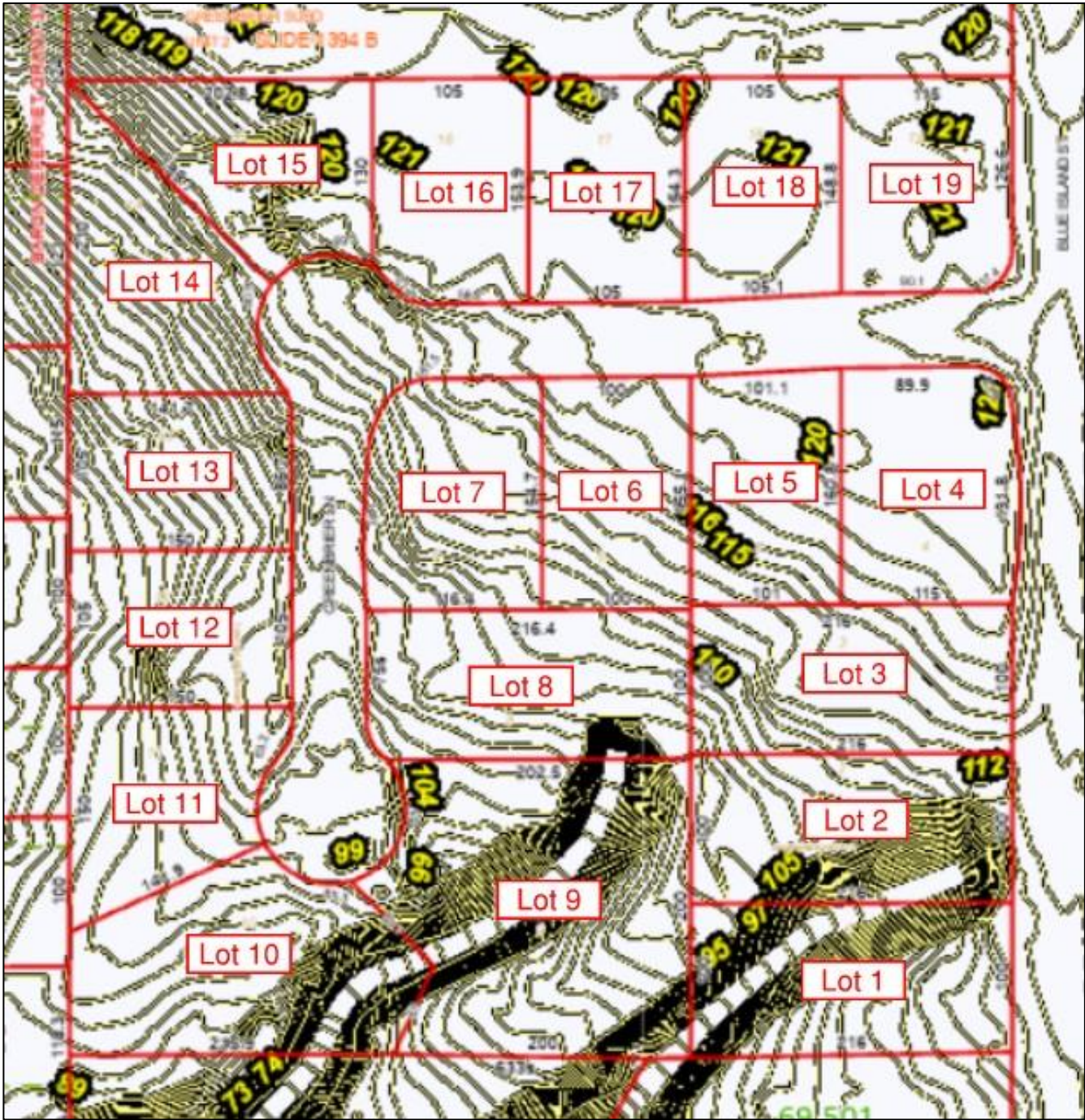
1993 Greenbrier Subdivision Recorded Plat



Existing Gulley



Greenbrier Subdivision Topography Map





APPLICATION FOR BOARD OF ADJUSTMENTS

Application Type: Administrative Appeal Special Exception Variance

Property Owner / Leaseholder Information

Name: Karen Rice Phone Number: 205-901-3433
 Street Address: 11 Greenbrier (Lot 9)
 City: Fairhope State: AL Zip: 36532

Applicant / Agent Information

If different from above.
Notarized letter from property owner is required if an agent is used for representation.

Name: _____ Phone Number: _____
 Street Address: _____
 City: _____ State: _____ Zip: _____

Site Plan with Existing Conditions Attached: YES NO

Site Plan with Proposed Conditions Attached: YES NO

Variance Request Information Complete: YES NO

Names and Address of all Real Property Owners within 300 Feet of Above Described Property Attached: YES NO

Applications for Administrative Appeal or Special Exception:

Please attach as a separate sheet(s) information regarding the administrative decision made or information regarding the use seeking approval. Please feel free to be as specific or as general as you wish in your description. This information will be provided to the Board before the actual meeting date. It is to your benefit to explain as much as possible your position or proposal.

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Karen Rice
Property Owner/Leaseholder Printed Name

Karen Rice
Signature

Date

Fairhope Single Tax Corp. (If Applicable)





VARIANCE REQUEST INFORMATION

What characteristics of the property prevent / preclude its development?:

- Too Narrow
- Too Small
- Too Shallow
- Elevation
- Slope
- Shape
- Soil
- Subsurface
- Other (specify) gully

Describe the indicated conditions: 11 Greenbrier (Lot 9), .9 acres includes a gully. Attached is house plan (2,271 sq. ft)

How do the above indicated characteristics preclude reasonable use of your land?
gully on lot 9 creates hardship to build minimum 2,200 sq ft house with required 40' easement

What type of variance are you requesting (be as specific as possible)?

I am requesting a 15-foot Front Yard Setback Variance to allow a 25-foot front yard setback to construct my home. If a 15-foot Variance cannot be approved, I would be amenable to a 10-foot Variance. Please see my attached detailed narrative for more information.

Hardship (taken from Code of Alabama 1975 Section 11-52-80):

"To authorize upon appeal in specific cases such variance from the terms of the (zoning) ordinance as will not be contrary to the public interest, where, owing to special conditions, a literal enforcement of the provision of the (zoning) ordinance will result in unnecessary hardship and so that the spirit of the (zoning) ordinance shall be observed and substantial justice done."

BOA Fee Calculation:	Residential	Commercial
Filing Fee:	\$100	\$500
Publication:	\$20	\$20
TOTAL:	\$ 120	

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Karen Rice
 Property Owner/Leaseholder Printed Name

[Signature]
 Signature

10/23/25
 Date

Fairhope Single Tax Corp. (If Applicable)

November 12, 2025

Board of Zoning Adjustments,

Thank you for the opportunity to apply for request of 25-30 foot easement in Greenbrier Subdivision.

The existing gully on Lot 9 in Greenbrier Subdivision creates a hardship to abide by the required 40 foot easement.

Payton Rogers has been very helpful. After sharing site plan, Payton informed me the roof shows a 2'11" overhang, exceeding The Zoning Ordinance of maximum of 2' overhang. The roof will not exceed a 2' overhang.

Payton also pointed out The Zoning Ordinance requires 3 feet of landscape between my lot and my neighbor north of my lot. My realtor informed me the 3 mature trees next to my neighbor's driveway are on my Lot 9 (photo included). I will add 3 feet of required additional landscaping between my driveway and my neighbor's driveway.

Lastly, Payton pointed out 3' of landscape leaves only 9.5' width for a driveway.

The site plan shows a 30' easement. I can make adjustments needed for landscaping and driveway issues with a 30' easement. A 25' easement would comfortably solve my issues with landscape and driveway. The realtor and I measured 22' from curb to back of north side of house plan (70').

Twenty-two feet from north side of curb lined up with the front of my neighbor's porch (see photo). Due to the curve in cul-de-sac, 22' on Lot 9 gives the illusion of required 40' easement. I hope a 25'-30' easement will be approved.

I love all the trees in Greenbrier Subdivision and the City of Fairhope! I plan to remove as few trees as possible around my home. None of the trees on the south side of the gully will be removed. I will add beautiful hedges and shrubs north and east for privacy.

If approved, I will build a 2,228+ square foot Cottage/Tudor/European style home. My home will be primarily brick with stone and stucco accents. I have included photo examples in this packet. If needed, I will provide more detailed design photos upon approval for 25-30 foot easement.

Thank you for your consideration on easement exception,

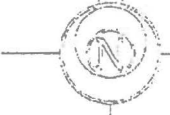
Karen Rice

205-901-3433

getkarenrice@gmail.com

Greenbrier Lane
 (Rt. Right of Way (Projected))

T.B.M. = TOP OF FOUND KEEL
 CAP (IRON).
 ELEVATION = 84.4 (ASSUMED)



DESCRIPTION
 Lot 9, Unit 2 of Greenbrier Subdivision, Baldwin County, Alabama, as per its plat recorded on slide 1394-B in the office of the Judge of Probate of Baldwin County, Alabama

- SURVEYOR'S NOTES:**
1. All Measurements were made in accordance with U.S. Standards
 2. Description as furnished by Client.
 3. There may be recorded or unrecorded Deeds, Easements, Right-of-ways, or other instruments that could affect the boundaries of said properties.
 4. There was no attempt to determine the existence, location or extent of any sub-surface features such as Septic Tanks, Fuel Tanks, etc.
 5. Bearings and Distances shown herein were "Computed" from actual field traverses.
 6. The Basis of Bearings for this Survey as shown herein.
 7. We did not locate any Environmental issues such as but not limited to Wetlands, etc.
 8. Measurements of the residence are center dimensions and are not to be used for calculating square footage of residence.
 9. Elevations shown herein are ASSUMED.

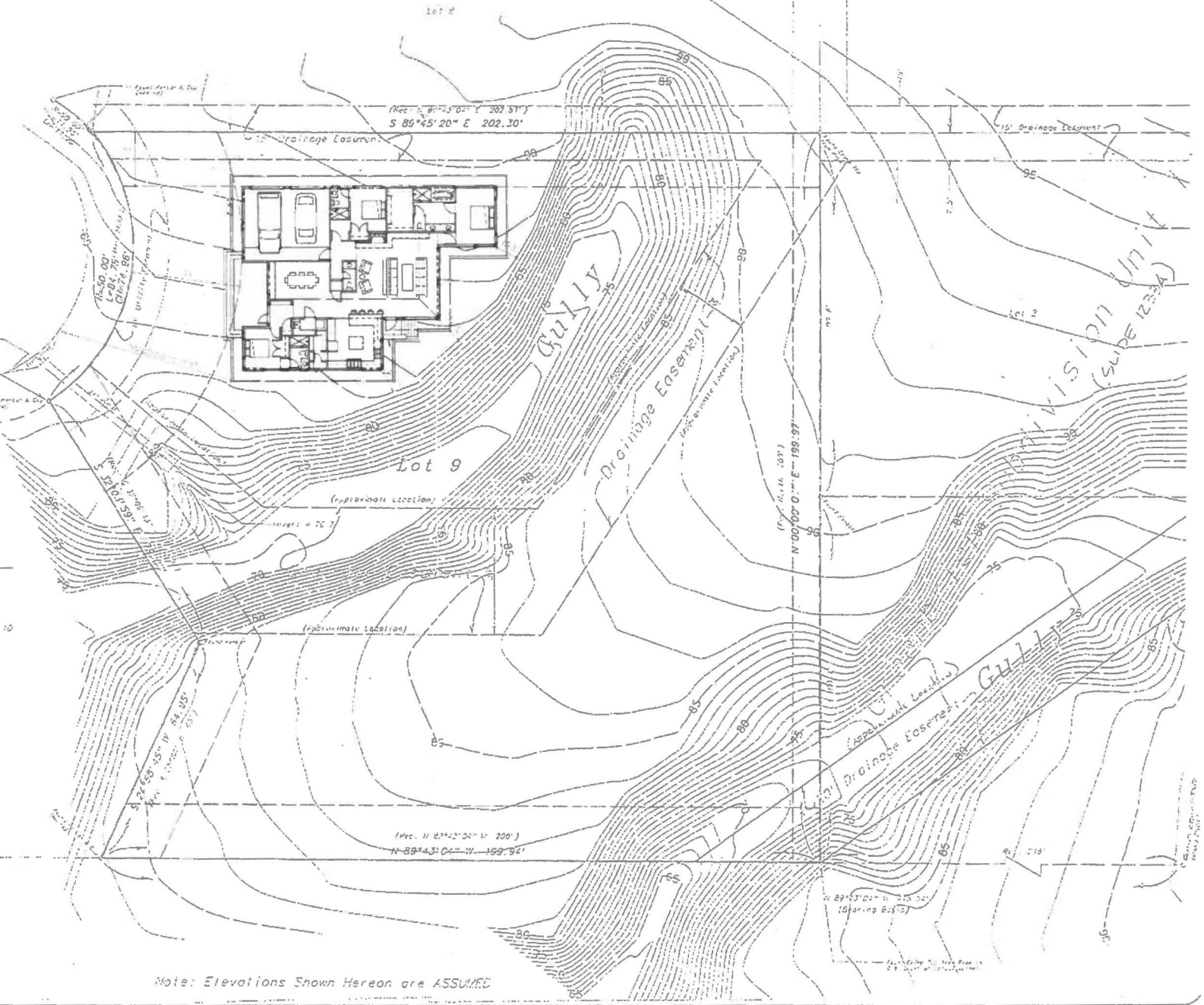
Note: Elevations Shown Hereon are ASSUMED

By	Revisions	Date

MOORE SURVEYING, INC.
 PROFESSIONAL LAND SURVEYING
 555 NORTH SECTION 31 REEF, FAIRHOPE, ALABAMA 36520
 PHONE (205) 925-0777 FAX (205) 925-0070

Scale	1" = 20'
Date	01/21/04
County	Effingham
City	Effingham
Sheet No.	105-02

TOPOGRAPHIC SURVEY
 FOR
RICHARD DANFORD
 Greenbrier Lane
 Fairhope, Alabama





Back to map

Lot 9

22'

Google

Keyboard shortcuts © 2015 Google Terms Help





doors on side ↑



April 18, 2006

Timothy M. Kant, C.M.O.
Mayor

Geniece W. Johnson, C.M.C.
City Clerk - Treasurer

Council Members

Cecil Christenberry

Michael A. Ford, A.C.M.O.

Robert C. Gentle, C.M.O.

Debbie W. Quinn, A.C.M.O.

Daniel R. Stankoski

Mr. Roland & Miriam Neeson
PO Box 1633
Orange Beach, AL 36561

Dear Mr. & Mrs. Neeson

The Fairhope Board of Adjustments and Appeals heard case ZBA 06-06 at 5:00 PM Monday April 17, 2006 in Council Chambers located in the Municipal Complex at 161 N. Section Street.

- Case ZBA 06-06 regarded your property located at 95 Blue Island. The application requested a 25' front yard set back.

The Fairhope Board of Adjustments and Appeals approved this request unanimously.

Please contact us with any questions or concerns.

Respectfully,

Barry Fulford
Building Official

161 North Section Street

P.O. Drawer 429

Fairhope, Alabama 36533

251-928-2136

251-928-6776 Fax

www.cofairhope.com

Printed on recycled paper

ZBA 06-05 Public Hearing to Consider the Request of Ms. Baldwin to allow a carport at 308 Patlynn 1) closer to the primary structure than 10' and 2) forward of the rear of the house.

Ms. Baldwin came forward and explained that she would like to put a carport with a storage area in back over an existing driveway.

Chairman Bassett opened the public hearing. Ms. Nel Hamrick of 310 Patlynn came forward in support of Ms. Baldwin. No other public speakers were present so Chairman Bassett closed the public hearing.

Chairman Bassett asked for the staff interpretation. Barry Fulford explained:

The City of Fairhope Zoning Ordinance adopted 06/27/05 , Article III, Table 3-3 has the setbacks for accessory structures for "all other residential districts" which would include the R-2 zoning of this property as:

- Front: behind rear building line of principle structure
- Minimum structure separation from principle structure: 10'

The previous City of Fairhope Zoning Ordinance, September 1992 Codification, 5.142 on Accessory Buildings:

- 7.6152 "A detached accessory building shall not be closer than 10' to the main building, nor closer than 5' to the lot line.
- 7.1654 "No detached accessory building shall be located within the minimum exterior front yard of a lot."
- 7.6155 "An open carport may be constructed over an existing driveway not nearer than 5' to property line and need not provide the 10' separation required by Section 7.6152; provided, however, that a carport permitted under this section shall not in the future be enclosed or converted to any other use."

After some discussion the board agreed to define a carport as a structure open on 3 sides (allowing for a storage or closure on one side). The Board did not want to change the zoning ordinance (back to 1992 version), but would rule on this specific case.

Chairman Bassett said he would entertain a motion. Louise Agee made a motion to allow for the carport as described, over existing driveway (7' off house, 5' off side property line, not forward of the front of the house) with storage area along one side, remaining open on 3 sides. Bob Mannich seconded the motion. It was carried unanimously, Chairman Bassett abstained.

ZBA 06-06 Public Hearing to Consider the Request of Mr. Moore on behalf of Ronald & Miriam Neeson to allow a 25' front set back at 95 Blue Island. The property is zoned R-1. R-1 requires a 40' set back. This would result in a 15' variance.

APPROVED

Mr. Neeson came forward and explained the house plans that they have chosen along with the topography of the north west portion of the lot would allow a maximum front set back of 25'.

Chairman Bassett opened the public hearing no speakers were present. The public hearing was closed.

The staff acknowledges that the lot has physical elements that make construction within the required setbacks challenging. However, the lot is build-able as it is. A different footprint would allow construction within the required setbacks. There maybe work that could be done to the lot to somewhat lessen the topographical challenges. The gully is not indicated on the FEMA flood maps. It would take additional information to determine if and to what extent the gully could be filled. The information provided leaves the staff undetermined on weather the variance is warranted.

In the discussion of the Board with Mr. Neeson, Mr. Neeson indicated that it is his intent to landscape fill the gully in the rear. He said the design would be done in such a way to not increase the flow or velocity of the drainage.

Mr. Neeson asked for some information regarding hydroseeding. Barry Fulford indicated that he would get that information together.

Chairman Bassett said he would entertain a motion. Bob Mannich made a motion to allow a 25' front setback. Louis Agee seconded the motion. It was carried unanimously, Chairman Bassett abstained.

Old/New Business

There was no old or new business to discuss.

A motion to adjourn was made by Ray Clark. A second followed by Cathy Slagel. All approved. The meeting was adjourned at 5:50 PM.

Minutes are preliminary until reviewed an approved by the Board of Adjustments. The Board will have the opportunity to review the minutes at the next meeting scheduled for May 15, 2006.

Minutes were reviewed at the May 15, 2006 meeting. Ray Clark made a motion to accept the minutes, with noted corrections. Louis Agee seconded the motion. The Board of Adjustments approved unanimously.

APPROVED

From: jharshberg@aol.com
To: [planning](#)
Cc: [Jerald Harshberger](#)
Subject: 11 Greenbrier Lane 10 foot setback variance
Date: Wednesday, January 7, 2026 9:24:27 AM



January 7, 2026

Cindy Beaudreau

Thank you for our conversation January 6, 2026. I would like to ask a few questions regarding 11 Greenbrier Ln. and the template setback variance to the board of adjustment members.

1. Why is this 10 foot variance being considered? Why not 20 ft. or 30 ft. ?
2. Are the board members aware of the size and the depth of the gulley within the property?
3. Are there going to be pictures or drawings of this construction situation?
4. Are the board members aware of Greenbrier homeowners Association building covenants and guidelines?
5. Are there any timelines set for decisions and/or follow-up meetings?

I am not in favor of this request of a 10 foot setback for the property at 11 Greenbrier Ln.

Respectfully yours

Jerald Harshberger,
owner of Lot 9 Greenbrier Ln.
Fairhope Alabama

251 753 1373
jharshberger@aol.com

From: [LEROY SLOAN](#)
To: [planning](#)
Cc: [Leroy Sloan](#); [Jerry Harshberger](#)
Subject: Re: Lot 9, 11 Greenbrier Ln. 10" Setback Variance
Date: Wednesday, January 7, 2026 2:21:13 PM

January 7, 2025

To: Cindy Beaudreau, Planning Clerk, Planning & Zoning Department, City of Fairhope

From: Leroy Sloan
20 Greenbrier Ln (Lot 10)
Fairhope, AL
205-410-7748

Cindy, as per your letter pertaining to the referenced variance request, please accept this a my comments/questions to be considered by the Board of Adjustment Members.

1. This lot has a very large gully, (30-40 ft. wide/12-16 ft. deep), which completely bisects this lot and effectively divides it into two distinct sections with a small front section and a large back section. I do not believe the front section is large enough to support a structure of any type or design that would fit or blend into the building style of the existing houses in the neighborhood nor meet the requirements of the Greenbrier HOA Covenants.

2. The lot owner needs to be aware of the requirements of our covenants and submit plans for approval prior to the start of construction.
This has not been done to date.

3. What is the stated purpose/requirement for the setback variance?

4. In my opinion, the best solution for the lot owner would be to use the front section of the lot as a manicured vegetation area and build a bridge across the gully for access to the back portion of the lot where there is enough room to build a house that would meet all requirements and blend in with the neighborhood.

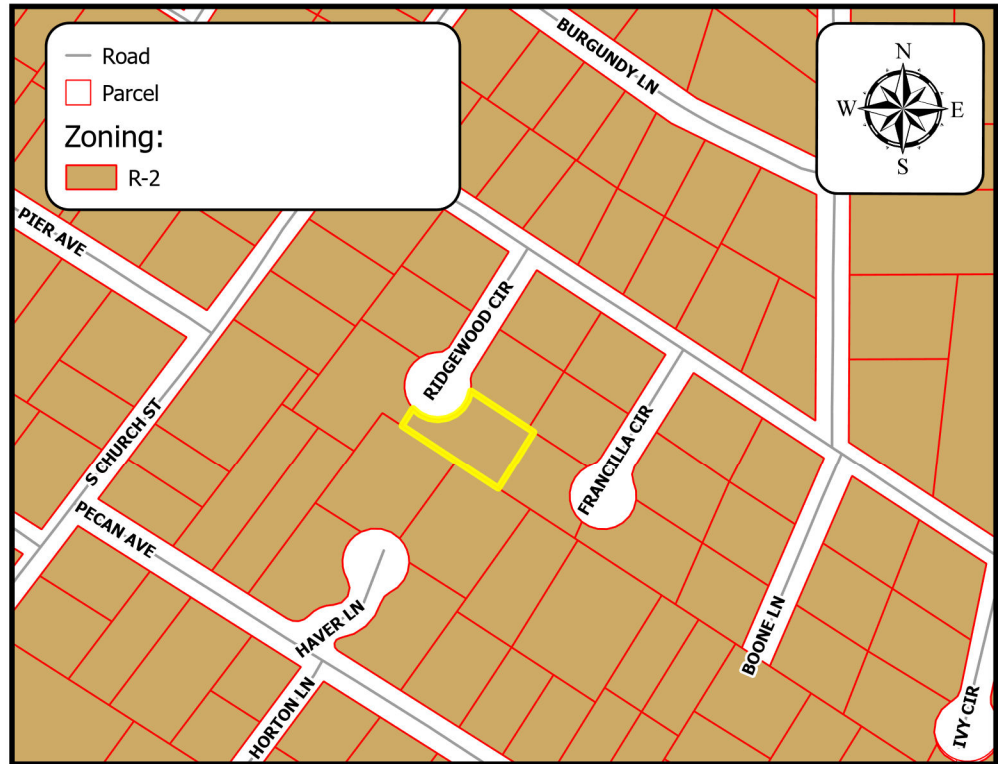
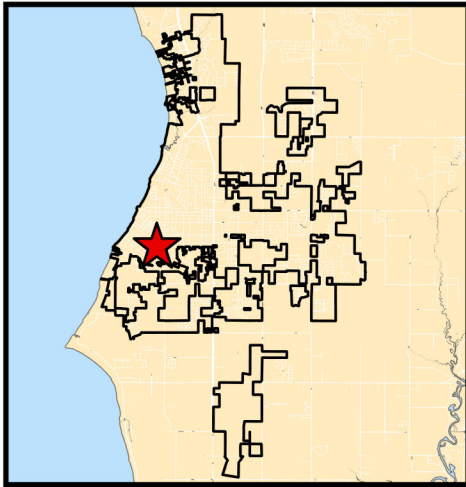
Thank you for your attention to this matter.

Leroy Sloan

City of Fairhope Board of Adjustments January 22, 2026



BOA 26.02 - 375 Ridgewood Circle



Project Name:

375 Ridgewood Circle

Site Data:

0.31 acres

Project Type:

13.6 foot setback variance

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

R-2 Medium Density Single-Family
Residential District

PPIN Number:

24357

General Location:

Fruit and Nut district

Surveyor of Record:

N/A

Engineer of Record:

N/A

Owner / Developer:

Patricia Schultze

School District:

Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

Denied

Prepared by:

Michelle Melton

SUMMARY OF REQUEST

Public hearing to consider the request of the Owner, Patricia Schultze, for a 13.6-foot Rear Yard Setback Variance on property zoned R-2, Medium Density Single-Family Residential District. The property is located at 375 Ridgewood Circle and is 0.31± acres.

SITE HISTORY

There have been no prior Board of Adjustments applications associated with this site.

STAFF COMMENTS

The subject site is included in the Ridgeland Estates Subdivision as Lot 7 (and the western 10’ of Lot 12). The plat for which was recorded in Baldwin County Probate on Slide 391-A in 1960 (see exhibits). Ridgeland Estates was established prior to the adoption of the current Zoning Ordinance, and the 1960 recorded plat does not provide any minimum building setbacks. As such, current setback requirements as detailed in Table 3-2 of the Zoning Ordinance shall apply.

Table 3-2: Dimension Table - Lots and Principle Structure

Dimension, District or Use Zoning District	Min. Lot Area / Allowed Units Per Acre (UPA)	Min. Lot Width	Front Setback	Rear Setback	Side Setback	Street Side Setback	Max. Total Lot Coverage by All Structures	Max. Height
R/A	3 acres/ -	198’	75’	75’	25’	50’	none	30’
R-1	15,000 s.f./ -	100’	40’	35’	10’ ^b	20’	40%	30’ ^a
R-1a	40,000 s.f./ -	120’	30’	30’	10’ ^b	20’	25%	35’
R-1b	30,000 s.f./ -	100’	30’	30’	10’ ^b	20’	25%	35’
R-1c	20,000 s.f./ -	80’	30’	30’	10’ ^b	20’	25%	35’
R-2	10,500 s.f./ -	75’	35’	35’	10’ ^b	20’	37%	30’ ^a

The subject site has an existing concrete deck attached to the rear of the primary dwelling. The primary dwelling is a legal non-conforming structure “as is” due to the rear of the structure extending 16.3 feet into the 35-foot required rear yard setback line. The Applicant wishes to renovate the existing deck to include a roof for the structure to convert it into a sunroom. As a result, once completed the sunroom will extend 13.6 feet into the 35-foot rear yard setback line.

Additionally, it should be noted that at some point in time the rear yard of the subject site was extended 10’ beyond the original platted lot. The legal description includes “and W 10’ of Lot 12”. The historical lot line can be seen in the exhibits.

The City of Fairhope Zoning Ordinance does not impose setback restrictions on uncovered decks and as such they are permitted to be located within a rear yard setback. However, if the existing deck were to be covered and enclosed, as proposed, the deck would then be considered as part of the primary dwelling, and as such, subject to compliance with the required 35-foot rear yard setback. Hence this application.

As previously stated, the primary dwelling located on the subject site is a legal non-conforming structure. Article VII of the Zoning Ordinance details the following with regards to Non-conforming Structures:

Non-conforming Structures

Structures that were legally constructed prior to the adoption of this ordinance, but which could not be constructed under the terms of this ordinance are considered legal non-conforming structures. A legal non-conforming structure may continue to exist subject to the following:

- 1. Non-conforming structures, or those parts of a structure that are non-conforming may not be expanded either horizontally, or vertically. Alteration and expansions shall conform to all current regulations.*
- 2. The structure shall remain legal in all other regards except for the non-conformance that existed upon adoption of the ordinance that made the structure non-conforming.*

As proposed, the sunroom addition is expanding the legal non-conforming structure both vertically and horizontally, which is a direct violation of Article VII.B.1 of the Zoning Ordinance.

It should be noted that similar Variance requests have been denied on other properties within the area. In 2017 373 Ridgewood Circle (BOA 17.03) requested two (2) Variances: 4'-8" on the left side for a porch extension and 4'-11" on the right side for a garage extension. Both variances were denied by the Board for not meeting the below variance review criteria. It should be noted that all the lots in Ridgewood Estates are uniform in shape and size with the only site condition that may vary lot to lot being slight topographic changes. However, BOA 17.03 nor does this application mention any topographic challenges in the Variance request.

It should be noted that Article II Section C.3.e of the Zoning Ordinance lays out the standards for reviewing Variance requests for approval. One of the primary considerations among this criterion is the presence of an unnecessary hardship on the property which precludes the reasonable use of the land. The Applicant's narrative did not provide any information regarding an unnecessary hardship within their application.

During the public comment period Staff received multiple citizen comments in support of the requested variance.

VARIANCE CONSIDERATIONS

Standards of Review:

Variances are not intended to be granted frequently. The applicant must clearly show the Board that the request is due to very unusual characteristics of the property and that it satisfies the variance standards. What constitutes extraordinary and exceptional conditions and unnecessary hardship is a matter to be determined from the facts and circumstances of each application.

Article II Section C.3.e(1) of the City of Fairhope Zoning Ordinance states that the Board of Adjustments may grant a Variance if:

- (a) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography;
- (b) The application of the ordinance to this particular piece of property would create an unnecessary hardship. Personal financial hardship is not a justification for a variance;
- (c) Such conditions are peculiar to the particular piece of property involved; and
- (d) Relief, if granted, would not cause substantial detriment to the public good and impair the purpose and intent of this ordinance; provided however, that no variance may be granted for a use of land or building or structure that is prohibited by this ordinance.

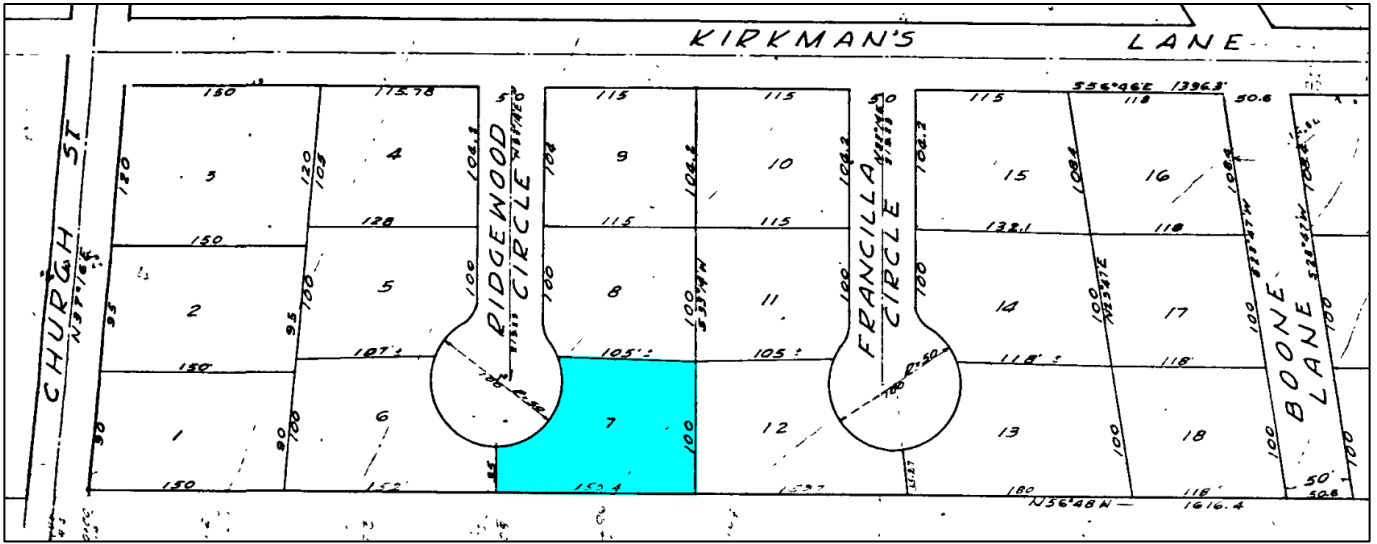
CONCLUSION AND RECOMMENDATION

The Applicant has not provided sufficient evidence of any extraordinary and/or exceptional conditions which may create unnecessary hardship on the land such that a Variance would be necessary for the reasonable use of the property. Moreover, the existing structure is a legal non-conforming structure that cannot be expanded horizontally or vertically per Article VII of the Zoning Ordinance.

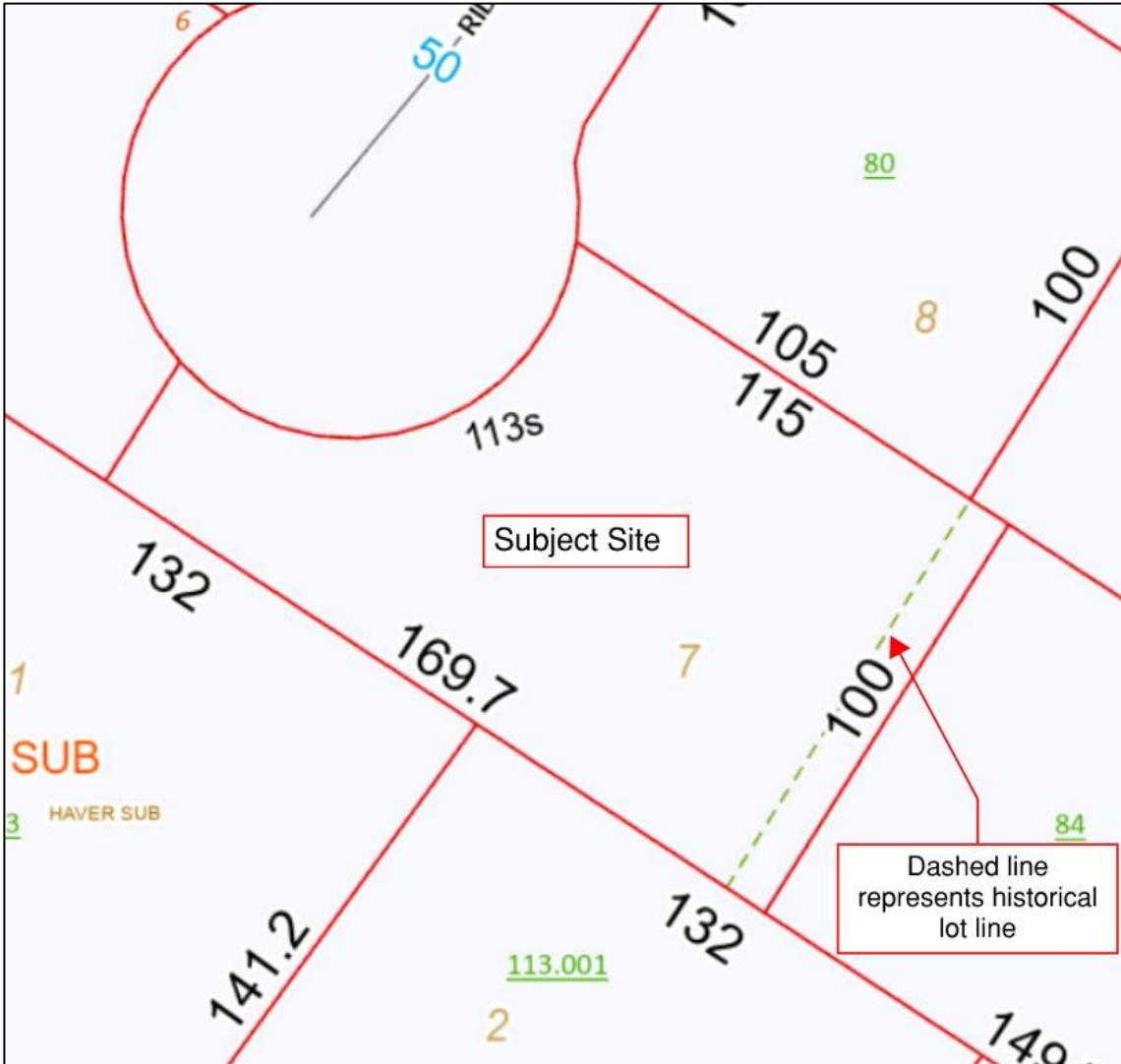
Recommendation:

Staff recommends **DENIAL** of BOA 26.02 for a 13.6-foot Rear Yard Setback Variance.

S 391-A Ridgewood Estates (circa 1960)



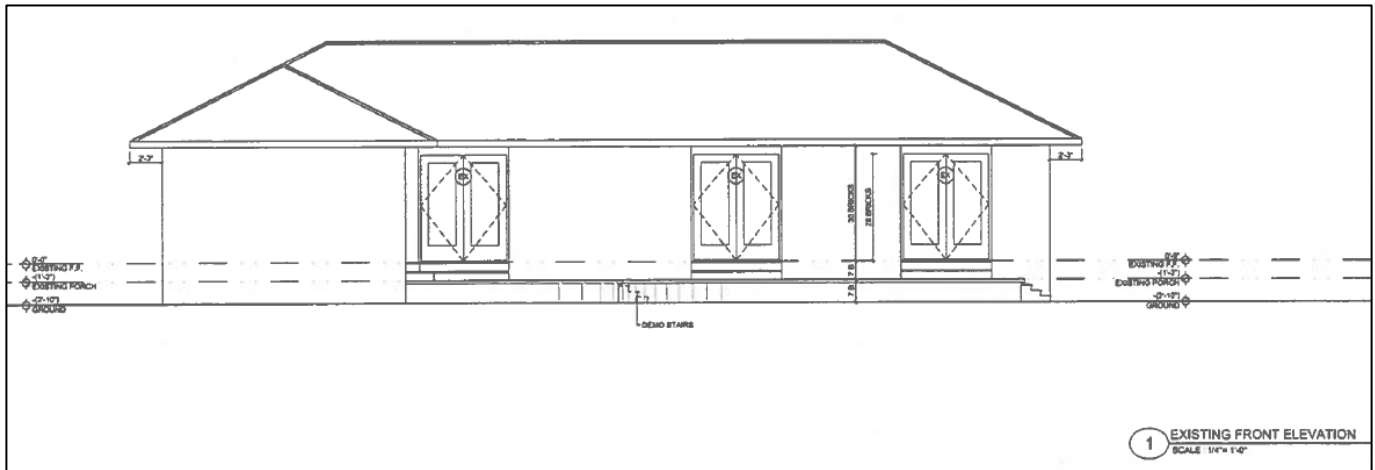
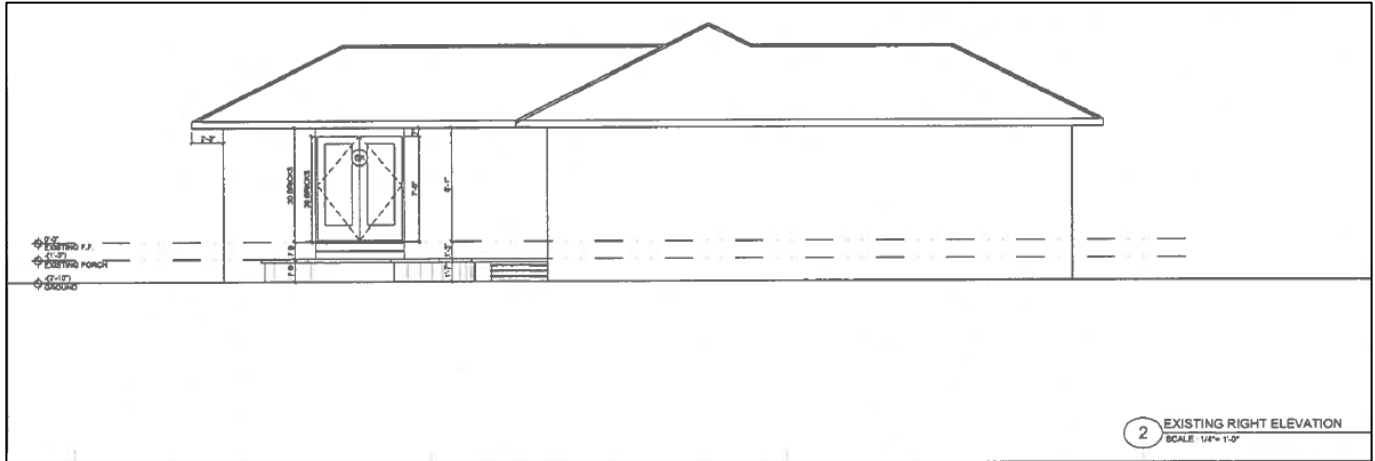
Aerial from Baldwin County Parcel Viewer with historical lot line (last visited January 2, 2026).



Existing Conditions



Existing Conditions Continued



Proposed Conditions

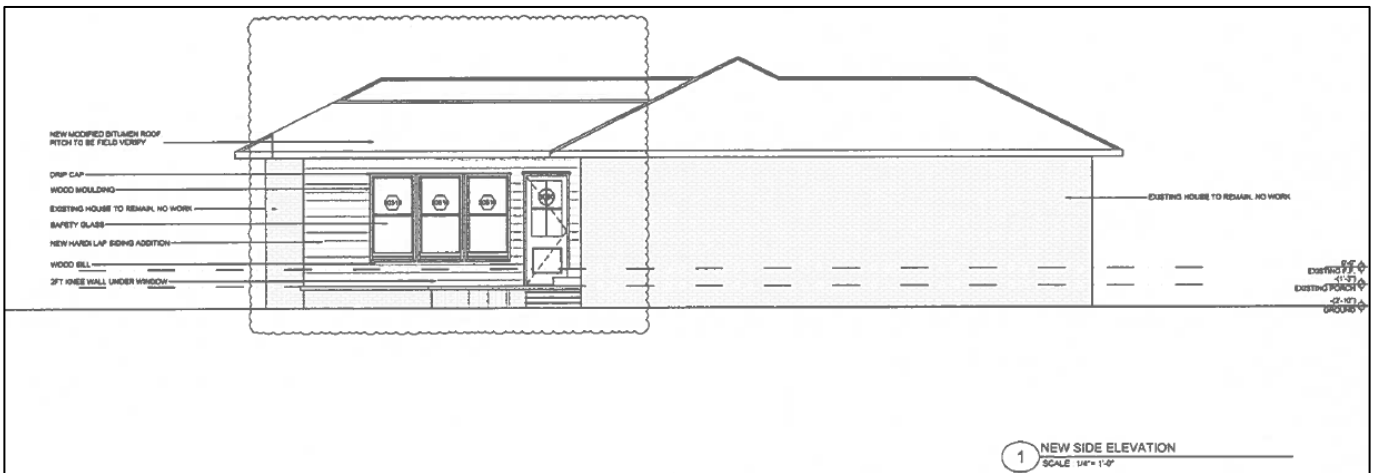
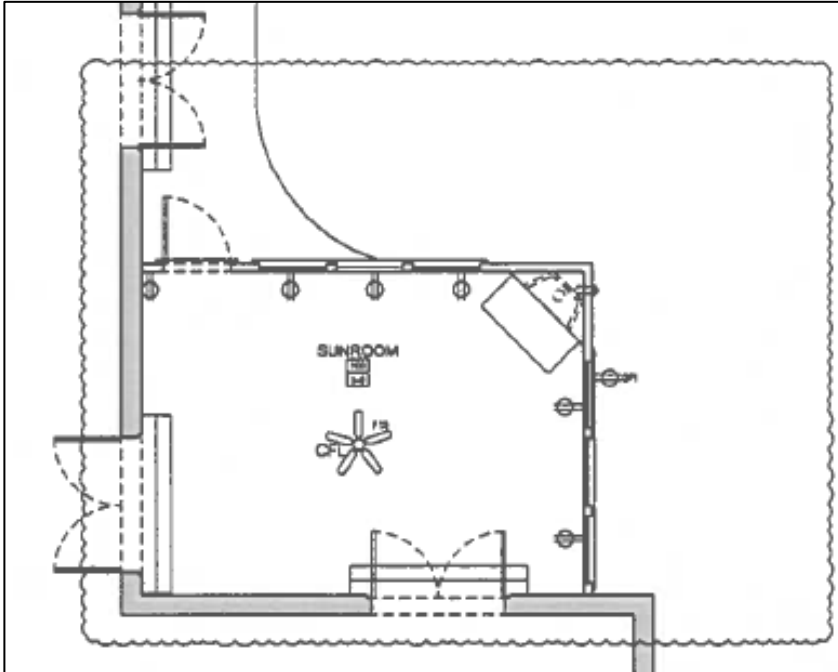


EXHIBITS

BOA 26.02 – 375 Ridgewood Circle

January 22, 2026

Proposed Conditions Continued





APPLICATION FOR BOARD OF ADJUSTMENTS

Application Type: Administrative Appeal Special Exception Variance

Property Owner / Leaseholder Information
 Name: Patricia Schultze Phone Number: 678-471-5188
 Street Address: 375 Ridgewood Circle
 City: Fairhope State: AL Zip: 36532

paschultze@gmail.com

Applicant / Agent Information
 If different from above.
 Notarized letter from property owner is required if an agent is used for representation.
 Name: _____ Phone Number: _____
 Street Address: _____
 City: _____ State: _____ Zip: _____

- Site Plan with Existing Conditions Attached: YES NO
- Site Plan with Proposed Conditions Attached: YES NO
- Variance Request Information Complete: YES NO
- Names and Address of all Real Property Owners within 300 Feet of Above Described Property Attached: YES NO

Applications for Administrative Appeal or Special Exception:

Please attach as a separate sheet(s) information regarding the administrative decision made or information regarding the use seeking approval. Please feel free to be as specific or as general as you wish in your description. This information will be provided to the Board before the actual meeting date. It is to your benefit to explain as much as possible your position or proposal.

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

David + Patricia Schultze
Property Owner/Leaseholder Printed Name

[Signature]
Signature

11/19/2025
Date

Fairhope Single Tax Corp. (If Applicable)



VARIANCE REQUEST INFORMATION

What characteristics of the property prevent / preclude its development?:

- | | | |
|--------------------------------------|------------------------------------|---|
| <input type="checkbox"/> Too Narrow | <input type="checkbox"/> Elevation | <input type="checkbox"/> Soil |
| <input type="checkbox"/> Too Small | <input type="checkbox"/> Slope | <input type="checkbox"/> Subsurface |
| <input type="checkbox"/> Too Shallow | <input type="checkbox"/> Shape | <input checked="" type="checkbox"/> Other (specify) |

Describe the indicated conditions: A portion of the structure falls outside of the 35 foot setback.

How do the above indicated characteristics preclude reasonable use of your land?
The existing footprint is not changing and will not exceed current roofline.

What type of variance are you requesting (be as specific as possible)?
We are asking for a setback variance. We will not be breaking ground and will not exceed our current roofline. We are at the end of a culdesac and house was built in the 1960s.

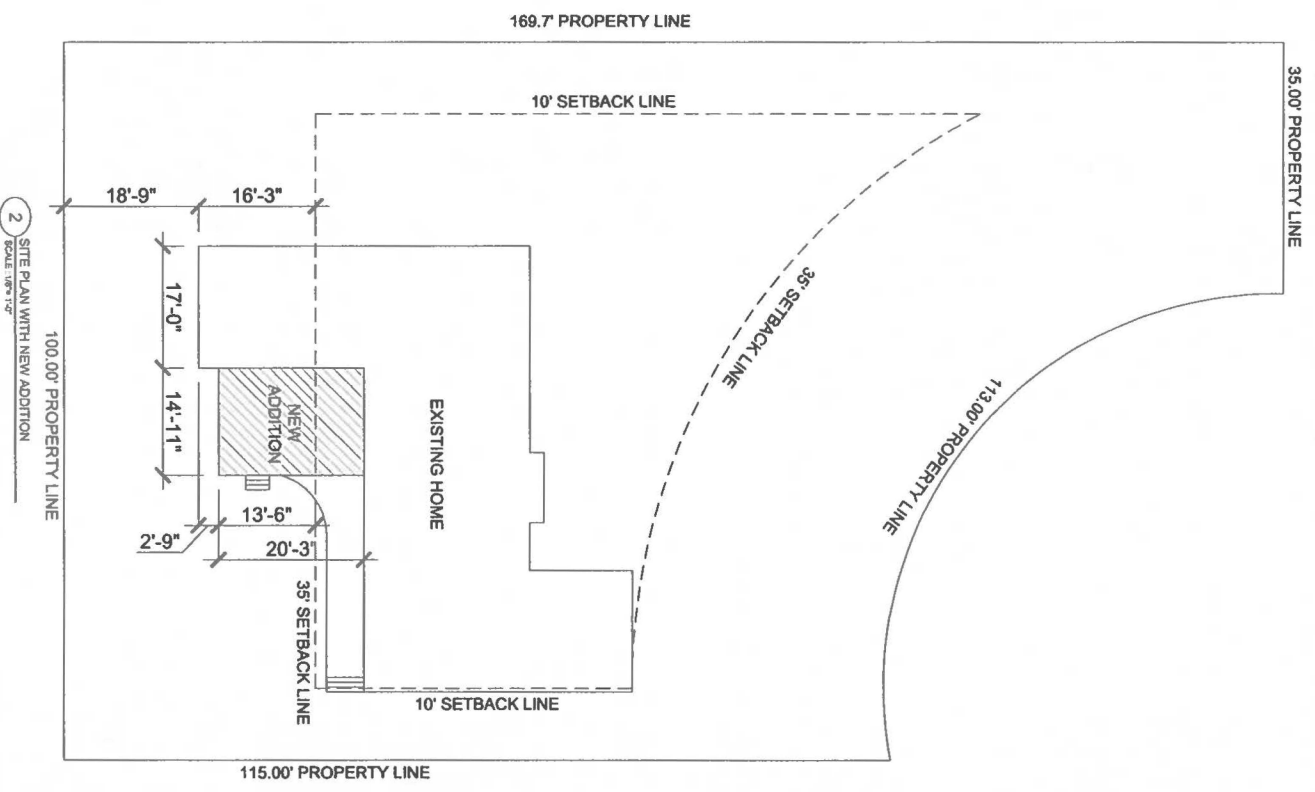
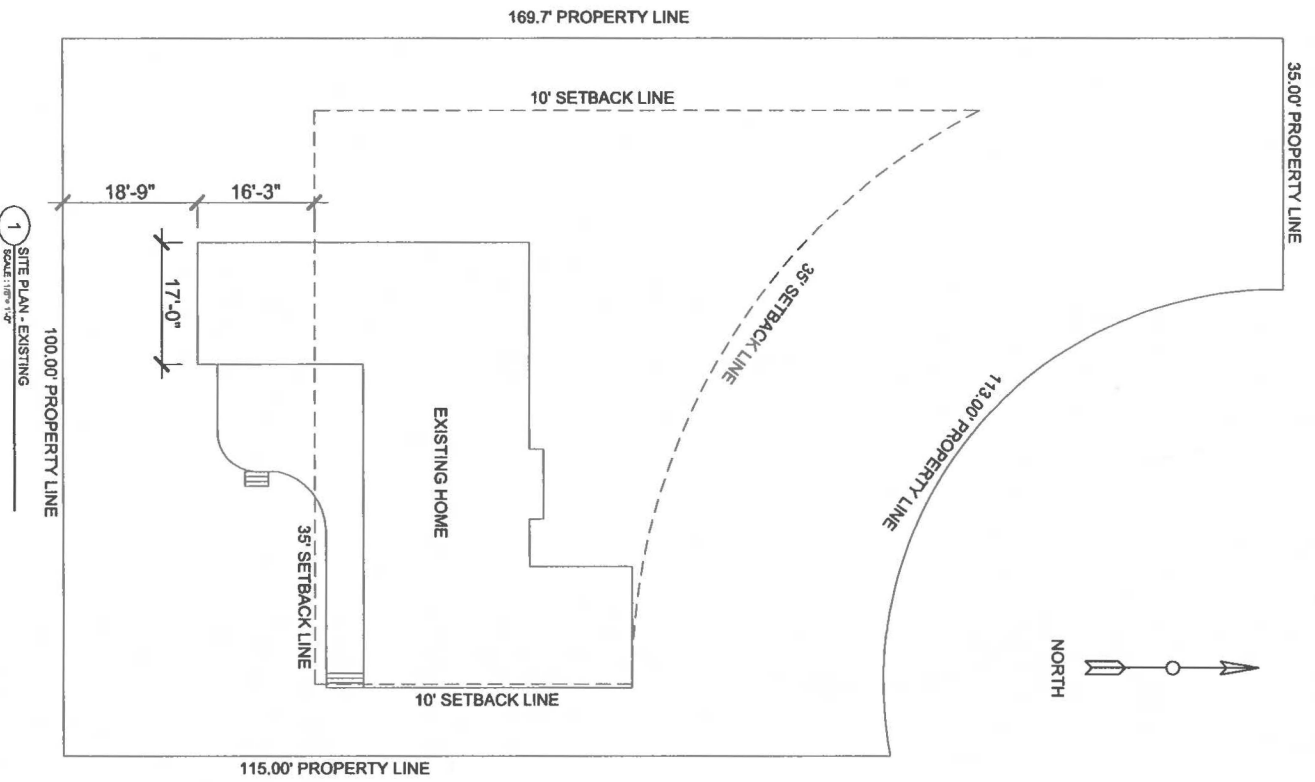
Hardship (taken from Code of Alabama 1975 Section 11-52-80):

"To authorize upon appeal in specific cases such variance from the terms of the (zoning) ordinance as will not be contrary to the public interest, where, owing to special conditions, a literal enforcement of the provision of the (zoning) ordinance will result in unnecessary hardship and so that the spirit of the (zoning) ordinance shall be observed and substantial justice done."

* We are asking for a 13.6 feet rear Variance

BOA Fee Calculation:		
	Residential	Commercial
Filing Fee:	\$100	\$500
Publication:	\$20	\$20
TOTAL:	\$ 120⁰⁰	

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.



PROJECT NO.	7
SHEET NO.	6
DATE	02/09/2025
DESIGNED BY	
CHECKED BY	
APPROVED BY	
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TITLE	SITE PLAN

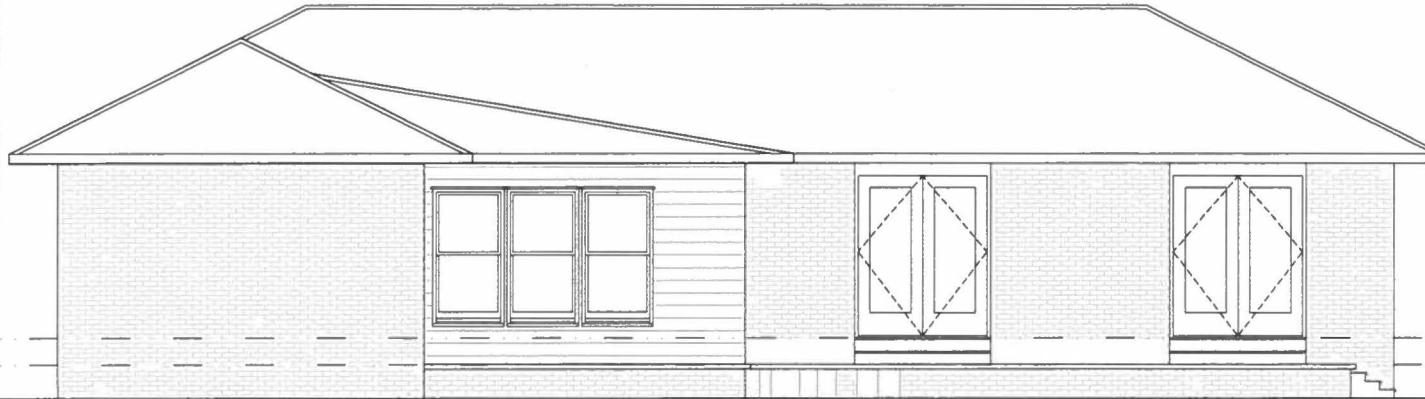
SCHULTZE PORCH RENOVATION
 375 RIDGEWOOD CIRCLE
 FAIRHOPE, ALABAMA

SHEET TITLE
SITE PLAN

FRAMEWORX LLC.
 24390 US-98 Suite 5
 Fairhope AL, 36532
 www.frameworxllc.com

SCHULTZ PORCH RENOVATION

375 RIDGEWOOD CIRCLE
FAIRHOPE, ALABAMA



LIST OF DRAWINGS

PAGE #	SHEET #	DESCRIPTION
1	C	COVER SHEET: PROJECT INFO. & DRAWINGS INDEX
2	A1.0	NEW FLOOR PLAN
3	A2.0	NEW LIGHTING and POWER PLAN
4	A3.0	NEW EXTERIOR ELEVATIONS
5	A4.0	EXISTING PLAN
6	A4.1	EXISTING ELEVATIONS

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24390 US-98 Suite 6
Fairhope AL, 36532
www.frameworxllc.com



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SCHULTZ PORCH RENOVATION
375 RIDGEWOOD CIRCLE
FAIRHOPE, ALABAMA
SHEET TITLE
COVER

DESIGNER:



FRAMEWORX LLC.

24390 US-98 Suite 5
Fairhope AL, 36532

PHONE: (251) 219-0330
EMAIL: frameworxalabama@gmail.com
WEBSITE: www.frameworxllc.com

SQUARE FOOTAGE CALCULATIONS

EXISTING INDOOR A/C AREA	2255	SF
NEW INDOOR A/C AREA	302	SF
TOTAL INDOOR A/C AREA	2255	SF
EXISTING REAR PORCH	456	SF
NEW REAR PORCH	-294	SF
TOTAL OUTDOOR AREA	162	SF
TOTAL EXISTING FOOTPRINT	2417	SF
NO CHANGE TO FOOTPRINT		

CONSULTANTS

MECHANICAL ENGINEER
ELECTRICAL ENGINEER
LANDSCAPE ARCHITECT
CIVIL ENGINEER

BUILDER/CONTRACTOR

SPECIFIC NOTE
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1		ISSUED FOR PERMITS
2		ISSUED FOR PERMITS
3		ISSUED FOR PERMITS

ISSUE DATE: 03/06/2025

PROJECT NO: 24390 US-98
DRAWN BY: JPM
CHECKED BY: JPM
SCALE: 1/8" = 1'-0"

SHEET COUNT

1 of 5

SHEET NUMBER

C

WALL LEGEND

EXISTING WALL TO REMAIN



DEMO WALL TO BE REMOVED

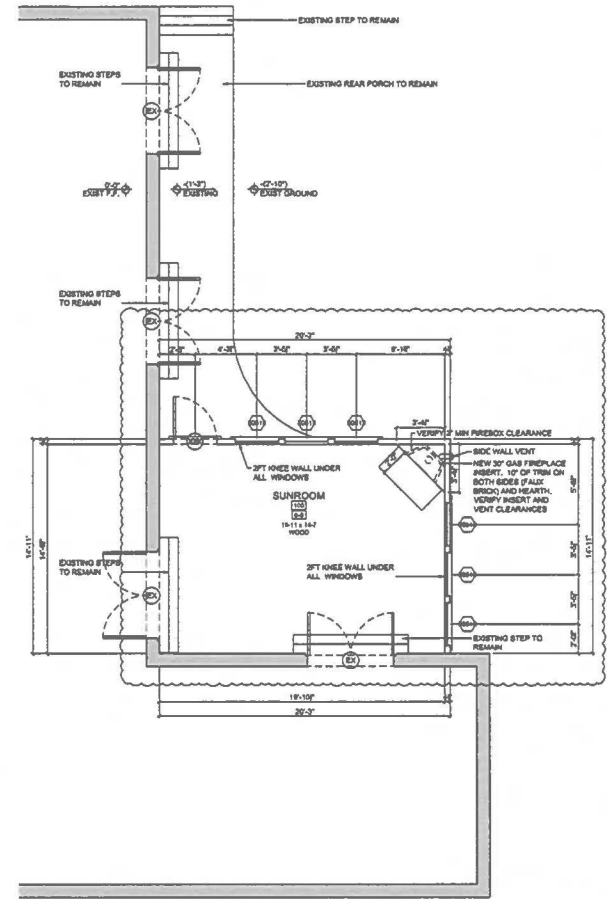


CHANGES FROM EXISTING PLAN



NOTES:

1. ALL EXISTING DIMENSIONS ARE APPROXIMATE
2. NEW INSULATION AND SHEETROCK IN ALL ROOMS WITH OPEN WALLS.



1 NEW FLOOR PLAN
SCALE 1/4" = 1'-0"

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Fairhope AL, 36532
www.frameworx.com



STAMP:

SCHULTZE PORCH RENOVATION
375 RIDGEWOOD CIRCLE
FAIRHOPE, ALABAMA
SHEET TITLE
NEW FLOOR PLAN

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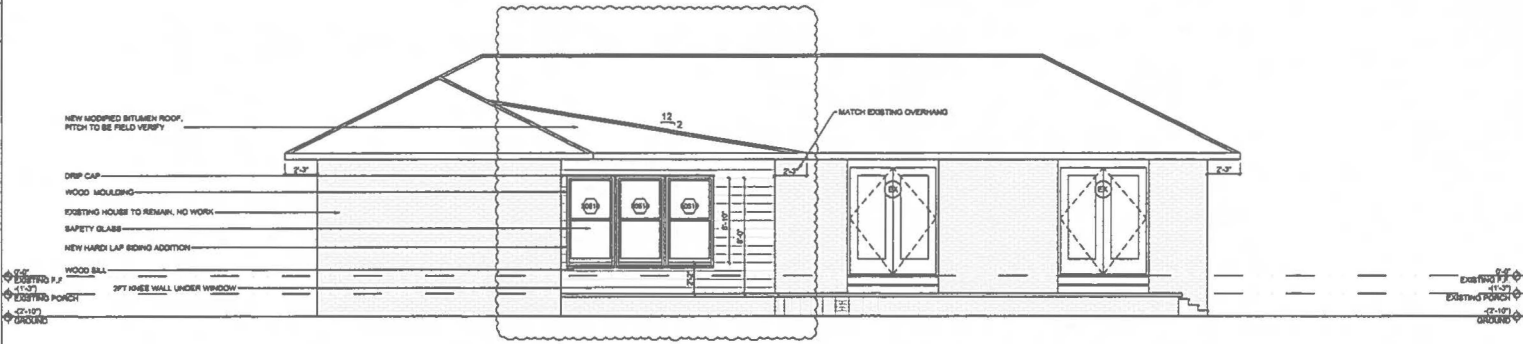
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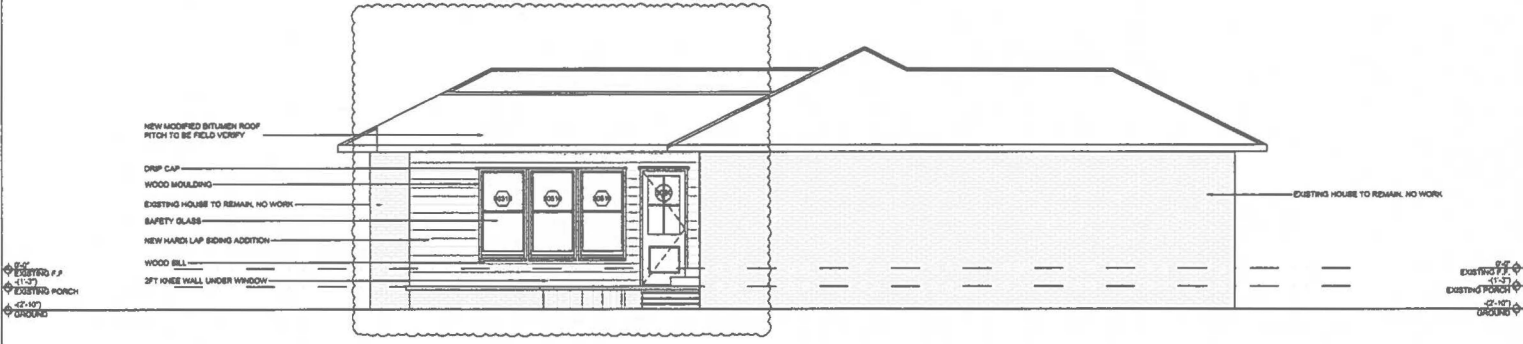
SHEET COUNT
2 of 6
SHEET NUMBER
A1.0

WALL LEGEND

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DEMO WALL TO BE REMOVED
CHANGES FROM EXISTING PLAN



1 NEW REAR ELEVATION
SCALE 1/4" = 1'-0"



1 NEW SIDE ELEVATION
SCALE 1/4" = 1'-0"

NOTES:

1. ALL EXISTING DIMENSIONS ARE APPROXIMATE
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FAIRHOPE, ALABAMA

SHEET TITLE
NEW PROPOSED ELEVATIONS

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REVISIONS	NO.	DATE	DESCRIPTION
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2	ISSUED		PAVING, WINDOWS
3	ISSUED		ROOF


ISSUE DATE: 03/06/2025

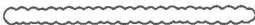
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DRAWN BY: JPH
CHECKED BY: JPH
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SHEET COUNT
4 of 6
SHEET NUMBER
A3.0

WALL LEGEND

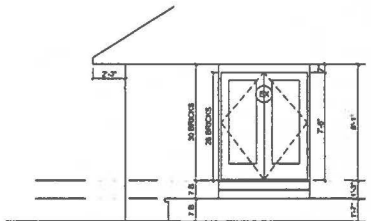
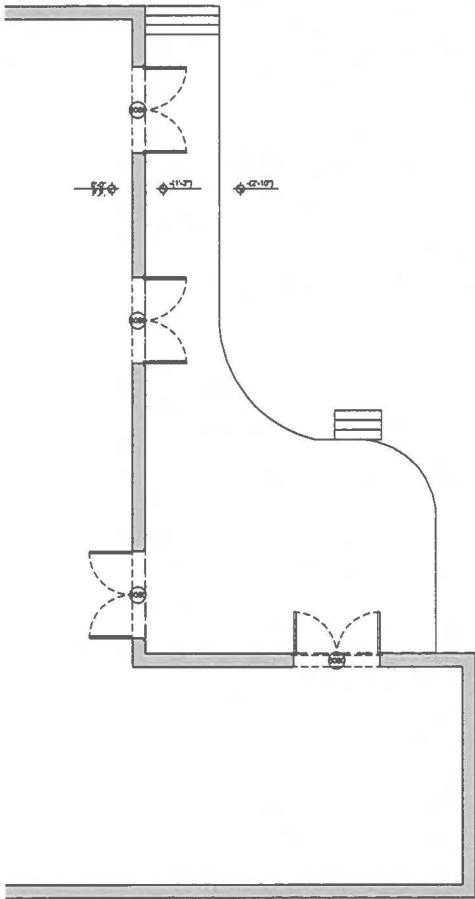
EXISTING WALL TO REMAIN


DEMO WALL TO BE REMOVED


CHANGES FROM EXISTING PLAN


NOTES:

1. ALL EXISTING DIMENSIONS ARE APPROXIMATE
2. NEW INSULATION AND SHEETROCK IN ALL ROOMS WITH OPEN WALLS.



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 FAIRHOPE, ALABAMA

SHEET TITLE
EXISTING FLOOR PLAN

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REVISIONS

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2		ISSUE FOR PERMITS
3		ISSUE FOR PERMITS

ISSUE DATE: 03/08/2025

PROJECT NO: W-2024-108

DRAWN BY: JF

CHECKED BY: JF

SCALE: 1/4" = 1'-0"

SHEET COUNT
 5 OF 8

SHEET NUMBER
 A4.0

1 EXISTING FLOOR PLAN
 SCALE: 1/4" = 1'-0"

WALL LEGEND

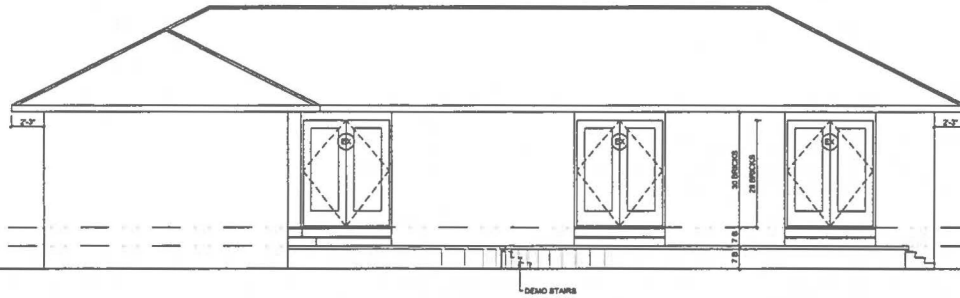
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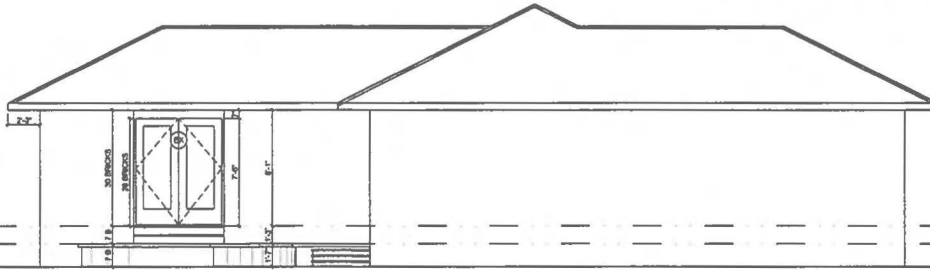
DEMO WALL TO BE REMOVED



CHANGES FROM EXISTING PLAN



1 EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

- NOTES:**
1. ALL EXISTING DIMENSIONS ARE APPROXIMATE
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FAIRHOPE, ALABAMA

SHEET TITLE
EXISTING ELEVATIONS

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NO.	DATE	DESCRIPTION
1	03/06/2025	ST WALL, WALLS
2		PROPANE, WINDOWS
3		STAIR

ISSUE DATE: 03/06/2025

PROJECT NO: 2024030102
DRAWN BY: JH
CHECKED BY: JH
SCALE: 1/4" = 1'-0"

SHEET COUNT
6 OF 6

SHEET NUMBER
A4.1

GENERAL NOTES:

DISCLAIMER:

- THE FOLLOWING SPECIFICATIONS ARE AN OUTLINE OF MINIMUM MATERIAL REQUIREMENTS AND THEIR APPLICATION. MANUFACTURER SPECIFICATIONS AND LOCAL CODE REQUIREMENTS, WHEN IN EXCESS OF MINIMUM SPECIFICATION, SHALL CONTROL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND SUBMIT ALL SHOP DRAWINGS AND REPORT ALL DOCUMENT DISCREPANCIES TO THE STRUCTURAL ENGINEER PRIOR TO FABRICATION OR ERECTION.
- AT CONSTRUCTION ISSUE, THESE DRAWINGS REPRESENT STRUCTURAL COMPONENTS IN THEIR FINAL AND FINISHED STATE. CONSTRUCTION PROCEDURES, BRACING METHODS, SAFETY PRECAUTIONS OR MECHANICAL REQUIREMENTS USED TO ERECT THEM ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR SUBCONTRACTOR PERFORMING THE WORK.

BUILDING DESIGN CRITERIA:

A. CODES

2018 INTERNATIONAL RESIDENTIAL CODE
 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)
 BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES (ACI 531)
 ASCE 7-18

B. DESIGN LOADS

ROOF DEAD LOAD 18 PSF
 ROOF LIVE LOAD 20 PSF - REDUCIBLE

C. WIND LOADS PER ASCE 7-18 & 2018 IBC

RISK CATEGORY II
 ULTIMATE DESIGN WIND SPEED, V_{ult} = 157 MPH ϕ
 NOMINAL DESIGN WIND SPEED, V_{nom} = 122 MPH ϕ
 EXPOSURE CATEGORY = B
 MEAN ROOF HEIGHT, h = \pm 13.5 FEET
 ADJUSTMENT FACTOR FOR HEIGHT AND EXPOSURE, A = 1.00
 TOPOGRAPHIC FACTOR, K_{zt} = 1.00
 ROOF SLOPE, θ = $\frac{1}{2}$; θ_2 = 9.50'

DESIGN WIND LOAD NOTES:

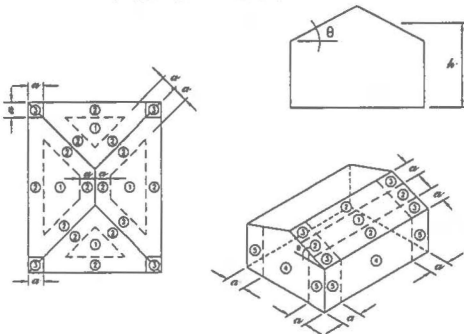
ϕ	ULTIMATE WIND SPEED, V_{ult} , WAS DETERMINED USING THE ASCE HAZARD TOOL WEBSITE.
*	REFERENCE SECTION 1609.3.1 AND/OR TABLE 1609.3.1 OF THE 2018 INTERNATIONAL BUILDING CODE FOR CONVERSION OF V_{ult} TO V_{nom} .
**	SHOWN IN THIS TABLE ARE NET DESIGN WIND PRESSURES, P_{net} , DETERMINED PER SECTION 30.5.2 OF ASCE 7-18. THESE PRESSURES ARE BASED ON ULTIMATE WIND SPEED, V_{ult} , PER FIGURE 28.5-1A AND SHALL BE APPLIED NORMAL TO EACH BUILDING SURFACE AS SHOWN IN FIGURE 30.5-1. NOTE THAT WIND LOAD DERIVED USING THESE PRESSURES WILL BE REDUCED BY A FACTOR OF 0.8 IF ALLOWABLE STRESS DESIGN COMBINATIONS ARE USED IN ACCORDANCE WITH SECTION 2.4.1 OF ASCE 7-18.

COMPONENTS AND CLADDING DESIGN PRESSURES **
 REFERENCE: FIGURE 30.5-1 & SECTION 30.5.2 OF ASCE 7-18

ZONE	TRSB AREA	COMPONENT PRESSURE	
		POSITIVE (+)	NEGATIVE (-)
1	10	+18.4	-50.0
	20	+18.4	-50.0
	50	+17.8	-50.4
2a	10	+11.0	-15.8
	20	+11.4	-16.0
	50	+12.6	-16.0
3a	10	+18.4	-50.0
	20	+18.4	-50.0
	50	+17.8	-50.4
4	10	+18.4	-50.0
	20	+18.4	-50.0
	50	+17.8	-50.4
5	10	+23.0	-28.1
	20	+23.0	-28.1
	50	+23.0	-28.1

REFERENCE FIGURES BELOW:

DESIGN ALL WINDOWS AND DOORS AS IMPACT RESISTANCE FOR PRESSURE ABOVE



LUMBER:

- UNLESS NOTED OTHERWISE, ALL LUMBER SHALL BE #2 KD SOUTHERN YELLOW PINE OR #2 SPRUCE-PINE-FIR WITH A MAXIMUM MOISTURE CONTENT OF 19 PERCENT.
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED. ALL LUMBER EXPOSED TO EXTERIOR ENVIRONMENT SHALL BE PRESSURE TREATED.
- EXTERIOR LOAD-BEARING STUD FRAMING SHALL BE NO. 2 SYP OR SPF; $F_b=1000$ PSI, $E=1,400$ KSI.
- INTERIOR LOAD-BEARING STUD FRAMING SHALL BE NO. 2 SYP OR SPF, SIZE SHOWN ON PLANS; $F_b=1000$ PSI, $E=1,400$ KSI.
- ROOF DECK SHALL BE MINIMUM 1/2" EXTERIOR GRADE PLYWOOD ATTACHED WITH 8d NAIL SHANK NAILS AS SHOWN ON ATTACHMENT DETAILS.
- INSTALL SIMPSON PSC CLIPS OR USP MODEL PC SHEATHING CLIPS AT ALL UNSUPPORTED EDGES OF ROOF DECK (ONE PER SPAN).
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALL SHEATHING TO BE 1/2" PLYWOOD ATTACHED DIRECTLY TO WALL FRAMING MEMBERS. BLOCK ALL PANEL EDGES AND NAIL WITH 8d COMMON NAILS @ 4" o.c. AT ALL PANEL EDGES, BLOCKING, AND TOP & BOTTOM PLATES WITH FIELD NAILING @ 8" o.c.
- ALL PLYWOOD PANELS SHALL BE INSTALLED IN ACCORDANCE WITH APA RECOMMENDATIONS AND RELATED SPECIFICATIONS. ORIENTED STRAND BOARD (OSB) MAY BE SUBSTITUTED FOR PLYWOOD WHERE APPROVED BY THE ARCHITECT/ENGINEER AND PROVIDED THE PANEL CONFORM TO THE APPROPRIATE APA RAINS FOR THE INTENDED APPLICATION.
- PROVIDE A MINIMUM OF 2 STUDS HALED TOGETHER BENEATH ALL HEADERS UNLESS NOTED OTHERWISE. USE AT LEAST 2-2x4 HEADER FOR ALL OPENINGS UP TO 4'-0" WIDE IN BEARING WALLS. USE AT LEAST 2-2x10 HEADER FOR ALL OPENINGS UP TO 8'-0" WIDE IN BEARING WALLS.
- ALL MULTIPLE PIECE WOOD BEAMS SHALL BE CONNECTED TOGETHER WITH MINIMUM TWO ROWS OF 16d NAILS @ 12" o.c. (U.N.O.).
- AS A MINIMUM, ANCHOR AND NAIL FRAMING SHALL COMPLY WITH "TABLE R602.3(1) - FASTENING SCHEDULE" OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BOLTS, WALLS, JOIST HANGERS, CLIPS, STRAPS, ETC THAT ARE IN CONTACT WITH PRESSURE TREATED MATERIAL SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- ALL CONNECTORS AND HARDWARE SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER RECOMMENDATIONS. SIZE, QUANTITY, AND LOCATION OF NAILS AND FASTENERS SHALL CONFORM TO THE MANUFACTURERS PUBLISHED LITERATURE.
- LVL BEAM SHALL BE 2550 Fb-2.0E AS MANUFACTURED.
- TREATED GULIAMS TO BE MINIMUM 2400 PSI Fb & 1.8E MINIMUM.
- TREATED PSL BEAMS TO BE MINIMUM 1885 PSI Fb, 1.49E, & SERVICE LEVEL 2 TREATMENT MINIMUM.
- ALL EXTERIOR LVL'S TO BE WRAPPED & PROTECTED FROM THE WEATHER OR USE TREATED GULIAMS OR PSL'S.
- ROOF SHINGLES TO BE HIGH WIND CLASS "H" WITH A MINIMUM OF 8 FASTENERS EACH.

FOUNDATION:

- NO SOIL REPORT HAS BEEN PREPARED FOR THIS PROJECT, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE SOIL SUPPORT FOR THE FOUNDATION DESIGN, AND SHALL REPORT UNEXPECTED CONDITIONS TO THE DESIGNER.
- ALL FOOTINGS, OR PORTIONS THEREOF, BELOW GRADE MAY BE EARTH FORMED BY HEAT EXCAVATIONS.
- FOOTINGS TO BE CENTERED ON WALLS OR COLUMN UNLESS NOTED OTHERWISE.
- ALLOWABLE SOIL BEARING = 1500 PSF
- COMPACT ALL SOILS BELOW SLAB AND FOOTINGS 85% STANDARD PROCTOR DENSITY.
- ALL SOIL FILL TO BE PLACED IN 8" LIFTS AND COMPACTED TO 85% STANDARD PROCTOR DENSITY.

FORTIFIED NOTE:

CONTACT A FORTIFICATION COMPANY OR VISIT [HTTPS://BHS.ORG/FORTIFIED/](https://bhs.org/fortified/) PRIOR TO CONSTRUCTION TO DETERMINE WHAT IS CURRENTLY REQUIRED TO ACHIEVE DESIRED LEVEL OF FORTIFICATION.

NATHAN LIPPINCOTT - KNOCKOUT INSPECTIONS
 OFFICE: 251-517-4558
 CELL: 251-747-1214

DARIUS GRIMES - DISASTER SMART
 888-964-8776

VINCE LACOSTE, P.E. - BETHEL ENGINEERING
 251-661-4747

MASONRY:

- HOLLOW CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C-90 LIGHTWEIGHT, TYPE N-1 WITH A MINIMUM COMPRESSIVE STRENGTH $f_m = 1500$ PSI.
- ALL MORTAR FOR USE IN MASONRY SHALL CONFORM TO ASTM C-270, TYPE M OR S. GROUT USED IN MASONRY SHALL BE MINIMUM 2500 PSI AND CONFORM TO ASTM C-476. MINIMUM 8 SACK MIX.
- REINFORCING BARS TO BE GRADE 60 AND MEET ASTM A-615.
- GROUT FILL ALL CELLS BELOW GRADE.
- LAY ALL MASONRY IN A RUNNING BOND PATTERN.
- PROVIDE #3 TRUSS TYPE JOINT REINFORCEMENT AT 16" o.c. FOR TYPICAL HORIZONTAL REINFORCING.
- PROVIDE #3 TRUSS TYPE JOINT REINFORCEMENT AT 8" o.c. FOR TYPICAL HORIZONTAL REINFORCING AT PARAPET WALLS.
- PROVIDE A MINIMUM OF 1" GROUT BETWEEN MAIN REINFORCING AND MASONRY UNITS.

CONCRETE WORK:

- CONCRETE (NORMAL WEIGHT) COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE REF. SCHEDULE BELOW

LOCATION	COMPRESSIVE STRENGTH
FOUNDATION	4000 psi
SLAB ON GRADE	4000 psi
ELEVATED SLAB	4000 psi
WALLS	4000 psi

- ALL REINFORCING SHALL MEET ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC (WFF) SHALL MEET ASTM A185.
- CONCRETE COVERAGE OF REINFORCEMENT SHALL BE:
 FOOTINGS 3" BOTTOM AND SIDES
 WALLS 1/2"
 SLABS 1/2"
 PIESTALS 1/2" CLEAR OF TIES
- ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE CURRENT "ACI MANUAL OF CONCRETE PLACEMENT".
- PORTLAND CEMENT SHALL CONFORM TO ASTM C 150, TYPE I OR II.
- ALL AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL MEET ASTM C 33.
- ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED PER CRSI AND ACI STANDARDS, INCLUDING CONCRETE COVER AND BAR SUPPORTS. LAP BARS AT ALL SPICES, INCLUDING CORNER BARS AND DOWELS, IN ACCORDANCE WITH SPLICE SCHEDULE OR IN LIEU THEREOF 40 BAR DIAMETERS. LAP WFF 8" OR ONE FULL MESH, WHICHEVER IS GREATER.

WIND BORNE DEBRIS PROTECTION FOR EXTERIOR WINDOWS IRC 2018:

- WINDOWS TO BE DESIGNED FOR A DESIGN WIND PRESSURE OF ± 30 PSF. REFERENCE CHART.
- THE CONTRACTOR MUST USE IMPACT RESISTANCE WINDOWS.

STRUCTURAL DRAWING INDEX:

- SO.0 - STRUCTURAL NOTES
- SI.0 - FOUNDATION PLAN
- S2.0 - CEILING FRAMING PLAN
- S3.0 - ROOF FRAMING PLAN
- S4.0 - SECTIONS AND DETAILS
- SS.0 - SECTIONS AND DETAILS

BARTON & EDGAR
 ENGINEERING



3213 MIDTOWN PARK SOUTH | MOBILE, AL 36619-4942

STRUCTURAL NOTES
SCHULTZE ADDITION
 375 RIDGEWOOD CIRCLE
 FAIRHOPE, ALABAMA

LOCATION



FOR PERMIT
 REVISIONS:

DRAWN BY: KMJ

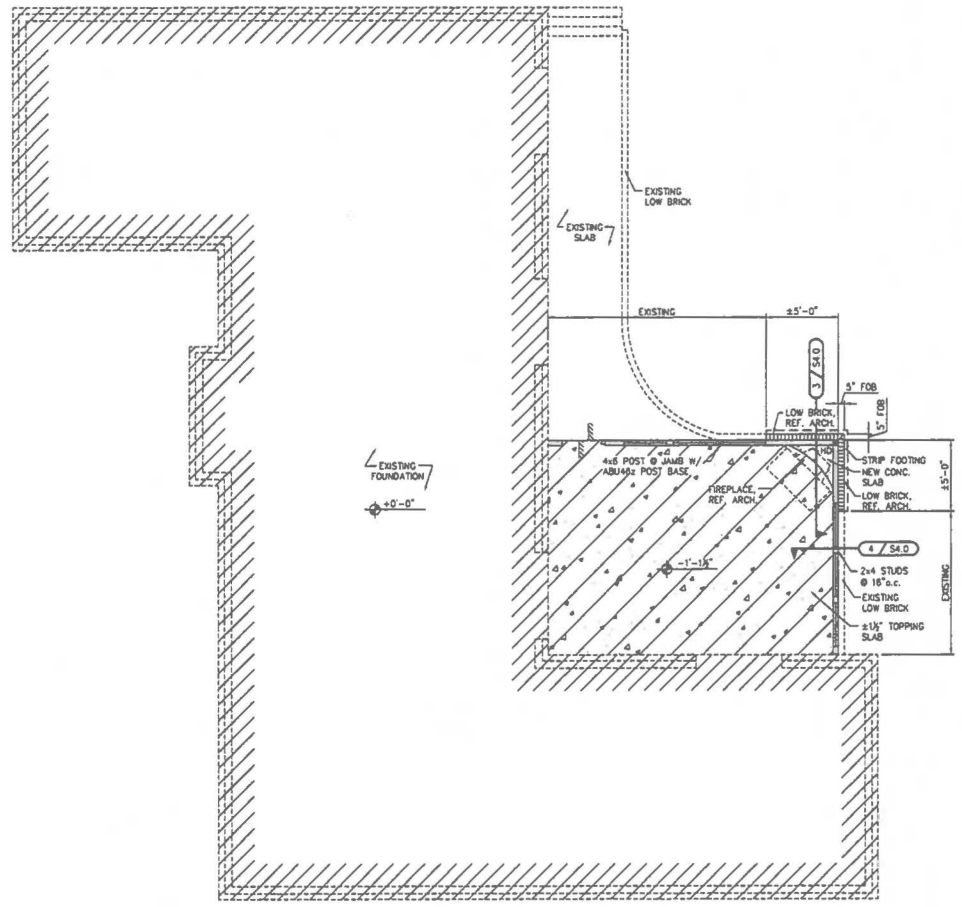
DESIGNED BY: CHE

DATE: 05 MAY 2025 SHEET

25111

SO.0

NOTE:
 BARTON & EDGAR ENGINEERING, LLC IS RESPONSIBLE FOR NEW CONSTRUCTION ONLY. CONTRACTOR TO VERIFY EXISTING FOUNDATION, FLOOR ELEVATIONS, WALL HEIGHTS, ETC. CONTACT ENGINEER IF EXISTING DIFFERS FROM WHAT IS SHOWN IN THESE PLANS.



- NOTES:**
1. VERIFY ALL DIMENSIONS & FLOOR ELEVATIONS WITH ARCHITECTURAL PRIOR TO STARTING CONSTRUCTION.
 2. ALL DIMENSIONS ARE TO OUTSIDE FACE OF STUDS OR FACE OF SLAB U.N.O.

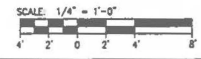
SLAB-ON-GRADE CONSTRUCTION
 4" CONCRETE SLAB REINFORCED WITH 8x8-W1.4xW1.4 WWF FLAT SHEETS PLACED ON BRICKS/CHAIRS. PLACE OVER VAPOR BARRIER AND COMPACTED STRUCTURAL FILL MATERIAL. FILL TO BE PLACED IN 8" LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.

NOTE:
 ALL EXPOSED TIES AND STRAPS TO BE STAINLESS STEEL OR TRIPLE ZINC

FOUNDATION PLAN
 SCALE: 1/4"=1'-0"
 FINISH FLOOR = +0'-0" U.N.O. (EXISTING)

LEGEND

±0'-0"	FINISHED FLOOR ELEVATION
HD	HDU4-SDS2.5 HOLDOWN BY SIMPSON
TTTTT	STEP IN SLAB ELEVATION
±1/2" TOPPING SLAB	



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 ENGINEERING
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FOUNDATION PLAN
SCHULTZE ADDITION
 375 RIDGEWOOD CIRCLE
 FAIRHOPE, ALABAMA

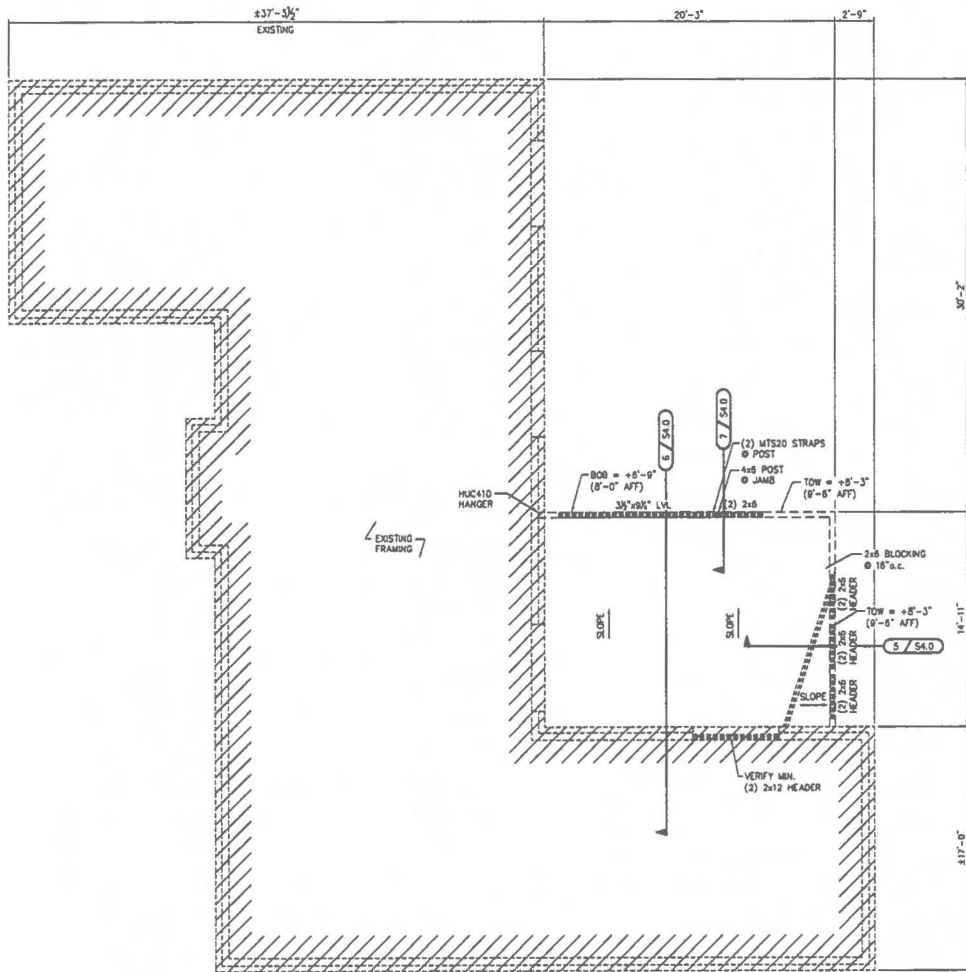


FOR PERMIT
 REVISIONS:

DRAWN BY: KMJ
 DESIGNED BY: CHE

DATE: 05 MAY 2016

25111 SHEET **S1.0**



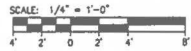
NOTE:
 BARTON & EDGAR ENGINEERING, LLC IS RESPONSIBLE FOR NEW CONSTRUCTION ONLY. CONTRACTOR TO VERIFY EXISTING FOUNDATION, FLOOR ELEVATIONS, WALL HEIGHTS, ETC. CONTACT ENGINEER IF EXISTING DIFFERS FROM WHAT IS SHOWN IN THESE PLANS.

NOTE:
 CONTRACTOR TO SHORE UP EXISTING CEILING, A ROOF AS NEEDED UNTIL NEW BEAMS ARE IN PLACE.

NOTE:
 ALL EXPOSED NGS AND STRAPS TO BE STAINLESS STEEL OR TRIPLE ZINC.

CEILING FRAMING PLAN
 SCALE: 1/4" = 1'-0"
 TOP OF WALL = +8'-3" (9'-8" AFF) U.N.O. = JOISTS BEARING

LEGEND
 TOW TOP OF WALL
 BOB BOTTOM OF BEAM



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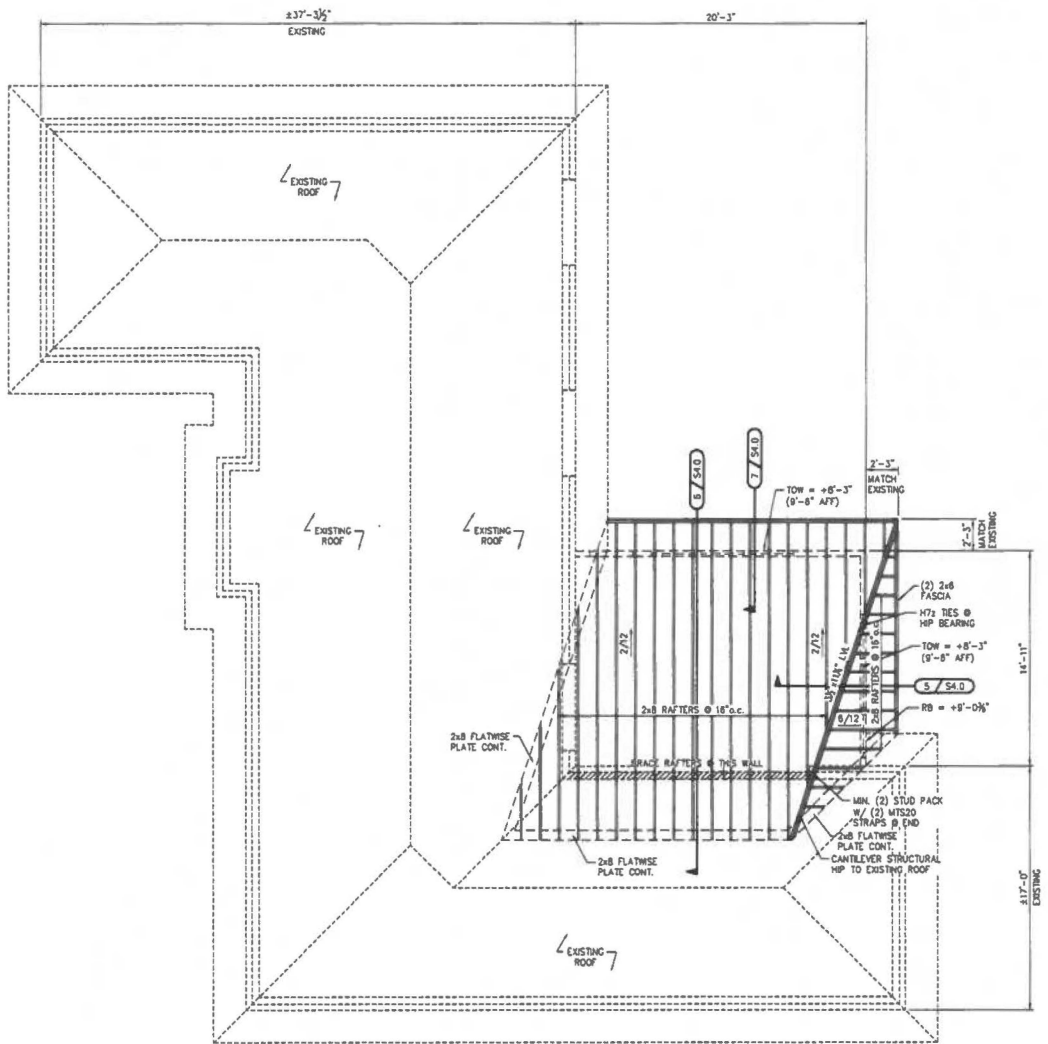
CEILING FRAMING PLAN
SCHULTZ ADDITION
 375 RIDGEWOOD CIRCLE
 FAIRHOPE, ALABAMA



FOR PERMIT
 REVISIONS:

DRAWN BY: KJU
 DESIGNED BY: CHE
 DATE: 05 MAY 2025 SHEET

25111 **S2.0**



NOTE:
BARTON & EDGAR ENGINEERING, LLC IS RESPONSIBLE FOR NEW CONSTRUCTION ONLY. CONTRACTOR TO VERIFY EXISTING FOUNDATION, FLOOR ELEVATIONS, WALL HEIGHTS, ETC. CONTACT ENGINEER IF EXISTING DIFFERS FROM WHAT IS SHOWN IN THESE PLANS.

NOTE:
CONTRACTOR TO SHURE UP EXISTING CEILING & ROOF AS NEEDED UNTIL NEW BEAMS ARE IN PLACE.

NOTE:
ALL EXPOSED TIES AND STRAPS TO BE STAINLESS STEEL OR TRIPLE ZINC

TYPICAL ROOF DECK:
3/4" EXT. GRADE PLYWOOD ATTACH W/ 8d RING SHANK NAILS AS SHOWN ON ROOF FRAMING DETAIL.

ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"
TOP OF WALL = +8'-3" (9'-6" AFF) U.N.D. = RAFTERS BEARING

LEGEND
TOW TOP OF WALL
RB RAFTER BEARING



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ENGINEERING



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ROOF FRAMING PLAN
SCHULTZE ADDITION
3775 RIDGEWOOD CIRCLE
FAIRHOPE, ALABAMA

LOCATION



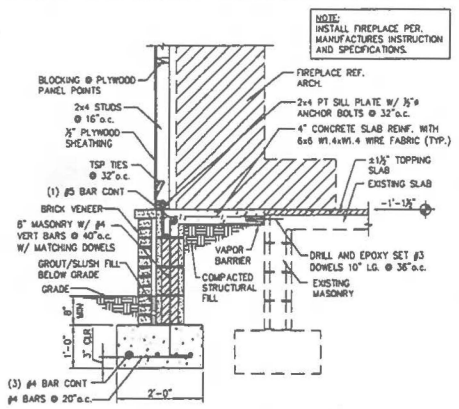
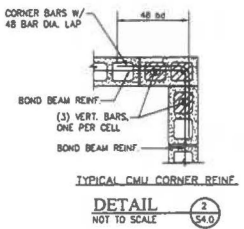
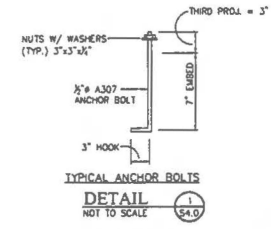
FOR PERMIT

REVISIONS

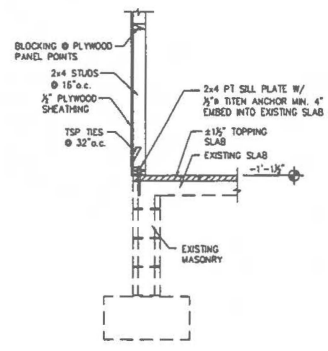
DRAWN BY: K.M.J.
DESIGNED BY: CHE

DATE: 05 MAY 2016 SHEET

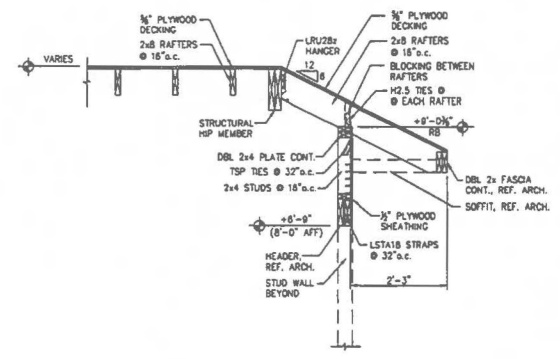
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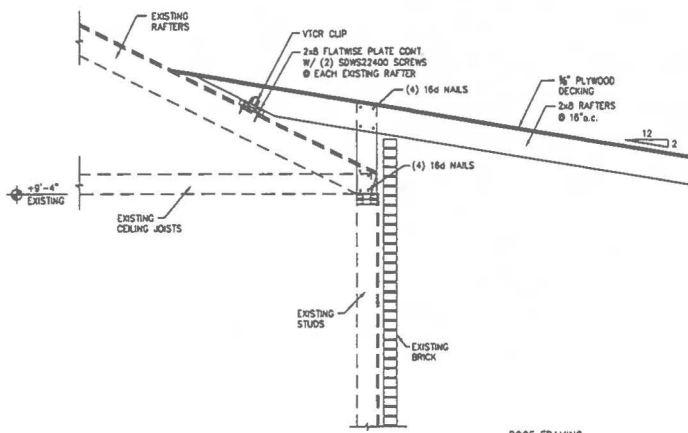
EXTERIOR WALL
SECTION 3
SCALE: 3/4"=1'-0" S4.0



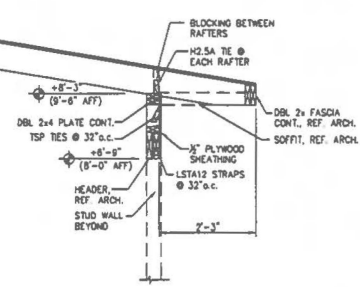
EXTERIOR WALL
SECTION 4
SCALE: 3/4"=1'-0" S4.0



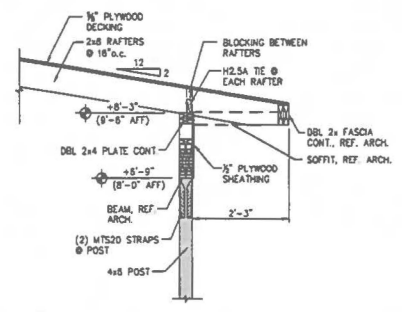
ROOF FRAMING
SECTION 5
SCALE: 3/4"=1'-0" S4.0

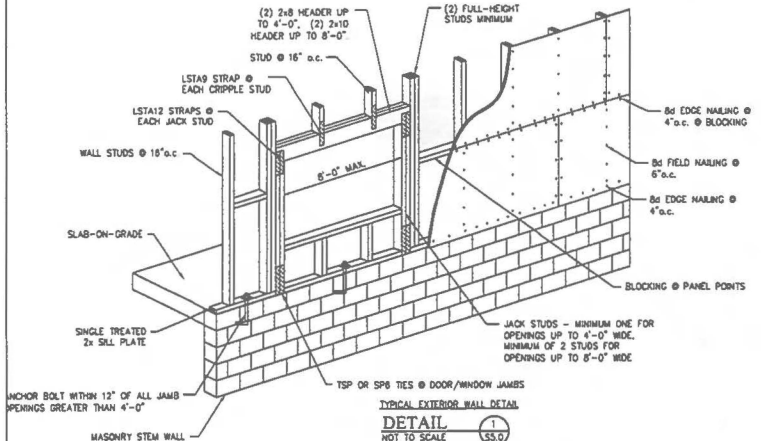


ROOF FRAMING
SECTION 6
SCALE: 3/4"=1'-0" S4.0



ROOF FRAMING
SECTION 7
SCALE: 3/4"=1'-0" S4.0

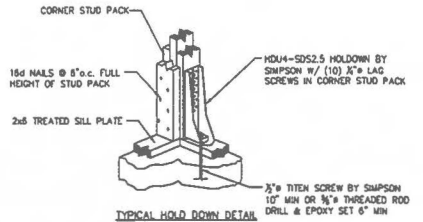




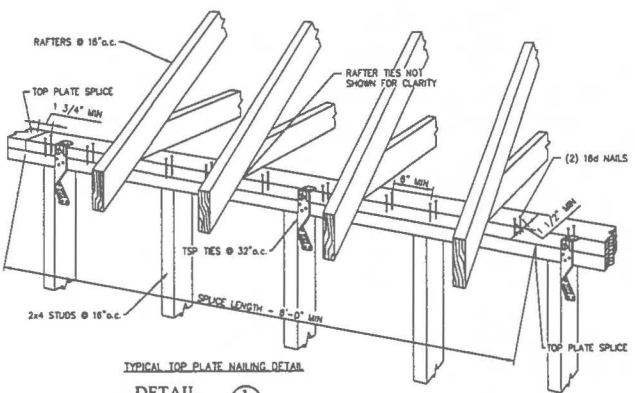
TYPICAL EXTERIOR WALL DETAIL
DETAIL 1
 NOT TO SCALE S5.0

INTERIOR WALL HEADERS		
SPAN	HEADER	JACK STUDS
<4'-0"	(2) 2x8	1
4'-8"	(2) 2x10	2

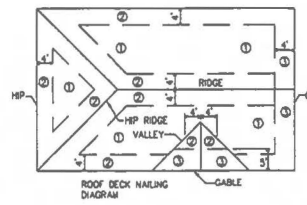
**REF PLAN FOR SPANS GREATER THAN 8'-0"



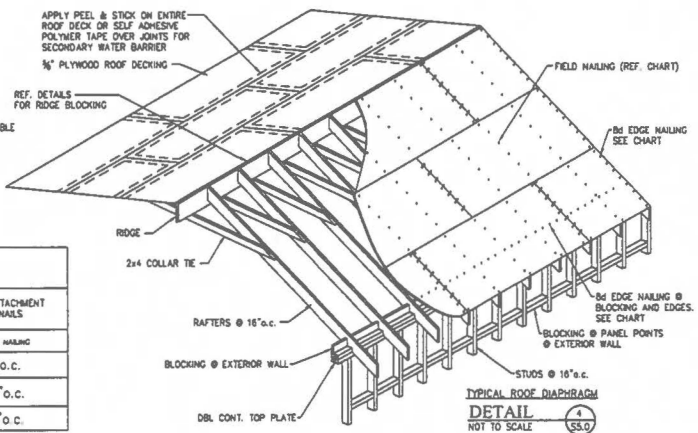
TYPICAL HOLD DOWN DETAIL
DETAIL 2
 NOT TO SCALE S5.0



TYPICAL TOP PLATE NAILING DETAIL
DETAIL 3
 NOT TO SCALE S5.0



ROOF SHEATHING ATTACHMENT REQUIREMENTS			
THREE SECOND GUST, 122 MPH (ASD) 157 MPH (ULT) WIND SPEED		STRUCTURAL SHEATHING ATTACHMENT WITH 8d RING SHANK NAILS	
	RAFTERS/TRUSSES SPACING (INCHES o.c.)	EDGE NAILING	FIELD NAILING
①	INTERIOR ZONE 16" o.c.	4" o.c.	4" o.c.
②	PERIMETER/EDGE ZONE 16" o.c.	4" o.c.	4" o.c.
③	GABLE CHIMNEY RAKE OR RAKE TRUSS W/ADD/OUTBLOCK	4" o.c.	4" o.c.



TYPICAL ROOF DIAPHRAGM DETAIL
DETAIL 4
 NOT TO SCALE S5.0

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 ENGINEERING
 3213 MIDTOWN PARK SOUTH | MOBILE, AL 36688-4942

SECTIONS AND DETAILS
SCHULTZE ADDITION
 375 RIDGEWOOD CIRCLE
 FAIRHOPE, ALABAMA

LOCATION:
 FOR PERMIT
 REVISIONS:

DRAWN BY: KMJ
 DESIGNED BY: CHE
 DATE: 05 MAY 2025
 SHEET: 25111 S5.0

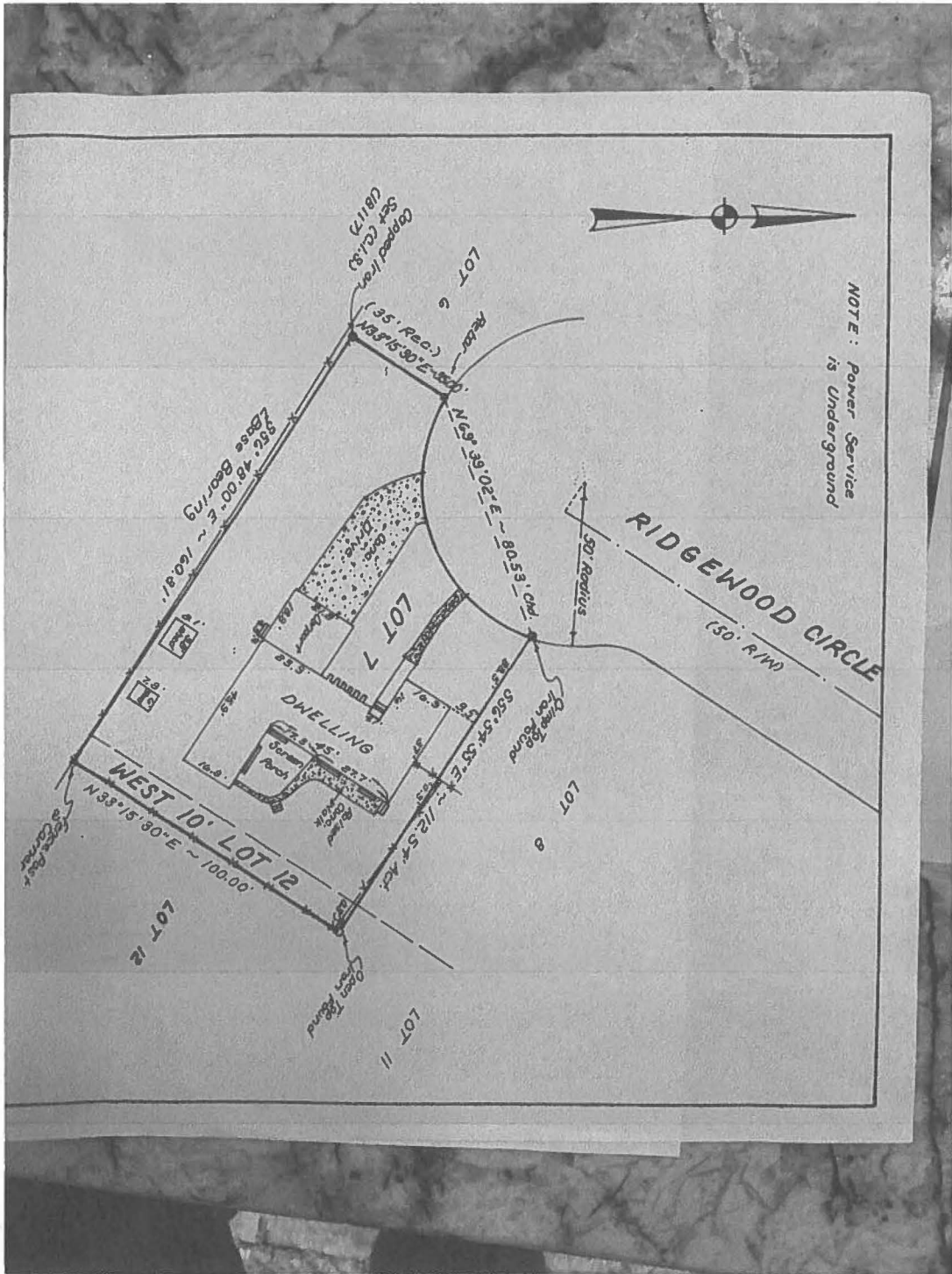




IMG_2346.jpg



Open with



NOTE: Power Service is Underground



RIDGEWOOD CIRCLE
(50' R/W)

Draped Iron Sign (CL-3) (0817)

(35' Rec.)

536' 48.00' E ~ 160.81'
Base Bearing

LOT 6

Radius

N 69° 56' 02" E ~ 80.5' Ord.

LOT 7

DWELLING
Garage
Driveway

LOT 8

536' 54' 53" E ~ 112.54' Adj.
Open Road

WEST 10' LOT 12
N 33° 15' 50" E ~ 100.00'

LOT 12

LOT 11

50' Radius

STATE OF ALABAMA
COUNTY OF BALDWIN

I, R. G. JERRY PEREZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ALABAMA HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF; AND THE FOREGOING IS A PLAT OF THE FOLLOWING DESCRIBED PROPERTY, TO WIT:

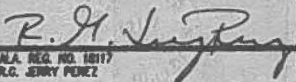
LOT 7, AND THE WEST 10 FEET OF LOT 12 OF RIDGEWOOD ESTATES SUBDIVISION OF FAIRHOPE, AS RECORDED IN MAP BOOK 5, PAGE 129 OF THE RECORDS OF THE JUDGE OF PROBATE OF BALDWIN COUNTY, ALABAMA,

THE IMPROVEMENTS NOW ERECTED ON SAID LOT ARE WITHIN THE BOUNDARIES THEREOF, EXCEPT AS SHOWN; THERE ARE NO ENCROACHMENTS BY ADJOINING PROPERTY, EXCEPT AS SHOWN; THERE ARE NO RIGHTS-OF-WAY, OR JOINT DRIVEWAYS, OVER OR ACROSS SAID PROPERTY VISIBLE ON THE SURFACE, EXCEPT AS SHOWN.

THE AS-BUILT STREET ADDRESS IS 375 RIDGEWOOD CIRCLE.

ACCORDING TO MY SURVEY THIS 15th DAY OF MAY, 2014.

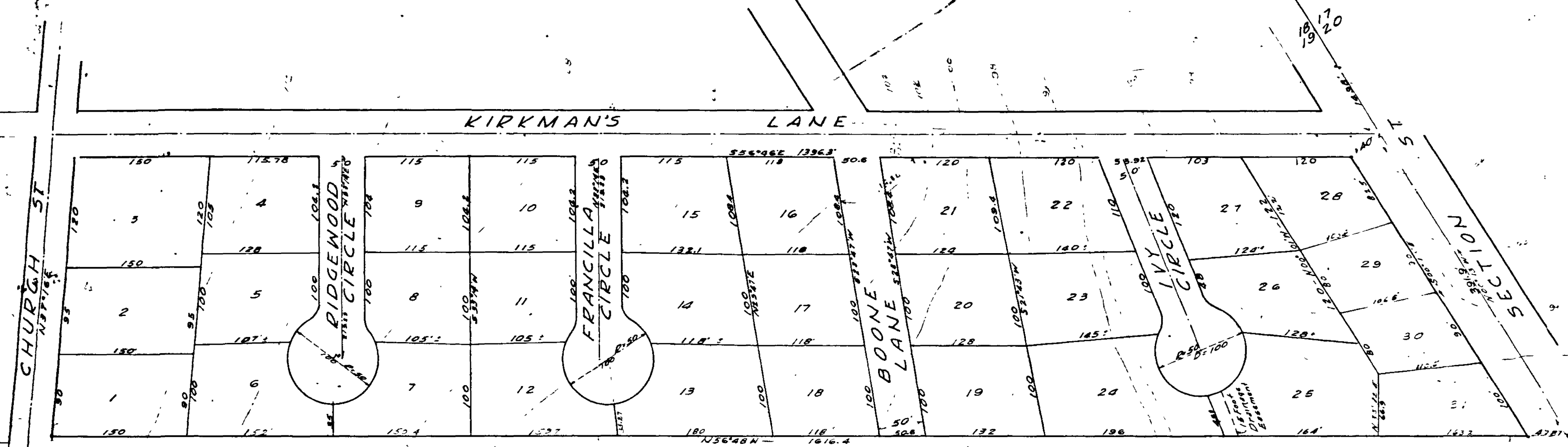
LAND SURVEY - SCHULTZE (514-02).

NOT VALID WITHOUT EMBOSSED SEAL	JOB ORDER	FIELD BOOK	BAY AREA SURVEYING, INC.	
 ALA. REG. NO. 18117 R.G. JERRY PEREZ	514-02	BC-91-54	FAX / PHONE	(251) 928-1122
	SCALE 1"=30'	FIELD SURVEY 5-14-14	20204 STATE HIGHWAY 181 FAIRHOPE, ALABAMA 36532	

RIDGEWOOD ESTATES
A SUBDIVISION
IN FAIRHOPE, ALABAMA
CECIL PITMAN - OWNER

Reduced by 10% of Original
REDUCED 10% FROM THE ORIGINAL

SCALE: 1"=60'
CONC BLK
Contour Interval: 2'



STATE OF ALABAMA
BALDWIN COUNTY
I, CLAUDE W. ARNOLD, ENGINEER & SURVEYOR OF FAIRHOPE ALA. HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS THE SURVEY AND SUBDIVISION OF LANDS BELONGING TO CECIL PITMAN; THAT THE SURVEY AND SUBDIVISION WAS MADE AT THE INSTANCE AND UNDER THE DIRECTION OF THE OWNER; THAT THE LANDS PRESENTED LIE IN SECTION 19, TOWNSHIP 6, SOUTH, RANGE 2, EAST, U.S. SURVEYS, BALDWIN COUNTY, ALABAMA
WITNESS MY HAND THIS 31st DAY OF May A.D. 1960
Claude W. Arnold
C.E. F.L.S. ALA REG. N° 1276

STATE OF ALABAMA
BALDWIN COUNTY
I certify that the instrument was filed on
DEC 16 1960
Notary Public

STATE OF ALABAMA
BALDWIN COUNTY
CITY OF FAIRHOPE
THE WITHIN PLAT AND SUBDIVISION APPROVED AND ACCEPTED FOR RECORDING, THIS THE 14th DAY OF JUNE, A.D. 1960.
FAIRHOPE CITY PLANNING COMMISSION
FAIRHOPE, ALABAMA
By: [Signature]
SECRETARY

STATE OF ALABAMA
BALDWIN COUNTY
17th DAY OF June, 1960
I, CECIL PITMAN, OWNER OF THE LANDS HEREBY SHOWN DO HEREBY ACCEPT THIS PLAT AS CORRECTLY REPRESENTING THE SURVEY AND SUBDIVISION BY CLAUDE W. ARNOLD, SURVEYOR & ENGINEER OF SAID LANDS LYING IN SECTION 19, TOWNSHIP 6, SOUTH, RANGE 2, EAST, U.S. SURVEYS, BALDWIN COUNTY, ALABAMA
CECIL PITMAN, OWNER

STATE OF ALABAMA
BALDWIN COUNTY
I, C. H. Arnold, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, DO HEREBY CERTIFY THAT THE WITHIN NAMED CECIL PITMAN WHOSE NAME IS SIGNED TO THE FOREGOING ACCEPTANCE AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT BEING INFORMED OF THE CONTENTS OF THE SAID ACCEPTANCE AND PLAT, HE EXECUTED THE SAME VOLUNTARILY ON THE DAY THE SAME BEARS DATE. WITNESS MY HAND AND OFFICIAL SEAL THIS THE 14th DAY OF June A.D. 1960
C. H. Arnold
NOTARY PUBLIC, BALDWIN CO. ALA.

STATE OF ALABAMA
BALDWIN COUNTY
OFFICE OF PROBATE JUDGE
I, M. R. STUART, JUDGE OF PROBATE OF BALDWIN COUNTY, ALABAMA, HEREBY CERTIFY THAT THIS MAP WAS FILED IN MY OFFICE FOR RECORD ON _____ AND I FURTHER CERTIFY THAT THE SAME IS RECORDED IN MAP BOOK _____ PAGE _____ BALDWIN COUNTY PROBATE RECORDS.
WITNESS MY HAND THIS _____ DAY OF _____ A.D. 1960
JUDGE OF PROBATE

Revised 12-10-60 to record minor changes in Lots 6, 7, 12, 13, & 28-31, previous to sales, and affecting No Streets or Rights-of-Ways Claude W. Arnold Engineer

BOA 17.03

373 Ridgewood Circle

Front Yard Setback
Variance

BOA 17.03
373 Ridgewood Circle
Front Setback Variance

Denied by Board of Adjustment
3/20/17

The City of Fairhope Board of Adjustments and Appeals met on Monday, March 20, 2017 at 5:00 PM in the City Council Chambers at the City Administration Building, located at 161 N. Section Street.

Members Present: Chairman Anil Vira; Troy Strunk, Vice-Chair; Christina Stankoski; Harry Kohler; Cathy Slagle; Wayne Dyess, Director of Planning; Emily Boyett, Secretary.

Absent: John Avent and Dick Schneider

The meeting was called to order at 5:00 PM by Chairman Vira.

The minutes of the February 20, 2017 meeting were considered. Troy Strunk moved to accept the minutes as written and was 2nd by Harry Kohler. Motion carried with one abstention by Cathy Slagle.

X BOA 17.03 **Public hearing to consider the request of Ted Miles for a variance to the front yard setback requirements for a principal structure. The property is located on the east side of Ridgewood Circle just south of Kirkman Lane, at 373 Ridgewood Circle.**

Mr. Dyess gave the staff report.

Summary of Request:

The subject property is located in the R-2 Medium Density Single Family Residential District. The applicant is requesting to construct additional coverage to the front entrance and enlarge the existing garage. The subject property fronts Ridgewood Circle. The variance request is to encroach into the 35' front yard setback by 4'8" on the south side for a porch extension and 4'11" on the north side for a garage enlargement.

The subject property is Lot 8 of Ridgewood Estates. Ridgewood circle is a cul-de-sac serving 6 lots. All lots on Ridgewood Circle are uniform in shape and size. The only condition that may vary from lot-to-lot is slight topographic changes. However, the variance request does not provide topography as justification and the topography is not material to the request.

Recommendation:

It is staff's position that the variance requests have not proven a hardship as required by the criteria established by the City of Fairhope Zoning Ordinance, Article II.C.3.e; therefore, staff recommends the variance request be denied.

Mr. Miles addressed the Board saying the previous owner enclosed the garage but left the exterior garage door. He explained the interior was not insulated correctly and they would like some additional space for storage.

Mr. Vira opened the public hearing. Having no one present to speak, Mr. Vira closed the public hearing.

Cathy Slagle made a motion to accept the staff recommendation to deny due to the request not meeting the criteria established by the Zoning Ordinance. Harry Kohler 2nd the motion and the motion carried unanimously.

BOA 17.04 Public hearing to consider the request of Steve and Jill Delamore for a variance to the front yard setback requirements for a principal structure. The property is located on the south side of Nelson Drive just east of Scenic Hwy. 98, at 6038 Nelson Drive.

Mr. Dyess gave the staff report.

Summary of Request:

The subject property is located in the R-1 Low Density Single Family Residential District. The applicant is requesting a 20' front yard setback variance. The subject property is located at 6038 Nelson Drive. As indicated on the site plan, a large area of wetlands is located on the rear of the property. Due to the wetlands and the Fairhope Wetland Ordinance, the proposed single family construction cannot fully utilize the rear property area. Due to this fact, the request is to locate the proposed construction further towards the front of the lot, out of the wetlands, which then encroaches 20' into the 40' front yard setback. The wetlands are a physical hardship impairing the location of the single family construction. Staff believes that 20' front yard setback variance relief is warranted under the criteria of the Zoning Ordinance.

Recommendation:

It is staff's position that the variance request has proven a hardship as required by the criteria established by the City of Fairhope Zoning Ordinance, Article II.C.3.e; therefore, staff recommends the 20' front yard setback variance be approved.

Mr. Delamore addressed the Board saying there are wetlands on the rear of the property and they want to leave them alone. Ms. Slagle asked if they were aware of the wetlands when they purchased the property and Mr. Delamore responded no, they had no idea there were wetlands. He explained they purchased the property in August 2016 and the City informed them that wetlands may be present. He stated a survey was conducted and verified the wetlands.

Mr. Vira opened the public hearing.

Phillip Dyson of 19387 Scenic 98 – He stated the area has always flooded and is a drain point but it is only seasonally wet.

Having no one else present to speak, Mr. Vira closed the public hearing.

Troy Strunk made a motion to accept the staff recommendation to approve a 20' front yard setback variance due to the presence of wetlands on the property. Harry Kohler 2nd the motion and the motion carried unanimously.

CITY OF FAIRHOPE BOARD OF ADJUSTMENT
CITY OF FAIRHOPE PLANNING DEPARTMENT
P.O. BOX 429
FAIRHOPE, AL 36533
Telephone: (251) 928-8003
Fax: (251) 990-2879

NOTICE OF ACTION TAKEN

BOA MEETING DATE: March 20, 2017

CASE NUMBER: BOA 17.03

PROPERTY LOCATION: 373 Ridgewood Circle

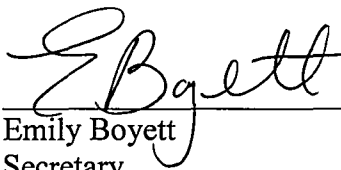
PPIN #: 28462

APPLICANT: Ted Miles

ENGINEER/SURVEYOR: N/A

REQUEST: A variance to Minimum Front Yard Setback requirements of Table 3-2: Dimension Table – Lots and Principal Structures in the City of Fairhope Zoning Ordinance.

ACTION TAKEN BY THE BOARD: Variance denied due to the request not meeting the criteria established by the Zoning Ordinance.



Emily Boyett
Secretary



THE CITY OF FAIRHOPE BOARD OF ADJUSTMENTS

PLANNING & ZONING DEPARTMENT

NOTICE OF ACTION TAKEN

Meeting Date: November 17, 2025

Case Number: BOA 25.15 – 20105 Bunker Loop

Property Location: 20105 Bunker Loop

PPIN #: 29411

Applicant: Mick Blackledge

Engineer / Surveyor: None

Request: 4' rear yard setback variance

Action Taken by the Board of Adjustments: Denied

Cindy Beaudreau
Planning Clerk

NOTE: *In accordance with the City of Fairhope Zoning Ordinance, Article II, Section C, 3g: Effect of Variance – Any variance granted according to this section and which is not challenged on appeal shall run with the land provided that:*

- 1) *The variance is acted upon according to the application and subject to any conditions of approval within 365 days of the granting of the variance or final decision of appeal, whichever is later; and*
- 2) *The variance is recorded with the Judge of Probate.*

From: [Curl](#)
To: [planning](#)
Subject: Case BOA 26.02- Support for Variance Request – 375 Ridgewood Circle (Case BOA 26.02)
Date: Tuesday, January 6, 2026 5:24:32 PM



Dear Planning and Zoning Department,

I am writing in response to the variance notice dated January 5, 2026, regarding the setback variance request for the property located at 375 Ridgewood Circle (Case BOA 26.02), which is scheduled for a public hearing on January 22, 2026.

I am the direct next door neighbor at 373 Ridgewood Circle, and I would like to formally state my full support for the requested variance. The property owners have been excellent neighbors. They are respectful, communicative, and take good care of their home and surrounding property.

Based on my firsthand experience as the adjacent neighbor, I have no concerns with the requested setback variance. I do not believe the proposed variance will have any negative impact on neighboring properties or the overall neighborhood.

The request appears consistent with the established character of the Ridgewood Circle neighborhood, where homes are similar in scale, placement, and appearance. Granting this variance would maintain continuity with the surrounding properties and would not alter the residential character or enjoyment of the area.

Please include this email as part of the official record for consideration by the Board of Adjustments.

Thank you for your time and service to the community.

Sincerely,
John Curl
373 Ridgewood Circle
Fairhope, Alabama

From: [Ley Curl](#)
To: [planning](#)
Subject: Letter of Support – Variance Request at 375 Ridgewood Circle (Case BOA 26.02)
Date: Tuesday, January 6, 2026 5:28:05 PM



Dear Planning and Zoning Staff,

I am submitting this email in response to the notice dated January 5, 2026, concerning the setback variance request for the property at 375 Ridgewood Circle, to be heard by the Board of Adjustments on January 22, 2026 (Case BOA 26.02).

I reside at 371 Ridgewood Circle and am one of the immediately adjacent property owners. I would like to express my full support for the requested variance.

The homeowners at 375 Ridgewood Circle have been consistently considerate and responsible neighbors. They maintain their property well, communicate openly, and have always demonstrated respect for those living nearby. From my perspective, the proposed variance will not negatively affect my property, my use and enjoyment of it, or the surrounding neighborhood.

In my opinion, the request aligns with the existing pattern and character of development along Ridgewood Circle. Homes in this area reflect similar spacing, scale, and residential use, and approving this variance would be consistent with that established character rather than a departure from it.

Please accept this email as a statement of support to be included in the official record for this case.

Thank you for your consideration.

Respectfully,
J. Wesley Curl
371 Ridgewood Circle
Fairhope, Alabama

Ley Curl

From: [Bob McLaughlin](#)
To: [planning](#)
Subject: Case BOA 26.02
Date: Wednesday, January 7, 2026 9:33:23 AM

To whom it may concern,

In response to Case BOA 26.02 for applicant Patricia Schultze at 375 Ridgewood Circle Fairhope.
Let it be known that we have no issues with the applicant's request for the variance described in case.

Respectfully,
James R. McLaughlin
Karen B McLaughlin
370 Francilla Cir
Fairhope
251.270.8965

From: [Bradford Tonder](#)
To: [planning](#)
Cc: [Jennifer Tonder](#)
Subject: BOA 26.02
Date: Wednesday, January 7, 2026 2:24:39 PM

Dear Board Members,

Please accept this email as our full support for Case: BOA 26.02. Our property, 374 Ridgewood Cir, is across the street from Mrs. Schultze. We are fully aware of the proposed work and have zero concerns it will affect or impact our property or any of the properties in the adjacent areas. We highly recommend the Board approve this request. If you have any questions, you can reach us via this email or: 904-469-3428. Thank you,

Brad & Jennifer Tonder
374 Ridgewood Cir
Fairhope, AL 36532

From: [Robert Allsman](#)
To: [planning](#)
Cc: allsprops@aol.com
Subject: Case: BOA 26.02 / Comments to Variance Request
Date: Thursday, January 8, 2026 11:04:41 PM



To Whom It May Concern:

This correspondence is in response to your letter dated 01/05/26. My name is Bob Allsman residing at 376 Francilla Circle which lies adjacent to the subject property as our rear property line is common.

In order to gain an understanding of what is to be constructed I've called the Planning Clerk multiple times but we haven't connected so I'm assuming the variance request is for the purpose of an addition to an existing structure. My concern related to this involves a drainage issue which I've tolerated without contacting the owner in the spirit of being a congenial neighbor.

During heavy rainfall water runs toward the SE corner of the subject property and onto mine as it passes through and under my privacy fencing causing some erosion and continues to flow toward my home. Creating additional impervious surfaces without requiring adequate provisions for drainage management will increase the existing issue which I would not be willing to accept. Recently a neighbor to the north of my property altered landscaping and graded their yard which diverted a high volume of water directly onto my property repeatedly flooding my yard and a screened patio, a situation which unfortunately resulted in conflict.

Since this variance request has reached the P & Z Department and from past experience it appears building set back requirements may have become more lenient so I have no objection to my neighbor's addition as I also plan to renovate and hope to expand my residence as well. Thank you for contacting me.

Best regards,

Bob Allsman
251-751-0606
allsprops@aol.com

From: [Miriam Willis](#)
To: [planning](#)
Subject: CASE BOA 26.02
Date: Monday, January 12, 2026 10:33:24 AM



I received notice of consideration for a variance at the residence of Patty Schultze, 375 Ridgewood Circle.

I reside at 372 Francilla Circle, and my property is cornered with theirs. We have a mutual considerate and understanding relationship as neighbors, and I fully support their proposed renovations requiring a variance. They maintain their property well and we have worked together with success in the past to keep our properties well landscaped.

Please accept this email as a statement of support to be included in the official record for this case.

Thank you
372 Francilla Circle Fairhope
251-656-8501

Miriam Willis, RN
Thomas Hospital
Case Management
Hospital cell# 251-243-5196

From: [Aaron Orr](#)
To: [planning](#)
Subject: Setback Variance Request Case BOA 26.02 at 375 Ridgewood Circle
Date: Monday, January 12, 2026 8:55:11 PM

- > Dear Planning and Zoning Staff,
- >
- > This message is being sent in response to your notification of a request for a setback variance referenced above.
- > We own and live at 376 Ridgewood Circle directly across from subject property. We are fully supportive of this request.
- > They are great neighbors and responsible and respectful homeowners. The proposed variance will not negatively impact us in any way and seems consistent with the current pattern of the neighborhood.
- > Please enter this statement of support into your official file/record for this case.
- >
- > With gratitude,
- > Aaron M. Orr
- > 376 Ridgewood Circle
- > Fairhope AL
- >
- >