



Sherry Sullivan
Mayor

Council Members

Andrea F. Booth
Jack Burrell, ACOM
Jimmy Conyers
Joshua N. Gammon
Jay Robinson

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

Fairhope Planning Commission Agenda

February 2, 2026 – 5:00 PM

1. CALL TO ORDER

Lee Turner, Chairman	Paul Fontenot
Rebecca Bryant, Vice Chairman	Kim McCormick
Cindy Beaudreau, Secretary	John Worsham
Harry Kohler	Erik Cortinas
Hollie MacKellar	Jimmy Conyers (CC)

(CC) City Council Representative

2. CONSENT AGENDA

- Approval of Minutes – January 5, 2026

3. REGULAR AGENDA

OLD BUSINESS

- A. SR 25.09** Site Plan Approval of 7 Brew Fairhope – **Applicant requested to be moved to the March agenda.**
- B. SD 24.14** Highlands at Fairhope Village - Request of Owner, Highlands of Fairhope Village, LLC, for an extension of one year for final plat approval.

NEW BUSINESS

- C. SD 26.03** Public hearing to consider the request of the Applicant, Jade Consulting, LLC, on behalf of the Owner, Sandra Bonner, for Preliminary and Final Plat approval of Twin Beech Subdivision, a 2-lot minor subdivision on property zoned R-1, Low Density Single-Family Residential District. The property is located at 6796 Twin Beech Road and is 13.71± acres. **PPIN #: 3747**
- D. SD 26.04** Public hearing to consider the request of the Applicant, Jade Consulting, LLC, on behalf of the Owner, Sandra Bonner, for Preliminary Plat approval of The Preserve at Point Clear, a 13-lot subdivision on property zoned R-1, Low Density Single-Family Residential District. The property is located at 6796 Twin Beech Road and is 11.41± acres. **PPIN #: 3747**

4. ADJOURN

The Planning Commission met Monday, January 5, 2026, at 5:00 PM at the City Municipal Complex, 161 N. Section Street in the Council Chambers.

Present: Lee Turner; Rebecca Bryant; Jimmy Conyers; John Worsham; Harry Kohler; Hollie MacKellar; Paul Fontenot; Kim McCormick; Erik Cortinas; Hunter Simmons, Planning and Zoning Director; Mike Jeffries, Development Services Manager; Payton Rogers, Planning and Zoning Manager; Chris Williams, City Attorney and Cindy Beaudreau, Planning Clerk.

Absent: none

Chairman Turner called the meeting to order at 5:00 PM.

Consent Agenda

- Approval of the Minutes November 6, 2025

John Worsham made a motion to approve the minutes.

Kim McCormick seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; Jimmy Conyers; John Worsham; Harry Kohler; Hollie MacKellar; Paul Fontenot; Kim McCormick; Erik Cortinas

Nay: None

Old Business

A. SR 25.09 Site Plan Approval of 7 Brew Fairhope – **Applicant requested to be moved to the March agenda.**

B. SR 25.08 Request of the Applicant, S.E. Civil, LLC, on behalf of the Owner, FST SILDI, LLC, for Site Plan Approval of Fairhope Boarding House. The property is approximately 0.20 acres and is zoned B-2 – General Business District. The property is located at 301 Fairhope Avenue. **PPIN #: 14359**

Mike Jeffries, Development Services Manager, presented the request of the Applicant, S.E. Civil, LLC, on behalf of the Owner, FST SILDI, LLC, for Site Plan Approval of Fairhope Boarding House. The property is approximately 0.20 acres and is zoned B-2 – General Business District. The property is located at 301 Fairhope Avenue. Mr. Jeffries shared the zoning map and aerial map.

Staff recommends approval of SR 25.08 to City Council with the following recommendations:

1. Approval of the associated Multiple Occupancy Project case SD 25.16.
2. Revision of the utility plans to reflect the minimum 78” x 75” transformer pad.
3. The Architect shall certify at the time of building permit that all mechanical equipment is at or below 40’.

John Worsham made a motion to recommend SR 25.08 to the City Council with staff recommendations.

Hollie Mackellar seconded the motion and the motion carried with the following vote:

AYE: Lee Turner; Jimmy Conyers; John Worsham; Harry Kohler; Hollie MacKellar; Paul Fontenot; Kim McCormick; Erik Cortinas

Nay: Rebecca Bryant

C. SD 25.16 Public hearing to consider the request of the Applicant, S.E. Civil, LLC, on behalf of the Owner, FST SILDI, LLC, for preliminary plat approval of Fairhope Boarding House, a 3-unit multiple occupancy project. The property is zoned B-2 – General Business District. The property is approximately 0.20 acres and is located at 301 Fairhope Avenue. **PPIN #: 14359**

Mike Jeffries, Development Services Manager, presented the request of the Applicant, S.E. Civil, LLC, on behalf of the Owner, FST SILDI, LLC, for preliminary plat approval of Fairhope Boarding House, a 3-unit multiple occupancy project. The property is zoned B-2 – General Business District. The property is approximately 0.20 acres and is located at 301 Fairhope Avenue. Mr. Jeffries shared the zoning map and aerial map.

Staff recommends approval of SD 25.16 with the following recommendations:

1. Approval of the associated Site Plan case SR 25.08 by the Fairhope City Council.
2. Revision of utility plans to reflect the minimum 78” x 75” transformer pad.
3. The Architect shall certify at the time of building permit that all mechanical equipment is at or below 40’.

Ryan Baker, Walcott Adams Verneuille, thanked staff for their good recommendations and will ensure that all are met.

Jimmy Conyers asked about the percentages for the roof top terrace. Mr. Baker explained that 66% would be used for the restaurant and event uses.

Hollie MacKellar is concerned about the temporary use versus permanent use. Mr. Baker reiterated that the space would only be used on a temporary basis.

Rebecca Bryant asked who enforces the accessory use. Mr. Baker explained that the accessory use would be used by boarding house residents along with being an accessory use for events. Ms. Bryant stated that she is struggling with allowing 300 people on the roof top terrace.

Chris Williams stated that the city has an enforcement arm which looks at violations of the Zoning Ordinance every day throughout the city. If the full-time manager moved out of the boarding house and the city inspected and confirmed that, the city could take the position that the boarding house has to be shut down until a full-time manager is back in because that is what the Zoning Ordinance requires. Mr. Williams continued that in terms of the accessory use, there is not a level of people or number set forth in the accessory use, and stated the accessory provision in the Zoning Ordinance very clearly does say that it does not create levels of noise, odors, vibration and lighting, or degrees of traffic congestion, dust or pollutants, in a greater amount than is customarily created by principle use. If they have an event

there, every once in a while and maybe there are some complaints, maybe that's a gray area, but if you are talking about an event up there every week that is regularly causing noise, pollution, traffic congestion, and problems that the city is regularly having a problem with, then it is within the city's enforcement ability to step in and potentially take action if it becomes a recurring problem.

Erik Cortinas stated that the developer addressed his issues at the last meeting.

Erik Cortinas made a motion to approve SD 25.16 with staff recommendations.

John Worsham seconded the motion and the motion carried with the following vote:

AYE: Lee Turner; Jimmy Conyers; John Worsham; Harry Kohler; Hollie MacKellar; Paul Fontenot; Kim McCormick; Erik Cortinas
Nay: Rebecca Bryant

New Business

D. SD 25.18 Public hearing to consider the request of the Applicant, S.E. Civil, LLC, on behalf of the owners, FST Washington Square Condominium Development, Inc., for final plat approval of Washington Square, an 8-unit Multiple Occupancy Project. The property is zoned R-5 – High Density Dwelling Residential District. The property is approximately 1.74 acres and is located on the west side of Bishop Rd. just north of Morphy Ave. **PPIN #: 108443**

Hunter Simmons, Planning and Zoning Director, presented the request of the Applicant, S.E. Civil, LLC, on behalf of the owners, FST Washington Square Condominium Development, Inc., for final plat approval of Washington Square, an 8-unit Multiple Occupancy Project. The property is zoned R-5 – High Density Dwelling Residential District. The property is approximately 1.74 acres and is located on the west side of Bishop Rd. just north of Morphy Ave. Mr. Simmons shared the zoning map and aerial map.

Staff recommends approval of SD 25.18 with the following conditions:

1. Recording of the final Operations & Maintenance Plan in Baldwin County Probate Court.

Chairman Turner opened the public hearing at 5:30pm. Having no one present to speak, the public hearing was closed at 5:30pm.

John Worsham made a motion to approve SD 25.18 staff recommendations.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; Jimmy Conyers; John Worsham; Harry Kohler; Hollie MacKellar; Paul Fontenot; Kim McCormick; Erik Cortinas
Nay: None

E. SD 26.01 Public hearing to consider the request of the Applicant, S.E. Civil, LLC, on behalf of the Owner, FST Benessere Partners LP and Benessere Partners II LP and Lomas Partners LLC, for preliminary plat approval of Eastern Shore Village Center MOP, a 15-unit multiple occupancy project. The property is zoned B-2 – General Business District. The property is approximately 7.28 acres and is located on the southeast corner of Greeno Road and Fairhope Avenue. **PPIN #: 397862**

Mike Jeffries, Development Services Manager, presented the request of the Applicant, S.E. Civil, LLC, on behalf of the Owner, FST Benessere Partners LP and Benessere Partners II LP and Lomas Partners LLC, for preliminary plat approval of Eastern Shore Village Center MOP, a 15-unit multiple occupancy project. The property is zoned B-2 – General Business District. The property is approximately 7.28 acres and is located on the southeast corner of Greeno Road and Fairhope Avenue. Mr. Jeffries shared the zoning map and aerial map.

Staff recommends approval of the following waiver requests:

1. Stormwater Requirements of Article V, Section F, the drainage plan as required by Article IV, Section C(1)(h).
2. Greenspace Requirements of Article V, Section C.

Staff recommends approval of SD 26.01 with the following recommendations:

1. Approval of the aforementioned waiver requests by the Planning Commission.
2. The tenant spaces shall conform to the requirements for building square footage and seating requirements as shown in the revised parking study.
3. Recording in Baldwin County Probate Court the revised Shared Parking Agreement, if approved by Fairhope City Council.

Chairman Turner opened the public hearing at 5:37pm. Having no one present to speak, the public hearing was closed at 5:37pm.

Paul Fontenot stated that although the site development was put in before the Tree and Landscape Ordinance, he would like the site to be brought into compliance. Mr. Simmons replied that the building sits within 20' of the ROW and the only way to accomplish that would be to tear the building down. The Tree Ordinance and Parking Ordinance are not able to be met due to the amount of real estate on site.

Rebecca Bryant asked if the parking lot is consistently full. Mr. Simmons that that this project is using a shared parking agreement. Ms. Bryant stated that she would like to add more tree wells.

Discussion continued about the Tree and Landscape Ordinance and Parking Agreement and the possibility of utilities being in the ROW.

Chris Williams, City Attorney, reminded the Planning Commission that only the City Council can change the Parking Agreement.

Paul Fontenot made a motion to approve SD 26.01 with staff recommendations, with one additional recommendation:

4. Ask the horticulturist to explore opportunities to bring site more into compliance with the Tree and Landscape Ordinance.

Rebecca Bryant seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; Jimmy Conyers; John Worsham; Harry Kohler; Hollie MacKellar;
Paul Fontenot; Kim McCormick; Erik Cortinas

Nay: None

Adjournment

John Worsham made a motion to adjourn.

AYE: Lee Turner; Rebecca Bryant; Jimmy Conyers; John Worsham; Harry Kohler; Hollie MacKellar;
Paul Fontenot; Kim McCormick; Erik Cortinas

Nay: None

Adjourned at 5:58pm.

Lee Turner, Chairman

Cindy Beaudreau, Secretary



This digital package has been condensed for size and some documents may not contain all the original pages. All submittals were reviewed in full by staff in preparation for the reports prepared for the Planning Commission.

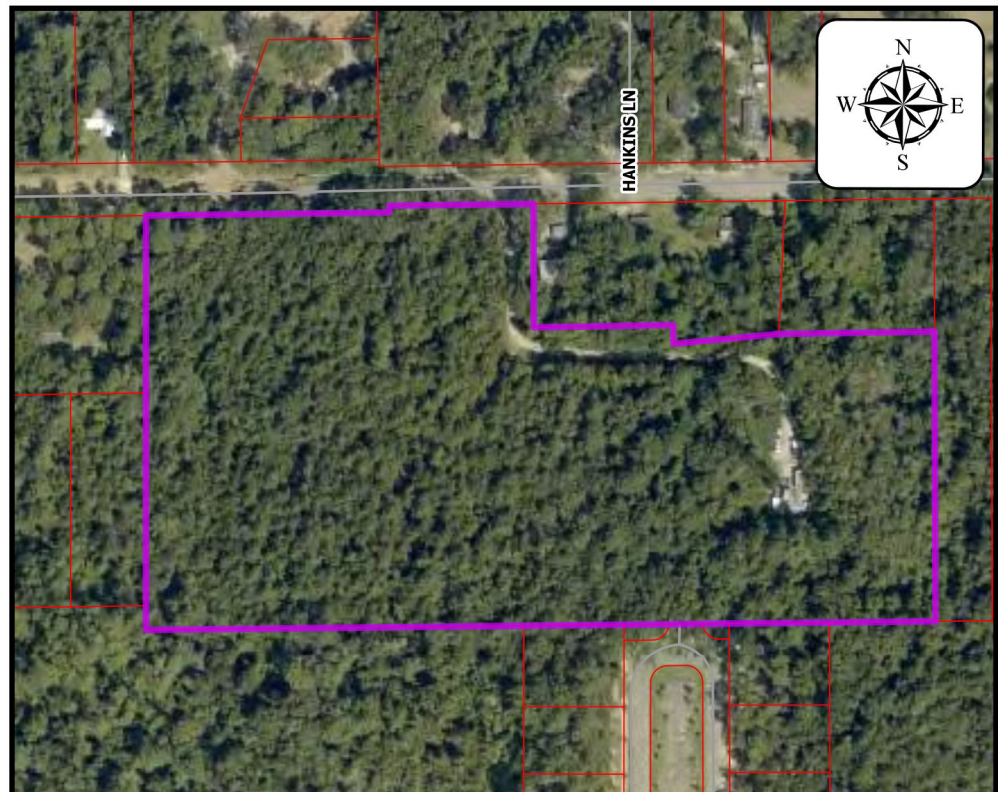
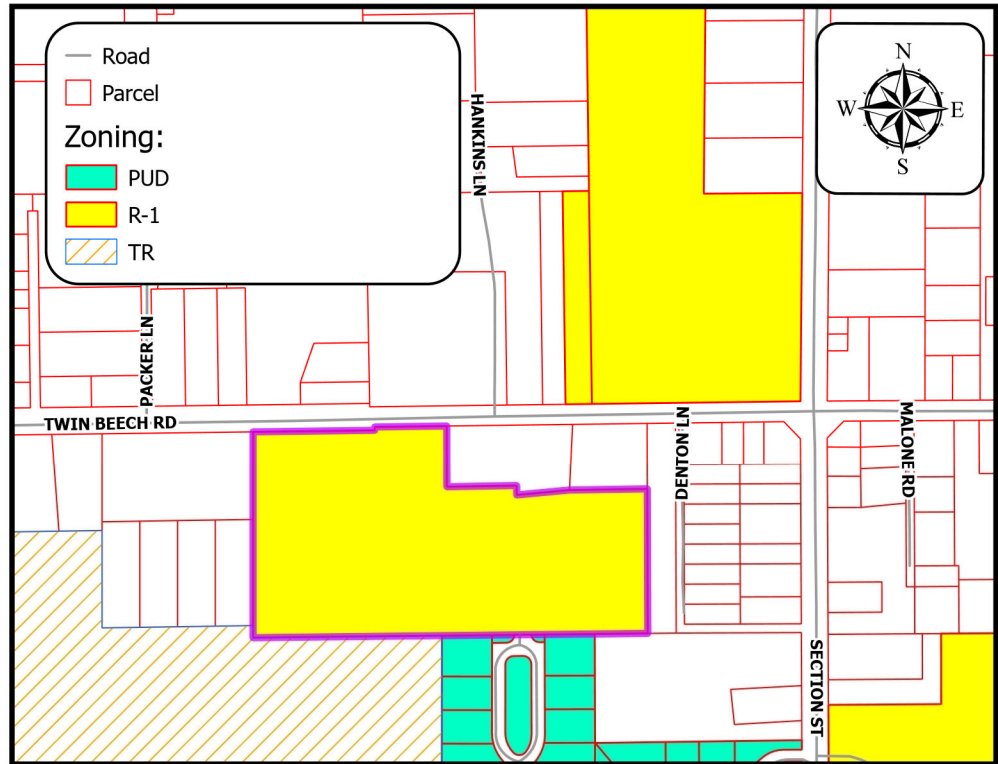
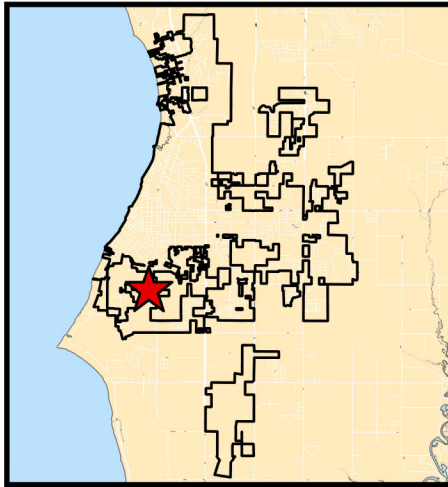
City of Fairhope

Planning Commission

February 2, 2026



SD 26.03 - Twin Beech Subdivision



Project Name:

Twin Beech Subdivision

Site Data:

13.71 acres

Project Type:

Preliminary and Final Plat approval of a 2-lot Minor Subdivision

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

R-1, Low Density Single-Family

PPIN Number:

3747

General Location:

Southwest of intersection of Twin Beech Road and Section Street

Surveyor of Record:

Jade Consulting, LLC

Engineer of Record:

Jade Consulting, LLC

Owner / Developer:

Sandra Bonner

School District:

Fairhope Elementary School
 Fairhope Middle and High Schools

Recommendation:

Approved w/ Conditions

Prepared by:

Payton Rogers

SUMMARY OF REQUEST

Public hearing to consider the request of the Applicant, Jade Consulting, LLC, on behalf of the Owner, Sandra Bonner, for Preliminary and Final Plat approval of Twin Beech Subdivision, a 2-lot minor subdivision on property zoned R-1, Low Density Single-Family Residential District. The property is located at 6796 Twin Beech Road and is 13.71± acres.

SITE HISTORY

At its meeting on October 6, 2025 the Planning Commission recommended approval to the City Council of a request for Conditional Annexation to R-1, Low Density Single-Family Residential District (ZC 25.09) for the subject site. As such, at its meeting on November 20, 2025 the City Council approved the Applicant's request for Conditional Annexation to R-1, Low Density Single-Family Residential District.

There have been no other Planning Commission or Board of Adjustment cases associated with this site.

STAFF COMMENTS

The purpose of this request is to create two (2) legal lots of record from one (1) existing metes-and-bounds parcel in order to subdivide a portion of the subject site which contains an existing telecommunications tower (Lot 1) from the remainder of the site (Lot 2). The site will be served by Fairhope Utilities for Water, Sewer, and Gas. Riviera Utilities will provide Electric and AT&T will provide Telecommunications.

As proposed, both Lots 1 & 2 will have frontage on Twin Beech Road, an arterial street illustrating a compliant 80-foot right-of-way (ROW) on the preliminary plat, which should be retained on the Final Plat, if approved. As proposed, Lot 2 has additional frontage along Calyx Circle, a local street with a 40-foot ROW. Calyx Circle is not illustrated as a public road on the preliminary plat and does not illustrate the approved 40-foot ROW. As such, if approved, the Final Plat should be revised to illustrate Calyx Circle as a public road with a 40-foot right-of-way.

The preliminary plat illustrates a compliant minimum lot width for all proposed lots and properly labels lot area for all lots in both square feet and acres. If approved, this information should be retained on the Final Plat; or provision of a table on the Final Plat with the same information will suffice.

Additionally, the preliminary plat illustrates a 40-foot front yard setback along all street frontages, 10-foot side yard setbacks, and 35-foot rear yard setbacks for all proposed lots, in compliance with Article V Section E.4.a of the Subdivision Regulations and Article III Section C.1. of the Zoning Ordinance. All setbacks as illustrated should be retained on the Final Plat.

Various utility and drainage easements are depicted on the preliminary plat. If approved, a note should be placed on the Final Plat stating that no structures shall be constructed in any easement without permission of the easement holder.

Utilities

No new utilities are being proposed as part of this application. However, it should be noted that all future work and connections within Baldwin County rights-of-way require permitting from the Baldwin County Highway Department.

Drainage

As proposed, drainage for the 2-lot subdivision is not being altered from the pre-development levels for storm water runoff. However, the applicant has not provided any information from an engineer certifying this. As such, if approved, the applicant should provide a drainage letter from an engineer verifying that drainage for the subject site will not be altered as a result of this application.

Wetlands

The Applicant submitted a wetland report prepared by Ecosolutions which details a wetland feature on the east side of Lots 1 and 2. The report states that it is the opinion of Ecosolutions that this feature is an isolated wetland feature and is likely not jurisdictional wetlands. The Applicant did not provide a formal delineation from the Army Corps of Engineers (USACE) confirming any jurisdictional wetlands and instead has elected to voluntarily include a 30-foot wetland buffer in accordance with Article V Section F.4. of the Subdivision Regulations. The preliminary plat illustrates the wetland buffer adjacent to the wetland area located on Lot 2, however the plat does not illustrate this buffer for the wetland area located on Lot 1. As such, if approved, the Final Plat should be revised to illustrate a 30-foot wetland buffer adjacent to the entirety of the wetland areas located on both Lots 1 and 2.

Pedestrian Connectivity

The subject site has an existing sidewalk on the south side of Twin Beech Road abutting the subject site.

SUBDIVISION CONSIDERATIONS

Standards of Review:

In accordance with Article V.B.2 of the City of Fairhope Subdivision Regulations the Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:

- a) The proposed subdivision is not consistent with the City’s Comprehensive Plan, and/or the City’s Zoning ordinance, where applicable;
- b) The proposed subdivision is not consistent with the City’s Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;
- c) The proposed subdivision is not consistent with these Regulations;
- d) The proposed subdivision is not consistent with other applicable state or federal laws and regulations; or
- e) The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City.”

Recommendation:

Staff recommends **APPROVAL** of SD 26.03 Twin Beech Subdivision with the following conditions:

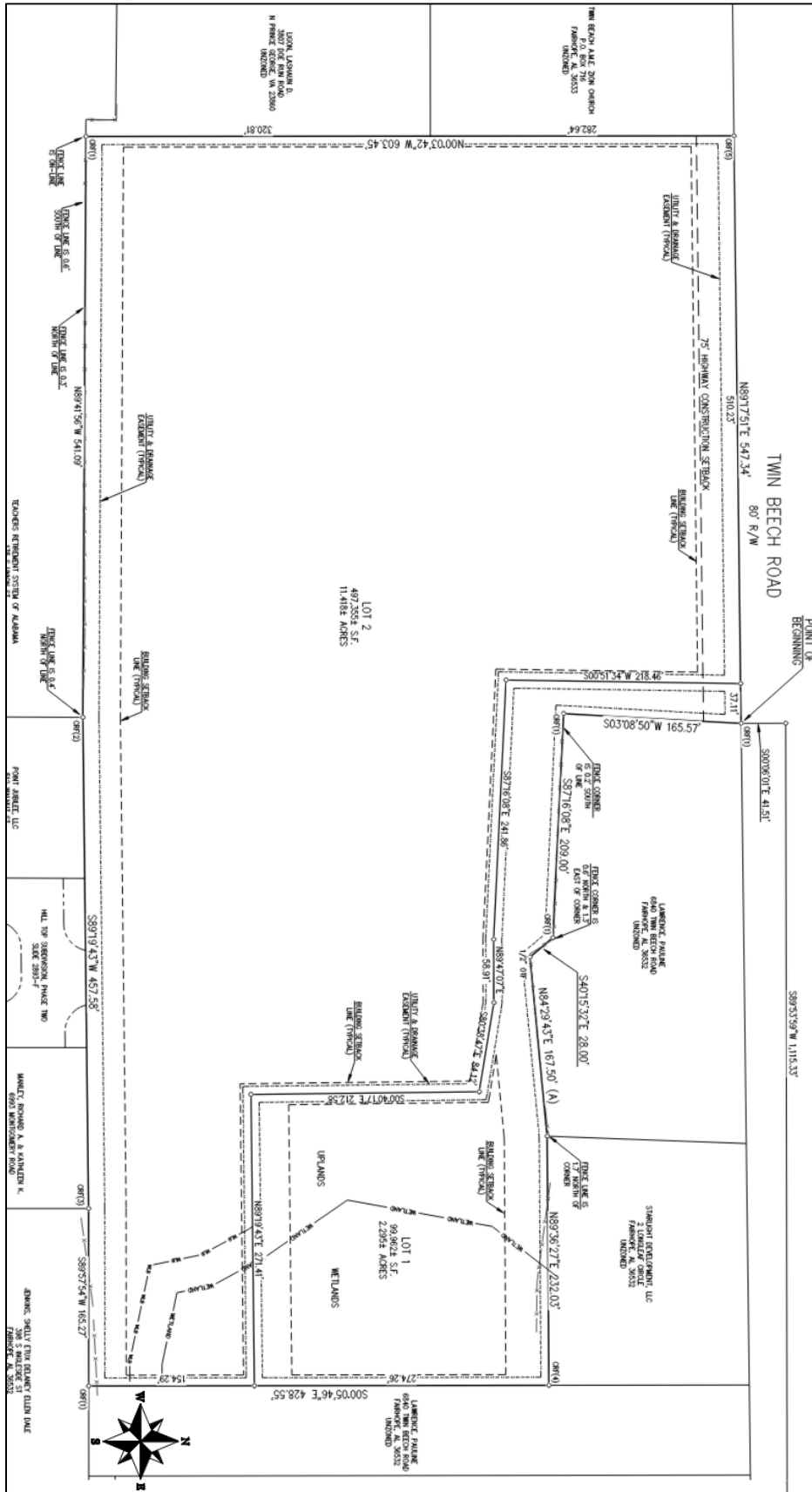
- 1. Revision of the Final Plat to illustrate Calyx Circle as a public road with a 40-foot right-of-way;
- 2. Provision of a note on the Final Plat stating that no structures shall be constructed in any easement without permission of the easement holder;
- 3. Provision of a drainage letter from an engineer verifying that drainage for the proposed Twin Beech Subdivision will not be altered as a result of this application; and
- 4. Revision of the Final Plat to illustrate a 30-foot wetland buffer adjacent to the entirety of the wetland areas located on both Lots 1 and 2.

EXHIBITS

Excerpt from Table 3-2: Dimension Table – Lots and Principle Structure

Dimension District or Use	Min. Lot Area / Allowed Units Per Acre (UPA)	Min. Lot Width	Front Setback	Rear Setback	Side Setback	Street Side Setback	Max. Total Lot Coverage by All Structures	Max. Height
R/A	3 acres/ -	198'	75'	75'	25'	50'	none	30'
R-1	15,000 s.f./ -	100'	40'	35'	10' ^b	20'	40%	30' ^a
R-1a	40,000 s.f./ -	120'	30'	30'	10' ^b	20'	25%	35'
R-1b	30,000 s.f./ -	100'	30'	30'	10' ^b	20'	25%	35'
R-1c	20,000 s.f./ -	80'	30'	30'	10' ^b	20'	25%	35'

Preliminary Plat





APPLICATION FOR SUBDIVISION PLAT APPROVAL

Application Type: Village Subdivision Minor Subdivision Informal (No Fee)
 Preliminary Plat Final Plat Multiple Occupancy Project

Attachments: Articles of Incorporation or List all associated investors
Date of Application: 12/17/25

Property Owner / Leaseholder Information
Name of Property Owner: Sandra D. Bonner Phone Number: 786-286-8165
Address of Property Owner: 259 Washington Ave. Apt. 205
City: Miami Beach State: FL Zip: 33139

Proposed Subdivision Name: Twin Beech Subdivision
No. Acres in Plat: 13.71 No. Lots/Units: 2
Parcel No: 05-46-09-30-0-000-021.000 Current Zoning: R1

Authorized Agent Information
Plat must be signed by the property owner before acceptance by the City of Fairhope
Name of Authorized Agent: JADE Consulting, LLC Phone Number: 251-928-3443
Address: 208 N. Greeno Rd., Ste. c
City: Fairhope State: AL Zip: 36532
Contact Person: William Graham, PE

Surveyor/Engineer Information
Name of Firm: Wattier Surveying, Inc. Phone Number: (251) 342-2640
Address: 318 Downtowner Loop North, Suite H
City: Mobile State: AL Zip: 36609
Contact Person: Mark Wattier

Plat Fee Calculation:

Reference: Ordinance 1269

Signatures:

I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Perry C. Jinright, III, PE as agent
Property Owner/Leaseholder Printed Name
1/2/26
Date

Perry C. Jinright, III, PE
Signature
NA
Fairhope Single Tax Corp. (If Applicable)

NOTARIZED AUTHORIZATION OF OWNER

I/We, Sandra Bonner as the sole or joint fee simple title holder(s) of the property described as parcels 05-46-09-30-0-000-021.000 in the City of Fairhope, County of Baldwin, State of Alabama, authorize and JADE Consulting, LLC and/or their consultants to act as our agent to seek plan/development plan approval, DOT approvals, and/or all regulatory approvals in connection therewith, on the above referenced property.

Company:

Sandra D. Bonner

By: Sandra Bonner

As Its: Owner

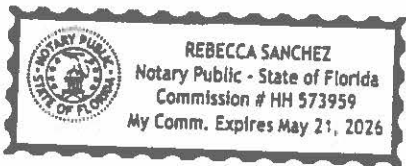
Address: 259 Washington Ave. Apt. 205
Miami Beach, FL 33139

Phone: 786-286-8165 Fax: _____

Email: sdbonner60@yahoo.com

STATE OF Florida
COUNTY OF MIAMI DADE

The forgoing instrument was acknowledged before me this 11 day of August, 2025 by Sandra Bonner as its Owner, who is personally known to me or who has produced FL DL (type of ID) as identification and who did not take an oath.



[Signature]
NOTARY PUBLIC - STATE OF FL

REBECCA SANCHEZ
NAME OF NOTARY - TYPED OR PRINTED

COMMISSION NO: HH573959

FLOOD CERTIFICATE:
 THE PROPERTY DESCRIBED HEREON IS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NUMBERS 01003C0643 M AND 01003C0644 M, DATED 04/19/2019, AND IS SHOWN TO BE IN FLOOD ZONE "X-UNSHADED."

SITE DATA
 CURRENT ZONING: R-1
 LINEAR FEET OF STREETS: 0 LF
 NUMBER OF LOTS: 2
 SMALLEST LOT SIZE: 99,962 SF
 AVERAGE LOT SIZE: 298,659 SF
 COMMON AREAS: 0 AC
 TOTAL AREA: 13,713 AC

LOT UTILITY & DRAINAGE EASEMENTS
 FRONT & REAR: 15'
 SIDE: 15' (7.5' EACH SIDE)

REQUIRED SETBACKS
 FRONT: 40'
 REAR: 35'
 SIDE: 10'
 SIDE STREET: 20'
 * OR AS SHOWN

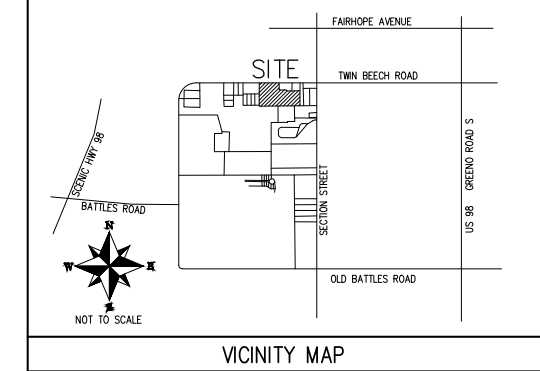
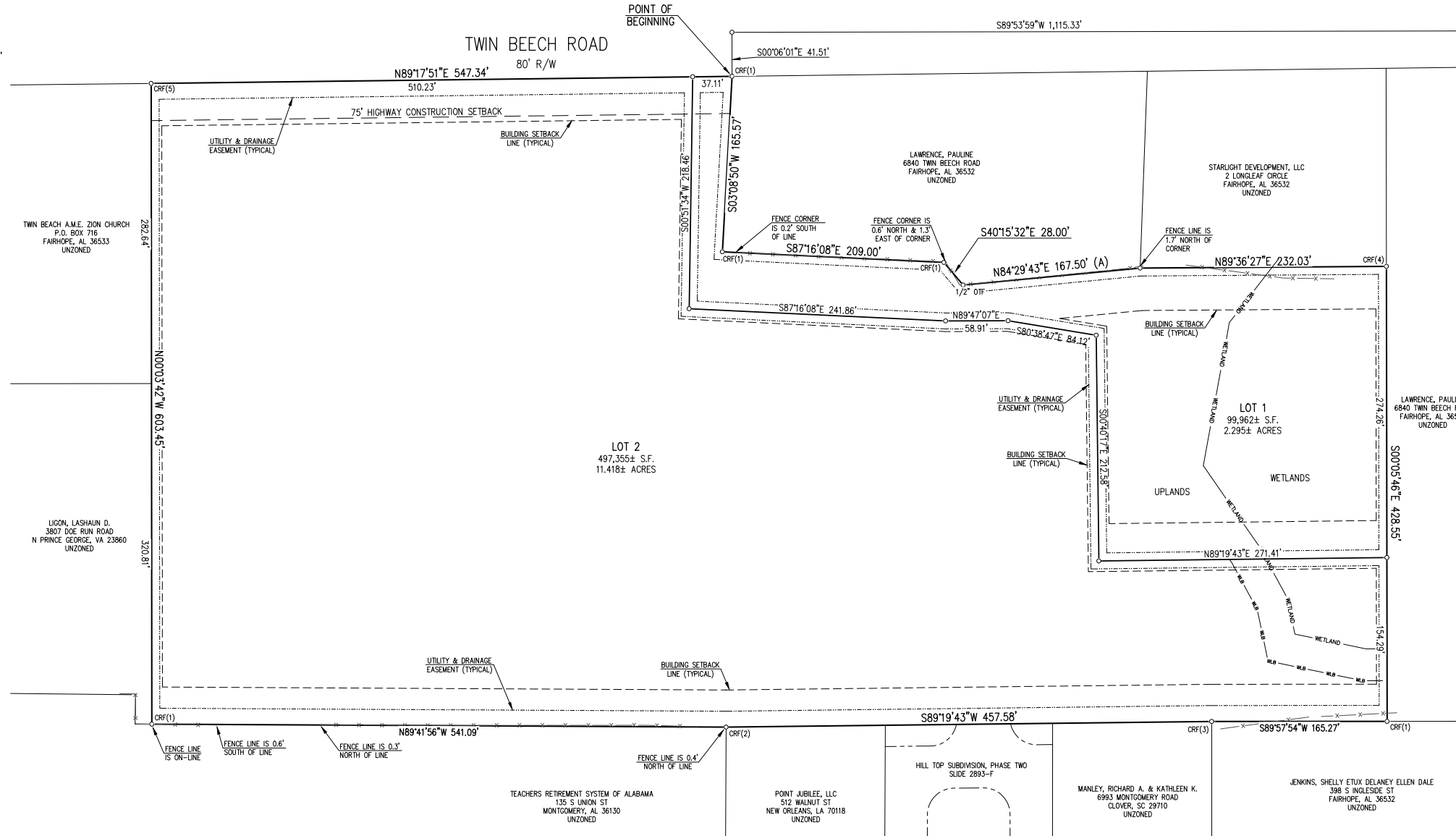
UTILITIES
 WATER, SEWER & GAS:
 FAIRHOPE PUBLIC UTILITIES
 555 SOUTH SECTION ST., FAIRHOPE, AL 36532
 JAY WHITMAN (251) 928-8003

ELECTRICAL:
 RIVIERA UTILITIES
 413 E. LAUREL AVE. FOLEY, AL 36536
 SCOTT SLIGH (251) 943-5001

TELEPHONE:
 AT&T
 2155 OLD SHELL ROAD, MOBILE, AL 36607
 WADE MITCHELL (251) 471-8361

SURVEYOR:
 WATTIER SURVEYING, INC.
 4318 DOWNTOWNER LOOP NORTH, STE H
 MOBILE, AL 36609
 251-342-2640

DEVELOPER/OWNER:
 ACHEE PROPERTIES
 19252 HIGHWAY 181
 FAIRHOPE, AL 36532
 251-379-6218



CERTIFICATION OF OWNERSHIP AND DEDICATION
 THIS IS TO CERTIFY THAT ACHEE PROPERTIES IS THE OWNER OF THE LAND SHOWN AND DESCRIBED HEREON, AND THAT THE SAME HAS CAUSED SAID LAND TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH, AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED, AND GRANT ALL EASEMENTS AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT.

DATED THIS ____ DAY OF _____, 20____
 OWNER _____

CERTIFICATION BY NOTARY PUBLIC
 STATE OF ALABAMA
 COUNTY OF BALDWIN
 I, _____, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY,

HEREBY CERTIFY THAT _____ WHOSE NAME AS _____ OF ACHEE PROPERTIES, OWNER, IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY, THAT BEING INFORMED OF THE CONTENTS OF THE INSTRUMENT, AND AS SUCH OFFICER AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY FOR AND AS THE ACT OF SAID CORPORATION.

GIVEN UNDER MY HAND AND NOTORIAL SEAL THIS ____ DAY OF _____, 20____
 NOTARY PUBLIC _____

CERTIFICATE OF APPROVAL BY THE CITY OF FAIRHOPE PLANNING COMMISSION
 THE WITHIN PLAT OF THE TWIN BEECH SUBDIVISION, FAIRHOPE, ALABAMA IS HEREBY APPROVED BY THE CITY OF FAIRHOPE PLANNING AND ZONING COMMISSION, THIS THE ____ DAY OF _____, 20____

CHAIRMAN, PLANNING COMMISSION _____
CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES:

THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF _____, 20____

AUTHORIZED REPRESENTATIVE _____
CERTIFICATE OF APPROVAL BY FAIRHOPE PUBLIC UTILITIES:

THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE PUBLIC UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF _____, 20____

AUTHORIZED REPRESENTATIVE _____
CERTIFICATE OF APPROVAL BY AT&T:

THE UNDERSIGNED, AS AUTHORIZED BY AT&T, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF _____, 20____

AUTHORIZED REPRESENTATIVE _____
CERTIFICATE OF APPROVAL BY BALDWIN COUNTY 911:

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY 911, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE ____ DAY OF _____, 20____

AUTHORIZED REPRESENTATIVE _____

SURVEYOR'S CERTIFICATE
 STATE OF ALABAMA
 COUNTY OF BALDWIN
 I, MARK A. WATTIER, A LICENSED SURVEYOR IN THE STATE OF ALABAMA, HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY OF TWO HANDS DESIGN & DEVELOPMENT, LLC, SITUATED IN BALDWIN COUNTY, ALABAMA AND DESCRIBED AS FOLLOWS:

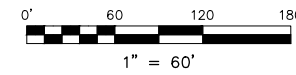
COMMENCING AT THE NORTHEAST CORNER OF SECTION 30, TOWNSHIP 6 SOUTH, RANGE 2 EAST BALDWIN COUNTY, ALABAMA AS SHOWN ON SURVEY BY GEO-SURVEYING, INC. DATED 11/08/99; THENCE RUN SOUTH 89°-53'-59" WEST ALONG THE NORTH LINE OF SAID SECTION 30 A DISTANCE OF 1,115.33 FEET; THENCE SOUTH 00°-06'-01" EAST A DISTANCE OF 41.51 FEET TO A CAPPED REBAR (WATTIER) ON THE SOUTH RIGHT-OF-WAY LINE OF TWIN BEECH ROAD (80' R/W) AND THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL; THENCE RUN SOUTH 03°-08'-50" WEST A DISTANCE OF 165.57 FEET TO A CAPPED REBAR (WATTIER); THENCE RUN SOUTH 87°-16'-08" EAST A DISTANCE OF 209.00 FEET TO A CAPPED REBAR (WATTIER); THENCE RUN SOUTH 40°-15'-32" EAST A DISTANCE OF 28.00 FEET TO A 1/2" OPEN TOP PIPE; THENCE RUN NORTH 84°-29'-43" EAST A DISTANCE OF 167.50 FEET TO A 1" OPEN TOP PIPE; THENCE RUN NORTH 89°-36'-27" EAST A DISTANCE OF 232.03 FEET TO A CAPPED REBAR (R&C); THENCE RUN SOUTH 00°-05'-46" EAST A DISTANCE OF 428.55 FEET TO A CAPPED REBAR (WATTIER); THENCE RUN SOUTH 89°-57'-54" WEST A DISTANCE OF 165.27 FEET TO A CAPPED REBAR (FAIRHOPE) AT THE NORTHEAST CORNER OF HILL TOP SUBDIVISION, PHASE TWO AS RECORDED IN SLIDE 2893-F OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 89°-19'-43" WEST ALONG THE NORTH LINE OF SAID SUBDIVISION A DISTANCE OF 457.58 FEET TO A CAPPED REBAR (HMR) AT THE NORTHWEST CORNER OF SAID SUBDIVISION; THENCE RUN NORTH 89°-41'-56" WEST A DISTANCE OF 541.09 FEET TO A CAPPED REBAR (WATTIER); THENCE RUN NORTH 00°-03'-42" WEST A DISTANCE OF 603.45 FEET TO A CAPPED REBAR (ILLEGIBLE) ON THE SOUTH RIGHT-OF-WAY LINE OF TWIN BEECH ROAD; THENCE RUN NORTH 89°-17'-51" EAST A DISTANCE OF 547.34 FEET TO THE POINT OF BEGINNING. THE DESCRIBED PARCEL CONTAINS 13.71 ACRES, MORE OR LESS, AND IS THE SAME PARCEL AS DESCRIBED IN THE STATUTORY WARRANTY DEED RECORDED AS INSTRUMENT 1873518 OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA.

AND THAT THE PLAT OR MAP CONTAINED HEREON IS A TRUE AND CORRECT MAP SHOWING THE SUBDIVISION INTO WHICH THE PROPERTY DESCRIBED IS DIVIDED, GIVING THE LENGTH AND BEARINGS OF THE BOUNDARIES OF EACH LOT AND EASEMENT AND ITS NUMBER, AND SHOWING THE STREETS, ALLEYS AND PUBLIC GROUNDS, AND GIVING THE BEARINGS, LENGTH, WIDTH AND NAMES OF THE STREETS. SAID MAP FURTHER SHOWS THE RELATION OF THE LAND SO PLATTED TO THE GOVERNMENT SURVEY, AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED AT POINTS MARKED THUS (O) AS HEREON SHOWN. I FURTHER CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

WITNESS MY HAND THIS THE ____ DAY OF _____, 20____

SURVEYOR _____
 ALABAMA LICENSE #20364

- NOTES:**
- FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
 - CAPPED REBARS (WATTIER) SET AT ALL CORNERS UNLESS OTHERWISE NOTED.



- LEGEND**
- CRF(1) CAPPED REBAR FOUND (WATTIER)
 - CRF(2) CAPPED REBAR FOUND (HMR)
 - CRF(3) CAPPED REBAR FOUND (FAIRHOPE)
 - CRF(4) CAPPED REBAR FOUND (R&C)
 - CRF(5) CAPPED REBAR FOUND (ILLEGIBLE)
 - OTF OPEN TOP PIPE FOUND
 - BSL BUILDING SETBACK LINE
 - W-F WIRE FENCE
 - W-B WETLAND BUFFER LINE
 - W-L WETLAND DELINEATION LINE



December 31, 2024

Chris Achee
acheebuilders@gmail.com

RE: Wetlands Delineation of PPIN 3747 (Parcel Number: 05-46-09-30-0-000-021.000)

Mr. Achee,

EcoSolutions Inc. was hired to conduct a wetland delineation of a parcel located in Baldwin County, AL. The wetland delineation fieldwork was conducted on December 17, 2024. The site is parcel with Parcel Number: 05-46-09-30-0-000-021.000 and PPIN 3747. The site is located on the south side of Twin Beech Road, north of the city limits of Fairhope. The vegetation, soil characteristics, and hydrology of the site were evaluated based on the U.S. Army Corps of Engineers (USACE) 1987 Wetland Delineation Manual, amendments, regional supplements, and other applicable guidance documents. A portion of the parcel at the east side meets the definition of a wetland. The wetlands on the parcel appear to be a non-contiguous wetland area that is a portion of a Grady pond that extends off the parcel to the east and north, but a formal Jurisdictional Determination from USACE is needed to be certain.

The total area of the parcel is 14.0 acres. Approximately 1.1 acres throughout the parcel has met the definition of a wetland. The wetlands are located at the east property line and extend off the parcel to the east and north. The wetlands drain from south to north. The wetland area has a tree layer that contains Chinese Tallow (*Triadica sebifera*) and Water Oak (*Quercus nigra*), a shrub/sapling layer with younger, immature Chinese Tallow (*Triadica sebifera*), a herbaceous layer that contains American Wisteria (*Wisteria frutescens*) and Swamp smartweed (*Polygonum hydropiperoides*), and no vine layer.

Approximately 12.9 acres of the parcel is uplands. The uplands on the site have a tree layer that contains Camphor (*Cinnamomum Camphora*) and Water Oak (*Quercus nigra*), a shrub/sapling layer with Chinese Privet (*Ligustrum sinense*) and immature Camphor (*Cinnamomum camphora*), a herbaceous layer that contains Hen's Eye (*Ardisia crenata*) and American Beautyberry (*Callicarpa americana*), and a vine layer that includes Lanceleaf Greenbriar (*Smilax smallii*) and Japanese Climbing Fern (*Lygodium japonicum*). The soils within the parcels consist of Grady Soils, Local Alluvial land, Malbis fine sandy loam, Orangeburg fine sandy loam, and Sunsweet fine sandy loam. During our field work on the site we found sandy and loamy soils consistent with the mapped soils. The hydrology of the wetland area was ground water driven.

Wetland Delineation report for PPIN 3747

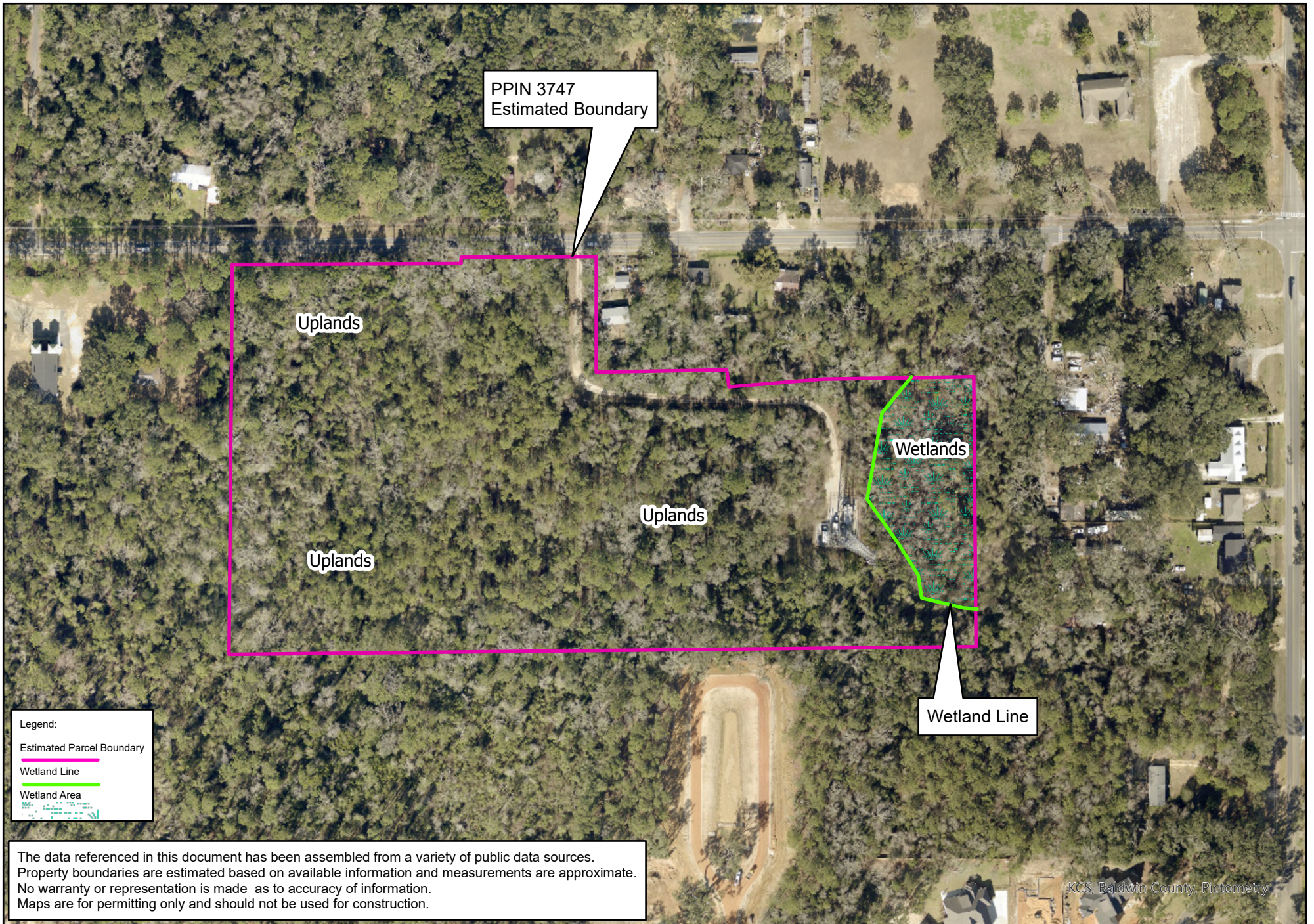
The wetlands on east portion of the parcel are part of a Grady Pond and appear to an isolated wetland area. The wetlands on the site are not likely under the jurisdiction of USACE, but a formal Jurisdictional Determination from USACE is needed to be certain. The wetland area is likely under the jurisdiction of Baldwin County. Jurisdictional wetlands require permitting from the federal, state and local agencies before any construction, impact, or fill activities can take place in these areas. Impact and fill activities include but are not limited to the addition of sand, gravel, soil, sod or any other permanent building material into the wetlands areas or the removal for tree stumps or soils from the wetlands areas. EcoSolutions has helped many builders and land owners with permitting and compliance assistance over our more than 20 years of business. We are happy to provide more information on permitting options upon request.

All comments are based on the professional judgment of the inspector and the conditions that existed on the site at the time of the inspection. Please give us a call (251-621-5006) or email Lewis@EcoSolutionsinc.net if you have any questions or need any additional information.

Best regards,



Lewis Cassidey
EcoSolutions, Inc.



PPIN 3747
Estimated Boundary

Uplands

Wetlands

Uplands

Uplands

Wetland Line

Legend:

- Estimated Parcel Boundary
- Wetland Line
- Wetland Area

The data referenced in this document has been assembled from a variety of public data sources. Property boundaries are estimated based on available information and measurements are approximate. No warranty or representation is made as to accuracy of information. Maps are for permitting only and should not be used for construction.

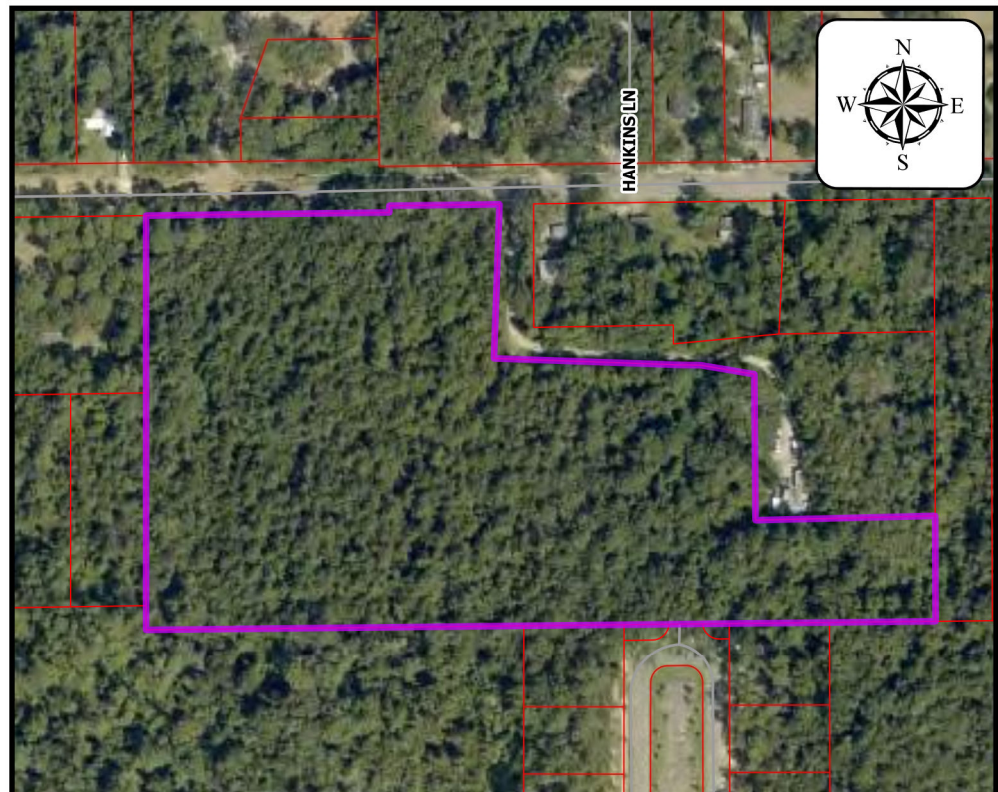
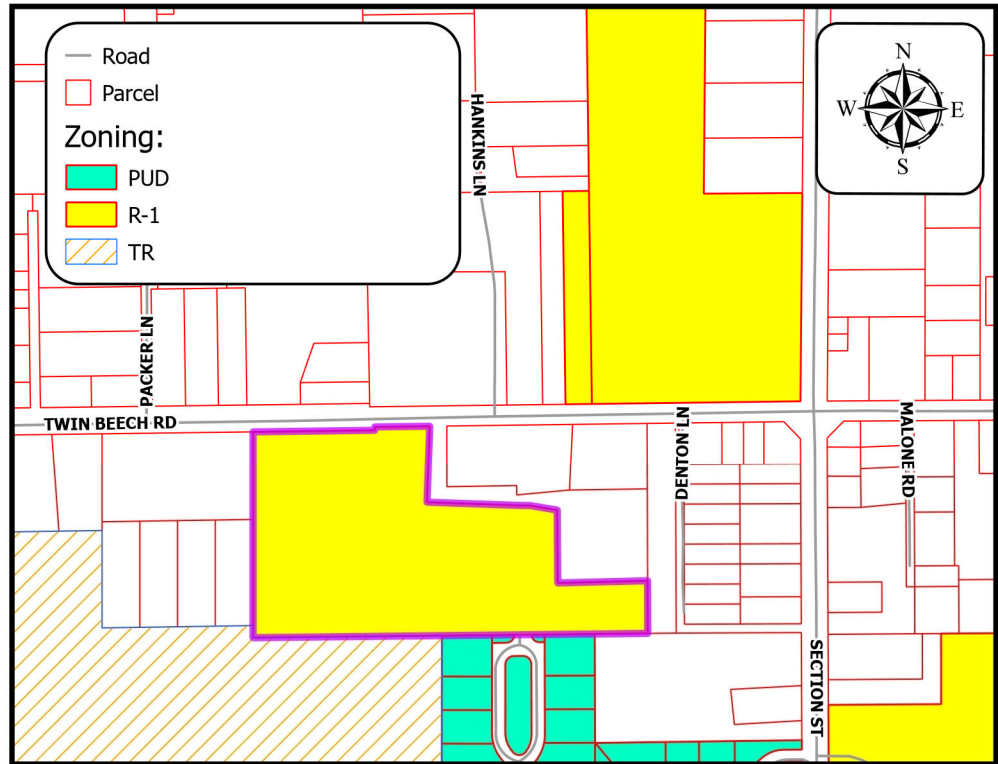
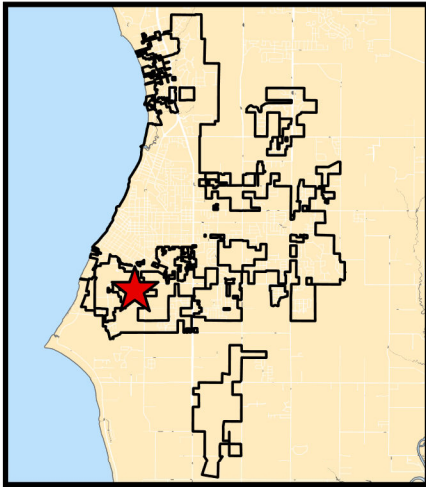
KCS, Baldwin County, Pictometry



City of Fairhope Planning Commission February 2, 2026



SD 26.04 - The Preserve at Point Clear



<u>Project Name:</u>	The Preserve at Point Clear
<u>Site Data:</u>	11.41 acres
<u>Project Type:</u>	Preliminary plat approval of 13-lot subdivision
<u>Jurisdiction:</u>	Fairhope Planning Jurisdiction
<u>Zoning District:</u>	R-1, Low Density Single-Family Residential District
<u>PPIN Number:</u>	3747
<u>General Location:</u>	Southwest of intersection of Twin Beech Road and Section Street
<u>Surveyor of Record:</u>	Jade Consulting, LLC
<u>Engineer of Record:</u>	Jade Consulting, LLC
<u>Owner / Developer:</u>	Sandra Bonner
<u>School District:</u>	Fairhope Elementary School Fairhope Middle and High Schools
<u>Recommendation:</u>	Approved w/ Conditions
<u>Prepared by:</u>	Payton Rogers

SUMMARY OF REQUEST

Public hearing to consider the request of the Applicant, Jade Consulting, LLC, on behalf of the Owner, Sandra Bonner, for Preliminary Plat approval of The Preserve at Point Clear, a 13-lot Major Subdivision on property zoned R-1, Low Density Single-Family Residential District. The property is located at 6796 Twin Beech Road and is 11.41± acres.

SITE HISTORY

At its meeting on October 6, 2025 the Planning Commission recommended approval to the City Council of a request for Conditional Annexation to R-1, Low Density Single-Family Residential District (ZC 25.09) for the subject site. As such, at its meeting on November 20, 2025 the City Council approved the Applicant's request for Conditional Annexation to R-1, Low Density Single-Family Residential District.

There have been no other Planning Commission or Board of Adjustment cases associated with this site.

STAFF COMMENTS

It is important to note that this application has been submitted concurrently with SD 26.03 – Twin Beech Subdivision, a 2-lot Minor Subdivision requesting Preliminary and Final Plat approval. Review of this application (SD 26.04) by the Planning Commission is dependent upon, and requires the approval of, the aforementioned Twin Beech Subdivision. As such, the following report is written based on the assumption that the Final Plat for Twin Beech Subdivision has been tentatively approved by the Planning Commission pending completion of any and all conditions of approval.

The purpose of this request is to create 13 legal lots of record from one (1) existing legal lot (Lot 2 Twin Beech Subdivision). The site will be served by Fairhope Utilities for Water, Sewer, and Gas. Riviera Utilities will provide Electric and AT&T will provide Telecommunications.

Lot Standards

All 13 lots will have frontage on Emory Lane, a newly proposed local street illustrating a compliant 50-foot right-of-way (ROW) on the Preliminary Plat, which if approved, should be retained on the Final Plat. As proposed, the south terminus of Emory Lane connects with Calyx Circle, a public road with a required 40-foot ROW. However, the preliminary plat does not illustrate Calyx Circle as a public road, nor does it illustrate its 40-foot ROW. As such, if approved, the Final Plat should be revised to illustrate Calyx Circle as a public road with a 40-foot ROW width.

The preliminary plat illustrates a compliant minimum lot width for all proposed lots and provides lot area for all lots in both square feet and acres in a data table. If approved, this information should be retained on the Final Plat.

Additionally, the preliminary plat illustrates a 40-foot front yard setback along all street frontages, 10-foot side yard setbacks, and 35-foot rear yard setbacks for all proposed lots, in compliance with Section V.E.4.a of the Subdivision Regulations and Section III.C.1. of the Zoning Ordinance. All setbacks as illustrated should be retained on the Final Plat.

Various sidewalk, utility, and drainage easements are depicted on the preliminary plat, however not all of them are clearly labeled. If approved, the Final Plat should be revised to label all easements and include a note stating that no structures shall be constructed in any easement without permission of the easement holder.

Utilities

All work and connections within Baldwin County ROW require permitting from the Baldwin County Highway Department. Gas service installation for the subdivision will be determined based on final drawings. Water and sewer connections will be subject to all applicable tap fees and system development charges (SDCs), and any required infrastructure improvements will be the developer's responsibility. As proposed, water infrastructure will be tied into Fairhope Utilities at Twin Beech Road and sewer infrastructure will be split between low pressure SSFM and gravity sewer. Lots 5 – 9 are proposed to be connected by 518± feet of low pressure SSFM up to an existing 12" SSFM on the north side of Twin Beech Road. Lots 1 – 3 and 10 – 13 are proposed to be connected by 460± feet of gravity SSFM to an existing 8" sanitary sewer at the north end of Calyx Circle.

Traffic

A Traffic Verification letter was submitted with the application and is attached to this packet. As proposed the 13-lot subdivision is estimated to generate 10 trips during peak AM hours and 13 trips during peak PM hours. As such, no further traffic study was required or conducted.

Stormwater & Drainage

The storm water runoff is designed to be collected by five (5) bio-retention swales and directed into one (1) dry detention pond. The Storm Water Report submitted with the application indicates that the runoff from the post-development catchment will be routed through the dry detention pond at lower rates than that of pre-development. The report goes on to state that no adverse effects will be created by this project.

As proposed, the five (5) bio-retention swales will be utilizing low-impact development methods to control the runoff characteristics of the site by infiltrating as much storm water runoff into the ground as the area will naturally allow.

Additionally, the applicant has requested a waiver from Section V.F.9.e of the City of Fairhope Subdivision Regulations limiting storm water detention from being located within the ROW.

Wetlands

The Applicant submitted a wetland report prepared by Ecosolutions which details a wetland feature on the east side of Common Area #2. The report states that it is the opinion of Ecosolutions that this feature is an isolated wetland feature and is likely not jurisdictional wetlands. The Applicant did not provide a formal delineation from the Army Corps of Engineers (USACE) confirming any jurisdictional wetlands and instead has elected to voluntarily include a 30-foot wetland buffer in accordance with Section V.F.4. of the Subdivision Regulations. The preliminary plat illustrates the wetland buffer adjacent to the wetland area located on Common Area #2 which, if approved, should be retained on the Final Plat.

Pedestrian Connectivity

The subject site has an existing sidewalk on the south side of Twin Beech Road. The pedestrian connectivity plan connects this existing sidewalk to sidewalks along Calyx Circle by proposing new sidewalks on the interior of the subdivision along the West and South sides of Emory Lane. The pedestrian plan also illustrates proposed sidewalks along the North and East sides of Emory Lane adjacent to Lots 10 – 14. There is a portion of the East side of Emory Lane extending 400± feet south of Twin Beech Road where a sidewalk is not being proposed due to topographical constraints at the intersection of Twin Beech Road and Emory Lane as well as desired tree preservations within the Twin Beech Road ROW.

Per Section V.D.7.a(4)(b), it is within the Commission's authority to exempt a development from the requirement to install all, or portions of, sidewalks at their discretion. They may do so if the sidewalks will not serve the intended purposes due to the absence of other sidewalks or due to topographical conditions. In so

doing, however, the Planning Commission shall require sidewalk easements along the margin of lots adjacent to the ROW to accommodate the installation of sidewalks in the future.

Due to the topographical constraints affecting the specified portion of sidewalk and given that omitting sidewalk installation enables the applicant to advance additional City objectives such as tree preservation, staff is in support of this exemption. If approved, the Final Plat should be revised to provide a sidewalk easement along the margin of lots where no sidewalk is being provided adjacent to the ROW in order to accommodate the installation of sidewalks in the future.

Tree & Landscaping

The Tree and Landscape Plan illustrates compliant street trees in the ROW as required by Section V.D.5.a(8) of the Subdivision Regulations.

Greenspace

On the east side of the subject site within Common Area #2 the submitted Greenspace Plan includes a portion of wetlands within the Preserve greenspace area being proposed. Section V.C.3.c of the Subdivision Regulations does not allow federally protected “jurisdictional” wetlands to be counted toward any provided greenspace area. As the applicant has not provided a formal delineation from USACE confirming any jurisdictional wetlands staff has elected not to include these areas in our greenspace calculations. As such, if approved, the applicant should coordinate with staff to revise the Greenspace Plan adjusting total gross area and greenspace area for compliance.

The subject site has a Net Density of 1.5 Dwelling Units / Acre (DU/A) and as such a minimum of 10% (1.14± AC) greenspace area is required. Accounting for the subtraction of 0.18± AC of wetland area from the total gross area of the subdivision, the amount of provided greenspace area per staff calculations is 1.7± AC.

SUBDIVISION CONSIDERATIONS

Standards of Review:

In accordance with Section V.B.2 of the City of Fairhope Subdivision Regulations the Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:

- a) The proposed subdivision is not consistent with the City’s Comprehensive Plan, and/or the City’s Zoning ordinance, where applicable;
- b) The proposed subdivision is not consistent with the City’s Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;
- c) The proposed subdivision is not consistent with these Regulations;
- d) The proposed subdivision is not consistent with other applicable state or federal laws and regulations; or
- e) The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City.”

Section VII.A. of the Subdivision Regulations details the standards for approving waiver requests stating that waivers may be granted where the Planning Commission finds that the following conditions exist:

1. An extraordinary hardship may result from strict compliance with these Regulations due to unusual topographic or other physical conditions of the land or surrounding area not generally applicable to other land areas.
2. The condition is beyond the control of the Subdivider.
3. The requested waiver will not have the effect of nullifying the purpose and intent of the Regulations, the Zoning Ordinance, or the Comprehensive Plan.
4. The waiver is the minimum deviation from the required standard necessary to relieve the hardship;
5. The waiver shall not have an adverse effect on adjacent landowners, or future landowners, or the public;
6. The waiver is necessary so that substantial justice is done.

Recommendation:

Staff supports the following waiver requests:

- i. Article V, Section F.9.e of the City of Fairhope Subdivision Regulations limiting storm water detention from being located with the ROW.

Staff recommends **APPROVAL** of SD 26.04 – The Preserve at Point Clear preliminary plat with the following conditions:

1. Approval of SD 26.03 – Twin Beech Subdivision by the Planning Commission and completion of the Subdivision process by addressing all conditions of approval and the recording of the Final Plat for Twin Beech Subdivision in Baldwin County Probate Court within 120 days of approval;
2. Approval of the aforementioned waiver request by the Planning Commission;
3. Approval and adoption of a Cooperative Maintenance Agreement by the Fairhope City Council to allow storm water infrastructure within city ROW;
4. Revision of the Final Plat to illustrate Calyx Circle as a public road with a 40-foot right-of-way width;
5. Revision of the Final Plat to label all easements and include a note stating that no structures shall be constructed in any easement without permission of the easement holder;

6. Revision of the Final Plat to provide a sidewalk easement along the margin of lots where no sidewalk is being provided adjacent to the ROW to accommodate the installation of sidewalks in the future; and
7. Coordinate with staff to revise the Greenspace Plan adjusting total gross area and greenspace area for compliance.

EXHIBITS

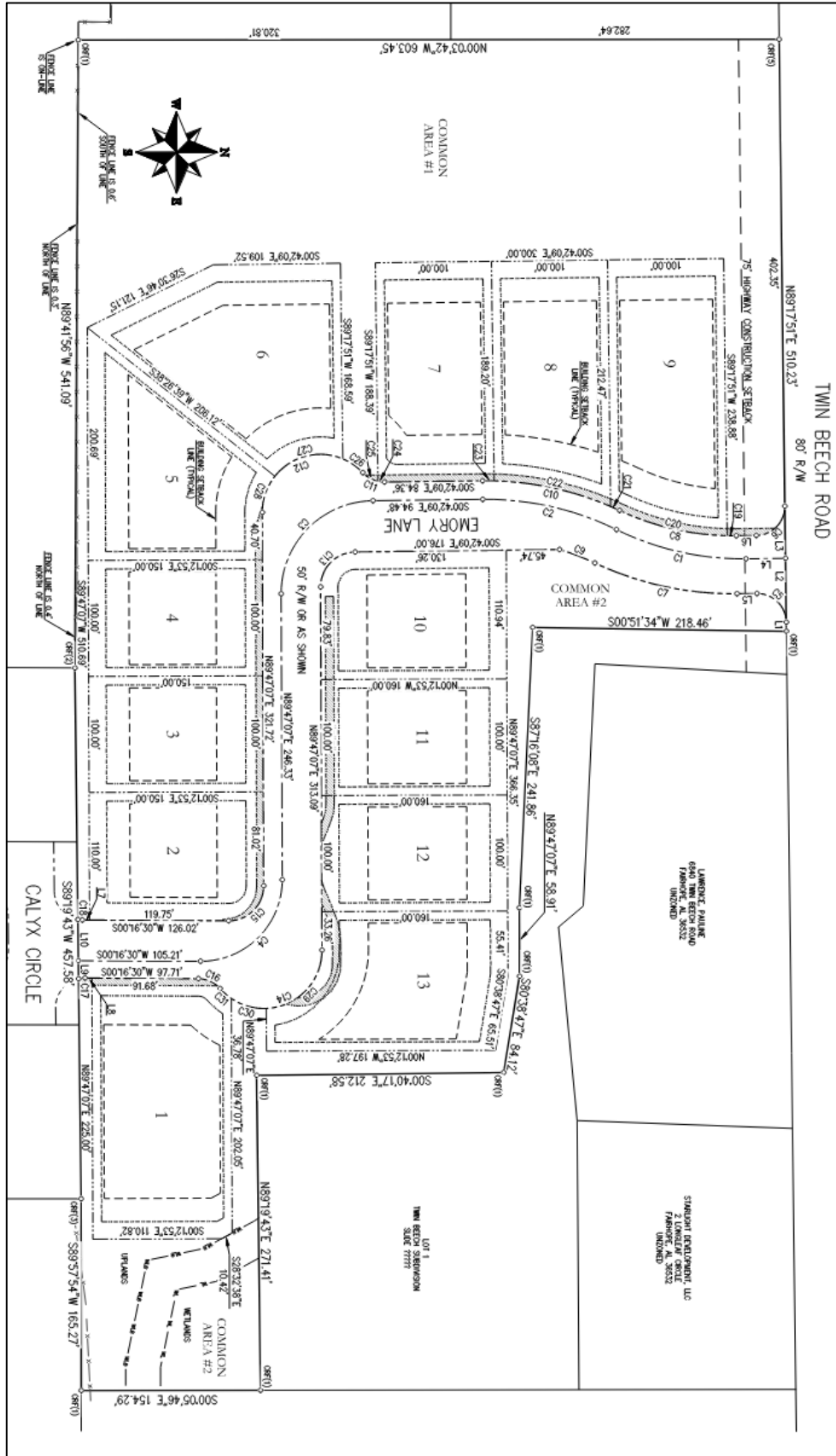
SD 26.04 – The Preserve at Point Clear

February 2, 2026

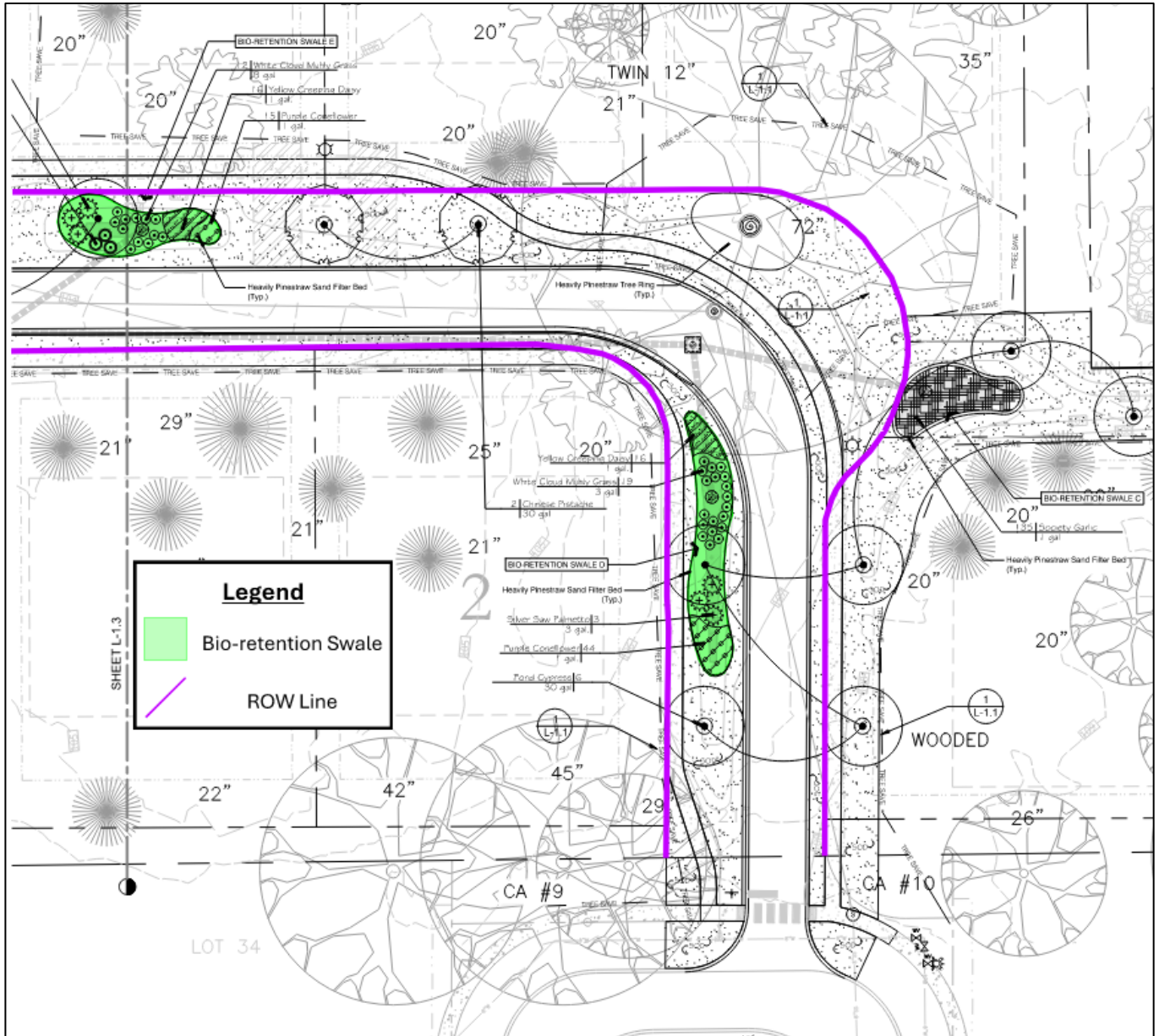
Excerpt from Table 3-2: Dimension Table – Lots and Principle Structure

Dimension District or Use	Min. Lot Area / Allowed Units Per Acre (UPA)	Min. Lot Width	Front Setback	Rear Setback	Side Setback	Street Side Setback	Max. Total Lot Coverage by All Structures	Max. Height
R/A	3 acres/ -	198'	75'	75'	25'	50'	none	30'
R-1	15,000 s.f./ -	100'	40'	35'	10' ^b	20'	40%	30' ^a
R-1a	40,000 s.f./ -	120'	30'	30'	10' ^b	20'	25%	35'
R-1b	30,000 s.f./ -	100'	30'	30'	10' ^b	20'	25%	35'
R-1c	20,000 s.f./ -	80'	30'	30'	10' ^b	20'	25%	35'

Preliminary Plat



Proposed Storm Water in ROW





APPLICATION FOR SUBDIVISION PLAT APPROVAL

Application Type: Village Subdivision Minor Subdivision Informal (No Fee)
 Preliminary Plat Final Plat Multiple Occupancy Project

Attachments: Articles of Incorporation or List all associated investors
Date of Application: _____

Property Owner / Leaseholder Information
Name of Property Owner: _____ Phone Number: _____
Address of Property Owner: _____
City: _____ State: _____ Zip: _____

Proposed Subdivision Name: _____
No. Acres in Plat: _____ No. Lots/Units: _____
Parcel No: _____ Current Zoning: _____

Authorized Agent Information
Plat must be signed by the property owner before acceptance by the City of Fairhope
Name of Authorized Agent: _____ Phone Number: _____
Address: _____
City: _____ State: _____ Zip: _____
Contact Person: _____

Surveyor/Engineer Information
Name of Firm: _____ Phone Number: _____
Address: _____
City: _____ State: _____ Zip: _____
Contact Person: _____

Plat Fee Calculation:

Reference: Ordinance 1269

Signatures:

I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Perry C. Jinright, III, PE

Property Owner/Leaseholder Printed Name

Signature

Date

Fairhope Single Tax Corp. (If Applicable)



JINRIGHT & ASSOCIATES DEVELOPMENT ENGINEERS

January 15, 2026

Mr. Hunter Simmons
City of Fairhope
51 Pecan Ave Suite 200,
Fairhope, AL 36532

RE: The Preserve at Point Clear Subdivision
Stormwater Detention Waiver Letter

Dear Mr. Simmons:

We respectfully request a waiver to the City of Fairhope Subdivision Regulations Article V, Section F.9.e be granted for the referenced property along a portion of Emory Lane.

As part of the drainage design of The Preserve at Point Clear, we have proposed the use of road-side swales and bio-retention swales as LID techniques for stormwater treatment. Two of the bio-retention swales, Bio-Retention Swales D and E, are proposed within the right-of-way of Emory Lane. These swales are intended as low impact and natural device for treating for water quality prior to reaching the main detention pond of the subdivision. There will be a small amount of detention in these bio-swales during and directly after rain events as water is allowed to infiltrate into the sand filters and into the designed underdrains of the swales. We respectfully request that these swales be allowed to remain in their proposed locations in order to achieve the water quality treatment and LID techniques intended with the stormwater design.

Respectfully,

JADE CONSULTING, LLC

A handwritten signature in blue ink, appearing to read "William Graham", is written over the printed name.

William Graham, PE
Project Manager

Enclosure
WG\sr

NOTARIZED AUTHORIZATION OF OWNER

I/We, Sandra Bonner as the sole or joint fee simple title holder(s) of the property described as parcels 05-46-09-30-0-000-021.000 in the City of Fairhope, County of Baldwin, State of Alabama, authorize and JADE Consulting, LLC and/or their consultants to act as our agent to seek plan/development plan approval, DOT approvals, and/or all regulatory approvals in connection therewith, on the above referenced property.

Company:

Sandra D. Bonner

By: Sandra Bonner

As Its: Owner

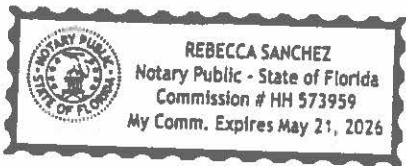
Address: 259 Washington Ave. Apt. 205
Miami Beach, FL 33139

Phone: 786-286-8165 Fax: _____

Email: sdbonner60@yahoo.com

STATE OF Florida
COUNTY OF MIAMI DADE

The forgoing instrument was acknowledged before me this 11 day of August, 2025 by Sandra Bonner as its Owner, who is personally known to me or who has produced FL DL (type of ID) as identification and who did not take an oath.



[Signature]
NOTARY PUBLIC - STATE OF FL

REBECCA SANCHEZ
NAME OF NOTARY - TYPED OR PRINTED

COMMISSION NO: HH573959

BALDWIN COUNTY, ALABAMA
JUDGE ADRIAN T. JOHNS
Filed/cert. 2/23/2009 10:55 AM
TOTAL \$ 60.00
3 Pages

1163797

ARTICLES OF INCORPORATION
OF
C. P. ACHEE BUILDERS, INC.



The undersigned, for the purpose of forming a corporation under Section 10-2B-1.01, Code of Alabama, (1975), do hereby file the following Articles of Incorporation with the Probate Judge of the county in which the initial registered office of the corporation will be located and affirm that the facts stated in these Articles of Incorporation are true and correct:

ARTICLE ONE

NAME

The name of the corporation is C. P. ACHEE BUILDERS, INC.

ARTICLE TWO

DURATION

The duration of existence of the corporation is perpetual.

ARTICLE THREE

PURPOSE

The purposes for which the corporation is organized are as follows:

A. To acquire by purchase, exchange, lease, hire or otherwise, real property of every kind, character and description whatever, wherever located, and interests of all kinds in real property; and to hold, own, develop, improve, manage, operate, let as lessor or sublessor, and mortgage such property; to sell and exchange said property and interest in said property; and to

obtain, use, dispose of and deal in and with such property in every other manner, either alone or in conjunction with others, as partners, joint ventures or otherwise.

B. To engage in the business of constructing residential custom homes.

C. The **Corporation** is organized with a general business purpose and may transact any other lawful; business or activity for which **Corporations** may be organized in the State of Alabama. be incorporated under the Laws of the State of Alabama.

ARTICLE FOUR

REGISTERED OFFICE

The address of the registered office of the corporation shall be 319 Magnolia Avenue, Fairhope, Alabama 36532.

ARTICLE FIVE

REGISTERED AGENT

The initial registered agent of the corporation at that address is WM. DANIEL CALHOUN, ATTORNEY AT LAW.

ARTICLE SIX

CAPITAL STOCK

The total number of shares which the corporation has the authority to issue is ONE THOUSAND (1,000) all of which shall be common stock with a par value of ONE AND 00/100 DOLLAR (\$1.00) per share.

ARTICLE SEVEN

DIRECTORS

The number of directors constituting the initial Board of Directors of the corporation is one (1).

The name and address of the person who is to serve as director until the first annual meeting of the shareholders or until such successors is elected and qualified is:

CHRIS ACHEE
P. O. BOX 904
MONTROSE, ALABAMA 36559


ARTICLE EIGHT

INCORPORATORS

The name and address of the Incorporator is:

CHRIS ACHEE
P. O. BOX 904
MONTROSE, ALABAMA 36559

I, the undersigned, has subscribed my name on this the 23rd day of February, 2009.



CHRIS ACHEE

THIS INSTRUMENT PREPARED BY:
DUCK, CALHOUN & STONE
Wm. Daniel Calhoun
Attorney at Law
Post Office Box 1188
Fairhope, Alabama 36533
Telephone: (251) 928-2191

STATE OF Alabama)
COUNTY OF Baldwin)

BALDWIN COUNTY, ALABAMA
HARRY D'OLIVE, JR. PROBATE JUDGE
Filed/cert. 11/25/2020 3:34 PM
TOTAL \$ 16.00
2 Pages

1873518



STATUTORY WARRANTY DEED

Know all men by these presents, that I, SANDRA BONNER, Personal Representative of the Estate of Bobbie Jean Bonner, deceased, Case No. 37384, Probate Court, Baldwin County, Alabama, the Grantor, in consideration of her appointment as Personal Representative of said estate, do hereby GRANT, BARGAIN, SELL and CONVEY unto SANDRA BONNER, a single woman (herein referred to as "Grantee") the following described real property situated in Baldwin County, Alabama and described as follows:

From the Northeast corner of Section 30, run West 1,115 feet and south 25 feet to the Point of Beginning, thence run South 179 feet to a point, thence run East 209 feet to a point, thence run South 28 feet to a point, thence run Northeast 180 feet to a point, thence run East 223 feet to a point, thence run South 411 feet to a point, thence run West 1,115 feet to a point, thence run North 620 feet to a point, thence run East 515 feet to the Point of Beginning, said lands lying in Section 30, Township 6 South, Range 2 East, Baldwin County, Alabama.

Subject to the following:

1. Grant of Easement recorded in the Office of the Judge of Probate of Baldwin County, Alabama as Instrument No. 1065888;
2. Assignment of Lease for existing cellular telephone tower lease (a memorandum of which is recorded at Real Property Book 663, Page 1480) recorded in the Office of the Judge of Probate of Baldwin County, Alabama as Instrument No. 1065889.
3. The lien of real property taxes.

To have and to hold unto the said Grantee, her heirs, successors and assigns forever.

Grantor, in her individual capacity and, if applicable, in their capacity as Personal Representative of the Estate of Bobbie Jean Bonner, Deceased, makes no warranty or covenant respecting the nature of the quality of the title to the property hereby conveyed other than that the Grantors have neither permitted or suffered any lien, encumbrance or adverse claim to the property described herein since the date of acquisition thereof by the Grantor. The Personal Representative

agrees with Grantee that she is lawfully the Personal Representative of the Estate of Bobbie Jean Bonner, Deceased, and has power to convey as aforesaid. The Personal Representative further covenants that she has in all respects made this conveyance pursuant to the authority granted by the Last Will and Testament of Bobbie Jean Bonner, Deceased, and that she has not done or suffered any act since she was appointed personal Representative as aforesaid whereby the above-granted premises, or any part thereof, now are, or at any time hereafter, shall or may be impeached, charged, or encumbered in any manner whatsoever.

In witness whereof, the Grantor has hereunto set her hand and seal this the 28th day of OCTOBER, 2020.

Sandra Bonner
SANDRA BONNER
Personal Representative of the Estate of Bobbie Jean Bonner, deceased

STATE OF Alabama
COUNTY OF BALDWIN

Personally appeared before me, the undersigned authority in and for said State and County, SANDRA BONNER, who is known to me, acknowledged before me on this day that being informed of the contents of the conveyance she executed the same in her capacity as Personal Representative of the Estate of Bobbie Jean Bonner, deceased, on the day the same bears date.

Given under my hand and seal this the 28th day of Oct 2020.

HOLIKA CASTILLO MUNOZ
NOTARY PUBLIC

Print name: _____
My commission expires _____



GRANTEE'S ADDRESS :
Sandra Bonner
259 Washington Ave. Apt. 205
Miami Beach, Florida 33139

Fairhope Public Utilities



Mayor
Sherry Sullivan

Council Members
Kevin C. Boone
Jack Burrell, ACOMO
Jimmy Conyers
Corey Martin
Jay Robinson

January 5, 2026

Re: The Preserve at Point Clear, Parcel 05-46-09-30-0-000-021.000, 13 lots

This letter of availability is only valid based on what was proposed at the utility review meeting. Any changes or deviations of the proposed plan will require another utility review. This statement of availability remains effective for twelve (12) months from the date of this letter, at which time it shall expire and automatically be withdrawn.

Water: Based upon a review of the proposed development, water service by Fairhope Public Utilities is currently available. All tap fees and system development charges (SDC's) will apply, and all necessary infrastructure improvements will be at the developer's expense.

Sewer: Based upon a review of the proposed development, sewer service by Fairhope Public Utilities is currently available. All tap fees and system development charges (SDC's) will apply, and all necessary infrastructure improvements will be at the developer's expense.

Sincerely,

Daryl Morefield
Water/Wastewater Superintendent

Wes Boyett
Natural Gas Superintendent

Daryl Morefield
Water/Wastewater Superintendent

Ben Patterson
Electric Superintendent

Fairhope Public Utilities



Mayor
Sherry Sullivan

Council Members
Andrea Faust Booth
Jack Burrell, ACOMO
Jimmy Conyers
Joshua Gammon
Jay Robinson

December 18, 2025

RE: Tax Parcel ID 05-46-09-30-0-000-021.000 / Proposed 13 lot subdivision

To Whom It May Concern,

This letter is to confirm that Fairhope Public Utilities is the natural gas utility provider for the area that includes the above-referenced service location. Fairhope Public Utilities has existing natural gas infrastructure in place to serve this location.

New gas service is available to the property, subject to the completion of all necessary application processes and payment of any applicable fees.

Sincerely,

Sid Grose
Gas Department Construction Supervisor
Fairhope Public Utilities
555 S. Section St.
Fairhope, AL 36532
251-928-8003

Wes Boyett
Natural Gas Superintendent

Daryl Morefield
Water/Wastewater Superintendent

Ben Patterson
Electric Superintendent



RIVIERA UTILITIES

413 East Laurel Avenue - Foley, AL 36535
Phone (251) 943-5001

December 17, 2025

Will Graham, P.E.
Jade Consulting
208 Greeno Road North, Suite C
Fairhope, AL 36532

RE: The Preserve at Point Clear

This letter is to confirm based on the site plan received; Riviera Utilities is willing and able to provide electric service to the above referenced property.

Riviera Utilities requires a 10' easement along all side property lines and a 15' easement along all front and rear property lines. Please ensure all property plats reflect the easements.

Upon final design, Riviera Utilities will provide estimates for service fees and system installation requirements to meet all Riviera specifications. Please contact the following Riviera employees concerning costs and requirements.

Name	Department	Email
Wes Abrams	Electric	wabrams@rivierautilities.com

If you have any questions or comments, contact Riviera Utilities at 251-943-5001.

Thank you,

Tony L. Schachle Jr.

December 19, 2025

City of Fairhope
 Mike Jeffries
 555 S. Section St
 Fairhope, AL 36532

RE: The Preserve at Point Clear
 Traffic Generation
 Twin Beech Rd.
 Fairhope, AL

Dear Mr. Jeffries:

Please accept the below information in regards to the trip generation figures for the proposed subdivision The Preserve at Point Clear.

Standard traffic generation characteristics compiled by the Institute of Transportation Engineers (ITE) in their report entitled Trip Generation Manual, 9th Edition was applied to the proposed land use in order to estimate the daily vehicle trips and peak hour vehicle trips for the development. A vehicle trip is defined as a one-way vehicle movement from point of origin to point of destination.

The traffic volumes for The Preserve at Point Clear, listed in the below Table 1, are well below the trip counts that would require a full Traffic Study per the City of Fairhope Subdivision Regulations, Article IV, Section C.1.h.

Table 1 Trip Generation Table.

TRIP GENERATION VOLUME SUMMARY									
ITE CODE	LAND USE	UNIT	TOTAL TRIP GENERATED						
			24 HOUR	AM PEAK HOUR			PM PEAK HOUR		
				ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
210	Single-Family Detached Housing	13	129	3	7	10	8	5	13

Note: Daily Trips = 9.91 * 13= 128.83 total Trips. AM Peak Hour = 0.77 * 13= 10.01 total Trips.
 PM Peak Hour = 1.02 * 13= 13.26 total Trips.

Respectfully,

JADE CONSULTING, LLC



William M. Graham, P.E.
 Project Manager



JADE CONSULTING, LLC

SEWER COST COMPARISON

OWNER: **ACHEE PROPERTIES**
 PROJECT: **THE PRESERVE AT POINT CLEAR**

JADE PROJECT NO.: **25-1971.20**
 DATE: **9/16/2025**

GRAVITY SEWER FOR LOTS 5-9					
ITEM #	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL AMOUNT
1	SAWCUT & REMOVE EXIST. SIDEWALK (206-C)	SY	225	\$5.00	\$1,125.00
2	8" SDR 26 PVC GRAVITY SEWER MAIN (645-A)	LF	668	\$70.00	\$46,760.00
3	3" PE 3408 IPS, DR 11 HDPE SANITARY SEWER FORCE MAIN (645-A)	LF	75	\$13.90	\$1,042.50
4	SANITARY SEWER MANHOLE, 48" DIA. (645-H)	EA	3	\$7,608.08	\$22,824.24
5	4" SANITARY SEWER LATERAL CONNECTION W/ LATERAL AND CLEANOUT (645-E)	EA	5	\$1,895.00	\$9,475.00
6	SEWER MAIN VIDEO	LF	668	\$6.50	\$4,342.00
7	LIFT STATION ACCESS ROAD	SY	285	\$27.60	\$7,866.00
8	LIFT STATION (INCLUDING WET WELL, PIPING, ELECTRICAL, AND PUMPS)	LS	1	\$200,000.00	\$200,000.00
9	WOODEN PRIVACY FENCE	LF	148	\$50.00	\$7,400.00
10	20' WIDE WOODEN DOUBLE SWING GATE	EA	1	\$3,500.00	\$3,500.00
TOTAL					\$304,334.74
LOW PRESSURE FORCE MAIN FOR LOTS 5-9					
ITEM #	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL AMOUNT
1	3" PVC SDR 21 LOW PRESSURE SANITARY SEWER FORCE MAIN (645-A)	LF	506	\$20.00	\$10,120.00
2	1.5" PE 3608 CTS LOW PRESSURE SEWER SERVICE - SHORT RUN (645-A)	EA	5	\$1,650.00	\$8,250.00
3	3" GATE VALVES (645-A)	EA	1	\$1,622.00	\$1,622.00

ITEM #	ITEM DESCRIPTION	UNIT	PLAN QTY	UNIT PRICE	TOTAL AMOUNT
4	FLUSHING STATION ASSEMBLY FOR SANITARY SEWER	EA	1	\$3,782.00	\$3,782.00
TOTAL					\$23,774.00

PRICE COMPARISON	
GRAVITY SEWER TOTAL	\$304,334.74
LOW PRESSURE FORCE MAIN TOTAL	\$23,774.00
GRAVITY SEWER IS MORE EXPENSIVE BY	1280%

I certify the cost estimate to be correct.

PROJECT MANAGER

CERTIFICATION OF OWNERSHIP AND DEDICATION

THIS IS TO CERTIFY THAT ACHEE PROPERTIES IS THE OWNER OF THE LAND SHOWN AND DESCRIBED HEREON, AND THAT THE SAME HAS CAUSED SAID LAND TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH, AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED; AND GRANT ALL EASEMENTS AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT.

DATED THIS ____ DAY OF _____, 20____.

OWNER _____

CERTIFICATION BY NOTARY PUBLIC

STATE OF ALABAMA
COUNTY OF BALDWIN

I, _____, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, HEREBY CERTIFY THAT _____ WHOSE NAME AS _____ OF ACHEE PROPERTIES, IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY, THAT BEING INFORMED OF THE CONTENTS OF THE INSTRUMENT, AND AS SUCH OFFICER AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY FOR AND AS THE ACT OF SAID CORPORATION.

GIVEN UNDER MY HAND AND NOTORIAL SEAL THIS ____ DAY OF _____, 20____.

NOTARY PUBLIC _____

CERTIFICATE OF APPROVAL BY THE CITY OF FAIRHOPE PLANNING COMMISSION

THE WITHIN PLAT OF THE PRESERVE AT POINT CLEAR, FAIRHOPE, ALABAMA IS HEREBY APPROVED BY THE CITY OF FAIRHOPE PLANNING AND ZONING COMMISSION, THIS THE _____ DAY OF _____, 20____.

CHAIRMAN, PLANNING COMMISSION _____

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES:

THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY FAIRHOPE PUBLIC UTILITIES:

THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE PUBLIC UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY AT&T:

THE UNDERSIGNED, AS AUTHORIZED BY AT&T, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY 911:

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY 911, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE _____

NOTES:

1. FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
2. A PROPERTY OWNERS ASSOCIATION (POA) IS REQUIRED TO BE FORMED. THE POA IS REQUIRED TO MAINTAIN ANY AND ALL STORM WATER FACILITIES AND STRUCTURES LOCATED OUTSIDE OF THE PUBLICLY ACCEPTED RIGHT-OF-WAY.
3. STORM WATER DETENTION AREAS ARE NOT THE RESPONSIBILITY OF BALDWIN COUNTY OF THE CITY OF FAIRHOPE TO MAINTAIN.
4. THERE IS A DEDICATED DRAINAGE, UTILITY, AND MAINTENANCE EASEMENT OVER THE ENTIRETY OF COMMON AREAS 1 & 2.
5. CAPPED REBARS (WATTIER) HAVE BEEN SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
6. THE HOMEOWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE, IF APPLICABLE, AND ENERGY COSTS OF THE STREET LIGHTS.

SURVEYOR'S CERTIFICATE

STATE OF ALABAMA
COUNTY OF BALDWIN

I, MARK A. WATTIER, A LICENSED SURVEYOR IN THE STATE OF ALABAMA, HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY OF ACHEE PROPERTIES, SITUATED IN BALDWIN COUNTY, ALABAMA AND DESCRIBED AS FOLLOWS:

LOT 2, TWIN BEECH SUBDIVISION, AS RECORDED IN SLIDE _____, OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA. THE DESCRIBED PARCEL CONTAINS 11.42 ACRES, MORE OR LESS.

AND THAT THE PLAT OR MAP CONTAINED HEREON IS A TRUE AND CORRECT MAP SHOWING THE SUBDIVISION INTO WHICH THE PROPERTY DESCRIBED IS DIVIDED, GIVING THE LENGTH AND BEARINGS OF THE BOUNDARIES OF EACH LOT AND EASEMENT AND ITS NUMBER, AND SHOWING THE STREETS, ALLEYS AND PUBLIC GROUNDS, AND GIVING THE BEARINGS, LENGTH, WIDTH AND NAMES OF THE STREETS. SAID MAP FURTHER SHOWS THE RELATION OF THE LAND SO PLATTED TO THE GOVERNMENT SURVEY, AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED AT POINTS MARKED THUS (O) AS HEREON SHOWN. I FURTHER CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

WITNESS MY HAND THIS THE ____ DAY OF _____, 20____.

SURVEYOR _____
ALABAMA LICENSE #20364

ENGINEER'S CERTIFICATE

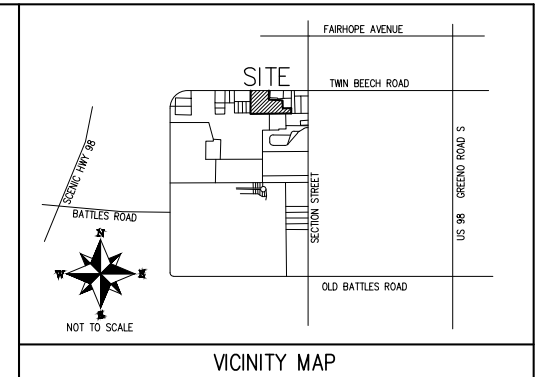
STATE OF ALABAMA
COUNTY OF BALDWIN

I, THE UNDERSIGNED, A REGISTERED ENGINEER IN THE STATE OF ALABAMA HOLDING CERTIFICATE NUMBER _____ HEREBY CERTIFY THAT I HAVE DESIGNED THE WITHIN IMPROVEMENTS IN CONFORMITY WITH APPLICABLE CODES AND LAWS AND WITH THE PRINCIPALS OF GOOD ENGINEERING PRACTICE. I FURTHER CERTIFY THAT I HAVE OBSERVED THE CONSTRUCTION OF THE WITHIN IMPROVEMENTS, THAT THE SAME CONFORMS TO MY DESIGN, THAT THE WITHIN IS A TRUE AND ACCURATE REPRESENTATION OF IMPROVEMENTS AS INSTALLED AND THAT SAID IMPROVEMENTS ARE HEREBY RECOMMENDED FOR ACCEPTANCE BY THE CITY OF FAIRHOPE, ALABAMA.

PROJECT ENGINEER _____

DATE _____

THE PRESERVE AT POINT CLEAR PLANS WHICH ARE CERTIFIED CONSIST OF PAGE ____ THRU _____, EACH OF WHICH BEARS BY SEAL AND SIGNATURE.



FLOOD CERTIFICATE:
THE PROPERTY DESCRIBED HEREON IS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NUMBERS 01003C0643 M AND 01003C0644 M, DATED 04/19/2019, AND IS SHOWN TO BE IN FLOOD ZONE "X"-UNSHADED.

SITE DATA

CURRENT ZONING:	R-1
LINEAR FEET OF STREETS:	1,017 LF
NUMBER OF LOTS:	13
SMALLEST LOT SIZE:	15,000 SF
AVERAGE LOT SIZE:	19,423 SF
COMMON AREAS:	4,353 AC
TOTAL AREA:	11,418 AC

LOT UTILITY & DRAINAGE EASEMENTS
FRONT & REAR: 15'
SIDE: 15' (7.5' EACH SIDE)

REQUIRED SETBACKS
FRONT: 40'
REAR: 35'
SIDE: 10'
SIDE STREET: 20'

UTILITIES
WATER, SEWER & GAS:
FAIRHOPE PUBLIC UTILITIES
555 SOUTH SECTION ST., FAIRHOPE, AL 36532
JAY WHITMAN (251) 928-8003

ELECTRICAL:
RIVIERA UTILITIES
413 E. LAUREL AVE, FOLEY, AL 36536
SCOTT SLUGH (251) 943-5001

TELEPHONE:
AT&T
2155 OLD SHELL ROAD, MOBILE, AL 36607
WADE MITCHELL (251) 471-8361

ENGINEER:
JADE CONSULTING, LLC.
P.O. BOX 1929, FAIRHOPE, AL 36533
251-928-3443

SURVEYOR:
WATTIER SURVEYING, INC.
4318 DOWNTOWNER LOOP NORTH, STE H
MOBILE, AL 36609
251-342-2640

DEVELOPER/OWNER:
ACHEE PROPERTIES
19252 HIGHWAY 181
FAIRHOPE, AL 36532
251-379-6218

**THE PRESERVE AT POINT CLEAR
PLAT OF SUBDIVISION**

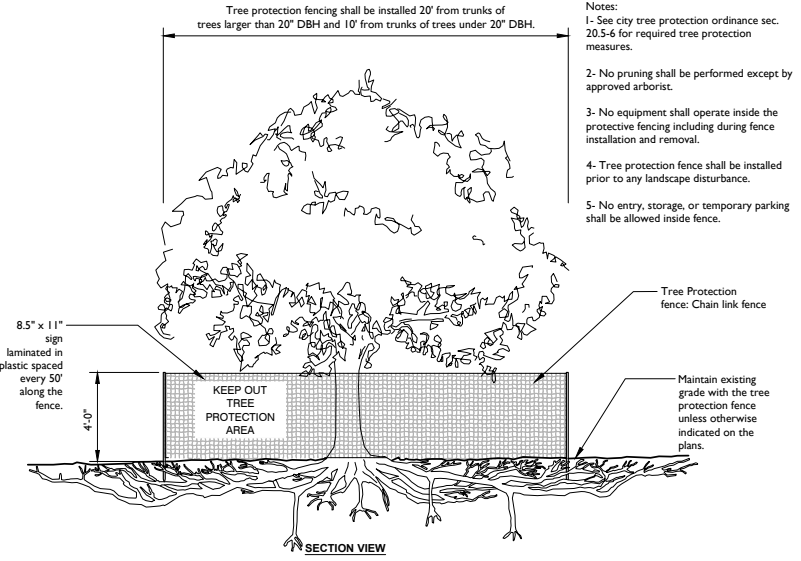
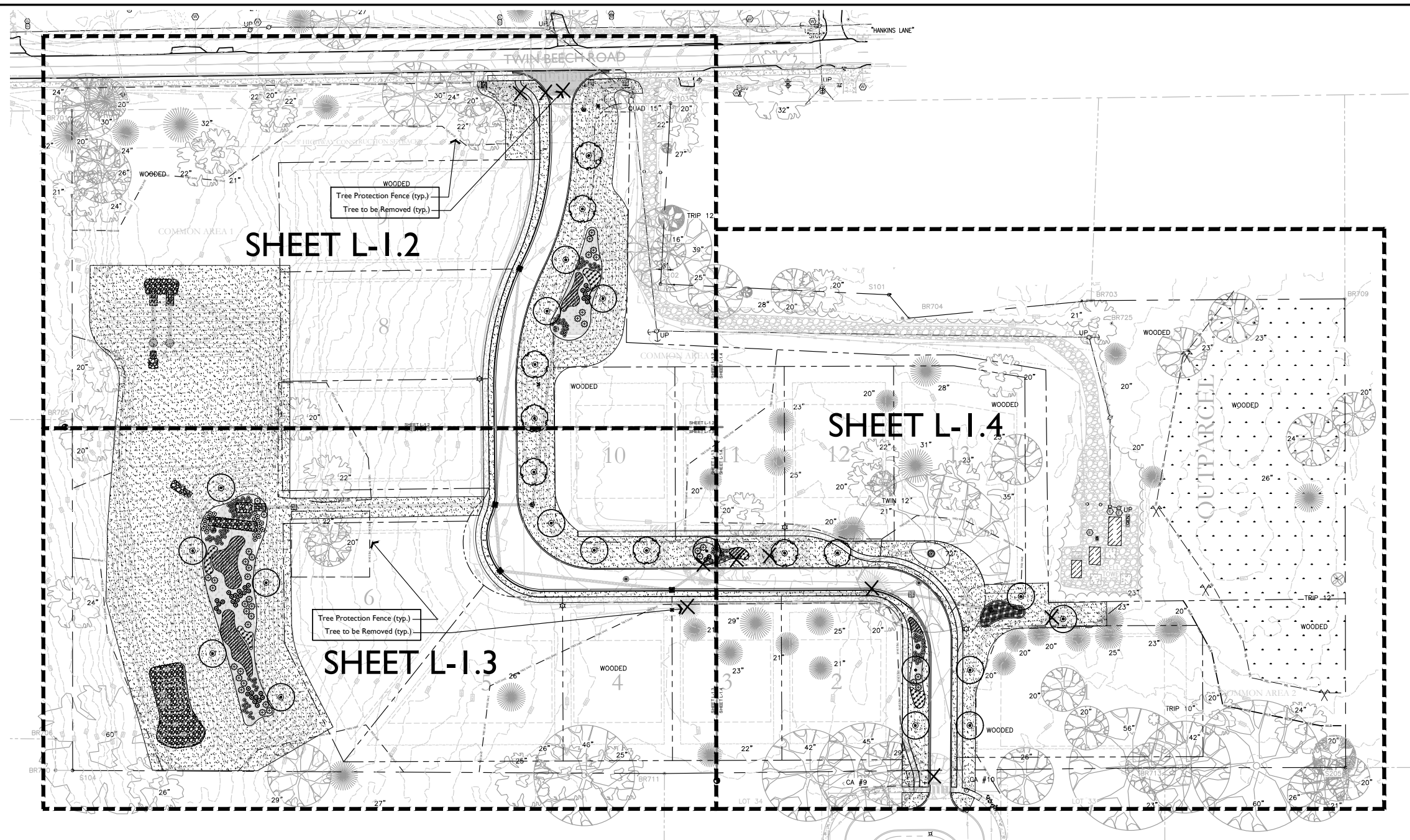
JANUARY 14, 2026

WATTIER SURVEYING, INC.
PROFESSIONAL LAND SURVEYORS

4318 DOWNTOWNER LOOP N., SUITE H
MOBILE, ALABAMA 36609 251-342-2640

THE PRESERVE AT POINT CLEAR

Twin Beech Road
Fairhope, AL









Confirm ALL tree removal with owner prior to ANY site disturbance. (Typ.)

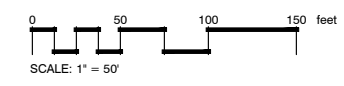
Tree Protection Notes:
Existing 'Heritage' Trees Exist. See detail for protection during construction as required by City of Fairhope Ordinance No. 1444 Sec.20.5-6
No site disturbance shall occur without properly installing the required tree protection.

Erecting Barriers is essential to protecting trees during construction. The Subdivider shall provide construction fences around all significant trees. Allow one foot of space from the trunk for each inch of trunk diameter. The intent is not merely to protect the above ground portion of the trees, but also the root systems. The fenced area shall be clear of building materials, waste, and excess soil. No digging, trenching or other soil disturbance shall be allowed in the fenced area.
Fines for not complying with the City of Fairhope's Ordinance 1193, tree protection, will be levied in accordance to the City of Fairhope's restitution table.

- Notes:
- 1- See city tree protection ordinance sec. 20.5-6 for required tree protection measures.
 - 2- No pruning shall be performed except by approved arborist.
 - 3- No equipment shall operate inside the protective fencing including during fence installation and removal.
 - 4- Tree protection fence shall be installed prior to any landscape disturbance.
 - 5- No entry, storage, or temporary parking shall be allowed inside fence.

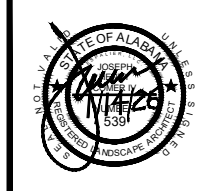
EXISTING TREE INVENTORY LEGEND:

-  LIVE OAK
-  PECAN
-  OAK
-  PINE
-  CHERRY
-  CAMPHOR



- NOTES:
1. BASE SURVEY PROVIDED BY JADE CONSULTING.
 2. LOCATION OF STRUCTURES, HARDSCAPE, AND EXISTING VEGETATION SHALL BE FIELD VERIFIED.
 3. VERIFY ALL LAYOUT AND DIMENSIONS IN FIELD.
 4. PLANT COUNTS ARE FOR CONVENIENCE ONLY. FIELD VERIFY ACCORDINGLY.
 5. CONTRACTOR IS RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE.
 6. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.
 7. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN DRAWINGS OR FIELD CONDITIONS.
 8. REFER TO ARCH. / CIVIL FOR ALL UTILITIES, GRADING, DRAINAGE, & HARDSCAPE.

1 TREE PROTECTION DETAIL
NOT TO SCALE



ISSUED/REVISED

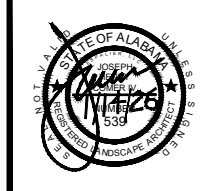
Permitting 12/22/25
Permitting 1/14/26

OVERALL LANDSCAPE PLAN

DESIGNED BY JC	FILE NAME PRESPLA
DRAWN BY JC	SHEET
PROJECT NO. 2585	L-1.1
DATE 12/18/25	

THE PRESERVE AT POINT CLEAR

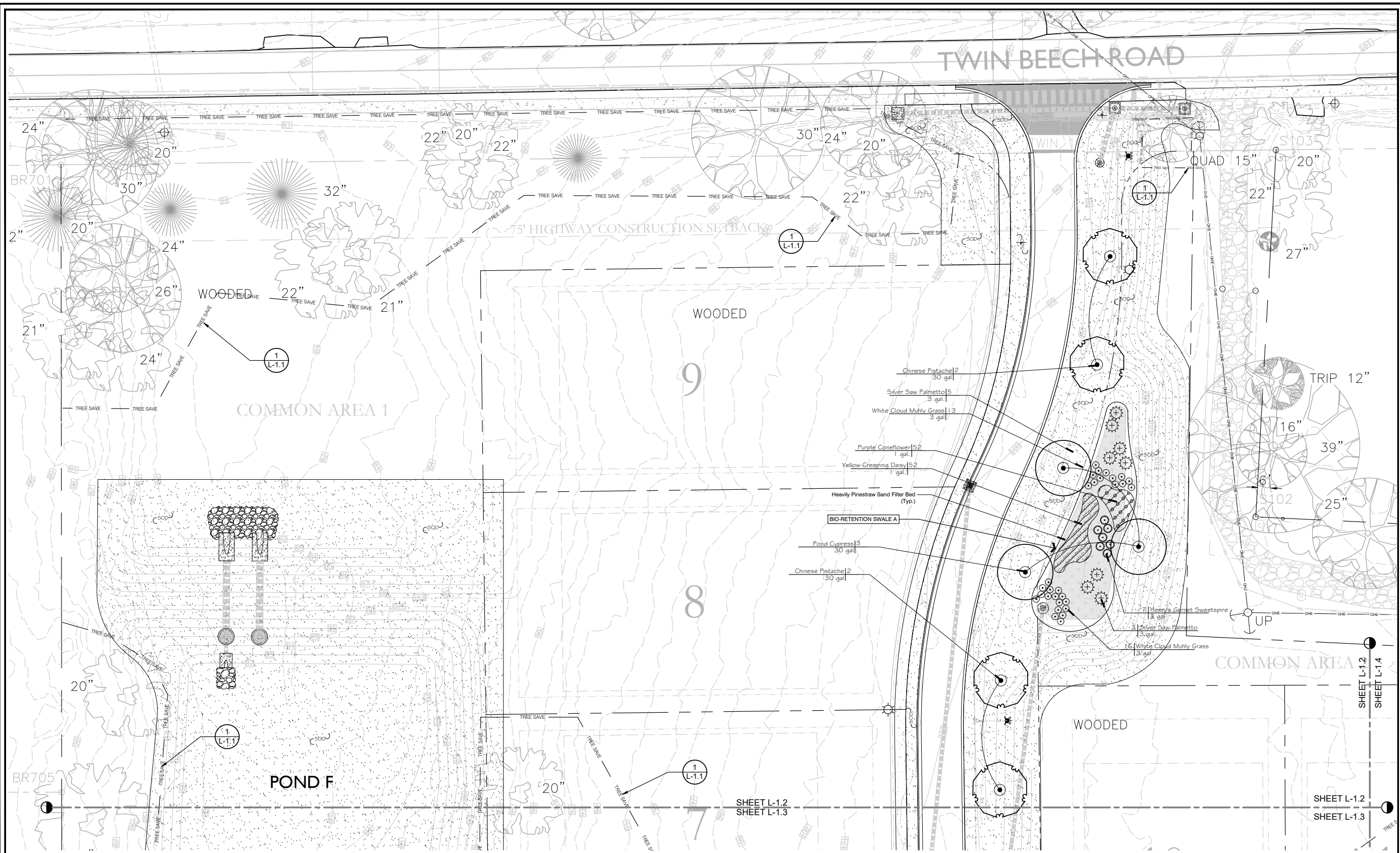
Twin Beech Road
Fairhope, AL



ISSUED/REVISED
Permitting 12/22/25
Permitting 1/14/26

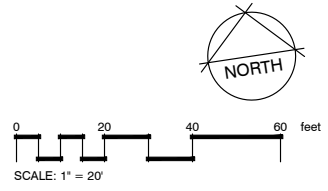
LANDSCAPE PLAN

DESIGNED BY JC	FILE NAME PRESPLA
DRAWN BY JC	SHEET L-1.2
PROJECT NO. 2585	
DATE 12/18/25	



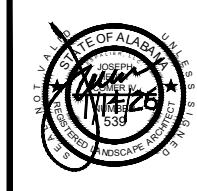
- NOTES:
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 2. LOCATION OF STRUCTURES, HARDSCAPE, AND EXISTING VEGETATION SHALL BE FIELD VERIFIED.
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 7. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN DRAWINGS OR FIELD CONDITIONS.
 8. REFER TO ARCH. / CIVIL FOR ALL UTILITIES, GRADING, DRAINAGE, & HARDSCAPE.

- NOTES:
1. All areas disturbed by construction shall be sodded or mulched unless otherwise noted.
 2. Any sod in Right of Way shall be hand watered until established.
 3. NO WORK SHALL BE PERFORMED WITH IN THE CITY RIGHT OF WAY WITHOUT WRITTEN PERMISSION FROM THE GOVERNING AUTHORITY.
 4. See sheet L-1.2-L-1.5 for details & schedule.
 5. Refer to Civil / Architectural drawings for all grading, drainage, utilities, hardscape, & structures.



THE PRESERVE AT POINT CLEAR

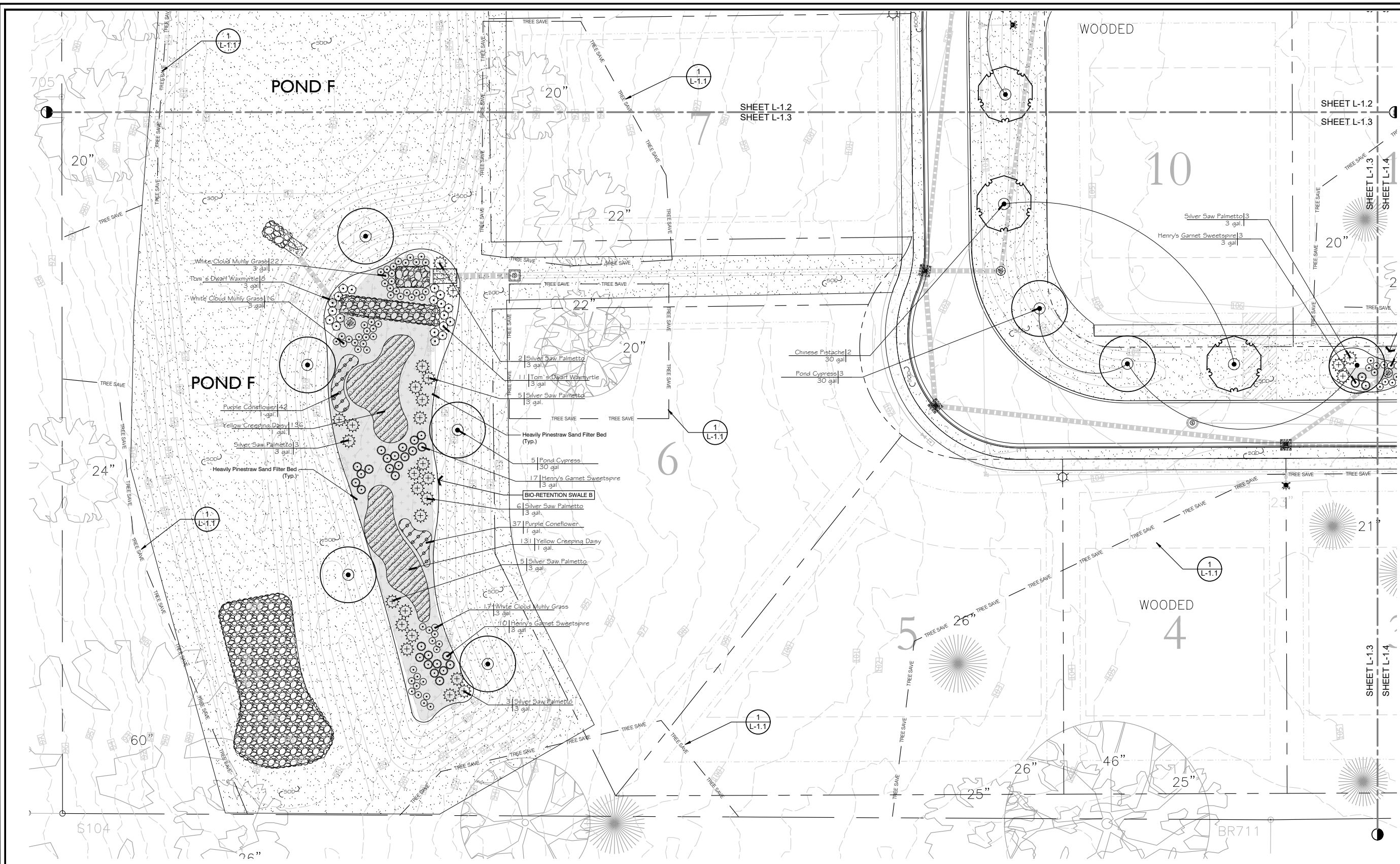
Twin Beech Road
Fairhope, AL



ISSUED/REVISED
Permitting 12/22/25
Permitting 1/14/26

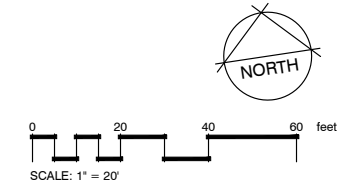
LANDSCAPE PLAN

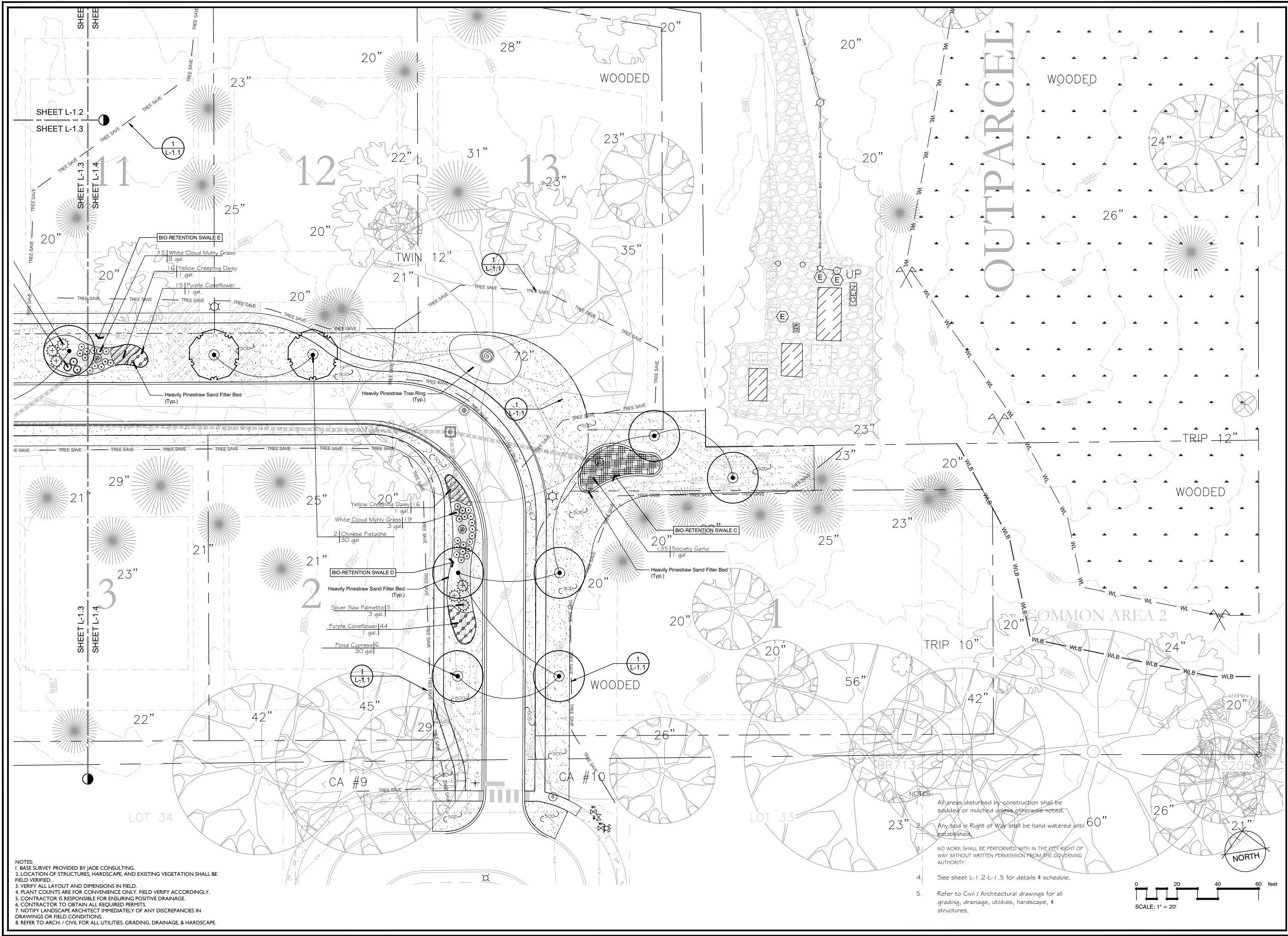
DESIGNED BY JC	FILE NAME PRESPLA
DRAWN BY JC	SHEET
PROJECT NO. 2585	L-1.3
DATE 12/18/25	



- NOTES:
1. BASE SURVEY PROVIDED BY JADE CONSULTING.
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 7. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN DRAWINGS OR FIELD CONDITIONS.
 8. REFER TO ARCH. / CIVIL FOR ALL UTILITIES, GRADING, DRAINAGE, & HARDSCAPE.

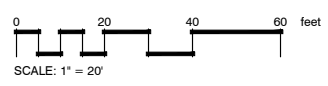
- NOTES:
1. All areas disturbed by construction shall be sodded or mulched unless otherwise noted.
 2. Any sod in Right of Way shall be hand watered until established.
 3. NO WORK SHALL BE PERFORMED WITH IN THE CITY RIGHT OF WAY WITHOUT WRITTEN PERMISSION FROM THE GOVERNING AUTHORITY.
 4. See sheet L-1.2-L-1.5 for details & schedule.
 5. Refer to Civil / Architectural drawings for all grading, drainage, utilities, hardscape, & structures.





NOTES:
 1. BASE SURVEY PROVIDED BY JADE CONSULTING.
 2. LOCATION OF STRUCTURES, HARDSCAPE, AND EXISTING VEGETATION SHALL BE FIELD VERIFIED.
 3. VERIFY ALL LAYOUT AND DIMENSIONS IN FIELD.
 4. PLANT COUNTS ARE FOR CONVENIENCE ONLY. FIELD VERIFY ACCORDINGLY.
 5. CONTRACTOR IS RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE.
 6. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.
 7. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN DRAWINGS OR FIELD CONDITIONS.
 8. REFER TO ARCH. / CIVIL FOR ALL UTILITIES, GRADING, DRAINAGE, & HARDSCAPE.

NOTES:
 1. All areas disturbed by construction shall be sodded or mulched unless otherwise noted.
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 3. NO WORK SHALL BE PERFORMED WITH IN THE CITY RIGHT OF WAY WITHOUT WRITTEN PERMISSION FROM THE GOVERNING AUTHORITY.
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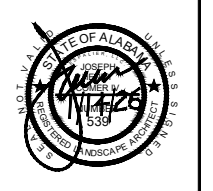


Espalier, LLC
 302 Hwy 1247
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 P: 251.454.3500
 espalierdesign.com

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THE PRESERVE AT POINT CLEAR

Twin Beech Road
 Fairhope, AL



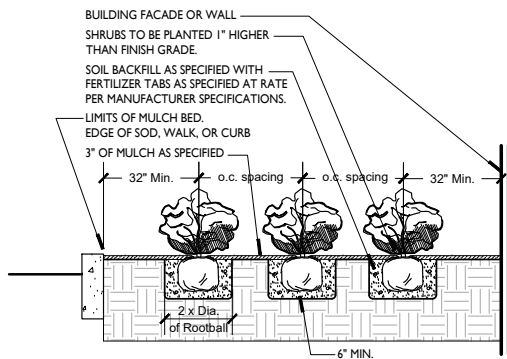
ISSUED/REVISED
 Permitting 12/22/25
 Permitting 1/14/26

LANDSCAPE PLAN

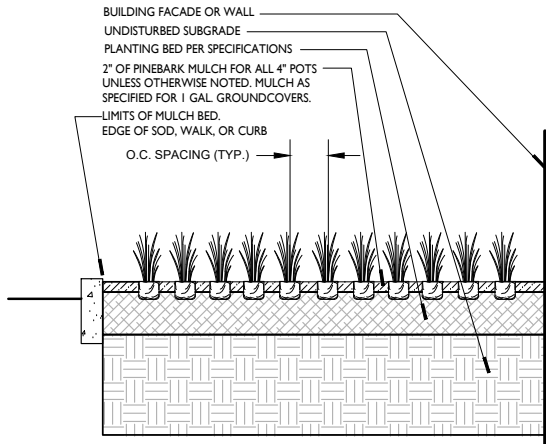
DESIGNED BY JC	FILE NAME PRESPLA
DRAWN BY JC	SHEET L-1.4
PROJECT NO. 2585	DATE 12/18/25

LANDSCAPE NOTES:

- This section covers furnishing and installing all landscape plants and non-plant materials covered by the drawings and these specifications. The work shall include materials, labor, equipment and services as described herein and indicated on the drawings. Also, the work shall include the maintenance of all plants and planting areas until acceptance by the Owner, and fulfillment of all guarantee provisions as herein specified.
- Before beginning work, the contractor shall thoroughly acquaint himself with the existing site conditions and proposed plans. The intent is to provide a smooth transition between existing conditions that are to remain and the new site features with minimal damage to existing trees and vegetation.
- Contractor is made aware of active existing underground utilities. It is the contractor's responsibility to familiarize himself with the location of said utilities and other obstructions. The contractor shall investigate and verify, in the field, the existence and location of all utilities and any existing irrigation piping, and take necessary precautions to prevent their disturbance and avoid interruption of service. Contractor is responsible for calling appropriate line location service. All damaged utilities shall be replaced to owners satisfaction by contractor with no additional charge to owner.
- Discrepancies between site conditions and conditions on plans shall be call to the attention of the Owner immediately.
- Existing grades shall be verified in field prior to beginning any work. Discrepancies shall be brought to the landscape architects attention immediately. Landscape contractor to provide fine grading to ensure positive drainage.
- The landscape architect shall have the right to reject any and all work and/or materials at any stage of progress which in his opinion do not meet the requirements of these plans and specifications. Such rejected material shall be removed from the site immediately and replaced with acceptable materials.
- Landscape contractor is responsible for obtaining all state and local permits and licenses required to perform this work.
- Landscape contractor shall abide by all state and local laws and ordinances. Contractor shall also conform to POA or ARB guidelines if applicable.
- All work shall comply with the current edition of the Standard Building Code published by the Southern Building Code Congress International, Inc.
- Topsoil shall be sandy/loam natural, friable, and fertile with a PH of 5.5 to 6.5. Topsoil shall be free from roots, stones, debris, noxious weeds, or any substance harmful to plant growth. Quality of Topsoil to be approved by Landscape Architect.
- Once delivered to the site, the contractor is responsible for the protection, including theft, of all materials.
- The landscape plan is to serve as a guide for installation. Field adjustment and changes to layout may be made by Landscape Architect.
- Contractor shall layout all plant material per planting plans and schedule a site meeting with landscape architect for approval with a minimum of 48 hours notice.
- Quantities shown on plant list are for convenience only.
- All groundcover & flower beds shall receive 3" minimum of planting mix consisting of decomposed pinebark or mushroom compost and blended into the top 6" of existing soil. Rake beds smooth and top dress with 2" min. of ground pinebark prior to planting.
- All tree and shrub planting pits shall be backfilled with 75% excavated soil & 25% planting mix consisting of decomposed pinebark or mushroom compost.
- All trees shrubs and groundcovers shall be planted with Woodace fertilizer tabs at rates per manufactures recommendations. All planting beds shall also be top dressed with a slow release Osmocote fertilizer or equal per manufactures recommendations prior to mulching.
- All beds shall receive Freehand pre-emergent herbicide or equal.
- Unless otherwise noted, all beds shall receive 3" compacted depth of fresh Long Leaf pine straw free from sticks and pine cones. Groundcover areas with 4" plants or plugs shall be mulched with pulverized pinebark mulch unless otherwise noted.
- All bed lines shall have 3" V-Shaped trenches. See detail.
- All plant material shall meet or exceed federal, state, and county laws requiring inspection for plant disease and insect control.
- All plant material shall be Florida #1 or better and meet the latest standards of the "American Standards for Nursery Stock".
- All trees shall be staked with arbor guy (or equal) tree stakes per manufactures recommendations.
- All disturbed areas shall be irrigated and sodded.
- Contractor shall maintain all plantings and lawn areas until final acceptance by owner and landscape architect. Unless specified otherwise, maintenance includes mowing, edging, weeding, blowing, pruning, watering, mulching, etc.
- Brown or defoliated plants shall be removed and replaced immediately.
- All materials and workmanship for landscape and irrigation shall be guaranteed for a minimum of one year from final acceptance.
- No work shall be performed in any R.O.W. without approval by the appropriate Federal, State, County, or City authority.

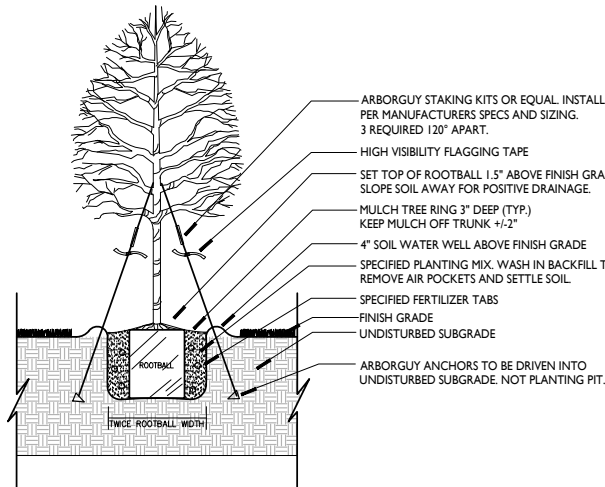


3 SHRUB PLANTING DETAIL
N.T.S. LA-02

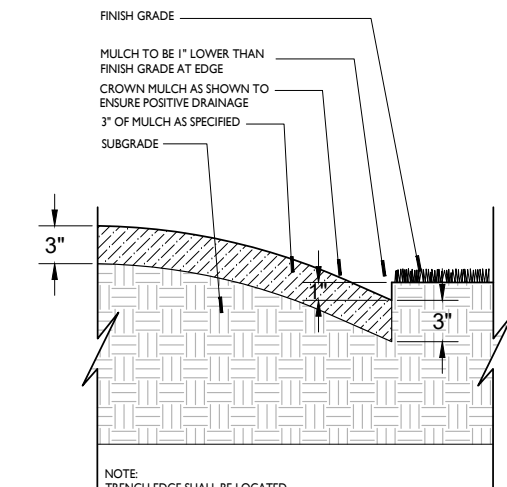


4 GROUNDCOVER PLANTING DETAIL
N.T.S. LA-03

1 LANDSCAPE NOTES
N.T.S. LA-16



2 TREE PLANTING
N.T.S. LA-01



5 TRENCH BED EDGE
N.T.S. LA-04

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPECS	REMARKS
TREES								
CP		8	Pistacia chinensis	Chinese Pistache	30 gal	8-10' Ht.	1.5" Cal. Min.	Gerald Foret Nursery, Approve Photo with LA.
TA		17	Taxodium ascendens	Pond Cypress	30 gal	8-10' Ht.	2" Cal. Min.	Gerald Foret Nursery 337-365-4858 Specimen, Approve Photo with LA.

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	SPACING	REMARKS
SHRUBS								
IV		37	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	3 gal		48" o.c.	
MW		115	Muhlenbergia capillaris 'White Cloud'	White Cloud Muhly Grass	3 gal		36" o.c.	
DW		19	Myrica cerifera 'Tom's Dwarf'	Tom's Dwarf Waxmyrtle	3 gal		48" o.c.	
SC		38	Serenoa repens 'Cinerea'	Silver Saw Palmetto	3 gal.		72" o.c.	

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS
GROUND COVERS								
CT		113,262 sf	Cynodon dactylon 'Tif 419'	419 Bermuda Grass	sod			Contractor shall verify quantity.
EP		190	Echinacea purpurea	Purple Coneflower	1 gal.		24" o.c.	
TV		135	Tulbaghia violacea	Society Garlic	1 gal		24" o.c.	
WT		351	Wedelia trilobata	Yellow Creeping Daisy	1 gal.		30" o.c.	

- NOTES:**
- LONG LEAF PINESTRAW ALL TREE RINGS & BEDS EXCEPT 4" & 1 GAL. POTS.
 - 4" & 1 GAL. POTS TO BE PLANTED IN 3" OF PLANTING MIX AND TOP DRESSED WITH GROUND PINEBARK.
 - USE WOODACE FERTILIZER TABS IN ALL PLANTING PITS. SEE NOTES.
 - PREP. PLANTING PITS & GROUNDCOVER AREAS WITH PLANTING MIX. SEE NOTES.
 - THIS PLANT LIST IS FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY.
 - SEE LANDSCAPE NOTES.

- APPROVED NURSERIES:**
- GREEN FOREST NURSERY
 - FLOWERWOOD NURSERY
 - CHERRY LAKE NURSERY
- Other nurseries may be approved at the discretion of the landscape architect.

EXISTING STREET TREE CREDITS:

#1-72" Live Oak 1/8 = 7
No more than 7 credits allowed for one tree.

CITY OF FAIRHOPE SUBDIVISION LANDSCAPE REQUIREMENTS:
One (1) tree per 50' of lot frontage = 1373 / 50 = 27 Street Trees Required
7 R.O.W. Tree Credits: 27 - 7 = 20 Street Trees Required.

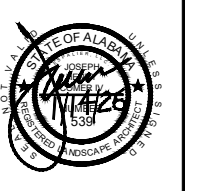


ESPALIER
landscape architecture
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espalierdesign.com

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THE PRESERVE AT POINT CLEAR

Twin Beech Road
Fairhope, AL

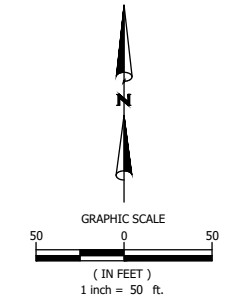
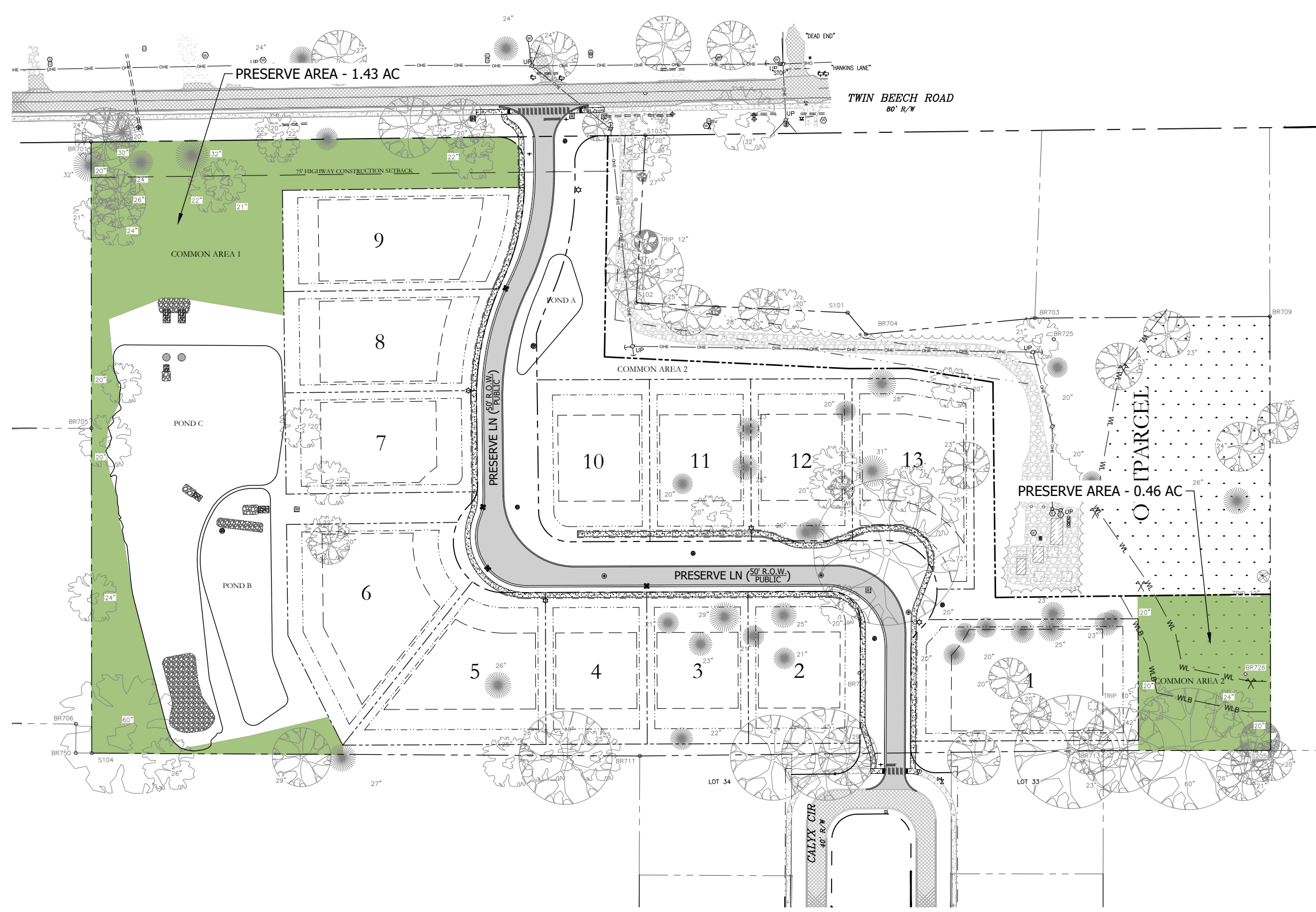


ISSUED/REVISED

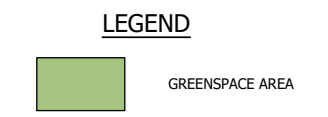
Permitting	12/22/25
Permitting	1/14/26
Permitting	1/15/26

LANDSCAPE DETAILS

DESIGNED BY JC	FILE NAME PRESPLA
DRAWN BY JC	SHEET
CHECKED BY JC	
PROJECT NO. 2585	L-1.5
DATE 12/18/25	



SITE DATA TABLE		
STATE OF ALABAMA COUNTY OF BALDWIN CITY OF FAIRHOPE		
TAX PARCEL ID:	05-46-09-30-0-000-021.000	
EXISTING ZONING:	R-1 - CITY OF FAIRHOPE	
TOTAL TRACT ACREAGE:	±11.41 ACRES	
LOT DATA:		
PROPOSED RES. LOTS:	13	
PROPOSED NET DENSITY:	1.14 LOTS/AC	
AVERAGE RES. LOT SIZE:	19,423 SF	
SMALLEST RES. LOT SIZE:	15,000 SF	
STREET DATA:		
R.O.W. WIDTH:	50'	
LINEAR FEET OF NEW STREETS:	1,017 LF	
SIDEWALK WIDTH:	5'	
BUILDING SETBACKS:		
FRONT:	40'	
SIDE:	10'	
SIDE (CORNER LOT):	20'	
REAR:	35'	
COMMON AREA REQUIREMENTS:		
	REQUIRED:	PROVIDED:
TOTAL COMMON AREA:	-	4.36 AC
USEABLE OPEN SPACE:	1.14 AC (10%)	1.89 AC (16.6%)
STORMWATER MANAGEMENT AREA:	-	1.30 AC
WETLAND AREA:	-	0.18 AC



TOTAL PROJECT AREA: 11.41 AC
TOTAL R.O.W. AREA: 1.27 AC
TOTAL WETLAND AREA: 0.18 AC
TOTAL GROSS AREA: 10.12 AC

NET DENSITY: 13 LOTS / 10.12 AC = 1.28 LOTS/AC
REQUIRED GREENSPACE: 1.14 AC (10%)
PROVIDED GREENSPACE: 1.89 AC (16.6%)

TABLE 4-1 ELLIGIBLE GREENSPACE TYPES (GREENSPACE AREA):
CA#1 - PRESERVE (1.43 AC)
CA#2 - PRESERVE (0.46 AC)

GREENSPACE EXHIBIT
THE PRESERVE AT POINT CLEAR
TWIN BEECH ROAD
FAIRHOPE, ALABAMA

THE PRESERVE AT POINT CLEAR

A SINGLE-FAMILY RESIDENTIAL DEVELOPMENT

FAIRHOPE, AL

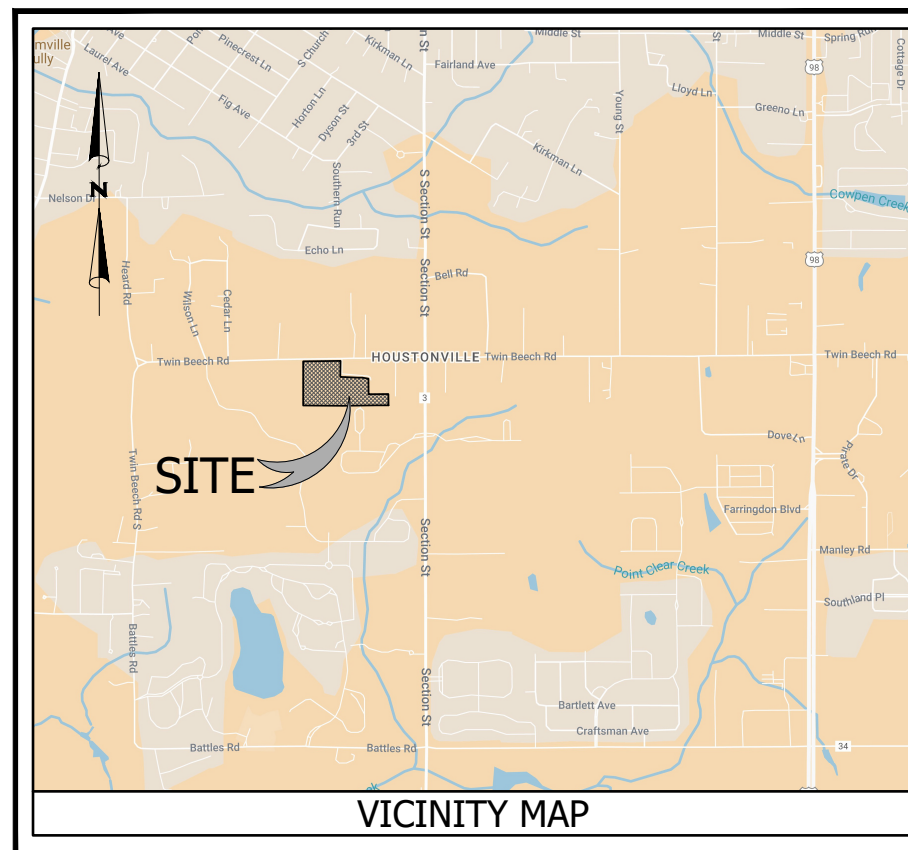
6796 TWIN BEECH RD.,
FAIRHOPE, AL 36532

GRADE, DRAIN, BASE AND PAVE
WATER DISTRIBUTION
SEWAGE COLLECTION SYSTEM

JANUARY 2026

INDEX TO SHEETS:

SHEET	DESCRIPTION
C1.0	CIVIL COVER SHEET
C1.1-C1.2	PRELIMINARY PLAT
C2.0	EXISTING CONDITIONS/DEMOLITION PLAN
C3.0	GENERAL LAYOUT
C4.0	TYPICAL ROADWAY SECTION
C5.0	ROADWAY ALIGNMENT PLAN
C6.0	SITE PLAN
C7.0	UTILITY PLAN
C8.0	GRADING PLAN
C9.0	DRAINAGE PLAN
C10.0	SANITARY AND STORM NETWORK TABLES
C11.0	PLAN AND PROFILE - EMORY LANE
C12.0	PLAN AND PROFILE - SANITARY SEWER NETWORK
C13.0-C13.1	PLAN AND PROFILE - STORM NETWORK
C14.0	EROSION CONTROL PLAN
C15.0-C15.1	EROSION CONTROL DETAILS
C16.0	CIVIL CONSTRUCTION NOTES
C17.0-C17.7	CIVIL CONSTRUCTION DETAILS
C18.0	TRAFFIC CONTROL PLAN
C19.0-C19.3	CROSS-SECTION - EMORY LANE
L-1.1 - L-1.5	LANDSCAPE PLAN



NOT TO SCALE

UTILITY INFORMATION	
CONTRACTOR SHALL HAVE ALL EXISTING BURIED UTILITIES "LINE SPOTTED" BY CALLING 1-800-292-8925 (ALABAMA ONE-CALL) OR BY CONTACTING LOCAL UTILITY COMPANIES	
WATER & SEWER:	FAIRHOPE PUBLIC UTILITIES 555 SOUTH SECTION ST., FAIRHOPE, AL, 36532 DARYL MOREFIELD (251)928-8003
GAS:	FAIRHOPE PUBLIC UTILITIES 555 SOUTH SECTION ST. FAIRHOPE, AL, 36532 WES BOYETT (251)928-8003
POWER:	RIVIERA UTILITIES 413 E. LAUREL AVE, FOLEY, AL, 36535 STEPHEN TIRADOR (251)943-5001
TELEPHONE:	AT&T 2155 OLD SHELL ROAD, MOBILE, AL, 36607 WADE MITCHELL (251)471-8361



POSTED SPEED LIMIT
TWIN BEECH RD



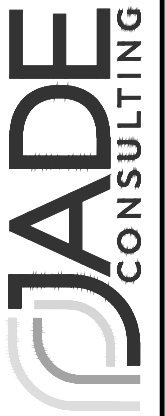
POSTED SPEED LIMIT
EMORY LANE

PREPARED FOR:

ACHEE PROPERTIES
19252 HIGHWAY 181
FAIRHOPE, AL 36532
ACHEEBUILDERS@GMAIL.COM
WWW.ACHEEBUILDERS.COM
(251)-379-6218

NOTE:

NO CONSTRUCTION AND/OR LAND DISTURBANCE, EXCEPT THOSE NECESSARY TO INSTALL THE BMP'S, SHALL BEGIN ON THIS PROJECT UNTIL THE BMP PLAN HAS BEEN INSTALLED AND APPROVED BY THE CITY/COUNTY.



Jinright & Associates Development Engineers
208 Greeno Road North Fairhope, Alabama 36532
P.O. Box 1929 Fairhope, Alabama 36533
Phone: (251) 928-3443 Fax: (251) 928-3665
jadengineers.com (AL) CA-3157-E



THE PRESERVE AT POINT CLEAR
ACHEE PROPERTIES

NOTES:

1. ALL NEW WORK SHOWN IN THESE PLANS SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL BUILDING AND UTILITY INSTALLATION CODES.
2. NO WORK SHALL COMMENCE, INCLUDING DEMOLITION, UNTIL ALL APPLICABLE EROSION CONTROL MEASURES HAVE BEEN INSTALLED, INSPECTED BY THE PROJECT ENGINEER, AND APPROVED.
3. EROSION CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO ANY CLEARING OR EARTHWORK OPERATIONS AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL PERMANENT GROUND COVER IS ESTABLISHED IN ALL DISTURBED AREAS.

DEMOLITION NOTE:

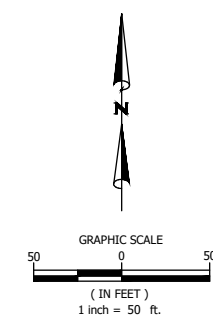
1. ALL DEMOLITION TO BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS.
2. TREES FOR REMOVAL ARE MARKED WITH A DEMOLITION "X".
3. CLEAR AND GRUB ALL AREAS WITHIN POND AND ROADWAY FOOTPRINTS.

FLOOD ZONE NOTE:

ACCORDING TO THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP NO. 010030757 L, DATED APRIL 19, 2019, THE ABOVE DESCRIBED PROPERTY IS LOCATED IN FLOOD HAZARD AREAS "X-UNSHADED" AS DETERMINED BY GRAPHIC SCALING.

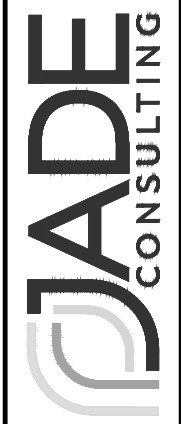
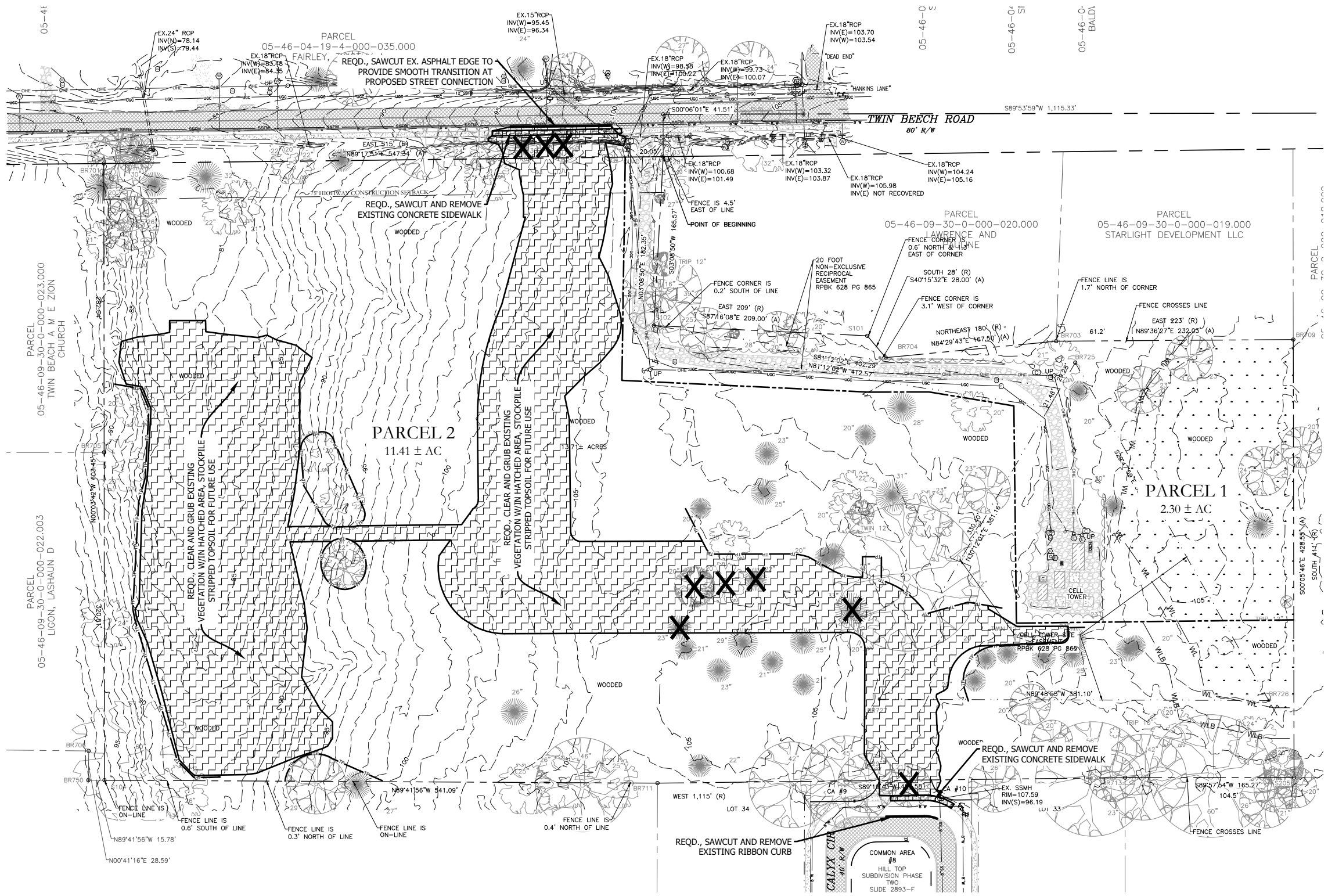
EXISTING UTILITIES DISCLAIMER:

EXISTING UTILITIES INDICATED ON THESE PLANS ARE BASED ON AVAILABLE INFORMATION. CONTRACTOR IS REQUIRED TO VERIFY LOCATION, BURY DEPTH, SIZE AND MATERIAL TYPE PRIOR TO ANY UTILITY IMPROVEMENTS. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES THAT ARE FOUND.



LEGEND

- BENCHMARK
- CAPPED ROD SET
- RIGHT-OF-WAY
- CENTERLINE
- EXIST. PROPERTY LINE
- PROPERTY LINE (ADJACENT)
- EXIST. EASEMENT LINE
- EXIST. WETLAND LINE
- EXIST. WETLAND BUFFER LINE
- EXIST. OVERHEAD UTILITY AND UTILITY POLE
- EXIST. GUY WIRE AND UTILITY POLE
- EXIST. WATER LINE
- EXIST. SANITARY SEWER LINE
- EXIST. GAS LINE
- EXIST. UNDERGROUND CABLE LINE
- EXIST. FENCE LINE
- EXIST. PIPE
- EXIST. POWER POLE
- EXIST. WATER METER
- EXIST. WATER VALVE
- EXIST. FIRE HYDRANT
- EXIST. FIRE VALVE
- EXIST. COMMUNICATIONS VAULT
- EXIST. MAILBOX
- EXIST. ASPHALT PAVING
- EXIST. CONCRETE
- EXIST. GRAVEL
- EXIST. 1 FOOT CONTOUR
- EXIST. 5 FOOT CONTOUR
- EXIST. GRADE SPOT ELEVATION
- TO BE REMOVED
- TO BE REMOVED
- TO BE REMOVED
- TREE PROTECTION



2018 Cicero Rd, North, Ste. C
 Fairhope, Alabama 36532
 P.O. Box 1029
 Fairhope, Alabama 36533
 Phone: (251) 928-3443
 jade@jadeconsulting.com
 (AL) CA-3157-E



NO.	REVISION	DATE	APPR.
1.	DRC COMMENTS	01-14-2026	

EXISTING CONDITIONS/DEMOLITION PLAN
THE PRESERVE AT POINT CLEAR
ACHEE PROPERTIES

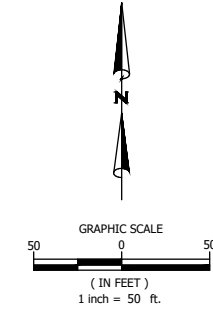
SURVEY PROVIDED BY:
WATTIER SURVEYING, INC.
PROFESSIONAL LAND SURVEYORS
 4318 Downtowner Loop N., Suite H
 Mobile, Alabama 36609 251-342-2640

JOB NO: 25-1971.20
 SCALE: 1" = 50'
 DATE: JAN 2026
 DRAFTER: BS, WMG
 SHEET: **C2.0**

SIDEWALK & RAMP NOTES:
 1. ALL ADA RAMPS AND CROSSWALK STRIPING WITHIN THE R.O.W., AS WELL AS ALL SIDEWALKS SHALL BE CONSTRUCTED AT THIS TIME.

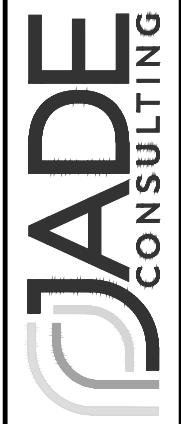
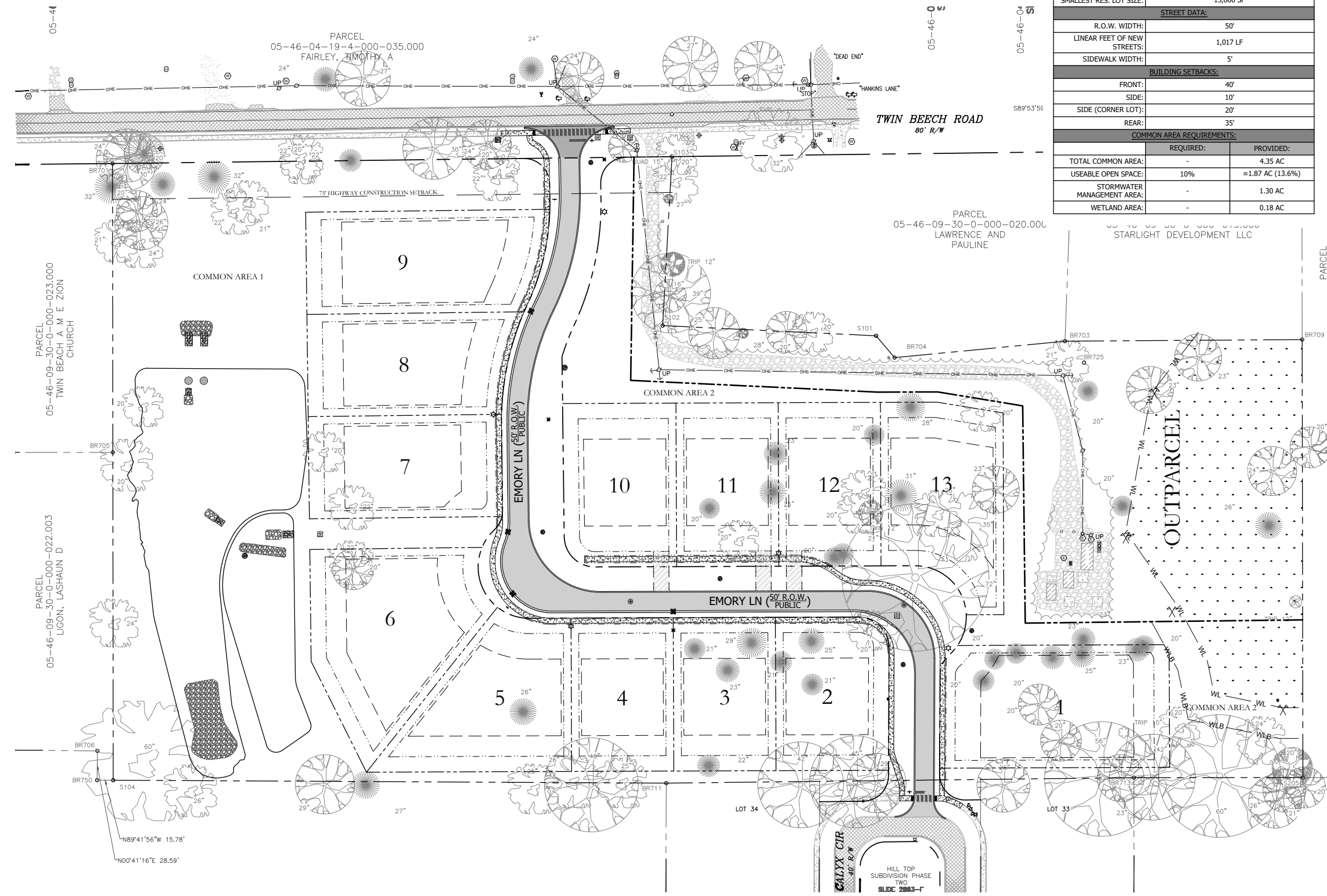
SITE DATA TABLE

STATE OF ALABAMA COUNTY OF BALDWIN CITY OF FAIRHOPE	
TAX PARCEL ID:	05-46-09-30-0-000-021.000
EXISTING ZONING:	R-1 - CITY OF FAIRHOPE
TOTAL TRACT ACREAGE:	±11.42 ACRES
LOT DATA:	
PROPOSED RES. LOTS:	13
PROPOSED NET DENSITY:	1.14 LOTS/AC
AVERAGE RES. LOT SIZE:	19,421 SF
SMALLEST RES. LOT SIZE:	15,000 SF
STREET DATA:	
R.O.W. WIDTH:	50'
LINEAR FEET OF NEW STREETS:	1,017 LF
SIDEWALK WIDTH:	5'
BUILDING SETBACKS:	
FRONT:	40'
SIDE:	10'
SIDE (CORNER LOT):	20'
REAR:	35'
COMMON AREA REQUIREMENTS:	
TOTAL COMMON AREA:	REQUIRED: - PROVIDED: 4.35 AC
USEABLE OPEN SPACE:	10% ±1.87 AC (13.6%)
STORMWATER MANAGEMENT AREA:	1.30 AC
WETLAND AREA:	0.18 AC



LEGEND

- BENCHMARK
- CAPPED ROD SET
- RIGHT-OF-WAY
- CENTERLINE
- EXIST. PROPERTY LINE
- PROPERTY LINE (ADJACENT)
- EXIST. EASEMENT LINE
- EXIST. WETLAND LINE
- EXIST. WETLAND BUFFER LINE
- EXIST. OVERHEAD UTILITY AND UTILITY POLE
- EXIST. GUY WIRE AND UTILITY POLE
- EXIST. WATER LINE
- EXIST. SANITARY SEWER LINE
- EXIST. GAS LINE
- EXIST. UNDER GROUND CABLE LINE
- EXIST. FENCE LINE
- EXIST. PIPE
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT LINE
- PROPOSED SETBACK LINE
-
-
-
- EXIST. POWER METER
- EXIST. WATER METER
- EXIST. WATER VALVE
- EXIST. FIRE HYDRANT
- EXIST. FIRE HYDRANT
- EXIST. FIRE HYDRANT
- EXIST. COMMUNICATIONS VAULT
- EXIST. MAILBOX
- EXIST. ASPHALT PAVING
- EXIST. CONCRETE
- EXIST. GRAVEL
- PROPOSED TYPICAL BUILDUP ASPHALT
- PROPOSED COUNTY BUILDUP ASPHALT
- PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH)
- PROPOSED HEAVY DUTY CONCRETE (BROOM FINISH)
- PROPOSED DRIVEWAY LOCATION



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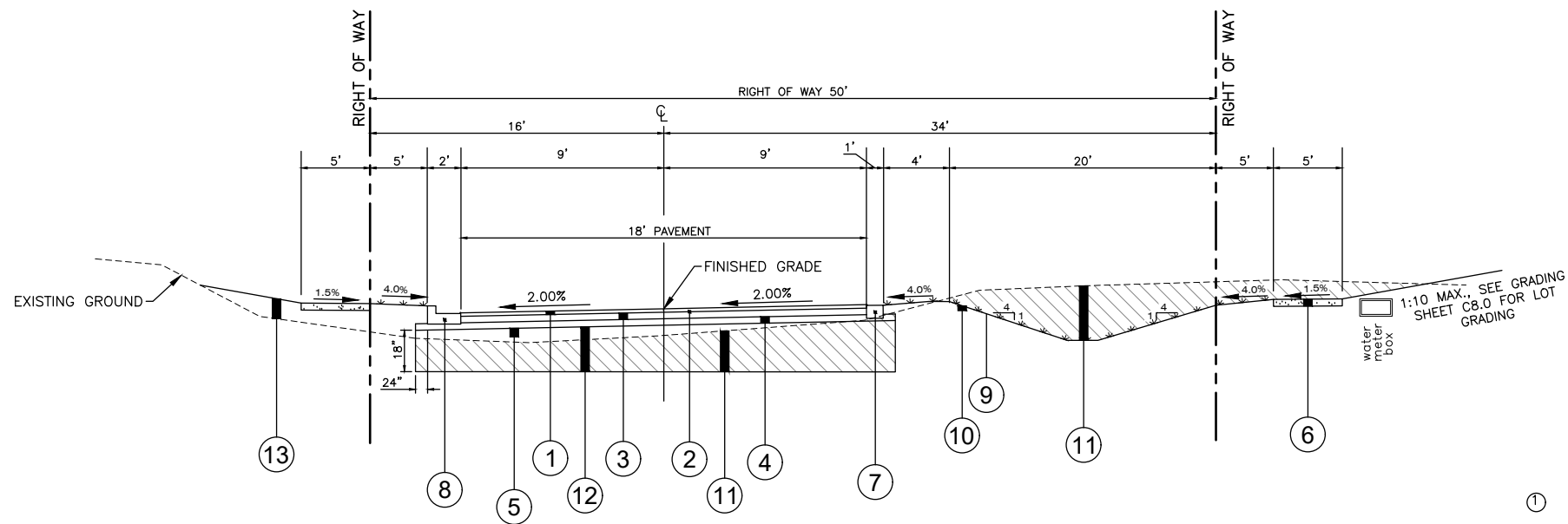


NO.	REVISION	DATE	APPR.
1.	DRC COMMENTS	01-14-2026	

**GENERAL LAYOUT
 THE PRESERVE AT POINT CLEAR
 ACHEE PROPERTIES**

JOB NO: 25-1971.20
 SCALE: 1" = 50'
 DATE: JAN 2026
 DRAFTER: BS, WMG
 SHEET:

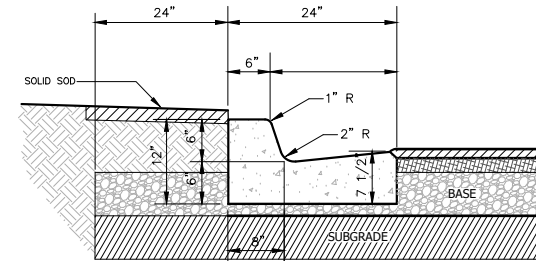
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TYPICAL ROADWAY SECTION
 EMORY LANE STA 2+06 TO STA 10+27
 (NOT TO SCALE)

* THERE IS NO SIDEWALK ON THE RIGHT SIDE OF THE ROADWAY FROM STA 5+05 TO STA 10+27

ALL GRADING AND PAVING SHALL CONFORM WITH GEOTECH REPORT PROVIDED BY GEOCON ENGINEERING & MATERIALS TESTING, INC. DATED DECEMBER 30, 2025 PROJECT NO. DL 5149-25.

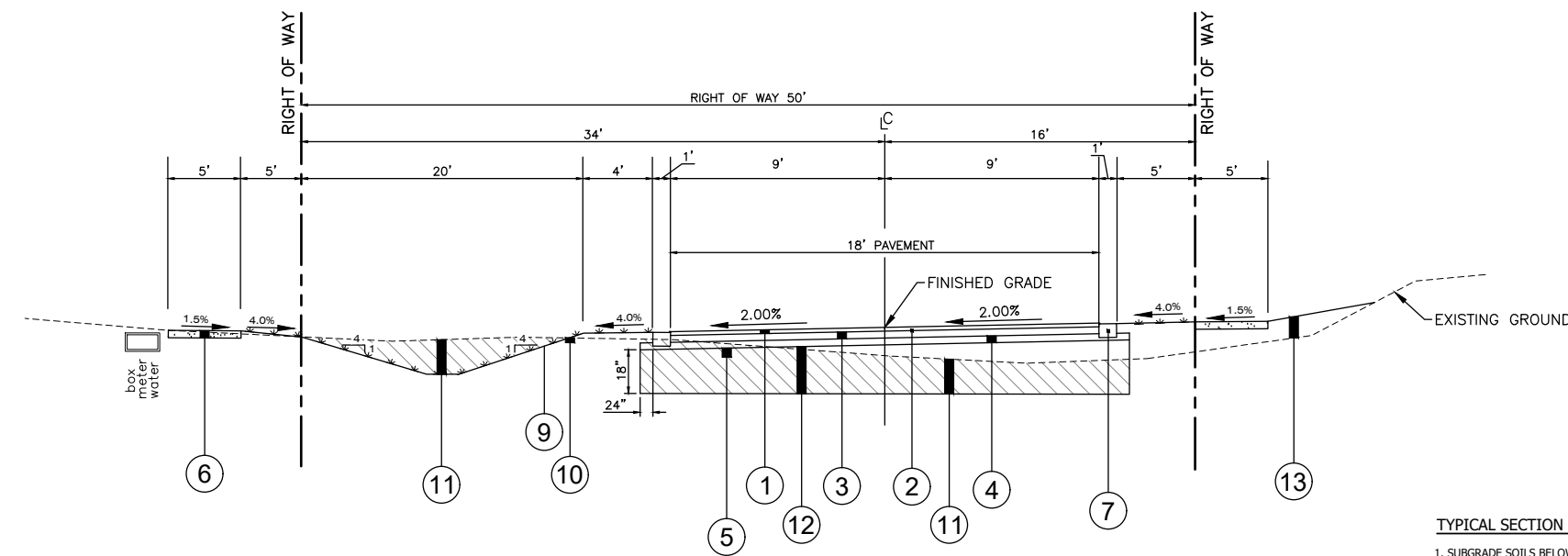


NOTE:

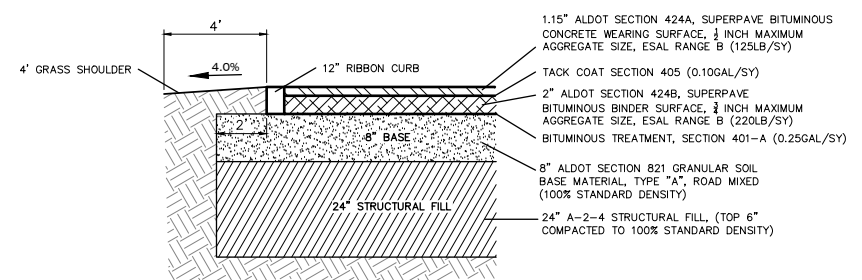
- CURB TO BE PLACED BY SLIP FORM METHOD OR APPROVED EQUAL.
- TRAVERSE JOINTS TO BE FORMED IN CONCRETE INTEGRAL CURB DIRECTLY OVER EACH TRAVERSE JOINT IN PAVING OR GUTTER.
- CONTRACTION JOINTS TO BE PLACED AT 10' INTERVALS AND EXPANSION JOINTS TO BE PLACED AT 50' INTERVALS.
- GRADING AND SOD PLACEMENT SHALL BE INSTALLED TO ENSURE POSITIVE SURFACE WATER DRAINAGE OVER TOP OF CURB.
- EXPANSION JOINTS: USE PREMOULDED EXPANSION JOINT FILLER CONFORMING TO ASTM D1751 OR D1752 (OR APPROVED EQUAL)

TYPE M-2 (ALDOT)
 (OR APPROVED EQUAL)

- ITEM 424-A, SUPERPAVE BITUMINOUS CONCRETE WEARING SURFACE LAYER, 3/4" MAXIMUM AGGREGATE SIZE MIX, ESAL RANGE B, (220 LB/SY) (PER SQ. YD.)
- ITEM 401-A, BITUMINOUS TREATMENT, TYPE 'A', PRIME COAT(0.25 GAL/SY) (PER SQ. YD.)
- ITEM 821-A, UPPER GRANULAR SOIL BASE COURSE, TYPE A, ROAD MIXED, 4" MINIMUM COMPACTED THICKNESS (PER SQ. YD.)
- ITEM 821-A, LOWER GRANULAR SOIL BASE COURSE, TYPE A, ROAD MIXED, 4" MINIMUM COMPACTED THICKNESS, SHALL EXTEND 2' MINIMUM BEYOND BACK OF VALLEY GUTTER (PER SQ. YD.)
- ITEM 230-A, IMPROVED ROADBED PROCESSING (PER STATION)
- ITEM 618-A, CONCRETE SIDEWALK, 5' WIDE, 4" THICKNESS, MINIMUM 3,000 PSI (PER SQ. YD.)
- ITEM 623-B, CONCRETE RIBBON CURB, 12" WIDE, MINIMUM 3,000 PSI (PER LINEAR FT.)
- ITEM 623-C, CONCRETE COMBINATION CURB & GUTTER, 24" WIDE, MINIMUM 3,000 PSI (PER LINEAR FT.)
- ITEM 654-A, SOLID SODDING (PER SQ. YD.)
- ITEM 650-B, TOPSOIL FROM STOCKPILES, MINIMUM 4" COMPACTED THICKNESS (PER CU. YD.)
- ITEM 210-A, UNCLASSIFIED EXCAVATION (PER CU. YD. IN PLACE)
- ITEM 210-D, BORROW EXCAVATION, SELECT SAND STRUCTURAL FILL (18" THICK)(PER CU. YD. IN PLACE) AS REQUIRED BY GEOTECHNICAL ENGINEER REPORT DL 5149-25
- ITEM 210-D, BORROW EXCAVATION, SELECT FILL FROM ON-SITE CUTS (PER CU. YD. IN PLACE) AS REQUIRED BY GEOTECHNICAL ENGINEER REPORT DL 5149-25



TYPICAL ROADWAY SECTION
 EMORY LANE STA 0+10 TO STA 2+06
 (NOT TO SCALE)



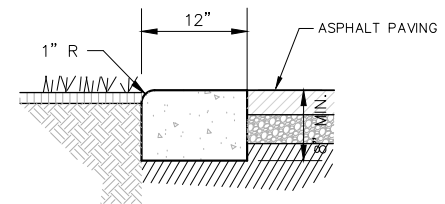
COUNTY ASPHALT BUILDUP
 ACCESS DRIVE W/IN SECTION ST. R.O.W.

TYPICAL SECTION NOTES:

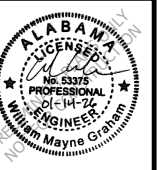
- SUBGRADE SOILS BELOW THE ROADWAYS AND 2' BEYOND THE PAVEMENT OR CURB LINE SHALL BE UNDERCUT TO A DEPTH THAT WILL ALLOW FOR PLACEMENT OF 18" OF STRUCTURAL FILL BELOW THE BOTTOM OF BASE ELEVATION.
- THE FULL WIDTH OF THE TYPICAL SECTION, FROM TIE POINT TO TIE POINT, SHALL BE GRADED AND PERMANENTLY STABILIZED PRIOR TO FINAL INSPECTION WITH CITY OF FAIRHOPE.
- SOLID SOD SHALL BE PROVIDED BETWEEN THE BACK OF CURB AND THE SIDEWALK AND IN ROADSIDE SWALES.
- EXPANSION JOINT MATERIAL SHALL BE PROVIDED AT ALL RADIUS POINTS ALONG THE CONCRETE RIBBON CURB, COMBINATION CURB & GUTTER AND SIDEWALKS. EXPANSION JOINT MATERIAL ALSO PROVIDED WHERE CURB ADJOINS CURB INLETS AND WHERE SIDEWALK AND CURB RAMPS ADJOIN EACH OTHER.

CONCRETE NOTE:

CONCRETE FOR ALL RIBBON CURB, COMBINATION CURB & GUTTER, AND SIDEWALKS SHALL BE MIN. 3,000 PSI.

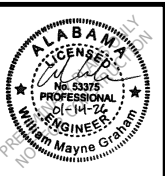


12" RIBBON CURB
 (OR APPROVED EQUAL)



NO.	REVISION	DATE	APPR.
1.	DRC COMMENTS	01-14-2026	

TYPICAL ROADWAY SECTION
 THE PRESERVE AT POINT CLEAR
 ACHEE PROPERTIES



NO.	REVISION	DATE	APPR.
1.	DRC COMMENTS	01-14-2026	

**ROADWAY ALIGNMENT PLAN
THE PRESERVE AT POINT CLEAR
ACHEE PROPERTIES**

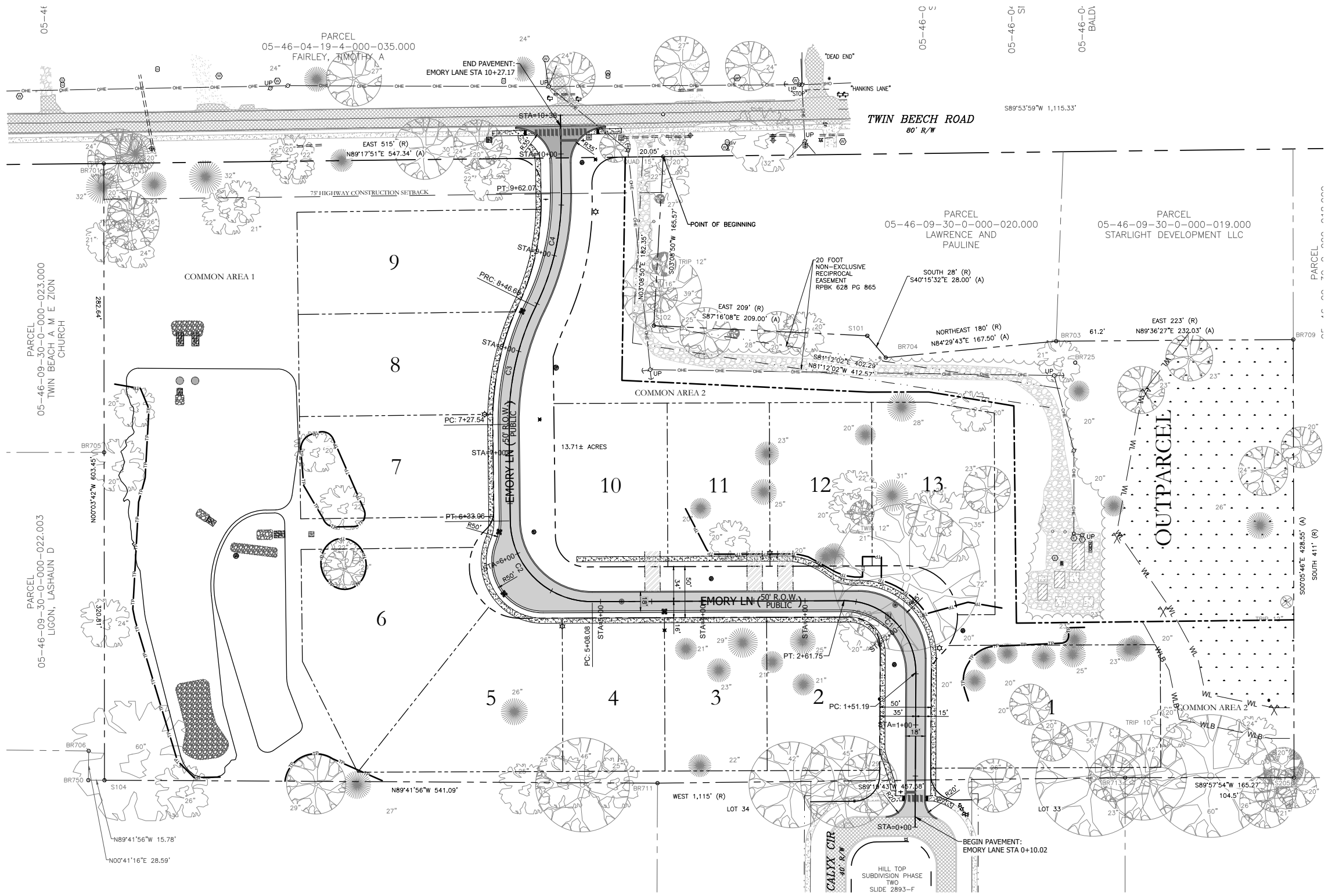
JOB NO: 25-1971.20
SCALE: 1" = 50'
DATE: JAN 2026
DRAFTER: BS, WMG
SHEET:



DIMENSION NOTE:
DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

AASHTO INTERSECTION SIGHT DISTANCE EMORY LANE TURNOUT	
REQUIRED @ 35 MPH DESIGN SPEED	
LEFT-TURN	390' (PER TABLE 9-7)
RIGHT-TURN	335' (PER TABLE 9-9)
PROVIDED	
LEFT-TURN	> 450'
RIGHT-TURN	> 550'

ALIGNMENT CURVE DATA								
CURVE #	RADIUS	DELTA ANGLE	CHORD LENGTH	CHORD BEARING	ARC LENGTH	TANGENT	PC STATION	PT STATION
C1	70.00'	90°29'23"	99.42'	N44°58'11.39"W	110.55'	70.60'	1+51.19	2+61.75
C2	80.00'	89°30'44"	112.65'	N45°27'31.13"W	124.98'	79.32'	5+08.08	6+33.06
C3	254.00'	26°52'28"	118.05'	N12°44'04.57"E	119.14'	60.69'	7+27.54	8+46.68
C4	246.00'	26°52'28"	114.33'	N12°44'04.57"E	115.39'	58.77'	8+46.68	9+62.07



LEGEND

- BENCHMARK
- CAPPED ROD SET
- RIGHT-OF-WAY
- CENTERLINE
- EXIST. PROPERTY LINE
- PROPERTY LINE (ADJACENT)
- EXIST. EASEMENT LINE
- EXIST. WETLAND LINE
- EXIST. WETLAND BUFFER LINE
- EXIST. OVERHEAD UTILITY AND UTILITY POLE
- EXIST. GUY WIRE AND UTILITY POLE
- EXIST. WATER LINE
- EXIST. SANITARY SEWER LINE
- EXIST. GAS LINE
- EXIST. UNDER GROUND CABLE LINE
- EXIST. FENCE LINE
- EXIST. PIPE
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT LINE
- PROPOSED SETBACK LINE
-
-
-
- EXIST. POWER POLE
- EXIST. WATER METER
- EXIST. WATER VALVE
- EXIST. FIRE HYDRANT
- EXIST. FIRE HYDRANT
- EXIST. FIRE HYDRANT
- EXIST. COMMUNICATIONS VAULT
- EXIST. MAILBOX
- EXIST. ASPHALT PAVING
- EXIST. CONCRETE
- EXIST. GRAVEL
- PROPOSED TYPICAL BUILDUP ASPHALT
- PROPOSED COUNTY BUILDUP ASPHALT
- PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH)
- PROPOSED HEAVY DUTY CONCRETE (BROOM FINISH)
- PROPOSED DRIVEWAY LOCATION

SIDEWALK & RAMP NOTES:

1. ALL ADA RAMP WITHIN THE R.O.W., AS WELL AS ALL SIDEWALKS SHALL BE CONSTRUCTED AT THIS TIME.

STRIPING NOTE:

1. ALL STOP BARS AND PAVEMENT STRIPING SHALL BE WHITE, CLASS 2, TYPE A, THERMOPLASTIC MARKINGS.

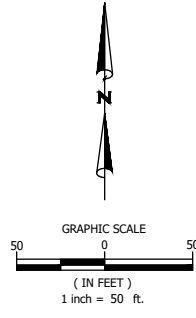
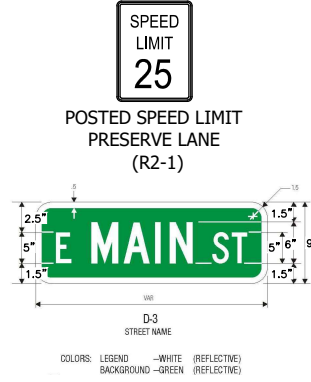
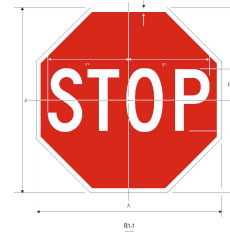
CONCRETE NOTE:

CONCRETE FOR ALL COMBINATION CURB & GUTTER, RIBBON CURB AND SIDEWALK SHALL BE MIN. 3,000 PSI.

SIGNAGE NOTES:

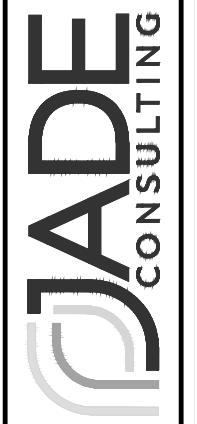
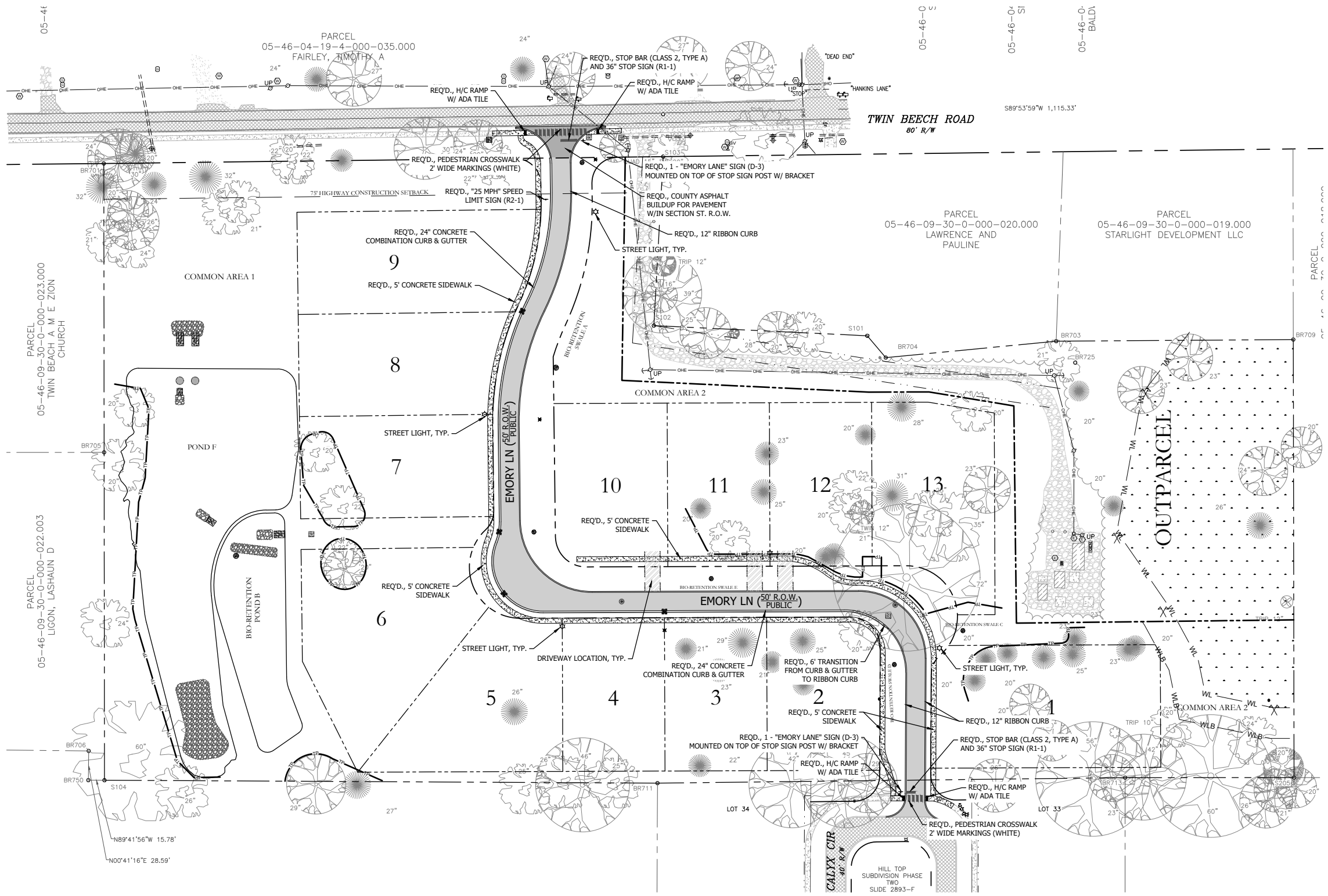
PROPER SIGNAGE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AS ADOPTED BY THE ALDOT SHALL BE INSTALLED PRIOR TO RECEIVING FINAL PLAT APPROVAL, AND MAINTAINED IN ALL SUBDIVISIONS, UNTIL SUCH TIME AS ROADS ARE ACCEPTED FOR MAINTENANCE BY THE CITY OF FAIRHOPE PLANNING COMMISSION. ALL PROPOSED SIGNAGE SHALL BE SHOWN AND DETAILED ON THE CONSTRUCTION PLANS. THE FOLLOWING MINIMUM STANDARDS SHALL BE ADHERED TO:

1. "R1-1" STOP SIGN - DIAMOND GRADE - MINIMUM 0.080" THICK 36" FOR ALL STREET INTERSECTIONS
2. STREET NAME SIGN - 9" ALUMINUM EXTRUDED BLADE, HIGH INTENSITY PRISMATIC, 6" TALL WHITE CAPITAL AND 5" TALL LOWER CASE LETTERING ON GREEN BACKGROUND BRACKETS - VULCAN TYPE VS-8 VANDAL PROOF OR APPROVED EQUIVALENT; ALL OTHER SIGNS - HIGH INTENSITY PRISMATIC OR BETTER - MINIMUM 0.080" THICK;
3. POSTS FOR STREET SIGNS - 2-1/4" x 2-1/4" GALVANIZED SQUARE POST WITH PRE-DRILLED HOLES (MINIMUM LENGTH 14 FEET) OF APPROPRIATE HEIGHT EMBEDDED NOT LESS THAN 3 FEET BELOW THE FINISHED GRADE ELEVATION, COMPLYING WITH MINIMUM 7 FOOT CLEARANCE BETWEEN GRADE LEVEL AND THE BOTTOM OF THE SIGN. IN NO CASE SHALL THE STREET SIGN BE ATTACHED DIRECTLY TO THE STOP SIGN, BUT INSTEAD IT MUST BE ATTACHED TO THE POST OF THE STOP SIGN ON A SEPARATE BRACKET. NO DECORATIVE SIGN POSTS SHALL BE PERMITTED.

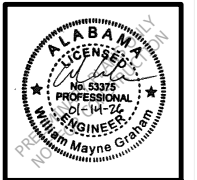


LEGEND

	BENCHMARK
	CAPPED ROD SET
	RIGHT-OF-WAY
	CENTERLINE
	EXIST. PROPERTY LINE
	PROPERTY LINE (ADJACENT)
	EXIST. EASEMENT LINE
	EXIST. WETLAND LINE
	EXIST. WETLAND BUFFER LINE
	EXIST. OVERHEAD UTILITY AND UTILITY POLE
	EXIST. GUY WIRE AND UTILITY POLE
	EXIST. WATER LINE
	EXIST. SANITARY SEWER LINE
	EXIST. GAS LINE
	EXIST. UNDER GROUND CABLE LINE
	EXIST. FENCE LINE
	EXIST. PIPE
	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT LINE
	PROPOSED SETBACK LINE
	PROPOSED 24" CONCRETE CURB & GUTTER
	PROPOSED 12" CONCRETE RIBBON CURB
	PROPOSED 6" CONCRETE CURB
	EXIST. POWER POLE
	EXIST. WATER METER
	EXIST. WATER VALVE
	EXIST. FIRE HYDRANT
	EXIST. WATER VALVE
	EXIST. FIRE HYDRANT
	EXIST. COMMUNICATIONS VAULT
	EXIST. MAILBOX
	EXIST. ASPHALT PAVING
	EXIST. CONCRETE
	EXIST. GRAVEL
	PROPOSED TYPICAL BUILDUP ASPHALT
	PROPOSED COUNTY BUILDUP ASPHALT
	PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH)
	PROPOSED HEAVY DUTY CONCRETE (BROOM FINISH)
	PROPOSED DRIVEWAY LOCATION



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NO.	REVISION	DATE	APPR.
1.	DRC COMMENTS	01-14-2026	

SITE PLAN
THE PRESERVE AT POINT CLEAR
ACHEE PROPERTIES

JOB NO: 25-1971.20
 SCALE: 1" = 50'
 DATE: JAN 2026
 DRAFTER: BS, WMG
 SHEET: C6.0

NOTES TO CONTRACTOR:

1. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ANY EXISTING SLOPES AND INFRASTRUCTURES ON THE SITE (I.E. PONDS, INLETS, ETC.).
2. AFTER THE STORM DRAIN SYSTEM IS COMPLETED THE CONTRACTOR SHALL VIDEO THE SYSTEM AND SUBMIT VIDEO TO THE OWNER FOR REVIEW.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO THE SITE FOR THE DURATION OF THE PROJECT.
4. ALL EARTHWORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH GEOTECHNICAL RECOMMENDATIONS.
5. ALL CONDUIT LOCATIONS FOR POWER, TELEPHONE, AND CABLE SHALL BE COORDINATED WITH LOCAL UTILITY PROVIDERS.

UTILITY SANITARY SEWER NOTES:

1. THE GRAVITY SANITARY SEWER LINE AND SERVICES ARE TO BE INSTALLED WITHIN THE RIGHT-OF-WAY OR UTILITY EASEMENTS. THE 4" SANITARY SEWER LATERAL CLEANOUT IS LOCATED 5' OFF THE BACK OF RIGHT-OF-WAY OR 2' OFF THE BACK OF SIDEWALK WHEN SIDEWALK IS BEYOND RIGHT-OF-WAY(TYPICAL). THE SERVICE SYMBOLS ARE NOT SHOWN TO SCALE.
2. GRAVITY SANITARY SEWER LINE MATERIAL TO BE 8" SDR 26 PVC, GREEN IN COLOR. SANITARY SEWER LATERAL MATERIAL TO BE 4" SDR 26 PVC, GREEN IN COLOR. SANITARY SEWER FORCE MAIN MATERIAL TO BE 3" SDR 21 PVC, BLACK IN COLOR W/ GREEN STRIPES.
3. SANITARY SEWER LINE BURY DEPTH SHALL BE PER PLAN, WITH LATERAL MIN. 48" BURY DEPTH.
4. CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY OF ALL SANITARY SEWER SERVICES, CONNECTIONS, AND FITTINGS.
5. CONTRACTOR SHALL PROVIDE MARKINGS STAMPED INTO THE CURB INDICATING THE SEWER LATERAL LOCATIONS.

STREET LIGHT NOTE:

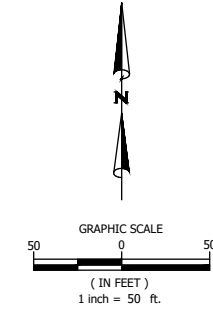
1. ALL STREET LIGHTS SHALL COMPLY WITH THE CITY OF FAIRHOPE 15 FOOT MAXIMUM HEIGHT REQUIREMENT.

UTILITY WATERLINE NOTES:

1. ALL FIRE HYDRANTS SHALL HAVE A BLUE REFLECTIVE PAVEMENT MARKER (TYPICAL) PLACED ON THE PAVEMENT IN FRONT OF THE HYDRANTS.
2. THE WATER LINE AND SERVICES ARE TO BE INSTALLED WITHIN THE RIGHT-OF-WAY OR UTILITY EASEMENTS. THE WATER LINE IS LOCATED 2' BEHIND THE BACK OF SIDEWALK (TYPICAL) OR WHERE SHOWN ON PLAN AND WATER SERVICE METER BOX IS LOCATED 3' OFF THE BACK OF SIDEWALK OR 5' OFF THE BACK OF SIDEWALK WHEN UTILITY LINE IS BEHIND SIDEWALK (TYPICAL). THE SERVICE SYMBOLS ARE NOT SHOWN TO SCALE.
3. ALL WATER LINE MATERIAL TO BE 8" D.I. CLASS 350. WATER SERVICE LINE TO BE 1" TYPE "K" COPPER WITH DOUBLE SERVICE CONNECTION 1" x 3/4" COPPER TO IRON PIPE BRANCH CONNECTOR.
4. WATER LINE BURY DEPTH SHALL BE MIN. 36", WITH MIN. 48" BURY DEPTH UNDER PAVEMENTS.
5. MINIMUM 18 LF OF RESTRAINED PIPE SHALL BE INSTALLED IN EACH DIRECTION FROM ALL VALVES AND FITTINGS. ALL FIRE HYDRANT LEADS SHALL BE 6" RESTRAINED MDIP FROM MAIN LINE FITTING TO HYDRANT.
6. CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY OF ALL WATER SERVICES, CONNECTIONS, AND FITTINGS.
7. CONTRACTOR SHALL PROVIDE MARKINGS STAMPED INTO THE CURB INDICATING THE WATER SERVICE AND WATER VALVE LOCATIONS.

EXISTING UTILITIES DISCLAIMER:

EXISTING UTILITIES INDICATED ON THESE PLANS ARE BASED ON AVAILABLE INFORMATION. CONTRACTOR IS REQUIRED TO VERIFY LOCATION, BURY DEPTH, SIZE AND MATERIAL TYPE PRIOR TO ANY UTILITY IMPROVEMENTS. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES THAT ARE FOUND.

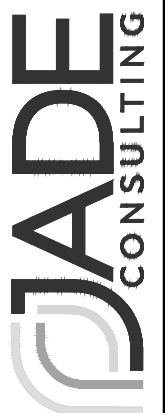
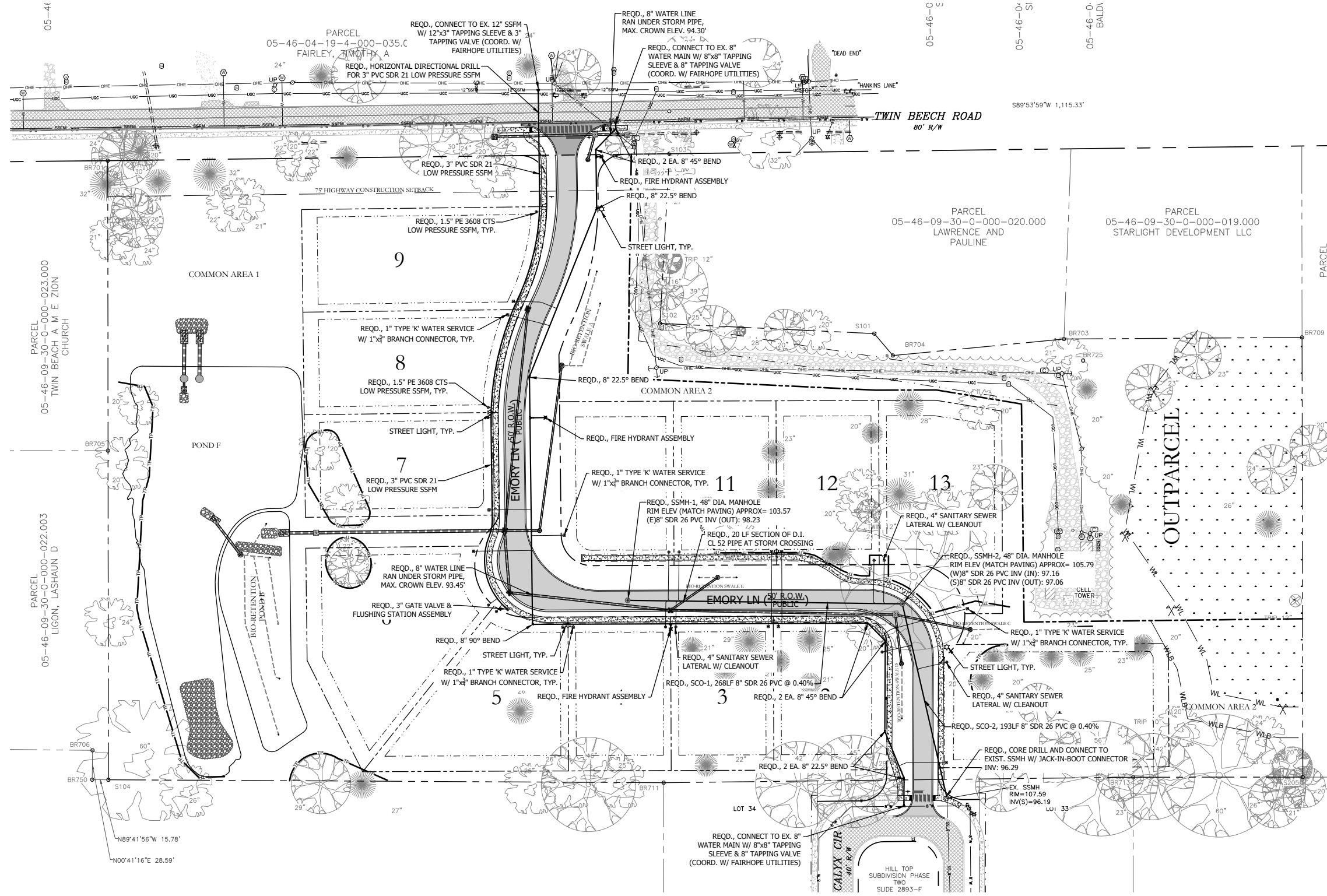


LEGEND

- BENCHMARK
- CAPPED ROD SET
- RIGHT-OF-WAY
- CENTERLINE
- EXIST. PROPERTY LINE
- EXIST. PROPERTY LINE (ADJACENT)
- EXIST. EASEMENT LINE
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- EXIST. WATER METER
- EXIST. WATER VALVE
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- EXIST. ASPHALT PAVING
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- EXIST. GRAVEL
- PROPOSED TYPICAL BUILDUP ASPHALT
- PROPOSED COUNTY BUILDUP ASPHALT
- PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH)
- PROPOSED HEAVY DUTY CONCRETE (BROOM FINISH)
- PROPOSED DRIVEWAY LOCATION

BALDWIN COUNTY R.O.W. UTILITY NOTES:

1. ALL UTILITIES SHALL CONFORM TO THE BALDWIN COUNTY UTILITY MANUAL.
2. ALL UTILITIES INSTALLED WITHIN EXISTING BALDWIN COUNTY RIGHT OF WAYS SHALL REQUIRE A SEPARATE BALDWIN COUNTY UTILITY PERMIT.
3. IRRIGATION BORES TO ISLANDS SHALL BE TYPE "K" COPPER OR ENCASED AS REQUIRED IN THE BALDWIN COUNTY UTILITY MANUAL.
4. ALL NEW ELECTRICAL SERVICE SHALL BE INSTALLED UNDERGROUND.
5. UTILITY BURY DEPTHS SHALL BE MINIMUM 30" IN ROAD SHOULDERS, 36" UNDER DITCHES, AND 48" UNDER PAVEMENT.



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NO.	REVISION	DATE	APPR.
1.	DRC COMMENTS	01-14-2026	

UTILITY PLAN
THE PRESERVE AT POINT CLEAR
ACHEE PROPERTIES

JOB NO: 25-1971.20
 SCALE: 1" = 50'
 DATE: JAN 2026
 DRAFTER: BS, WMG
 SHEET:

C7.0

BALDWIN COUNTY NOTES:

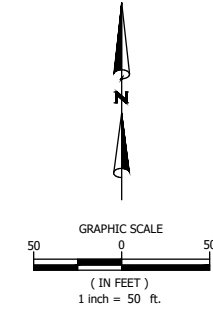
1. ALL MATERIAL USED FOR BACKFILL WITHIN THE BALDWIN COUNTY RIGHT OF WAY SHALL BE PLACED IN 8" LIFTS AND MECHANICALLY COMPACTED TO 95% RELATIVE DENSITY.
2. ALL EXPOSED/DISTURBED SOILS WITHIN THE BALDWIN COUNTY RIGHT OF WAY SHALL HAVE SOLID SOD INSTALLED TO PROVIDE PERMANENT STABILIZATION.

DRAINAGE NOTE:

1. FOR ALL CURB INLETS, THE THROAT ELEVATION CALLED OUT ON THE PLANS IS THE ACTUAL EDGE OF PAVEMENT ELEVATION.
2. MANHOLE STEPS SHALL BE PROVIDED FOR ALL STRUCTURES OVER 4' DEEP. STEPS MUST BE EASILY ACCESSIBLE FROM MANHOLE ACCESS.
3. CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY OF ALL STORM NETWORK STRUCTURE ELEVATIONS AND PIPE INVERTS.
4. THE GRADING PLAN AND ELEVATIONS SHOWN ARE PART OF THE APPROVED DRAINAGE PLAN AND SHALL BE GRADED AND PERMANENTLY STABILIZED PRIOR TO FINAL INSPECTION WITH THE CITY OF FAIRHOPE.

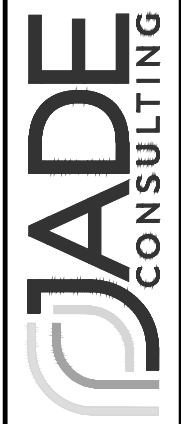
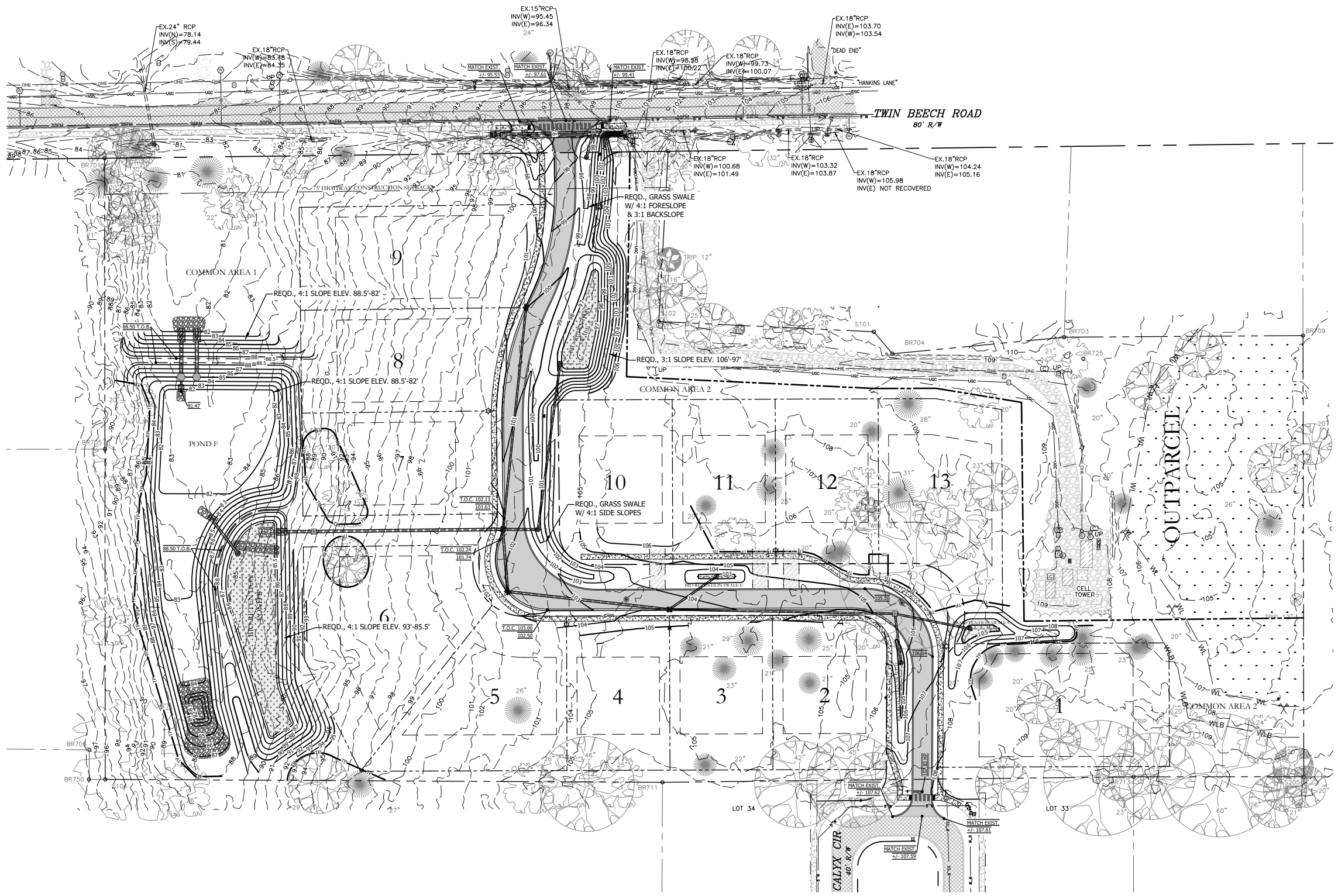
NOTES TO CONTRACTOR:

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2. AFTER THE STORM DRAIN SYSTEM IS COMPLETED THE CONTRACTOR SHALL VIDEO THESE SYSTEMS AND SUBMIT VIDEO TO THE ENGINEER FOR REVIEW.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO THE SITE FOR THE DURATION OF THE PROJECT.
4. ALL EARTHWORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH GEOTECHNICAL RECOMMENDATIONS.
5. ALL CONDUIT LOCATIONS FOR POWER, TELEPHONE, AND CABLE SHALL BE COORDINATED WITH LOCAL UTILITY PROVIDERS.



LEGEND

- BENCHMARK
- CAPPED ROD SET
- RIGHT-OF-WAY
- CENTERLINE
- EXIST. PROPERTY LINE
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- PROPOSED TYPICAL BUILDUP ASPHALT
- PROPOSED COUNTY BUILDUP ASPHALT
- PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH)
- PROPOSED HEAVY DUTY CONCRETE (BROOM FINISH)
- PROPOSED DRIVEWAY LOCATION
- EXIST. 1 FOOT CONTOUR
- EXIST. 5 FOOT CONTOUR
- EXIST. GRADE SPOT ELEVATION
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- FINISHED GRADE ELEVATION (TOP OF CURB)
- FINISHED GRADE ELEVATION
- DRAINAGE DIRECTION
- PROPOSED RIP RAP W/ FILTER BLANKET



2018 Cicero Rd, North, Ste. C
 Fairhope, Alabama 36532
 P.O. Box 1029
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 Phone: (251) 928-3443
 jade@jadeconsulting.com
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NO.	REVISION	DATE	APPR.
1.	DRC COMMENTS	01-14-2026	

GRADING PLAN
THE PRESERVE AT POINT CLEAR
ACHEE PROPERTIES

SURVEY PROVIDED BY:
WATTIER SURVEYING, INC.
PROFESSIONAL LAND SURVEYORS
 4318 Downtowner Loop N., Suite H
 Mobile, Alabama 36609 251-342-2640

JOB NO: 25-1971.20
 SCALE: 1" = 50'
 DATE: JAN 2026
 DRAFTER: BS, WMG
 SHEET: **C8.0**

BALDWIN COUNTY NOTES:

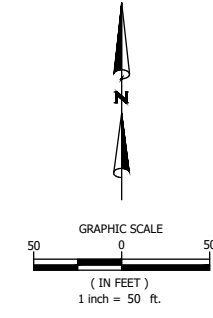
1. ALL MATERIAL USED FOR BACKFILL WITHIN THE BALDWIN COUNTY RIGHT OF WAY SHALL BE PLACED IN 8" LIFTS AND MECHANICALLY COMPACTED TO 95% RELATIVE DENSITY.
2. ALL EXPOSED/DISTURBED SOILS WITHIN THE BALDWIN COUNTY RIGHT OF WAY SHALL HAVE SOLID SOD INSTALLED TO PROVIDE PERMANENT STABILIZATION.

DRAINAGE NOTE:

1. FOR ALL CURB INLETS, THE THROAT ELEVATION CALLED OUT ON THE PLANS IS THE ACTUAL EDGE OF PAVEMENT ELEVATION.
2. MANHOLE STEPS SHALL BE PROVIDED FOR ALL STRUCTURES OVER 4' DEEP. STEPS MUST BE EASILY ACCESSIBLE FROM MANHOLE ACCESS.
3. CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY OF ALL STORM NETWORK STRUCTURE ELEVATIONS AND PIPE INVERTS.
4. THE GRADING PLAN AND ELEVATIONS SHOWN ARE PART OF THE APPROVED DRAINAGE PLAN AND SHALL BE GRADED AND PERMANENTLY STABILIZED PRIOR TO FINAL INSPECTION WITH THE CITY OF FAIRHOPE.

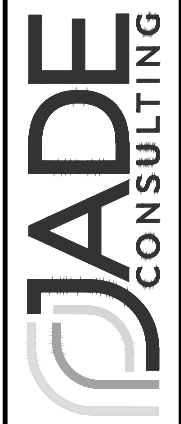
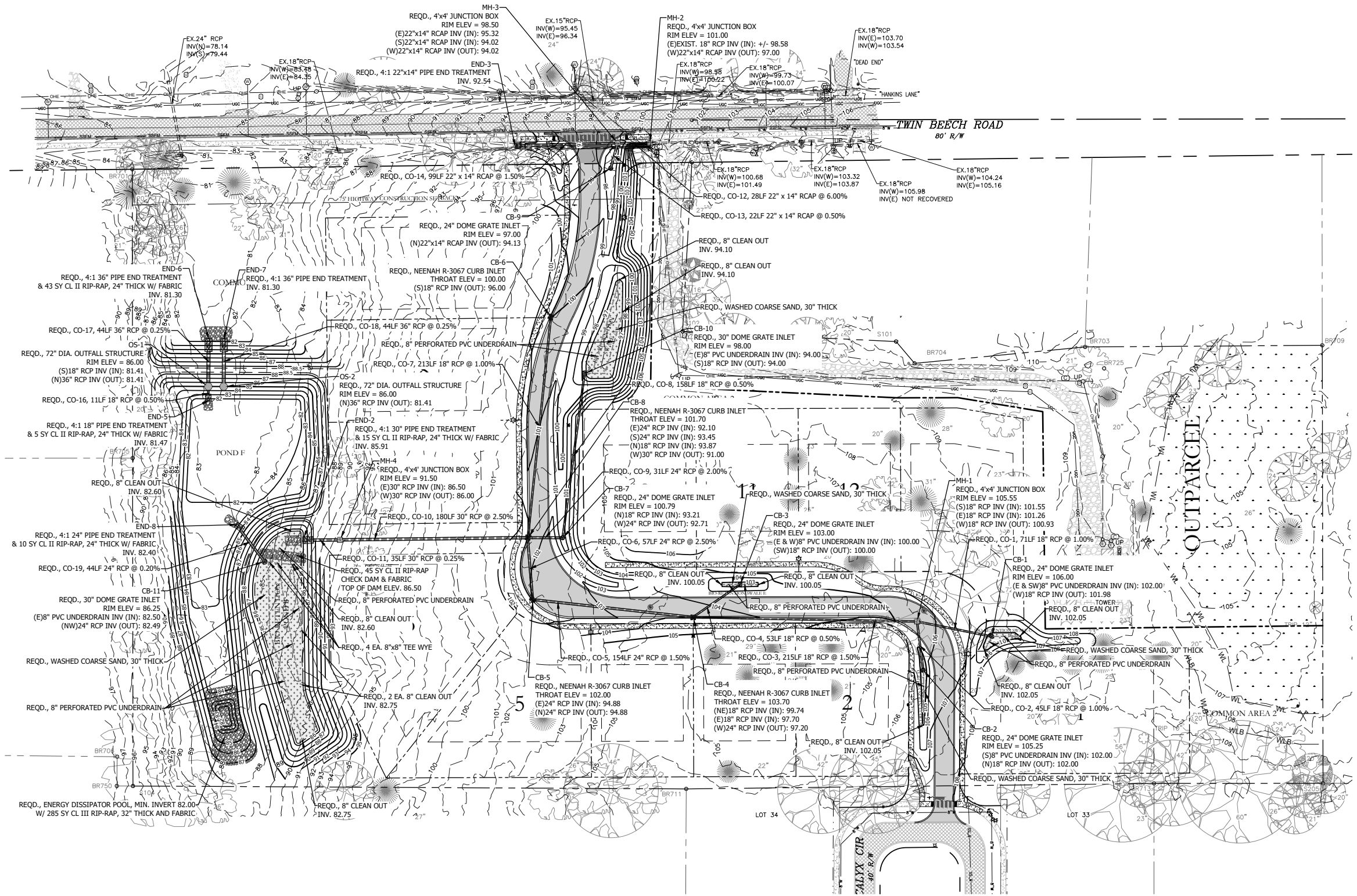
NOTES TO CONTRACTOR:

1. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ANY EXISTING SLOPES AND INFRASTRUCTURES ON THE SITE (I.E. PONDS, INLETS, ETC.).
2. AFTER THE STORM DRAIN SYSTEM IS COMPLETED THE CONTRACTOR SHALL VIDEO THESE SYSTEMS AND SUBMIT VIDEO TO THE ENGINEER FOR REVIEW.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO THE SITE FOR THE DURATION OF THE PROJECT.
4. ALL EARTHWORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH GEOTECHNICAL RECOMMENDATIONS.
5. ALL CONDUIT LOCATIONS FOR POWER, TELEPHONE, AND CABLE SHALL BE COORDINATED WITH LOCAL UTILITY PROVIDERS.



LEGEND

	BENCHMARK
	CAPPED ROD SET
	RIGHT-OF-WAY
	CENTERLINE
	EXIST. PROPERTY LINE
	PROPERTY LINE (ADJACENT)
	EXIST. EASEMENT LINE
	EXIST. WETLAND LINE
	EXIST. WETLAND BUFFER LINE
	EXIST. OVERHEAD UTILITY AND UTILITY POLE
	EXIST. GUY WIRE AND UTILITY POLE
	EXIST. WATER LINE
	EXIST. SANITARY SEWER LINE
	EXIST. GAS LINE
	EXIST. UNDERGROUND CABLE LINE
	EXIST. FENCE LINE
	EXIST. PIPE
	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT LINE
	PROPOSED SETBACK LINE
	PROPOSED 24" CONCRETE CURB & GUTTER
	PROPOSED 12" CONCRETE RIBBON CURB
	PROPOSED 6" CONCRETE CURB
	EXIST. POWER POLE
	EXIST. WATER METER
	EXIST. WATER VALVE
	EXIST. FIRE HYDRANT
	EXIST. FIRE HYDRANT
	EXIST. FIRE HYDRANT
	EXIST. COMMUNICATIONS VAULT
	EXIST. MAILBOX
	EXIST. ASPHALT PAVING
	EXIST. CONCRETE
	EXIST. GRAVEL
	PROPOSED TYPICAL BUILDUP ASPHALT
	PROPOSED COUNTY BUILDUP ASPHALT
	PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH)
	PROPOSED HEAVY DUTY CONCRETE (BROOM FINISH)
	PROPOSED DRIVEWAY LOCATION
	EXIST. 1 FOOT CONTOUR
	EXIST. 5 FOOT CONTOUR
	EXIST. GRADE SPOT ELEVATION
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	FINISHED GRADE ELEVATION (TOP OF CURB)
	FINISHED GRADE ELEVATION
	DRAINAGE DIRECTION
	PROPOSED RIP RAP W/ FILTER BLANKET



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DRAINAGE PLAN
THE PRESERVE AT POINT CLEAR
ACHEE PROPERTIES

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 SHEET: **C9.0**

STORM NETWORK TABLE

STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
CB-1	RIM = 106.00 INV OUT = 101.98		CO-1, 18" RCP INV OUT =101.98
CB-2	RIM = 105.25 INV OUT = 102.00		CO-2, 18" RCP INV OUT =102.00
CB-3	RIM = 103.00 INV OUT = 100.00		CO-4, 18" RCP INV OUT =100.00
CB-7	RIM = 100.79 INV IN = 93.21 INV OUT = 92.71	CO-8, 18" RCP INV IN =93.21	CO-9, 24" RCP INV OUT =92.71
CB-9	RIM = 97.00 INV OUT = 94.13		CO-13, 22" RCAP INV OUT =94.13
CB-10	RIM = 98.00 INV OUT = 94.00		CO-8, 18" RCP INV OUT =94.00
CB-11	RIM = 86.25 INV OUT = 82.49		CO-19, 24" RCP INV OUT =82.49
MH-1	RIM = 105.55 INV IN = 101.55 INV IN = 101.26 INV OUT = 100.93	CO-2, 18" RCP INV IN =101.55 CO-1, 18" RCP INV IN =101.26	CO-3, 18" RCP INV OUT =100.93
MH-2	RIM = 101.00 INV OUT = 97.00		CO-12, 22" RCAP INV OUT =97.00
MH-3	RIM = 98.50 INV IN = 95.32 INV IN = 94.02 INV OUT = 94.02	CO-12, 22" RCAP INV IN =95.32 CO-13, 22" RCAP INV IN =94.02	CO-14, 22" RCAP INV OUT =94.02
MH-4	RIM = 91.50 INV IN = 86.50 INV OUT = 86.00	CO-10, 30" RCP INV IN =86.50	CO-11, 30" RCP INV OUT =86.00
OS-1	RIM = 86.00 INV IN = 81.41 INV OUT = 81.41	CO-16, 18" RCP INV IN =81.41	CO-17, 36" RCP INV OUT =81.41
OS-2	RIM = 86.00 INV OUT = 81.41		CO-18, 36" RCP INV OUT =81.41

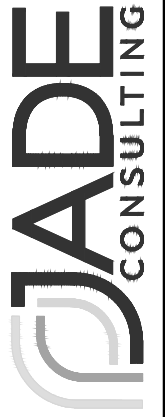
STORM NETWORK TABLE

STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
END-2	INV IN = 85.91	CO-11, 30" RCP INV IN =85.91	
END-3	INV IN = 92.54	CO-14, 22" RCAP INV IN =92.54	
END-5	INV OUT = 81.47		CO-16, 18" RCP INV OUT =81.47
END-6	INV IN = 81.30	CO-17, 36" RCP INV IN =81.30	
END-7	INV IN = 81.30	CO-18, 36" RCP INV IN =81.30	
END-8	INV IN = 82.40	CO-19, 24" RCP INV IN =82.40	

STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
CB-4	THROAT = 103.70 INV IN = 99.74 INV IN = 97.70 INV OUT = 97.20	CO-4, 18" RCP INV IN =99.74 CO-3, 18" RCP INV IN =97.70	CO-5, 24" RCP INV OUT =97.20
CB-5	THROAT = 102.00 INV IN = 94.88 INV OUT = 94.88	CO-5, 24" RCP INV IN =94.88	CO-6, 24" RCP INV OUT =94.88
CB-6	THROAT = 100.00 INV OUT = 96.00		CO-7, 18" RCP INV OUT =96.00
CB-8	THROAT = 101.70 INV IN = 92.10 INV IN = 93.45 INV IN = 93.87 INV OUT = 91.00	CO-9, 24" RCP INV IN =92.10 CO-8, 24" RCP INV IN =93.45 CO-7, 18" RCP INV IN =93.87	CO-10, 30" RCP INV OUT =91.00

SANITARY NETWORK TABLE

STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
SSMH-1	RIM = 103.57 INV OUT = 98.23		SCO-1, 8" SDR 26 PVC INV OUT =98.23
SSMH-2	RIM = 105.79 INV IN = 97.16 INV OUT = 97.06	SCO-1, 8" SDR 26 PVC INV IN =97.16	SCO-2, 8" SDR 26 PVC INV OUT =97.06



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SANITARY AND STORM NETWORK TABLE
THE PRESERVE AT POINT CLEAR
ACHEE PROPERTIES

JOB NO: 25-1971.20
SCALE: N/A
DATE: JAN 2026
DRAFTER: BS, WMG
SHEET:

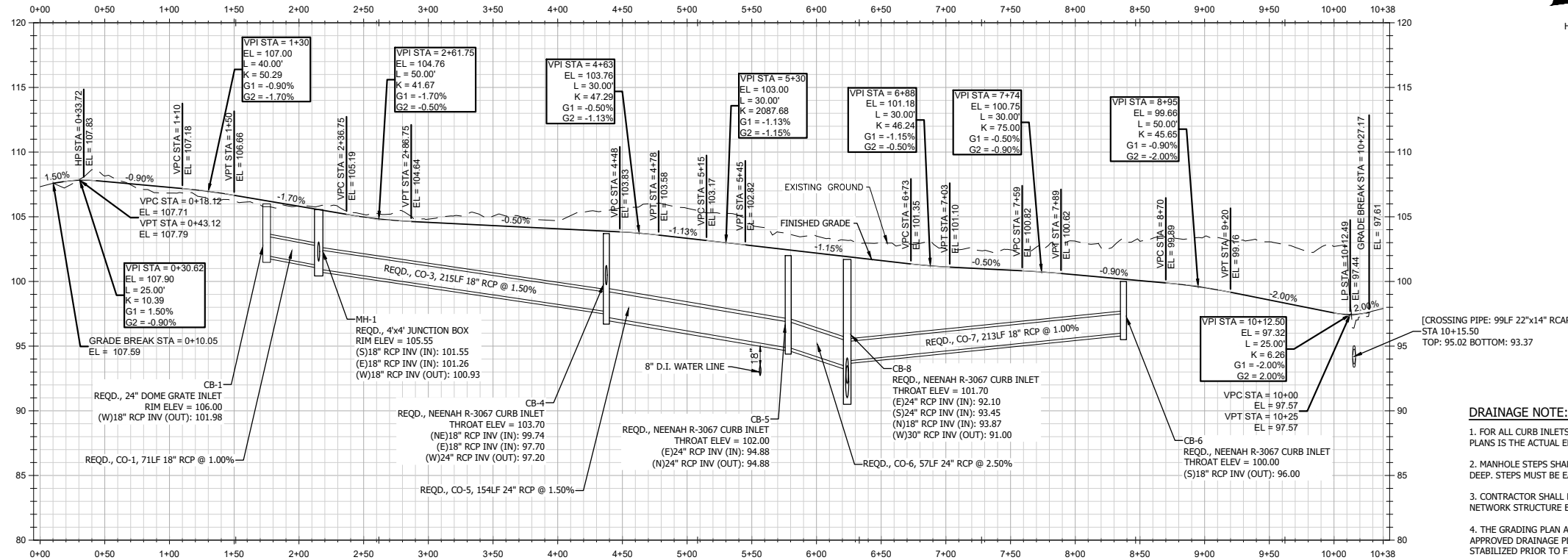
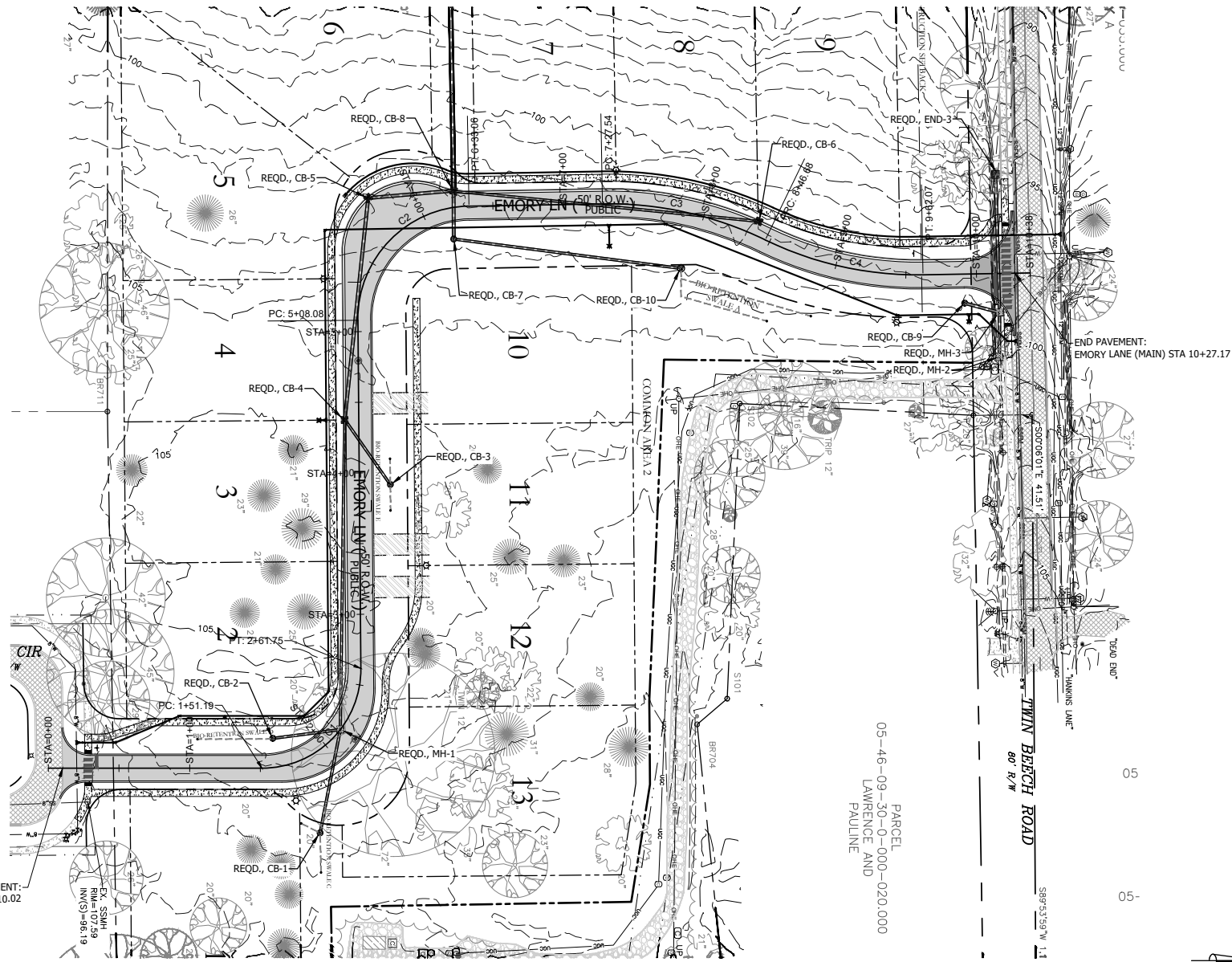
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PLAN AND PROFILE - EMORY LANE THE PRESERVE AT POINT CLEAR ACHEE PROPERTIES

JOB NO: 25-1971.20
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 DATE: JAN 2026
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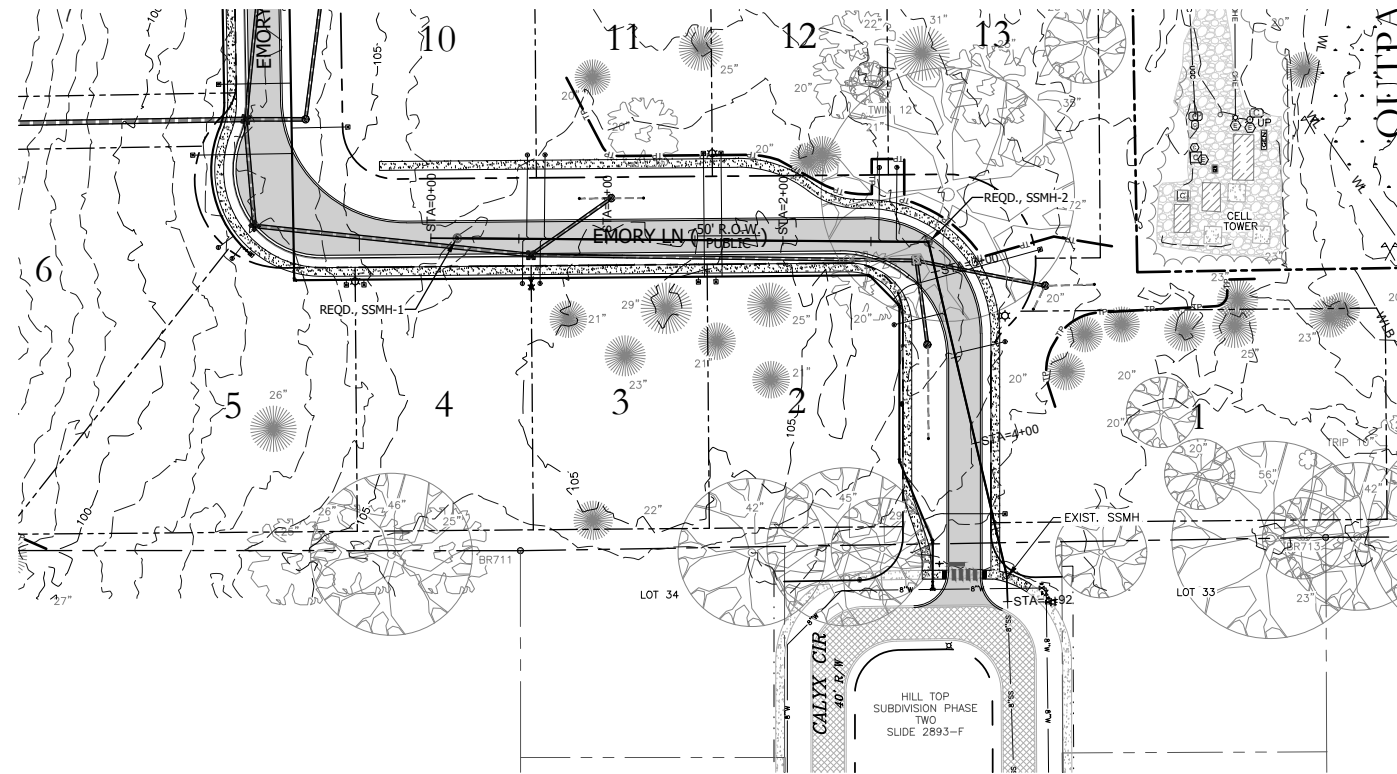
CURVE #	RADIUS	DELTA ANGLE	CHORD LENGTH	CHORD BEARING	ARC LENGTH	TANGENT	PC STATION	PT STATION
C1	70.00'	90°29'23"	99.42'	N44°58'11.39"W	110.55'	70.60'	1+51.19	2+61.75
C2	80.00'	89°30'44"	112.65'	N45°27'31.13"W	124.98'	79.32'	5+08.08	6+33.06
C3	254.00'	26°52'28"	118.05'	N12°44'04.57"E	119.14'	60.69'	7+27.54	8+46.68
C4	246.00'	26°52'28"	114.33'	N12°44'04.57"E	115.39'	58.77'	8+46.68	9+62.07



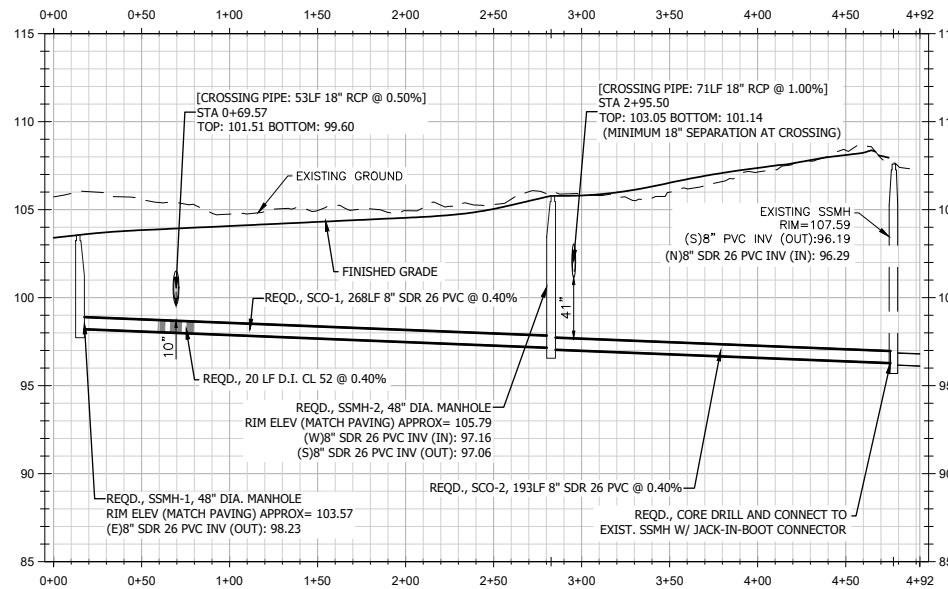
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HORIZ. SCALE: 1"=50'
 VERT. SCALE: 1"=5'



HORIZ. SCALE: 1"=50'
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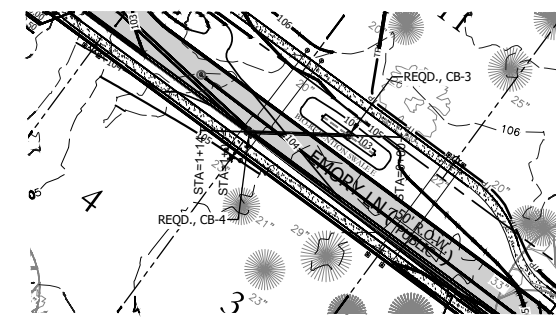
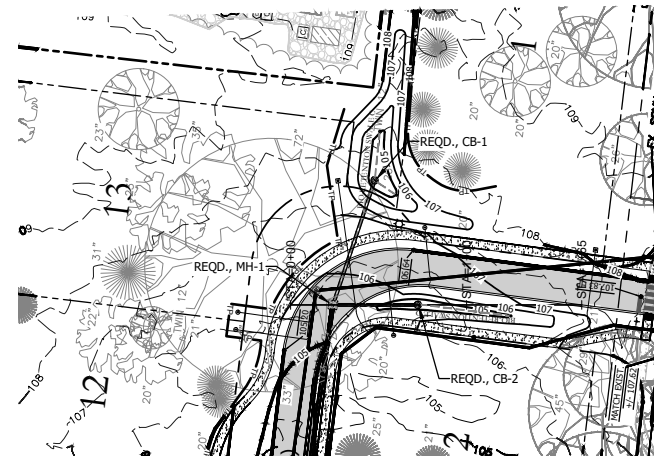


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PLAN AND PROFILE - SANITARY SEWER
 THE PRESERVE AT POINT CLEAR
 ACHEE PROPERTIES

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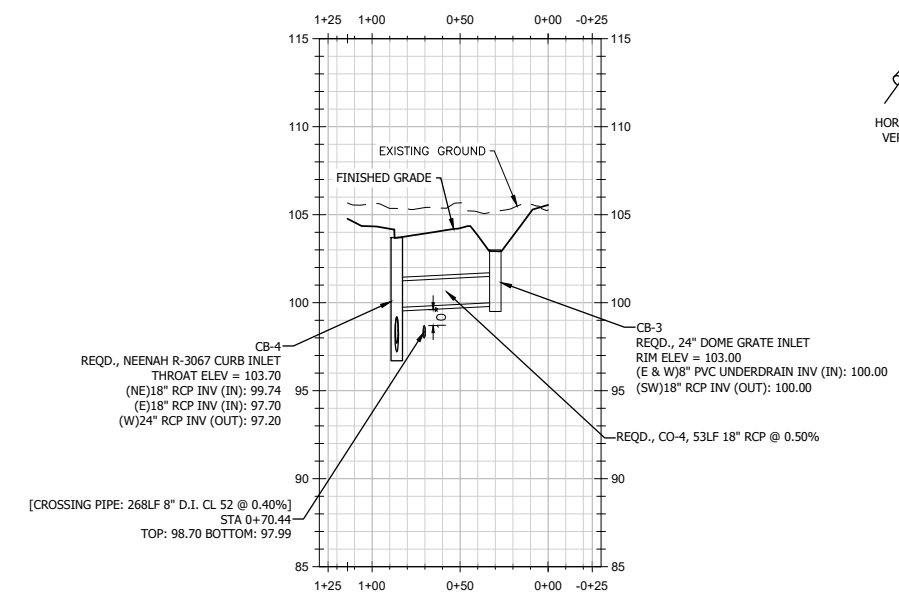
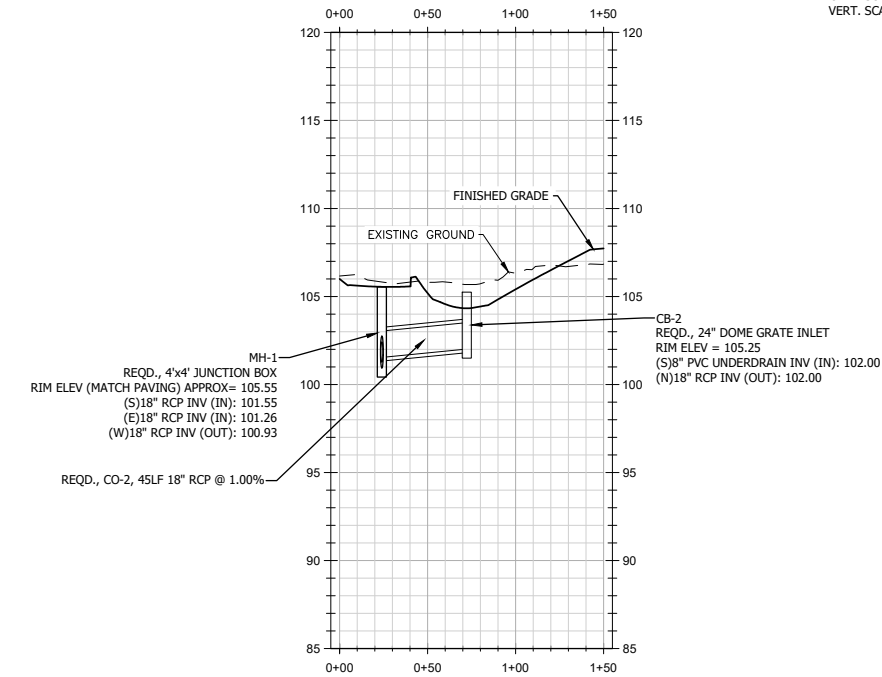
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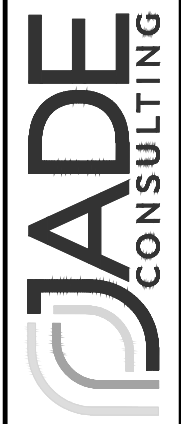
HORIZ. SCALE: 1"=50'
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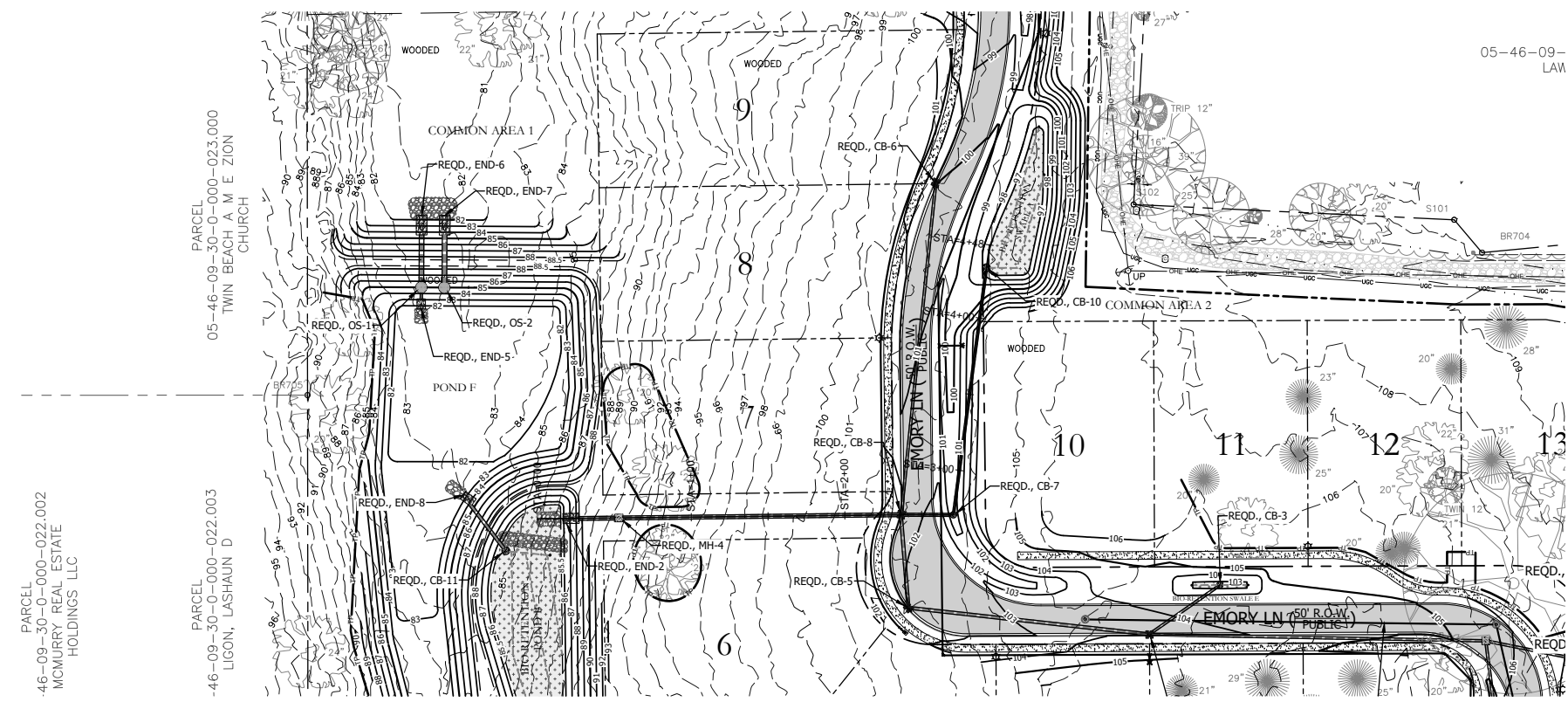


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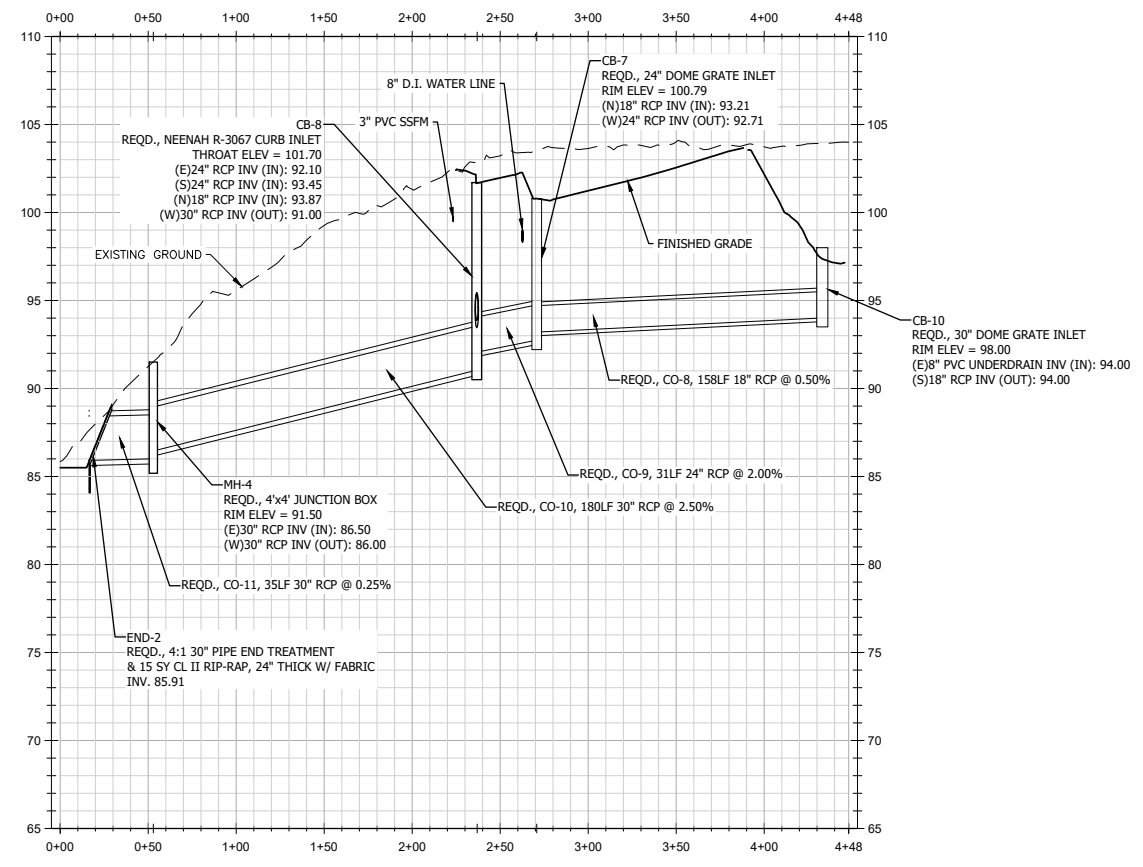
**PLAN AND PROFILE - STORM NETWORK
 THE PRESERVE AT POINT CLEAR
 ACHEE PROPERTIES**

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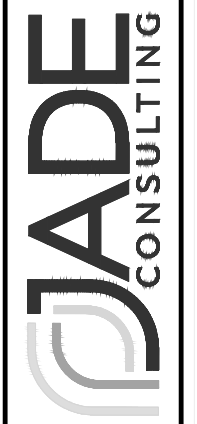
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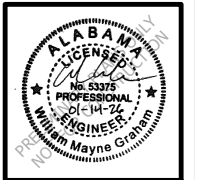
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**PLAN AND PROFILE - STORM NETWORK
THE PRESERVE AT POINT CLEAR
ACHEE PROPERTIES**

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C13.1

SITE CONSTRUCTION DEBRIS DISPOSAL NOTE:

A DUMPSTER OF SUITABLE SIZE SHALL BE ON-SITE DURING ALL PHASES OF CONSTRUCTION ACTIVITIES AND EMPLOYED AT A SUITABLE PERMITTED DISPOSAL SITE AND REPLACED AS NEEDED THROUGHOUT THE DURATION OF THE PROJECT. ALL DISPOSAL SHALL MEET ALL LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS.

RAINFALL INSPECTION NOTE:

ALL EROSION CONTROLS SHALL BE INSPECTED BY A QUALIFIED PERSON WITHIN 24 HOURS OF A RAINFALL EVENT OF 3/4 INCH OR GREATER AND REPAIRED AS NEEDED.

BALDWIN COUNTY NOTES:

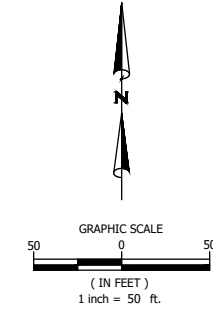
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2. ALL EXPOSED/DISTURBED SOILS WITHIN THE BALDWIN COUNTY RIGHT OF WAY SHALL HAVE SOLID SOD INSTALLED TO PROVIDE PERMANENT STABILIZATION.

TEMPORARY & PERMANENT SEEDING RATES (REQUIRED POUNDS PER ACRE OF PURE LIVE SEED)			
DATE OF PLANTING	SEPT. 1 TO FEB. 29	MAR. 1 TO AUG. 31	MAR. 1 TO AUG. 31
ANNUAL RYEGRASS	10		
HULLED BERMUDAGRASS		18	
UNHULLED BERMUDAGRASS	30	12	12
PENSACOLA BAHIA GRASS			47
NOTES	1,2	3	3
REQUIRED PERMANENT PLANT	BERMUDAGRASS		

*ANNUAL RYEGRASS PLANTED FOR TEMPORARY VEGETATION SHALL BE OVER SEEDED IN STUBBLE FOR THE ESTABLISHMENT OF PERMANENT VEGETATION DURING THE FOLLOWING MONTH OF MARCH
*SEEDING, MULCH, AND FERTILIZER APPLICATION TO MEET REQUIREMENTS OF ALDOT SECTION 860

EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LATEST ADEM STANDARDS.
2. ALL AREAS LEFT UNATTENDED FOR LONGER THAN 13 DAYS SHALL BE COVERED WITH SEASONAL TEMPORARY SEEDING AND MULCHING.
3. ALL SLOPES SHALL BE TRACKED PERPENDICULAR TO THE SLOPE.
4. NO WORK SHALL COMMENCE UNTIL ALL APPLICABLE EROSION CONTROL MEASURES HAVE BEEN INSTALLED, INSPECTED BY THE PROJECT ENGINEER, AND APPROVED.
5. STORMWATER DETENTION POND OR SEDIMENT BASIN SHALL BE CONSTRUCTED, INSPECTED, AND APPROVED PRIOR TO WORK ON ANY OTHER TASK, UNLESS OTHERWISE APPROVED BY THE PROJECT ENGINEER.
6. ALL DISTURBED AREAS WILL BE PROPERLY STABILIZED. CONTRACTOR TO COORDINATE WITH LANDSCAPE PLAN FOR FINAL PLANTING REQUIREMENTS.
7. 4" MIN TOPSOIL TO BE SPREAD ACROSS DISTURBED SURFACES ONCE FINAL GRADING HAS BEEN ESTABLISHED. CONTRACTOR TO PROVIDE SEED/SOD AS PER EROSION CONTROL PLAN AND STABILIZE DISTURBED AREAS PER ADEM REQUIREMENTS.
8. BMP'S SHALL BE CLEANED OUT WHEN THEY REACH 1/2 FULL.
9. INACTIVE PROJECTS (MORE THAN 7 DAYS) SHALL BE MULCHED IF INACTIVE FOR LESS THAN 60 DAYS. IF PROJECT TO REMAIN INACTIVE FOR MORE THAN 60 DAYS, PROJECT SHALL BE SEEDED AND MULCHED.
10. CONTRACTOR SHALL USE ALL MEANS NECESSARY TO MINIMIZE DUST GENERATION DUE TO CONSTRUCTION ACTIVITIES.

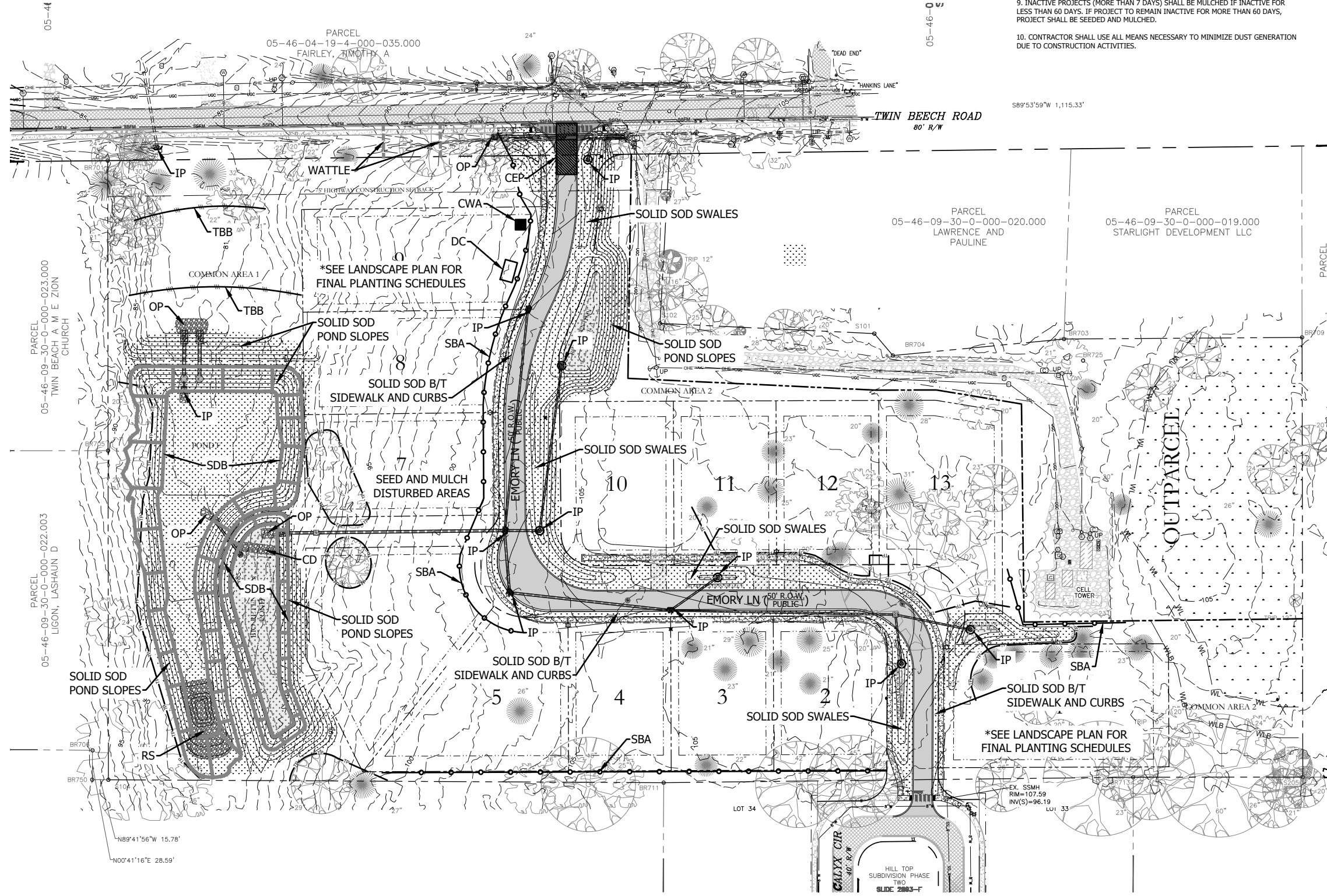


EROSION CONTROL LEGEND

- CD - CHECK DAM
- GS - GRASS SWALE
- IP - INLET PROTECTION
- OP - OUBST PROTECTION
- DC - DEBRIS CONTAINMENT
- CWA - CONCRETE WASHOUT AREA
- TBB - TEMPORARY BRUSH BERM
- SBA - SEDIMENT BARRIER (SILT FENCE, TYPE A)
- TP - TREE PROTECTION
- WTL - WATBS
- SDB - STORMWATER BASIN
- CEP - CONSTRUCTION EXIT PAD
- ECB - EROSION CONTROL BLANKET
- SS - SOLID SOD/SEED AND MULCH ALL AREAS REQ'D TO BE PERMANENTLY STABILIZED
- OP/RS - RIP RAP OUTLET PROTECTION/RIP RAP LINED SWALE

CONSTRUCTION PHASE SEQUENCE:

- PHASE ONE**
- INSTALL CONSTRUCTION ENTRANCE/EXIT
 - CLEAR AREA REQUIRED FOR SILT FENCE PLACEMENT
 - INSTALL SILT FENCE (SBA)
- PHASE TWO**
- CONSTRUCT AND STABILIZE WATER QUALITY PONDS/SEDIMENT BASINS
 - WATTLES, INLET, AND OUTLET PROTECTION TO BE INSTALLED
- PHASE THREE**
- DEMOLITION AND REMOVAL OF DEMO DEBRIS
 - CLEAR/GRUB REMAINING SITE AREAS
- PHASE FOUR**
- INSTALL STORM DRAINAGE MEASURES
 - GRADE SITE TO ROUGH GRADES
- PHASE FIVE**
- CONSTRUCT UTILITIES (WATER, SEWER)
- PHASE SIX**
- CONSTRUCT ROADS (PAVING, CURB AND GUTTER, SIDEWALKS)
- PHASE SEVEN**
- STABILIZE DISTURBED AREAS WITH SOLID SOD
 - INSTALL PERMANENT LANDSCAPING
- PHASE EIGHT**
- CONVERT SEDIMENT BASINS TO PERMANENT FUNCTION BIO-RETENTION PONDS BY REMOVING CAPTURED SEDIMENT AND REPLACING THE TOP 6" OF FILTER MEDIA
 - INSTALLED IN PHASE TWO WITH 6" OF CLEAN SAND
 - REMOVE BMP MEASURES
- PHASE NINE**
- REMOVE SILT FENCE
 - PROJECT COMPLETE, FINAL INSPECTION, FILE NOTICE OF TERMINATION



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(AL) CA-3157-E

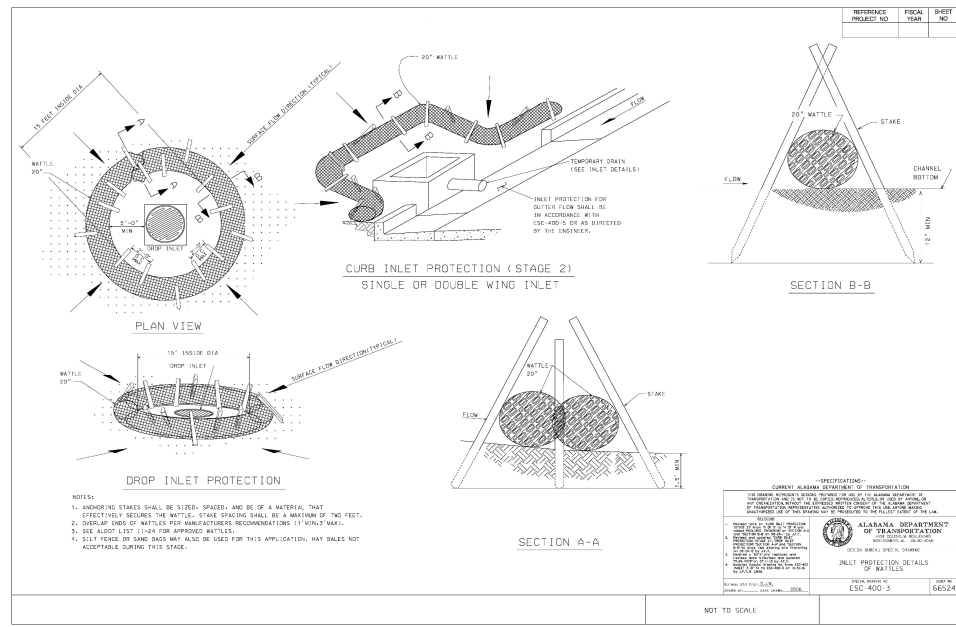
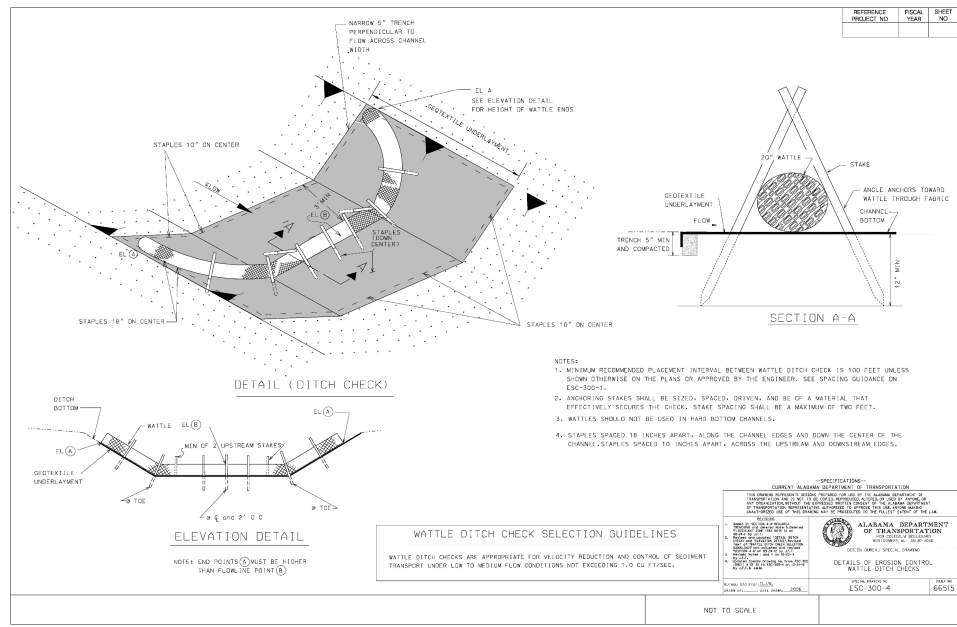
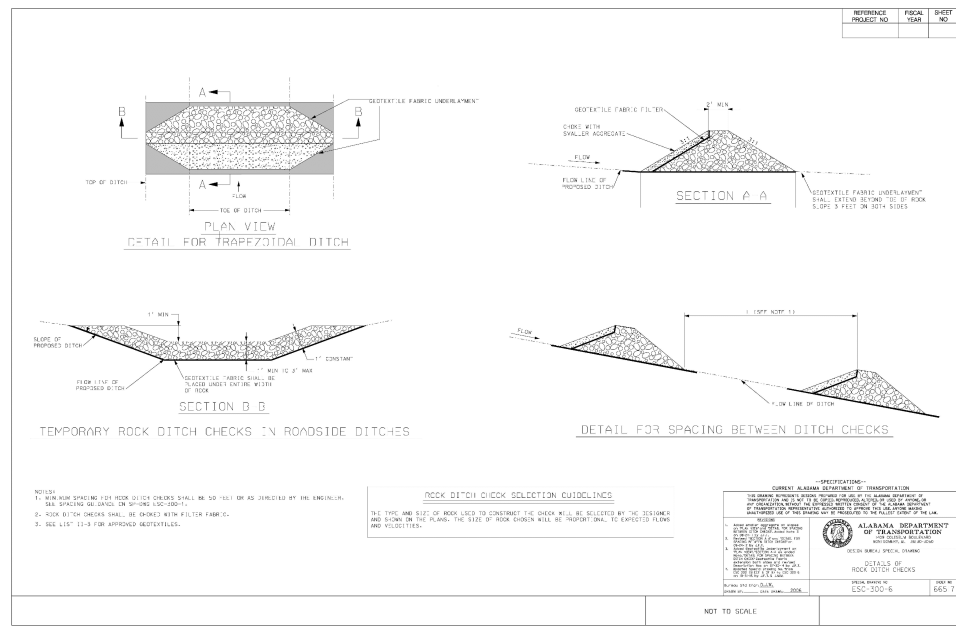
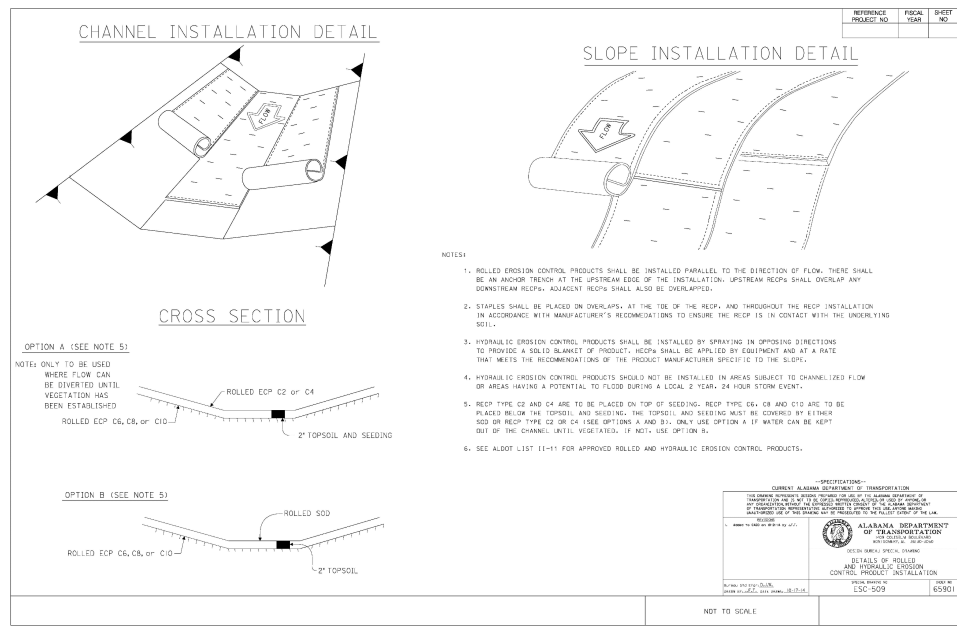
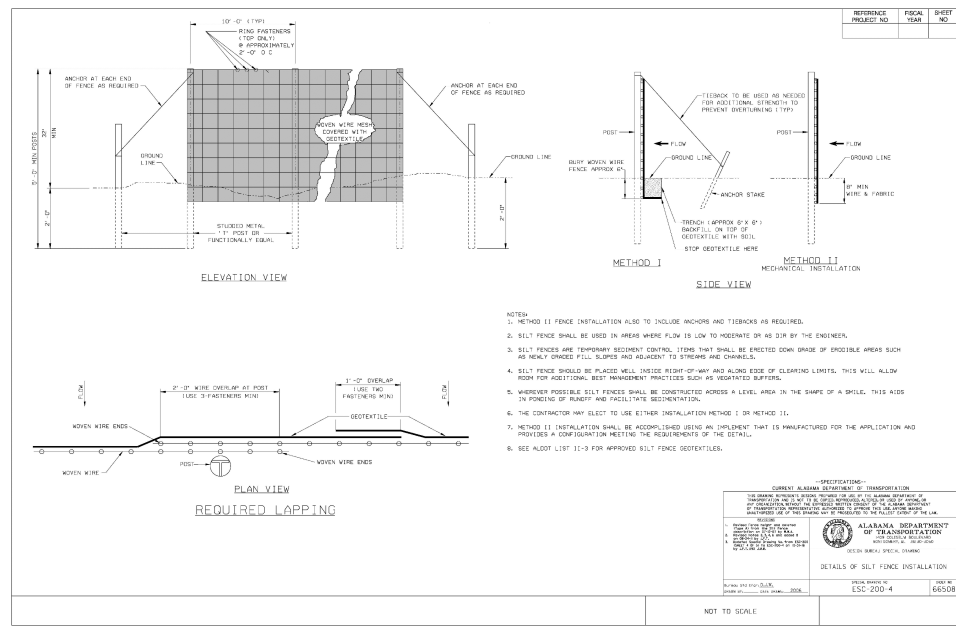
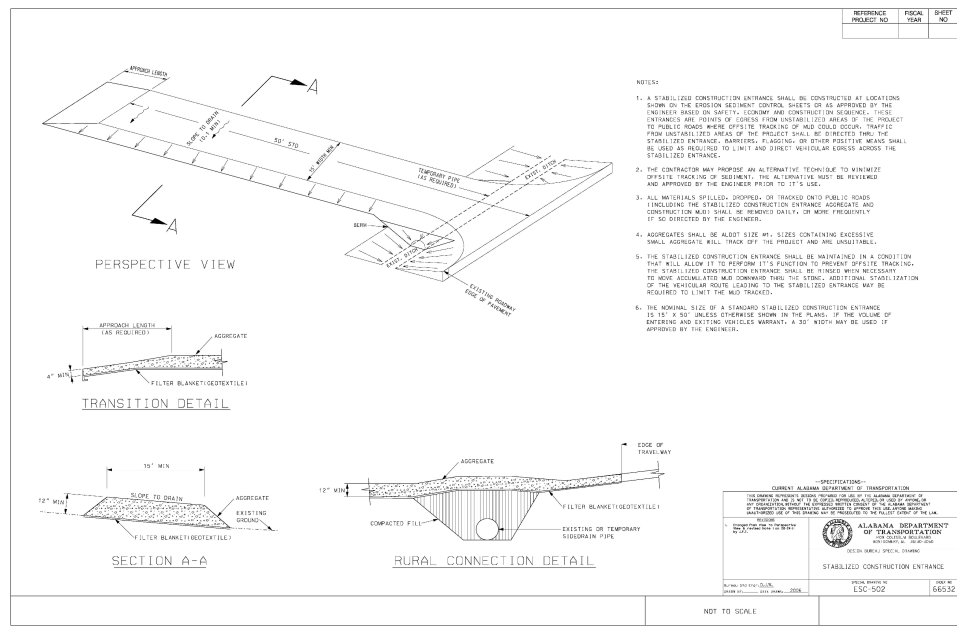


NO.	REVISION	DATE	APPR.
1.	DRC COMMENTS	01-14-2026	

EROSION CONTROL PLAN
THE PRESERVE AT POINT CLEAR
ACHEE PROPERTIES

JOB NO: 25-1971.20
SCALE: 1" = 50'
DATE: JAN 2026
DRAFTER: BS, WMG
SHEET:

C14.0



SPECIFICATIONS

CURRENT ALABAMA DEPARTMENT OF TRANSPORTATION AND THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS, VOLUMES 1 & 2

JADE CONSULTING

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P.O. Box 1029
Fairhope, Alabama 36533
Phone: (251) 928-3443
jadesales@jades.com
(AL) CA-3157-E

ALABAMA LICENSED PROFESSIONAL ENGINEER

14-14-26
William Mayne Graham

NO.	REVISION	DATE	APPR.
1.	DRC COMMENTS	01-14-2026	

EROSION CONTROL DETAILS

THE PRESERVE AT POINT CLEAR

ACHEE PROPERTIES

JOB NO: 25-1971.20
SCALE: NTS
DATE: JAN 2026
DRAFTER: BS, WMG
SHEET:

C15.0

PROJECT NOTES:

SITE NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL STATE, LOCAL AND FEDERAL LAWS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL OF THESE LAWS AND REGULATIONS HAVE BEEN MET.
2. THE CONTRACTOR SHALL NOTIFY JADE CONSULTING'S RESPECTIVE TESTING COMPANY AND ANY LOCAL JURISDICTIONAL INSPECTOR FOR APPROVAL 48 HOURS BEFORE THE BEGINNING OF ANY SUBSEQUENT PHASE OF CONSTRUCTION.
3. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS DISCOVERED IN THE PLANS.
4. THE CONTRACTOR IS REQUIRED TO COORDINATE WITH THE ONE-CALL LINE LOCATE CENTER FOR THE MARKING OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RENEW CONFORMATION NUMBERS AS OFTEN AS REQUIRED DURING THE DURATION OF THE PROJECT. THE CURRENT CONFIRMATION NUMBER SHALL BE ON PROJECT SITES AT ALL TIMES.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ANY AND ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS ARE NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS. HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTORS CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR IS TO CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING INFRASTRUCTURE.
7. ALL WATER CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO **THE LATEST EDITION OF THE "STANDARDS AND SPECIFICATIONS" OF FAIRHOPE PUBLIC UTILITIES.**
8. ALL SEWER CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO **THE LATEST EDITION OF THE "STANDARDS AND SPECIFICATIONS" OF FAIRHOPE PUBLIC UTILITIES.**
9. ALL MANHOLES WITHIN THE 100 YEAR FLOOD PLAIN SHALL BE CONSTRUCTED THREE (3) FEET ABOVE GRADE.
10. THE CONTRACTOR SHALL EMPLOY ALL NECESSARY MEASURES TO ENSURE THAT THE PROJECT IS OSHA COMPLIANT.
11. THE CONTRACTOR SHALL EXPLORE EXISTING STRUCTURES, UTILITIES AND PIPING SO THAT ANY REQUIRED ADJUSTMENT MAY BE MADE.
12. ANY EXCESS MATERIAL FROM CONSTRUCTION ACTIVITIES SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AT HIS EXPENSE.
13. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND INVERTS OF ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK ITEM. THE PROJECT ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
14. CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH ALL RESPECTIVE UTILITY PROVIDERS AND AUTHORITIES. PROPER NOTICE SHALL BE GIVEN PRIOR TO ANY WORK STARTING.
15. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE BEDDING AND HAUNCHING FOR ALL IMPROVEMENTS.
16. CONTRACTOR SHALL REPLACE ANY FAULTY OR IMPROPERLY INSTALLED IMPROVEMENTS AT THEIR EXPENSE.
17. THE CONTRACTOR SHALL EMPLOY A LAND SURVEYOR REGISTERED IN THE STATE OF ALABAMA TO RESET ANY PROPERTY MARKERS DAMAGED DURING CONSTRUCTION AT THEIR EXPENSE.
18. ALL PRESSURE PIPE FITTINGS, WATER AND SEWER SHALL BE DUCTILE IRON.
19. CONTRACTOR SHALL NOT DEVIATE FROM PLANS WITHOUT PROPER CONSENT.
20. NO SEPARATE PAY ITEM FOR REMOVAL OF ASPHALT, CONCRETE, PIPE, INLETS, ETC. WORK TO BE CONSIDERED A SUBSIDIARY ITEM OF CLEARING AND GRUBBING.
21. CONTRACTOR SHALL STRICTLY FOLLOW THE LOCAL AUTHORITIES AND/OR GEOTECHNICAL REPORTS FOR ALL GRADING, BACKFILLING, AND PAVING REQUIREMENTS. ALL RESPECTIVE TASKS SHALL BE APPROVED BY RESPONSIBLE INSPECTOR PRIOR TO ACCEPTANCE.
22. THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED, REMOVED OR REGRADED AS REQUIRED BY THE ENGINEER.
23. ALL GRAVITY PIPES SHALL BE LAID ON SMOOTH CONTINUOUS GRADES WITH NO DETECTABLE BENDS AT JOINTS.
24. ALL STORM DRAINAGE INLET STRUCTURES SHALL HAVE A NEENAH CAST IRON FRAME AND COVER, OR APPROVED EQUAL, FOR ACCESS.
25. SOIL TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE NOTICE TO SOILS ENGINEER FOR THE REQUIRED TESTING OF THE PROJECT.
26. THE CONTRACTOR SHALL PROVIDE ANY EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTORS RESPONSIBILITY.

SEDIMENT CONTROL & STORMWATER MANAGEMENT NOTES:

1. ALL EROSION CONTROL PROCEDURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "ALABAMA HANDBOOK FOR EROSION CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS".
2. ALL BEST MANAGEMENT PRACTICES (BMP) PROCEDURES SHALL BE IN PLACE AND INSPECTED PRIOR TO ANY LAND DISTURBING ACTIVITY.
3. ALL DISTURBED AREAS SHALL BE TEMPORARILY GRASSED AND MULCHED IF THEY WILL BE LEFT UNATTENDED FOR 13 DAYS.
4. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE PROJECT ENGINEER AND/OR LOCAL JURISDICTIONAL INSPECTOR.
5. CONSTRUCTION ENTRANCE/EXIT PADS SHALL BE INSTALLED BY THE CONTRACTOR AT CONSTRUCTION ACCESS POINTS PRIOR TO LAND DISTURBANCE AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT. (NO DIRECT PAYMENT)
6. THE APPROVED BEST MANAGEMENT PRACTICES PLAN SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBING ACTIVITY HAS BEGUN.
7. SILT FENCE AND/OR EROSION CONTROL NETTING SHALL BE PLACED ALONG THE DOWNSTREAM SIDE OF ALL PROPOSED FILL CONSTRUCTION.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION.
9. WHEN REQUIRED CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES AT THE END OF EACH WORKING DAY AND RAIN EVENT TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. CONTRACTOR SHALL PROPERLY MAINTAIN ALL BMP'S IN ACCORDANCE WITH THE "HANDBOOK".
10. CONTRACTOR SHALL IMMEDIATELY REPAIR AND/OR REPLACE ANY DAMAGED OR IMPROPERLY FUNCTIONING BMP.
11. ANY SILT IN THE DETENTION POND SHALL BE REMOVED AS DIRECTED BY THE PROJECT ENGINEER OR LOCAL AUTHORITY. THE DETENTION POND SHALL ALSO BE REGRADED TO FINAL DESIGN PRIOR TO FINAL ACCEPTANCE OF PROJECT. THERE IS NO DIRECT PAYMENT FOR THIS ACTIVITY.
12. ALL DISTURBED AREAS MUST BE PERMANENTLY STABILIZED IN ACCORDANCE WITH THE HANDBOOK PRIOR TO FINAL ACCEPTANCE.
13. CONTRACTOR SHALL ROUTINELY CLEAN OUT ANY SILT ACCUMULATION FROM THE PROJECTS DRAINAGE STRUCTURES AS REQUIRED BY PROJECT ENGINEER AND/OR LOCAL AUTHORITY.
14. CONTRACTOR IS SOLELY RESPONSIBLE FOR SEDIMENT CONTROL AND STORMWATER MANAGEMENT FOR PROJECT. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER IMMEDIATELY OF ANY FAILING BMP.

BALDWIN COUNTY NOTES:

1. ALL MATERIAL USED FOR BACKFILL WITHIN THE BALDWIN COUNTY RIGHT OF WAY SHALL BE PLACED IN 8" LIFTS AND MECHANICALLY COMPACTED TO 95% RELATIVE DENSITY.
2. ALL EXPOSED/DISTURBED SOILS WITHIN THE BALDWIN COUNTY RIGHT OF WAY SHALL HAVE SOLID SOD INSTALLED TO PROVIDE PERMANENT STABILIZATION.

BALDWIN COUNTY UTILITY NOTES:

1. ALL UTILITIES SHALL CONFORM TO THE BALDWIN COUNTY UTILITY MANUAL.
2. ALL UTILITIES INSTALLED WITHIN EXISTING BALDWIN COUNTY RIGHT OF WAYS SHALL REQUIRE A SEPARATE BALDWIN COUNTY UTILITY PERMIT.
3. IRRIGATION BORES TO ISLANDS SHALL BE TYPE 'K' COPPER OR ENCASED AS REQUIRED IN THE BALDWIN COUNTY UTILITY MANUAL.
4. ALL NEW ELECTRICAL SERVICE SHALL BE INSTALLED UNDERGROUND.
5. UTILITY BURY DEPTHS SHALL BE MINIMUM 30" IN ROAD SHOULDERS, 36" UNDER DITCHES, AND 48" UNDER PAVEMENT.

CONSTRUCTION PHASE SEQUENCE:

PHASE ONE

- INSTALL CONSTRUCTION ENTRANCE/EXIT
- CLEAR AREA REQUIRED FOR SILT FENCE PLACEMENT
- INSTALL SILT FENCE (SBA)

PHASE TWO

- CONSTRUCT AND STABILIZE WATER QUALITY PONDS/SEDIMENT BASINS
- WATTLES, INLET, AND OUTLET PROTECTION TO BE INSTALLED

PHASE THREE

- DEMOLITION AND REMOVAL OF DEMO DEBRIS
- CLEAR/GRUB REMAINING SITE AREAS

PHASE FOUR

- INSTALL STORM DRAINAGE MEASURES
- GRADE SITE TO ROUGH GRADES

PHASE FIVE

- CONSTRUCT UTILITIES (WATER, SEWER)

PHASE SIX

- CONSTRUCT ROADS (PAVING, CURB AND GUTTER, SIDEWALKS)

PHASE SEVEN

- STABILIZE DISTURBED AREAS WITH SOLID SOD
- INSTALL PERMANENT LANDSCAPING

PHASE EIGHT

- CONVERT SEDIMENT BASINS TO PERMANENT FUNCTION BIO-RETENTION PONDS BY REMOVING CAPTURED SEDIMENT AND REPLACING THE TOP 6" OF FILTER MEDIA INSTALLED IN PHASE TWO WITH 6" OF CLEAN SAND
- REMOVE BMP MEASURES

PHASE NINE

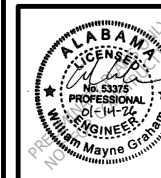
- REMOVE SILT FENCE
- PROJECT COMPLETE, FINAL INSPECTION, FILE NOTICE OF TERMINATION

TRAFFIC CONTROL NOTES:

1. ALL TRAFFIC CONTROL SHALL COMPLY WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. ALL TRAFFIC PLANS SHALL BE COORDINATED WITH THE CITY OF FAIRHOPE PUBLIC WORKS DEPARTMENT AND THE BALDWIN COUNTY HIGHWAY DEPARTMENT.
3. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS MAY BE NECESSARY AS PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, PART IV. THESE DEVICES SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION. **NO SEPARATE PAYMENT WILL BE MADE FOR TRAFFIC CONTROL REQUIREMENTS.**
4. ALL TEMPORARY TRAFFIC CONTROL SHALL COMPLY WITH PART VI OF THE MUTCD LATEST EDITION.



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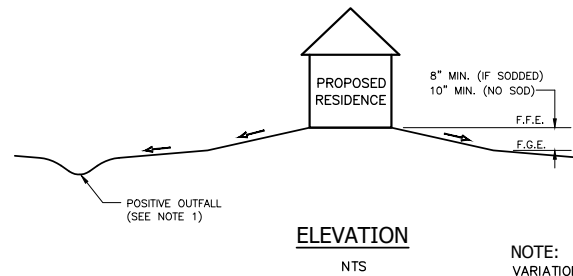


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CIVIL CONSTRUCTION NOTES
THE PRESERVE AT POINT CLEAR
ACHEE PROPERTIES

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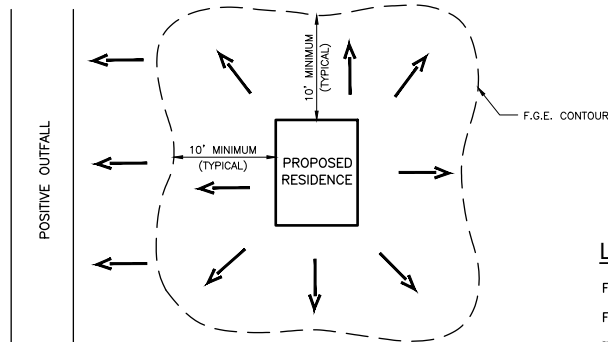
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ELEVATION

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NOTE:
VARIATIONS IN GRADING ARE ACCEPTABLE
IF GRADING DRAINS TO A POSITIVE OUTFALL.



PLAN

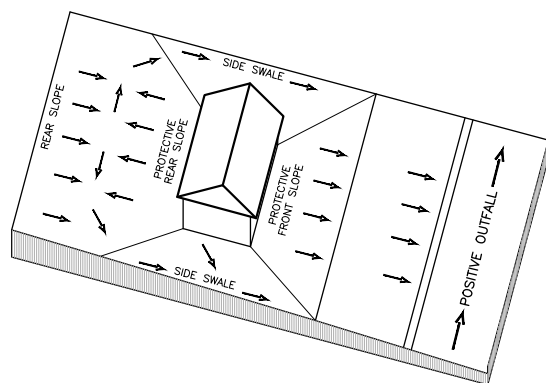
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LEGEND

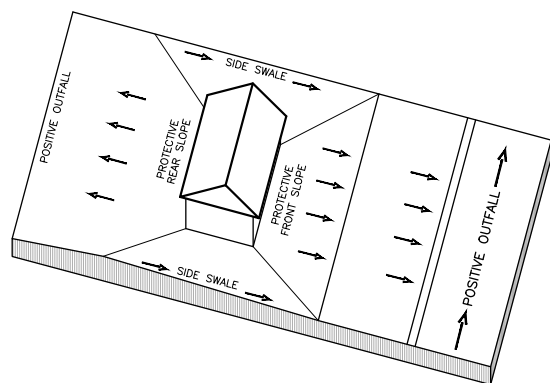
- F.F.E. - FINISH HABITABLE FLOOR ELEVATION
- F.G.E. - FINISH GRADE ELEVATION
- - STORMWATER FLOW DIRECTION ARROW

GENERAL NOTES

1. A POSITIVE DRAINAGE OUTFALL IS A CONVEYANCE SYSTEM (DRAINAGE EASEMENT, ROADWAY WITH A DRAINAGE SYSTEM SUCH AS CURB AND GUTTER OR A DITCH WHICH CONTAINS, CONTROLS AND TRANSMITS STORMWATER RUNOFF TO A CREEK, STREAM, RIVER, BAY, GULF, OCEAN OR OTHER COUNTY/STATE DRAINAGE SYSTEM.
2. FINISH FLOOR ELEVATION (F.F.E.) MUST BE 8"-10" MINIMUM ABOVE THE FINISH GRADE ELEVATION (EXCLUDING BASEMENT ELEVATIONS).
3. THESE ARE MINIMAL REQUIREMENTS AND DO NOT RELIEVE THE BUILDER FROM PROVIDING ADDITIONAL GRADING TO DIRECT STORMWATER TO A POSITIVE OUTFALL DRAINAGE SYSTEM.



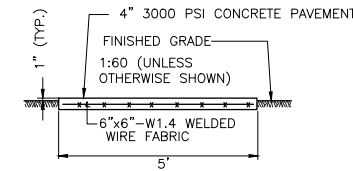
LOT GRADING - TYPE "A"
ALL DRAINAGE TO STREET



LOT GRADING - TYPE B"
DRAINAGE TO STREET AND REAR LOT LINE

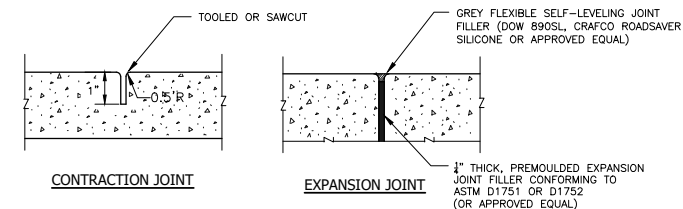
MINIMUM GRADING STANDARDS FOR RESIDENTIAL LOTS

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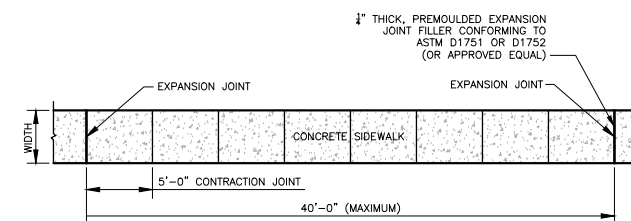
TYPICAL CONCRETE WALK DETAILS

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CONCRETE SIDEWALK JOINT DETAILS

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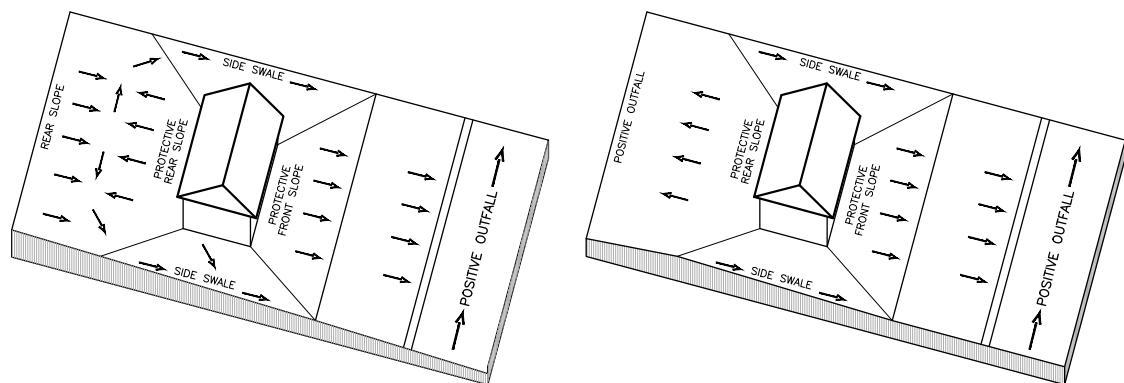


TYPICAL SIDEWALK JOINT DETAILS

NTS

SIDEWALK EXPANSION JOINT NOTES:

1. IN ADDITION TO THE 40' MAXIMUM SPACING, EXPANSION JOINT MATERIAL SHALL BE PROVIDED AT ALL RADIUS POINTS ALONG SIDEWALKS AND WHERE SIDEWALKS ADJOINS CURB INLETS.

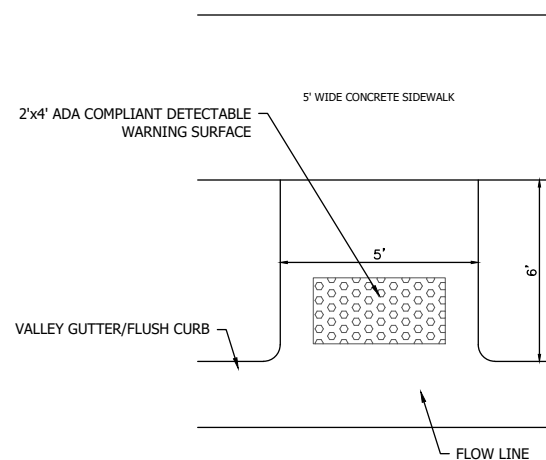


LOT GRADING - TYPE "A"
ALL DRAINAGE TO STREET

LOT GRADING - TYPE B"
DRAINAGE TO STREET AND REAR LOT LINE

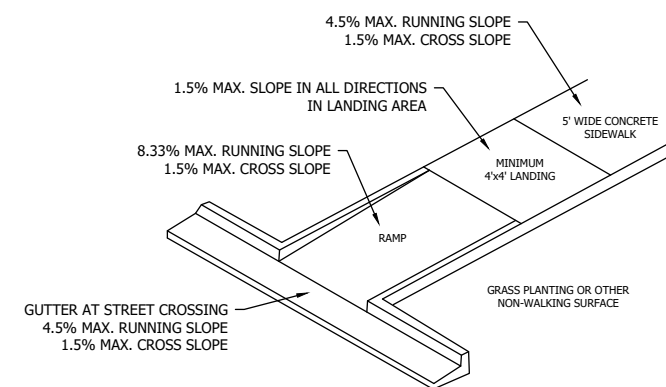
MINIMUM GRADING STANDARDS FOR RESIDENTIAL LOTS

NTS



CONCRETE CURB RAMP DETAIL FOR SIDEWALK

NTS



PERPENDICULAR CURB RAMP ISOMETRIC VIEW

NTS

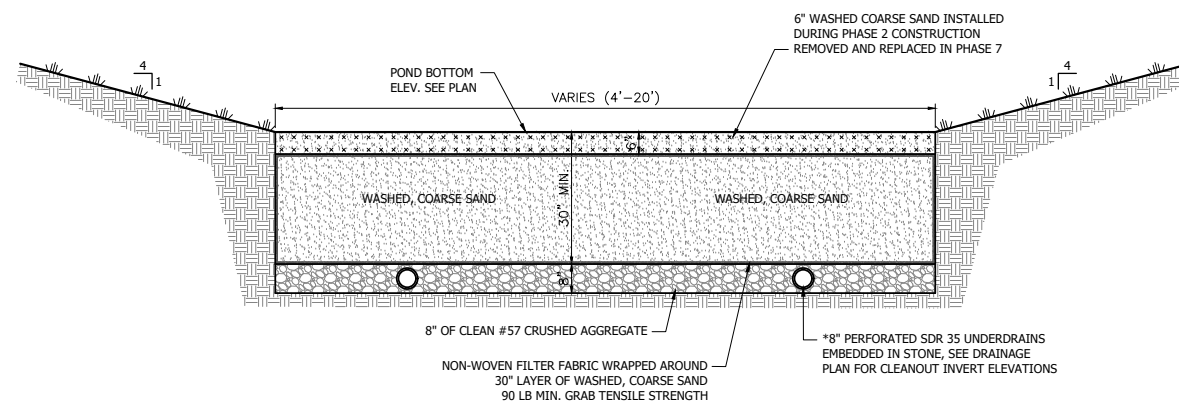
SIDEWALK EXPANSION JOINT NOTES:

1. IN ADDITION TO THE 40' MAXIMUM SPACING, EXPANSION JOINT MATERIAL SHALL BE PROVIDED AT ALL RADIUS POINTS ALONG SIDEWALKS AND WHERE SIDEWALKS ADJOINS CURB INLETS.

ADA SURFACE NOTES:

1. DETECTABLE WARNING SURFACE TO BE WET-SET. NO BOLT ON OR GLUE ON SURFACES ALLOWED.

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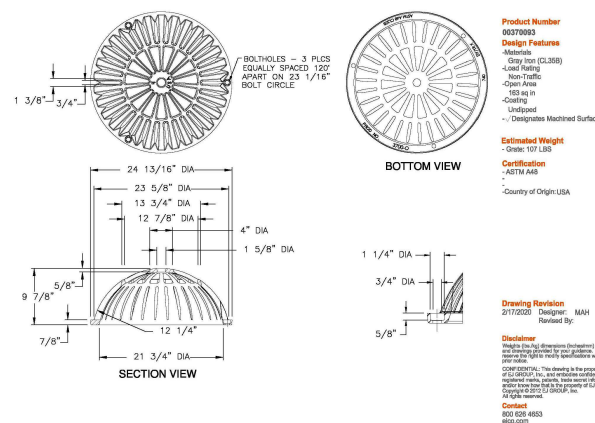


* 8" DIA. PERFORATED SDR 35 PVC SHALL CONFORM TO ASTM F-758. PERFORATIONS ON BOTTOM ONE-THIRD OF PIPE CIRCUMFERENCE FACING DOWNWARD.

POND UNDERDRAIN AND SAND FILTER DETAIL
(BIO-RETENTION POND B,
BIO-RETENTION SWALES A, C, D & E)

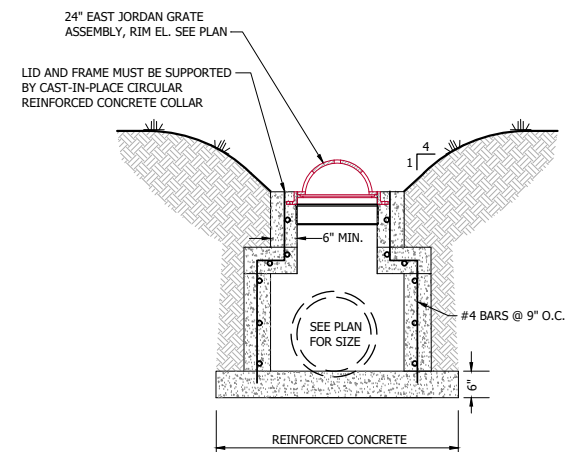
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3700 O Grate



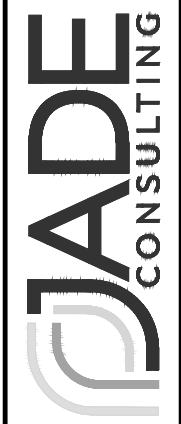
EAST JORDAN DOME GRATE DETAILS

NTS



DRAIN BASIN DETAIL W/ DOME GRATE

NTS



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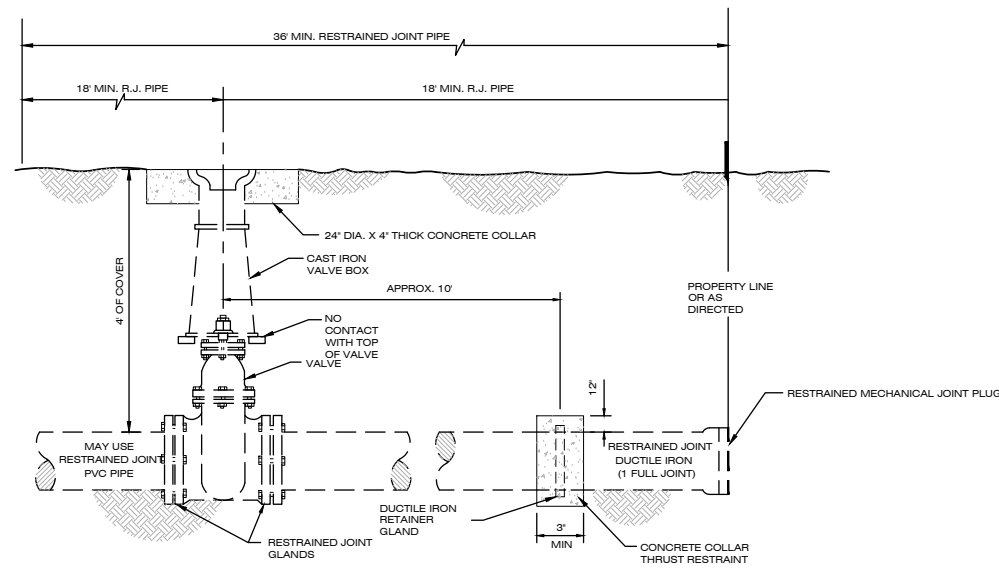


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CIVIL CONSTRUCTION DETAILS
THE PRESERVE AT POINT CLEAR
ACHEE PROPERTIES

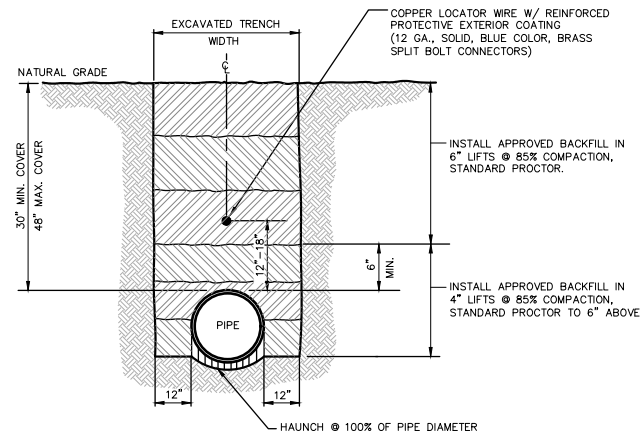
JOB NO: 25-1971.20
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 SHEET:

C17.2

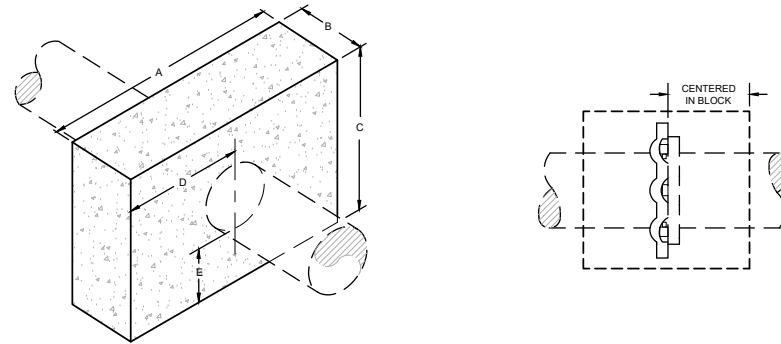


NOTE:
1. STUB OUT MUST BE HYDROSTATICALLY TESTED WITH REST OF WATER MAIN.

STUBOUT FOR FUTURE CONNECTION



TRENCH WITH LOCATOR WIRE



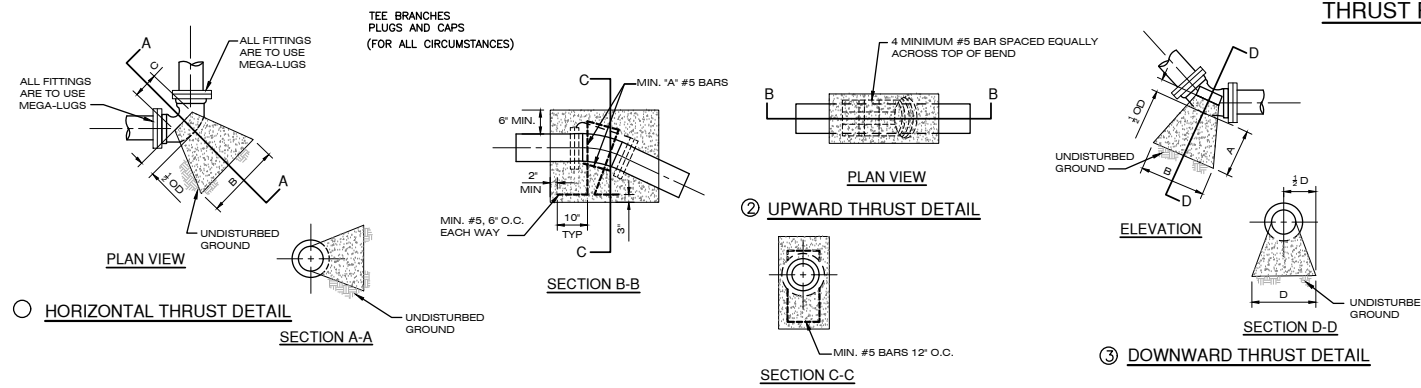
MINIMUM DIMENSIONS IN FEET FOR CONCRETE COLLAR ON DUCTILE IRON PIPE TO BE USED WITH EMBEDDED DUCTILE IRON RETAINER GLAND

PIPE SIZE	A	B	C	D	E	VOLUME CU. YDS.	CONC. WT.	THRUST
4"	3'-6"	3'-0"	1'-5"	1'-6"	1'-0"	0.55	2230	3150
6"	4'-0"	3'-0"	2'-7"	2'-0"	1'-0"	1.15	4650	7070
8"	4'-6"	3'-0"	3'-0"	2'-3"	1'-3"	1.50	6075	12,570
10"	5'-2"	3'-0"	3'-2"	2'-7"	1'-3"	1.81	7330	19,635

THRUST RESTRAINT CONCRETE COLLAR

GENERAL NOTES:

- SOIL CONDITIONS SHALL BE VERIFIED BY ENGINEER BEFORE THRUST BLOCK IS CONSTRUCTED WHERE SOIL BEARING PRESSURE IS LESS THAN 2000 LB/FT. THRUST BLOCK BEARING AREA SHALL BE INCREASED APPROPRIATELY.
- ALL CONCRETE SHALL BE CLASS A, 4000 P.S.I.



① DIMENSIONS FOR CONCRETE BLOCKING HORIZONTAL THRUST

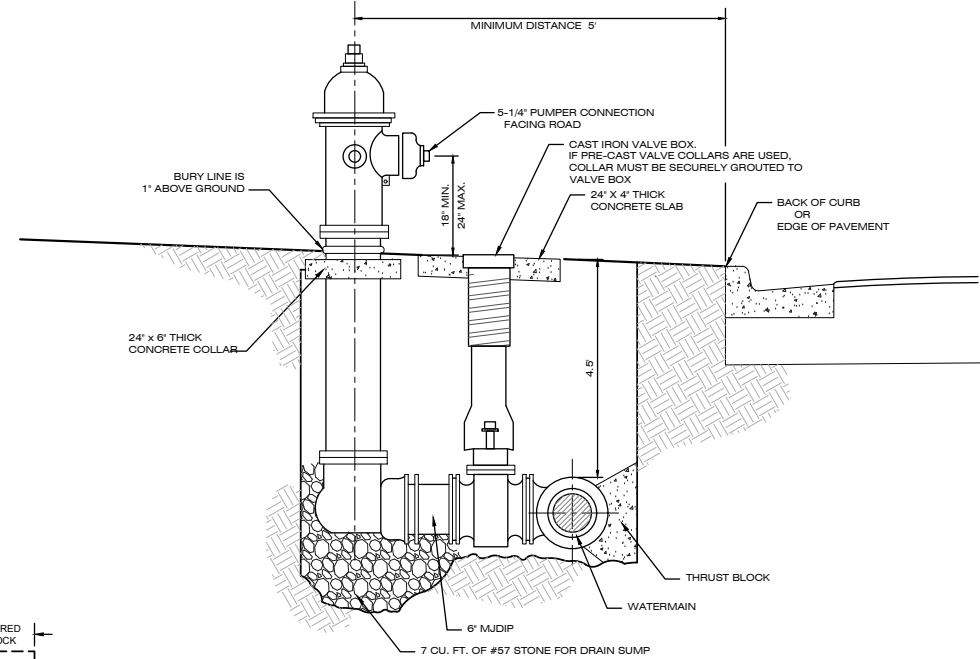
BEND SIZE	A (FT)	B (FT)	C (IN)	D (FT)	VOLUME (CU. YD.)
11 1/2"	6"	1.0	2.0	7"	1.0
	8"	1.0	2.0	7"	1.0
	12"	1.0	2.0	11"	2.0
22 1/2"	6"	1.0	2.0	7"	1.0
	8"	1.0	2.0	7"	2.0
	12"	2.0	3.0	11"	2.0
45"	6"	1.5	2.0	7"	1.5
	8"	2.0	3.0	7"	2.0
	12"	2.0	4.0	11"	3.0
90"	6"	1.75	2.5	7"	2.0
	8"	2.0	3.0	7"	3.0
	12"	4.0	6.0	11"	4.0

② CONCRETE REQUIRED TO RESIST UPWARD THRUST

BEND SIZE	VOLUME (CU. YD.)	"A" NO. OF VERT. BARS REQ'D.
11 1/2"	6"	0.3
	8"	0.5
	12"	1.4
22 1/2"	6"	0.7
	8"	1.2
	12"	2.7
45"	6"	1.2
	8"	2.2
	12"	4.9
90"	6"	1.8
	8"	3.1
	12"	7.0

③ DIMENSIONS FOR CONCRETE BLOCKING FOR BENDS-DOWNWARD THRUST

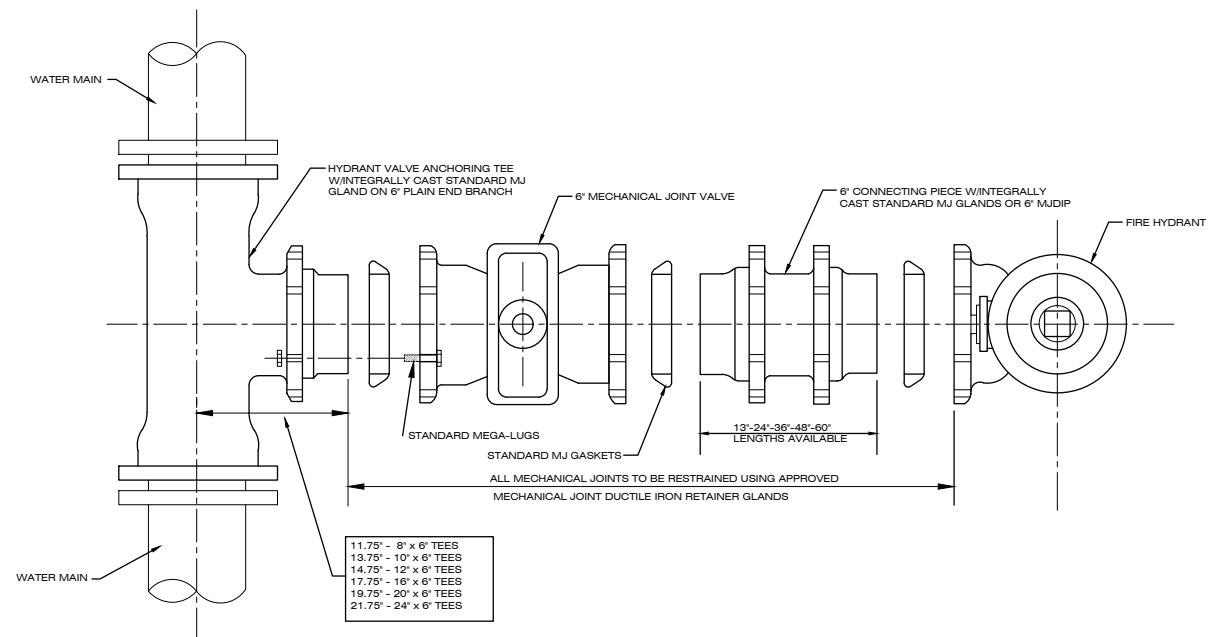
BEND SIZE	A (FT)	B (FT)	C (IN)	D (FT)	VOLUME (CU. YD.)
11 1/2"	6"	1.0	2.0	7"	1.0
	8"	1.0	2.0	7"	1.0
	12"	1.0	2.0	11"	2.0
22 1/2"	6"	1.0	2.0	7"	1.0
	8"	1.0	2.0	7"	2.0
	12"	2.0	3.0	11"	2.0
45"	6"	1.5	2.0	7"	1.5
	8"	2.0	3.0	7"	2.0
	12"	2.0	4.0	11"	3.0
90"	6"	1.75	2.5	7"	2.0
	8"	2.0	3.0	7"	3.0
	12"	4.0	6.0	11"	4.0



NOTES:

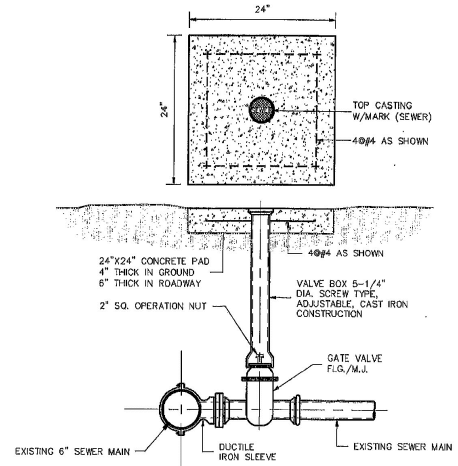
- FIRE HYDRANTS SHALL BE PLACED AT STREET INTERSECTIONS OR IN THE RIGHT-OF-WAY ADJACENT TO SIDE LOT LINES WHENEVER POSSIBLE.
- ALL VALVES MUST BE RATED AT WORKING PRESSURE OF 200 PSI AND TESTED AT A PRESSURE OF 250 PSI.
- ALL FIRE HYDRANTS MUST BE MUELLER A-423, OR APPROVED EQUAL, AND BE UNDERWRITERS LABORATORIES LISTED AND ACCOMPANIED BY A CERTIFICATE THAT STATES EACH FIRE HYDRANT HAS BEEN TESTED AT AWWA SPECIFICATIONS C502-85 OR LATER VERSION.
- CONCRETE STRENGTH TEST REQUIRED FOR ALL POURED-IN-PLACE CONCRETE.

TYPICAL FIRE HYDRANT SETTING

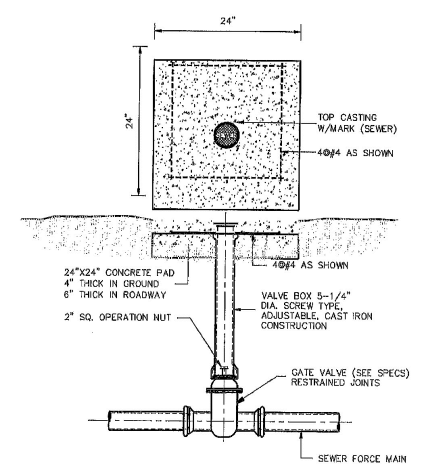


TYPICAL FIRE HYDRANT INSTALLATION

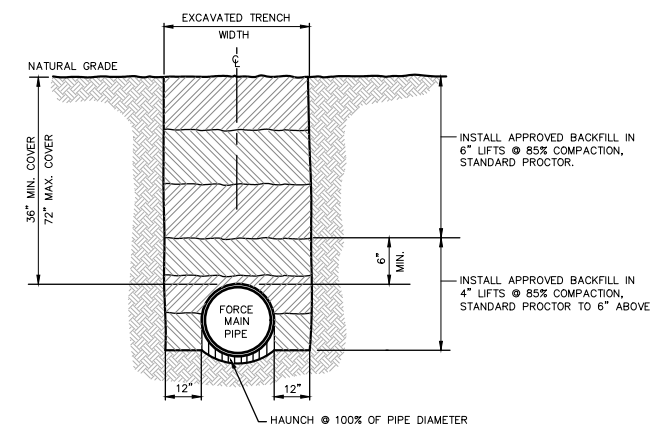
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1.	DRC COMMENTS	01-14-2026	



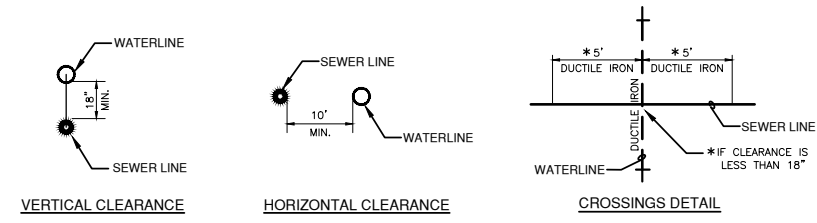
SEWER TAPPING SLEEVE & VALVE ASSEMBLY
N.T.S.



SEWER GATE VALVE
N.T.S.

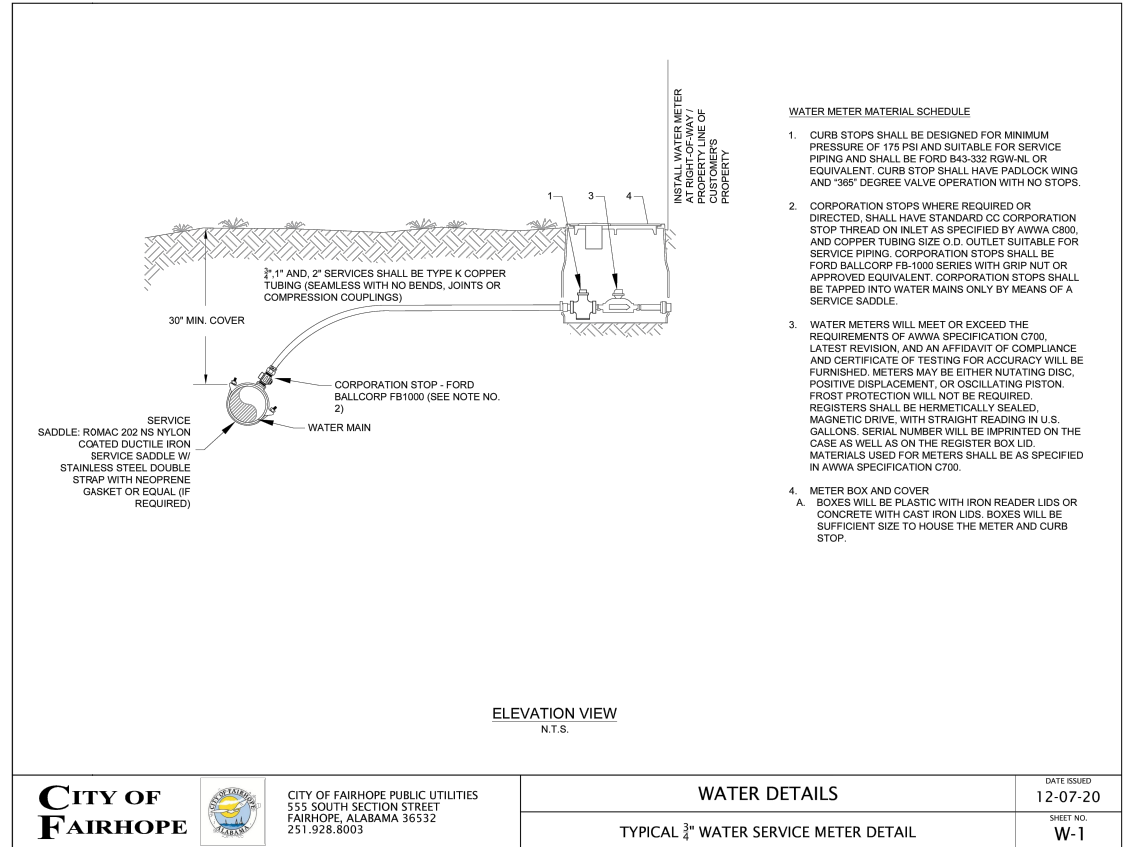


FORCE MAIN TRENCH DETAIL
N.T.S.



- NOTES:**
1. WATERLINES MORE THAN 18" OVER SEWER LINE SHALL REQUIRE NO SPECIAL ACTION.
 2. WATERLINES LESS THAN 18" OVER SEWER LINE SHALL CENTER 10' L.F. OF DUCTILE IRON PIPE WATERLINE ON CROSSING POINT.
 3. WATERLINES UNDER SEWER LINE SHALL CENTER 10' L.F. DUCTILE IRON PIPE WITHIN ENCASMENT ON CROSSING POINT.

REQUIRED WATER AND SEWER SEPARATION DETAILS

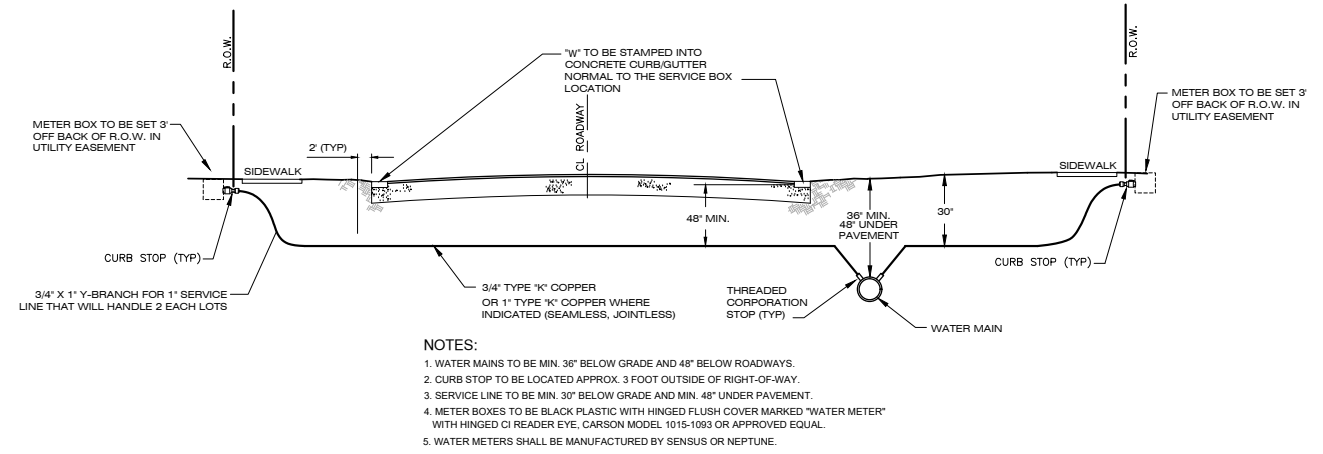


- WATER METER MATERIAL SCHEDULE**
1. CURB STOPS SHALL BE DESIGNED FOR MINIMUM PRESSURE OF 175 PSI AND SUITABLE FOR SERVICE PIPING AND SHALL BE FORD B43-332 RGW-NL OR EQUIVALENT. CURB STOP SHALL HAVE PADLOCK WING AND 785° DEGREE VALVE OPERATION WITH NO STOPS.
 2. CORPORATION STOPS WHERE REQUIRED OR DIRECTED, SHALL HAVE STANDARD CO CORPORATION STOP THREAD ON INLET AS SPECIFIED BY AWWA C800, AND COPPER TUBING SIZE O.D. OUTLET SUITABLE FOR SERVICE PIPING. CORPORATION STOPS SHALL BE FORD BALLCORP FB-1000 SERIES WITH GRIP NUT OR APPROVED EQUIVALENT. CORPORATION STOPS SHALL BE TAPPED INTO WATER MAINS ONLY BY MEANS OF A SERVICE SADDLE.
 3. WATER METERS WILL MEET OR EXCEED THE REQUIREMENTS OF AWWA SPECIFICATION C700, LATEST REVISION, AND AN AFFIDAVIT OF COMPLIANCE AND CERTIFICATE OF TESTING FOR ACCURACY WILL BE FURNISHED. METERS MAY BE EITHER ROTATING DISC, POSITIVE DISPLACEMENT, OR OSCILLATING PISTON. FROST PROTECTION WILL NOT BE REQUIRED. REGISTERS SHALL BE HERMETICALLY SEALED. MAGNETIC DRIVE, WITH STRAIGHT READING IN U.S. GALLONS. SERIAL NUMBER WILL BE IMPRINTED ON THE CASE AS WELL AS ON THE REGISTER BOX LID. MATERIALS USED FOR METERS SHALL BE AS SPECIFIED IN AWWA SPECIFICATION C700.
 4. METER BOX AND COVER
 - A. BOXES WILL BE PLASTIC WITH IRON READER LIDS OR CONCRETE WITH CAST IRON LIDS. BOXES WILL BE SUFFICIENT SIZE TO HOUSE THE METER AND CURB STOP.



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251.928.8003

WATER DETAILS	DATE ISSUED 12-07-20
TYPICAL 3/4" WATER SERVICE METER DETAIL	SHEET NO. W-1



- NOTES:**
1. WATER MAINS TO BE MIN. 36" BELOW GRADE AND 48" BELOW ROADWAYS.
 2. CURB STOP TO BE LOCATED APPROX. 3 FOOT OUTSIDE OF RIGHT-OF-WAY.
 3. SERVICE LINE TO BE MIN. 30" BELOW GRADE AND MIN. 48" UNDER PAVEMENT.
 4. METER BOXES TO BE BLACK PLASTIC WITH HINGED FLUSH COVER MARKED "WATER METER" WITH HINGED CI READER EYE, CARSON MODEL 1015-1093 OR APPROVED EQUAL.
 5. WATER METERS SHALL BE MANUFACTURED BY SENSUS OR NEPTUNE.

TYPICAL ROADWAY SECTION AT SERVICE LINE CROSSING



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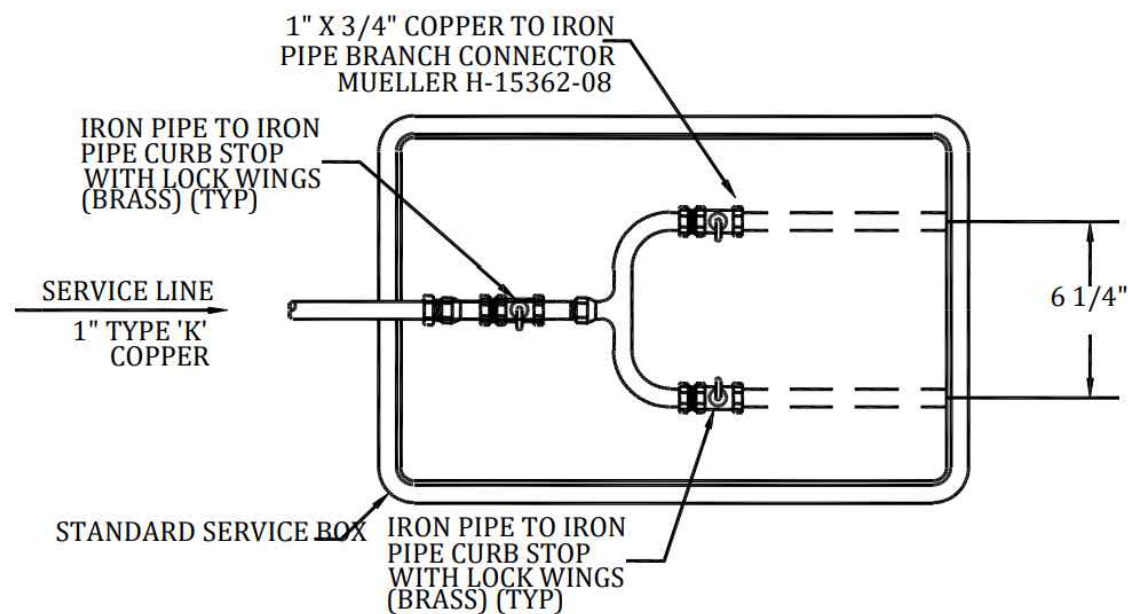


NO.	REVISION	DATE	APPR.
1.	DRC COMMENTS	01-14-2026	

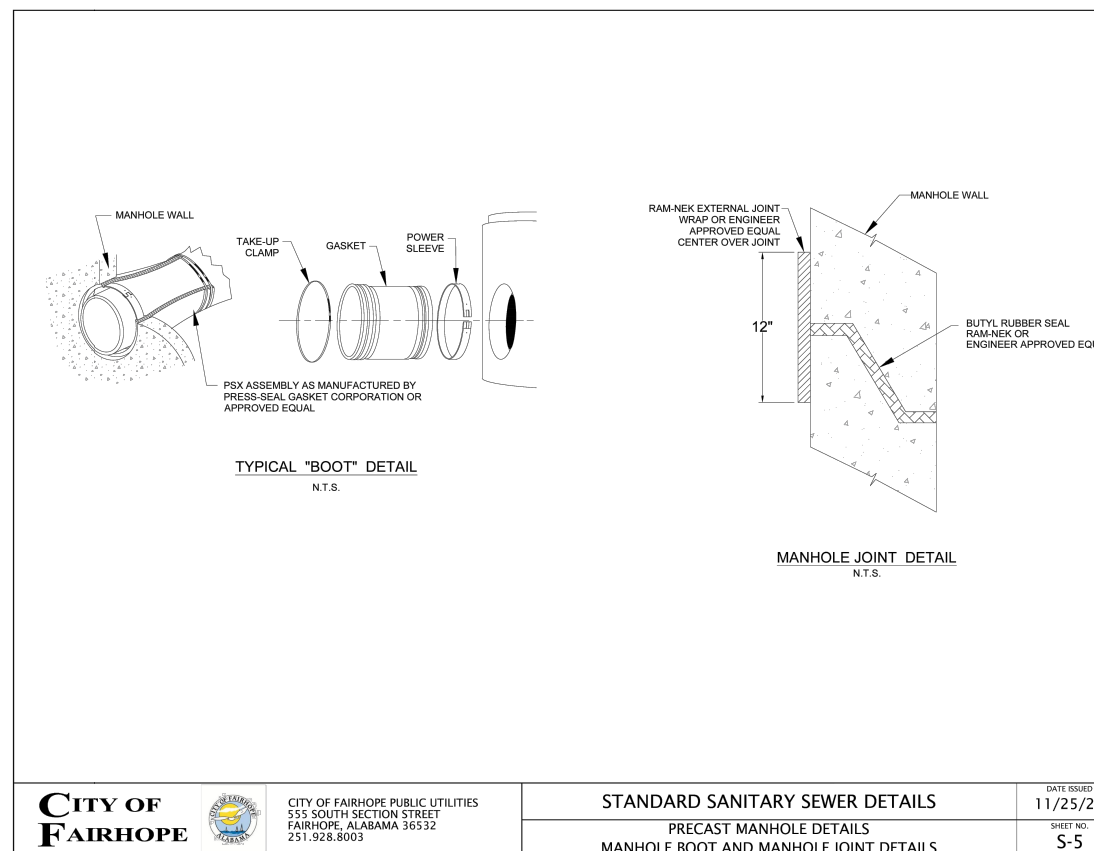
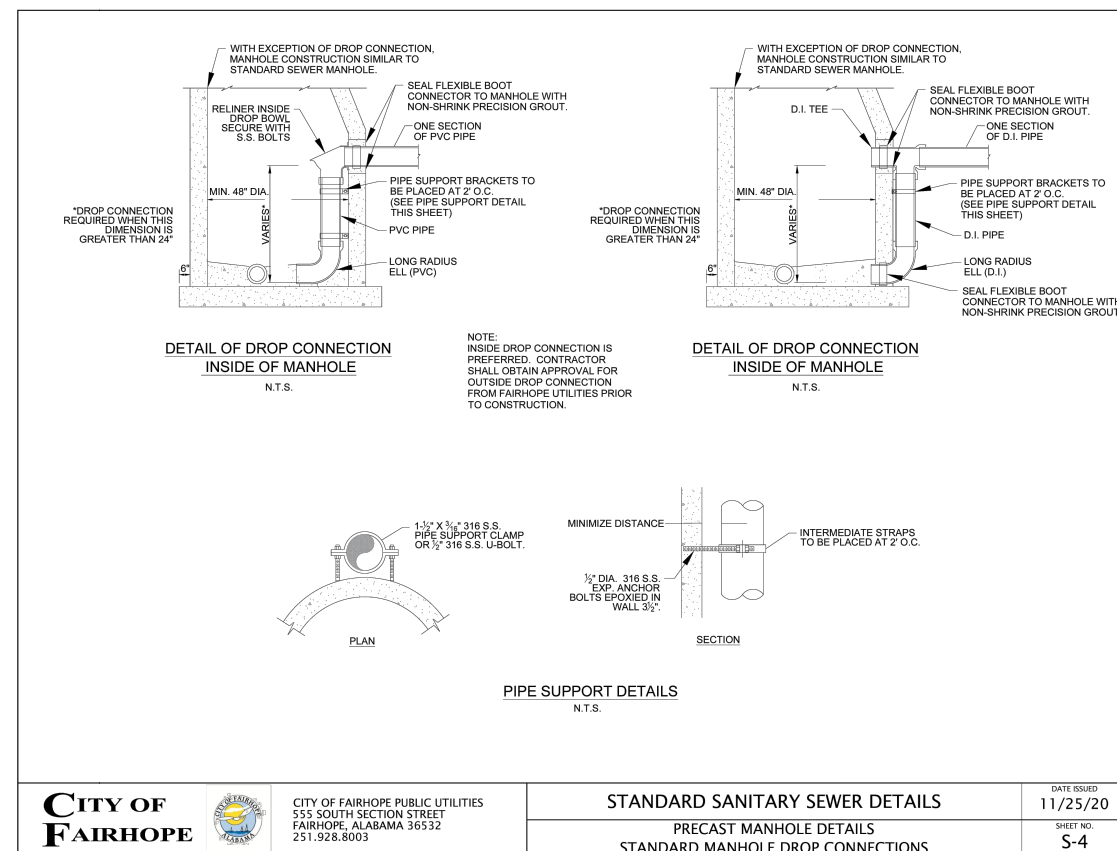
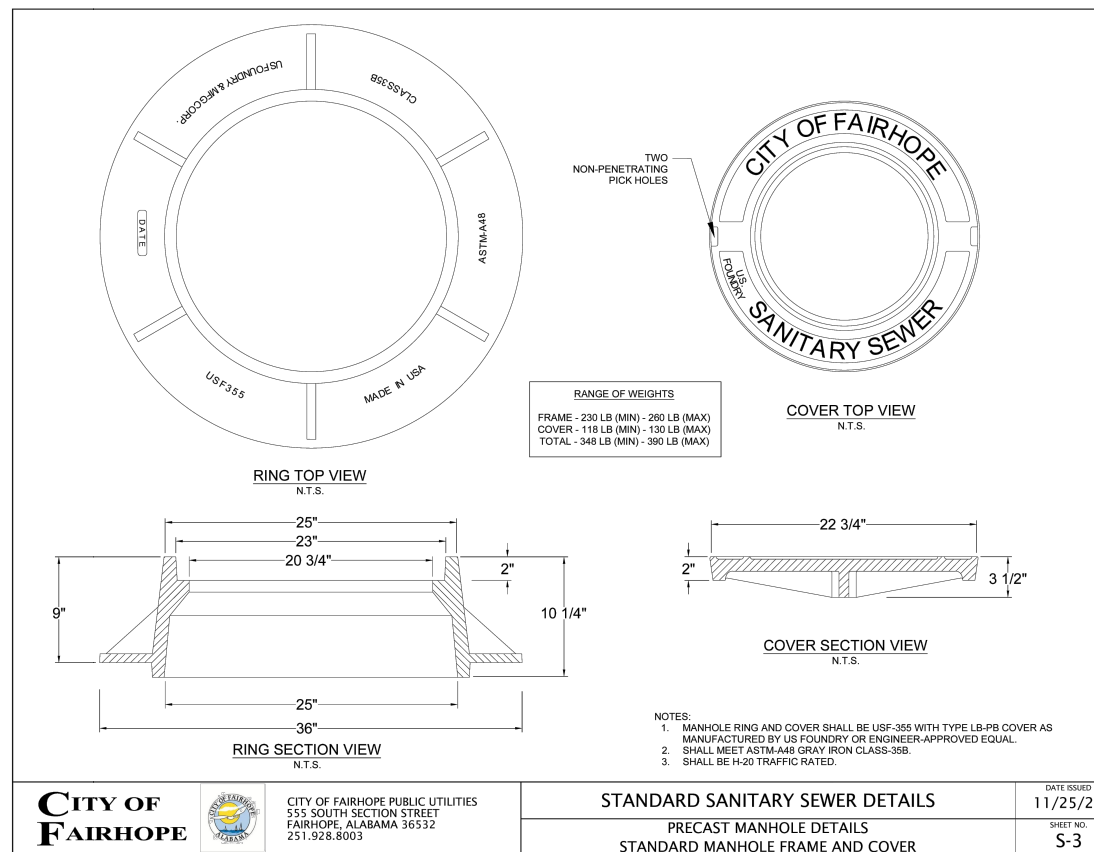
CIVIL CONSTRUCTION DETAILS
THE PRESERVE AT POINT CLEAR
ACHEE PROPERTIES

JOB NO: 25-1971.20
SCALE: NTS
DATE: JAN 2026
DRAFTER: BS, WMG
SHEET:

TYPICAL DOUBLE SERVICE CONNECTION

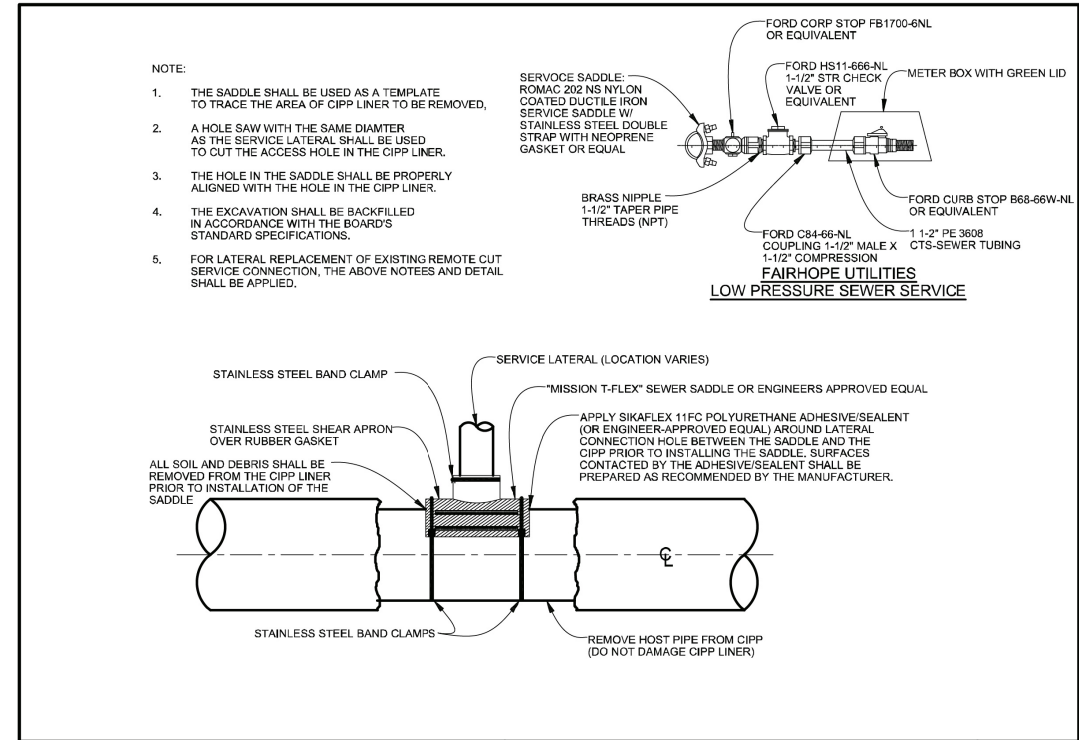


WATER SERVICE DETAIL
N.T.S.

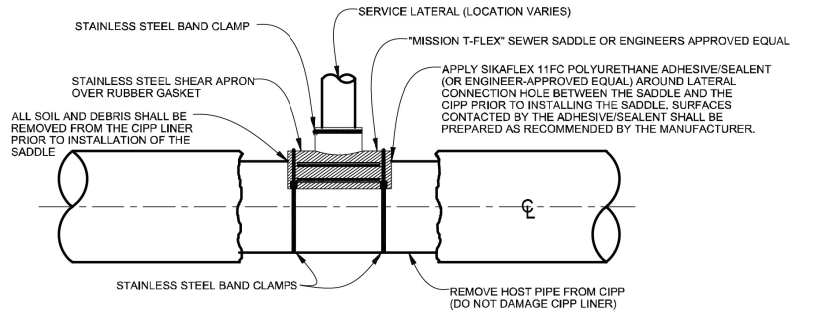


NO.	REVISION	DATE	APPR.
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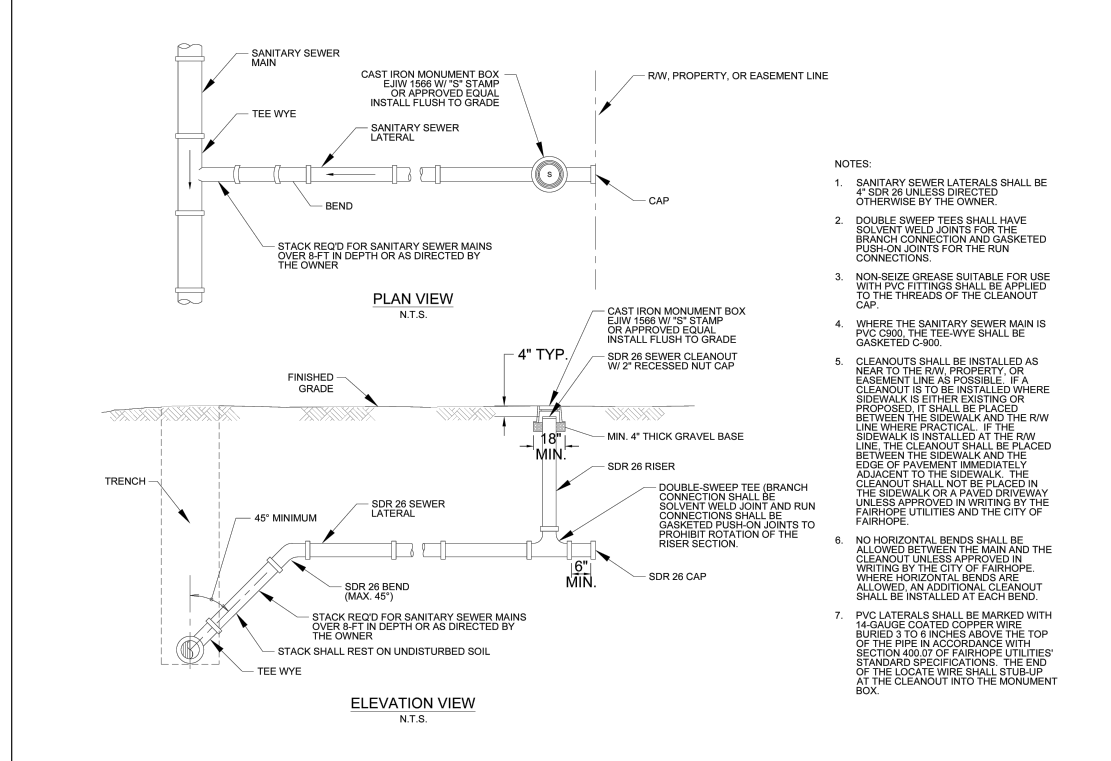
CIVIL CONSTRUCTION DETAILS
THE PRESERVE AT POINT CLEAR
ACHEE PROPERTIES



- NOTE:
1. THE SADDLE SHALL BE USED AS A TEMPLATE TO TRACE THE AREA OF CIPP LINER TO BE REMOVED.
 2. A HOLE SAW WITH THE SAME DIAMETER AS THE SERVICE LATERAL SHALL BE USED TO CUT THE ACCESS HOLE IN THE CIPP LINER.
 3. THE HOLE IN THE SADDLE SHALL BE PROPERLY ALIGNED WITH THE HOLE IN THE CIPP LINER.
 4. THE EXCAVATION SHALL BE BACKFILLED IN ACCORDANCE WITH THE BOARD'S STANDARD SPECIFICATIONS.
 5. FOR LATERAL REPLACEMENT OF EXISTING REMOTE CUT SERVICE CONNECTION, THE ABOVE NOTICES AND DETAIL SHALL BE APPLIED.

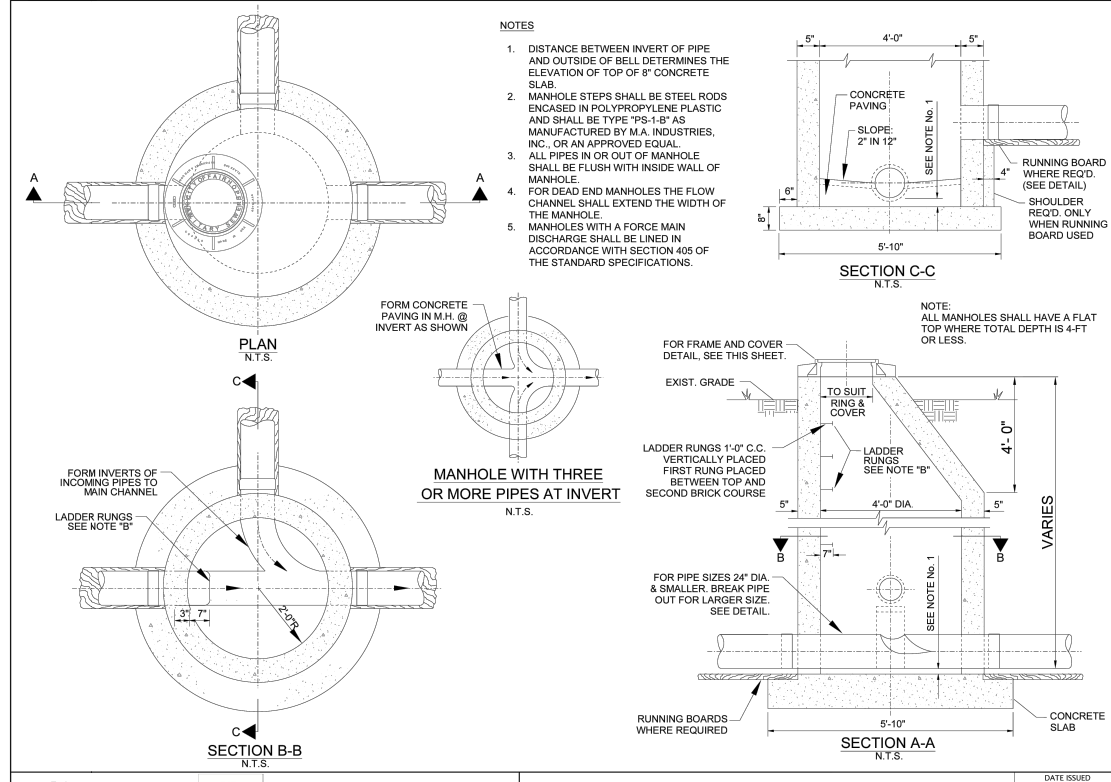


CITY OF FAIRHOPE	CITY OF FAIRHOPE PUBLIC UTILITIES 555 SOUTH SECTION STREET FAIRHOPE, ALABAMA 36532 251.928.8003	STANDARD SANITARY SEWER DETAILS	DATE ISSUED 11/25/20
		SERVICE CONNECTION TO CIPP-LINED SANITARY SEWER MAINS	SHEET NO. S-7



- NOTES:
1. SANITARY SEWER LATERALS SHALL BE 4\"/>

CITY OF FAIRHOPE	CITY OF FAIRHOPE PUBLIC UTILITIES 555 SOUTH SECTION STREET FAIRHOPE, ALABAMA 36532 251.928.8003	STANDARD SANITARY SEWER DETAILS	DATE ISSUED 11/25/20
		TYPICAL SANITARY SEWER LATERAL CONNECTION	SHEET NO. S-6



- NOTES:
1. DISTANCE BETWEEN INVERT OF PIPE AND OUTSIDE OF BELL DETERMINES THE ELEVATION OF TOP OF 8\"/>

CITY OF FAIRHOPE	CITY OF FAIRHOPE PUBLIC UTILITIES 555 SOUTH SECTION STREET FAIRHOPE, ALABAMA 36532 251.928.8003	STANDARD SANITARY SEWER DETAILS	DATE ISSUED 11/25/20
		PRECAST MANHOLE DETAILS PIPE DIAMETERS LESS THAN 24-INCH	SHEET NO. S-1



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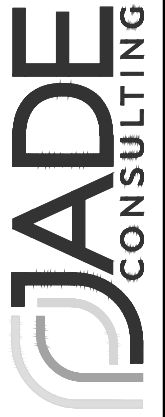
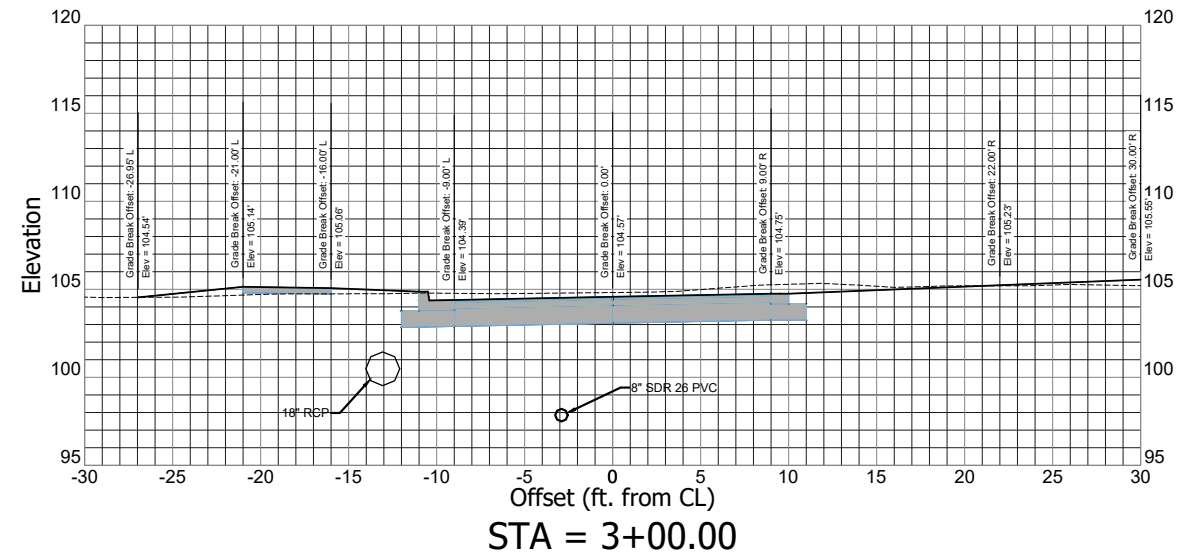
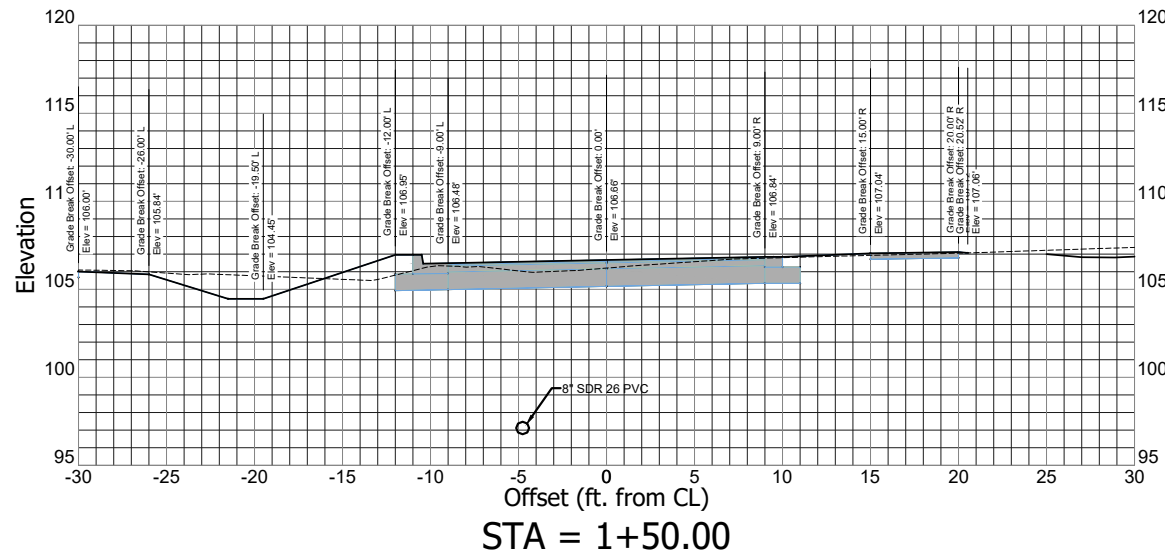
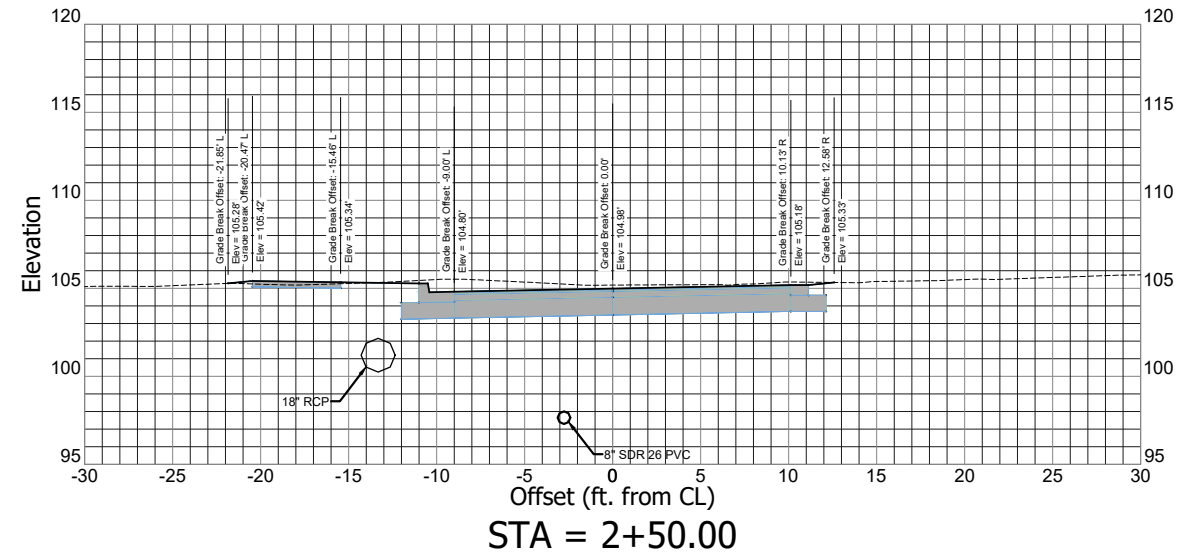
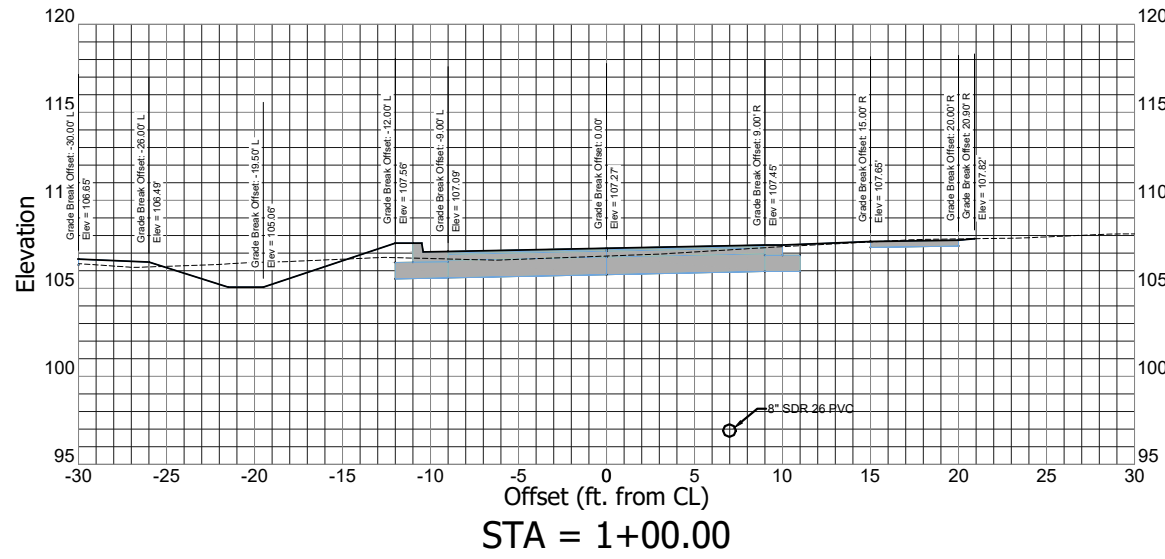
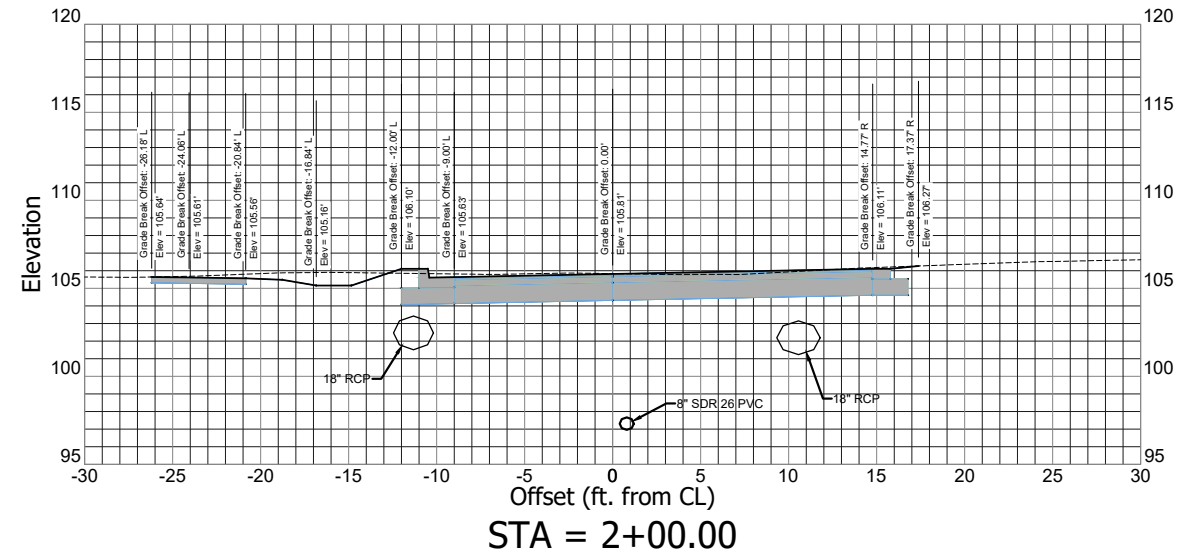
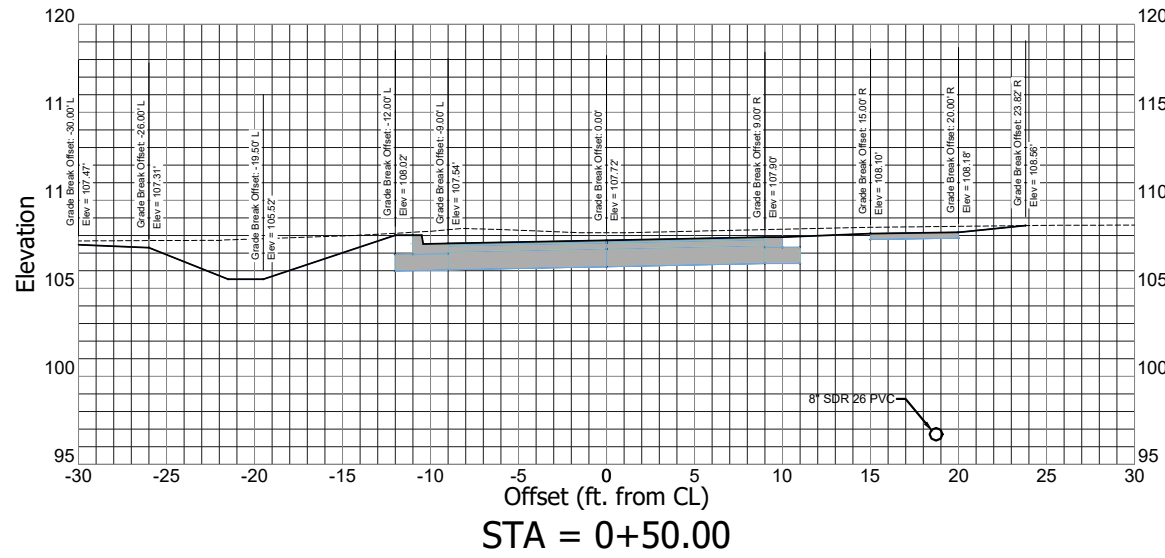


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CIVIL CONSTRUCTION DETAILS
THE PRESERVE AT POINT CLEAR
ACHEE PROPERTIES

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SHEET:

C17.7



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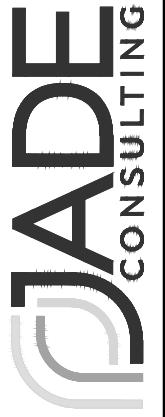
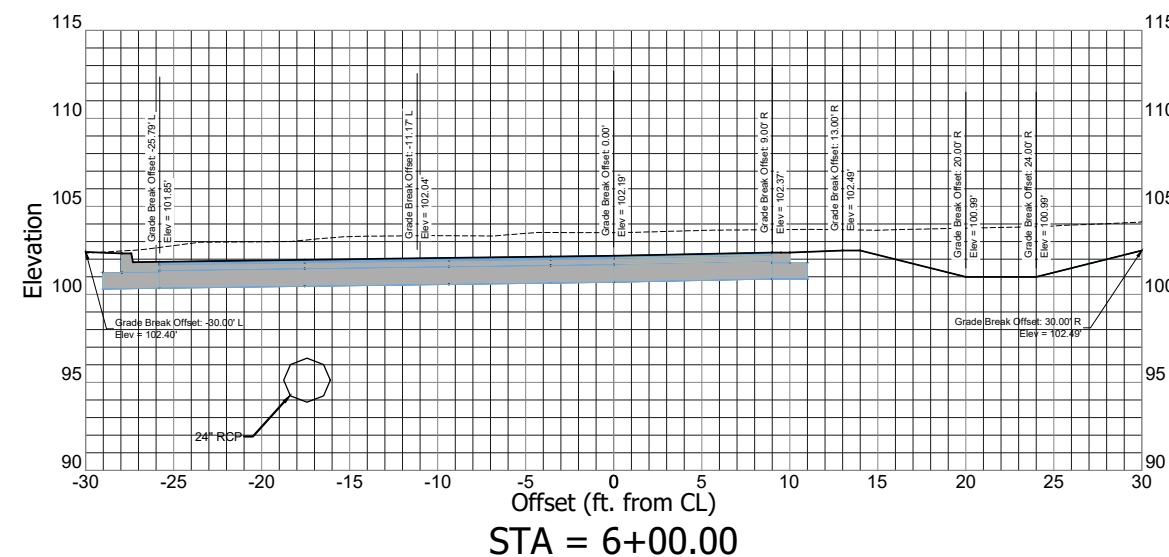
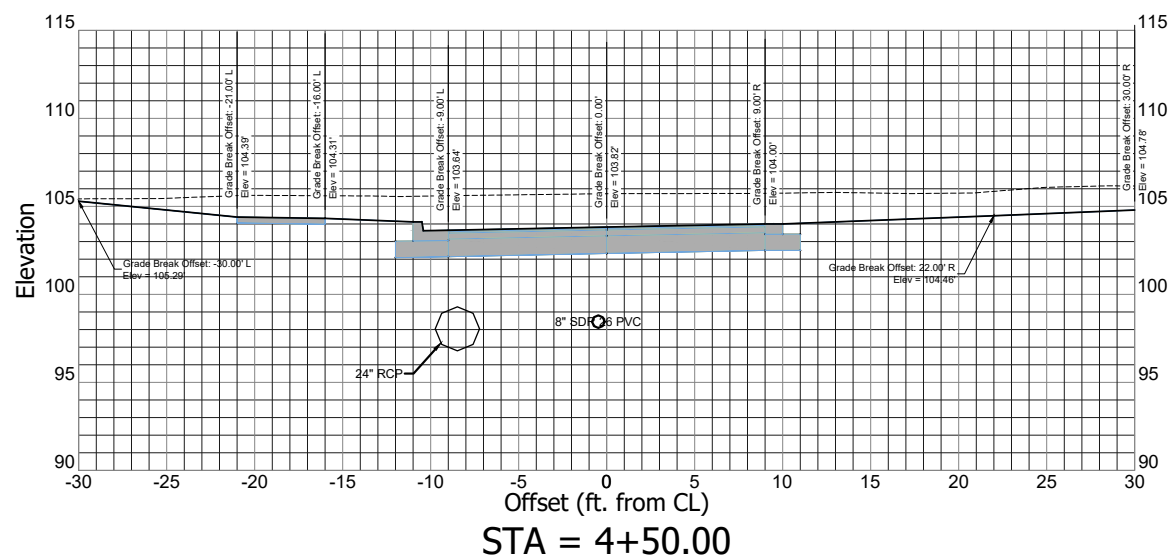
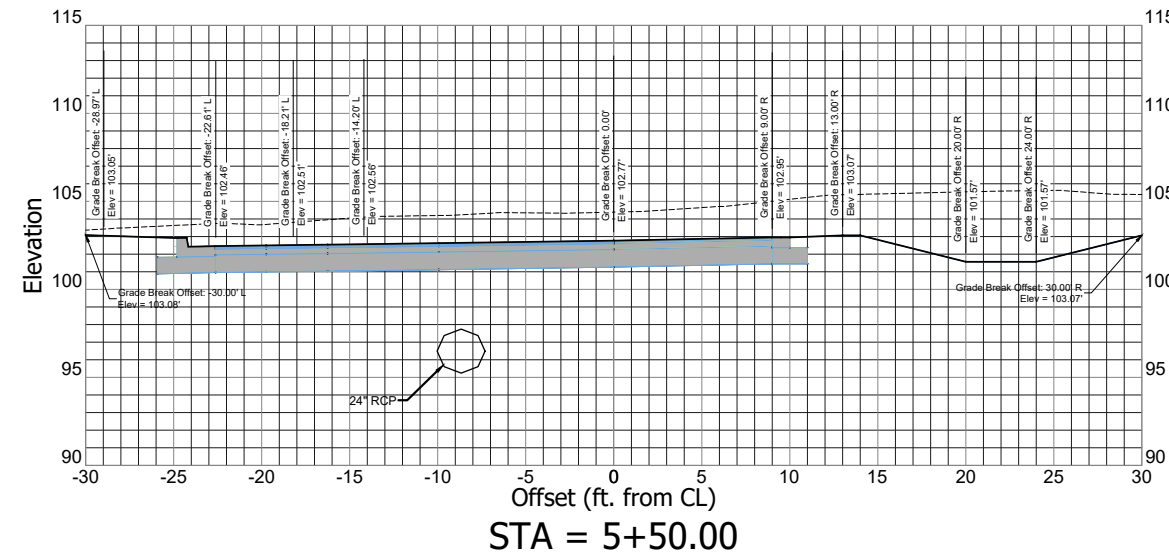
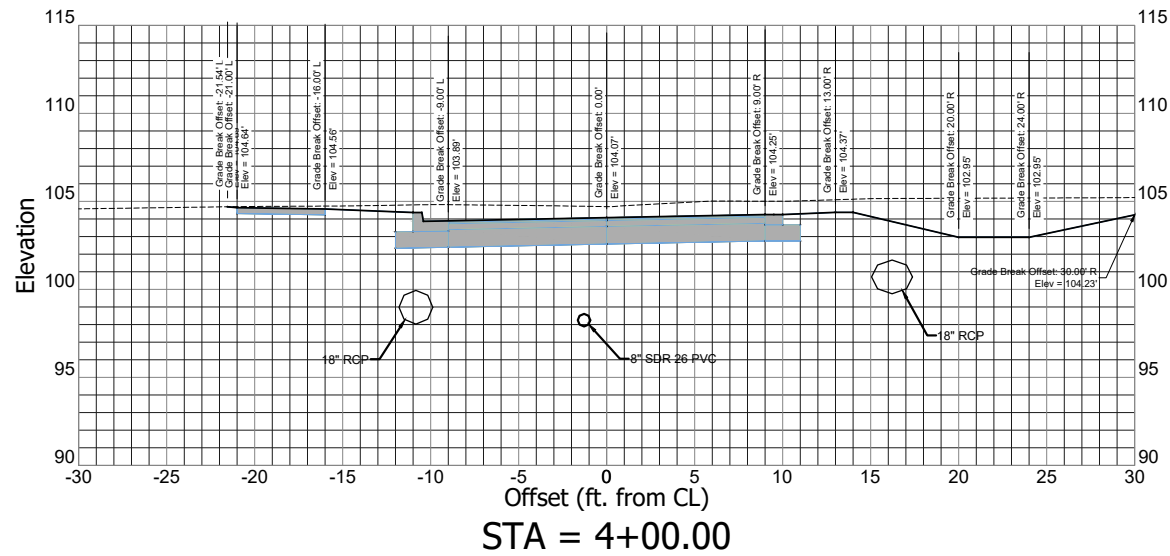
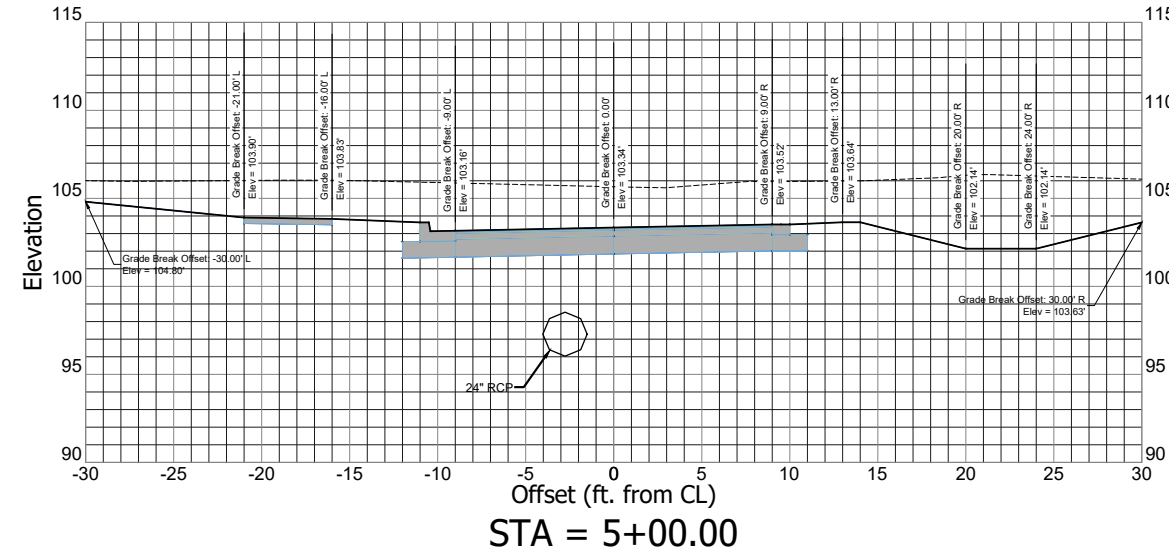
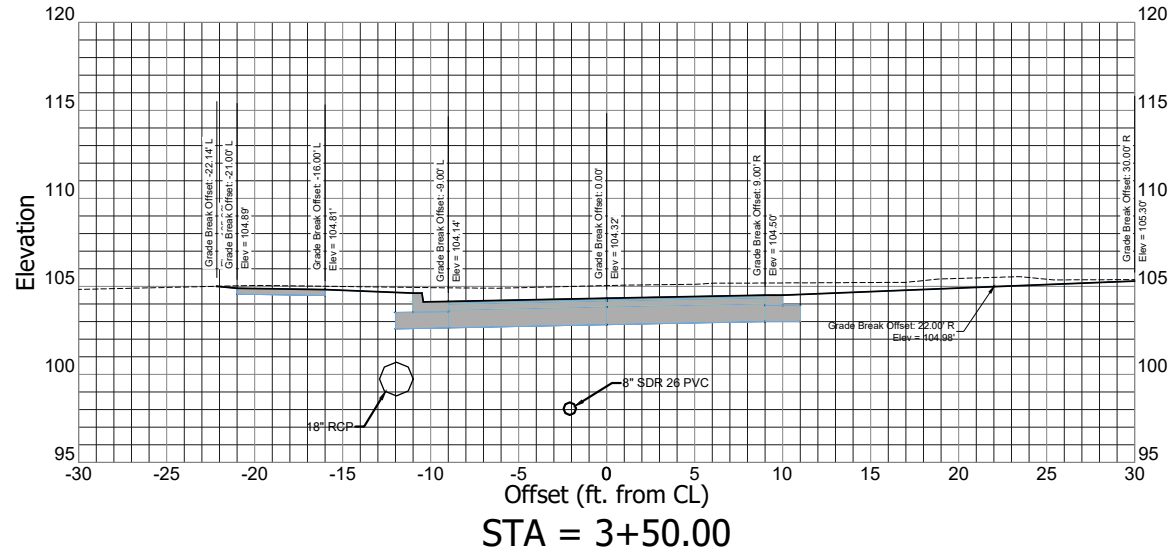


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**CROSS-SECTION - EMORY LANE
 THE PRESERVE AT POINT CLEAR
 ACHEE PROPERTIES**

JOB NO: 25-1971.20
 SCALE: 1" = 5'
 DATE: JAN 2026
 DRAFTER: BS, WMG
 SHEET:

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CROSS-SECTION - EMORY LANE
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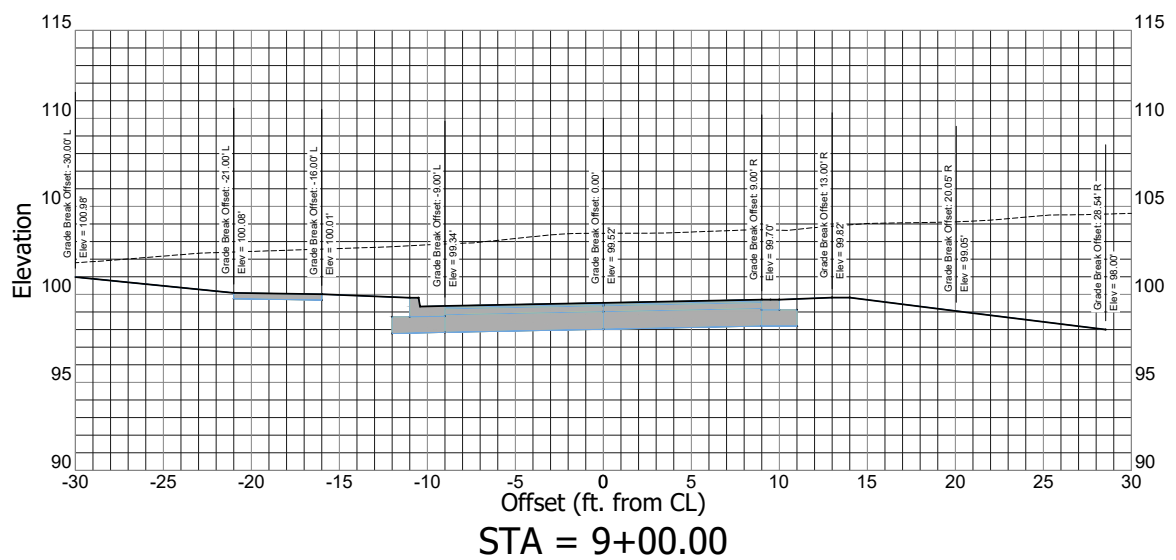
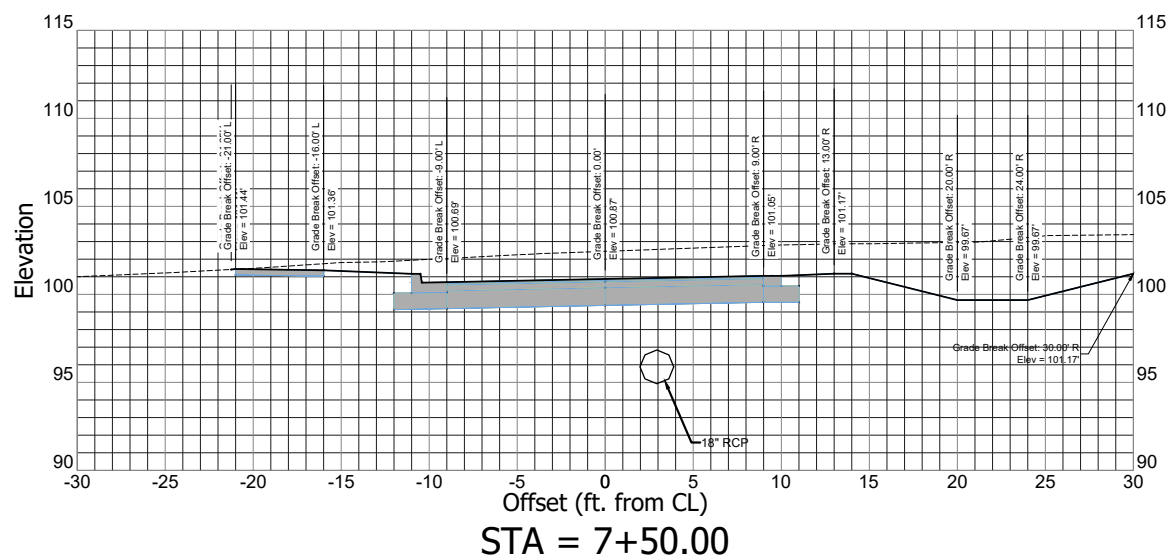
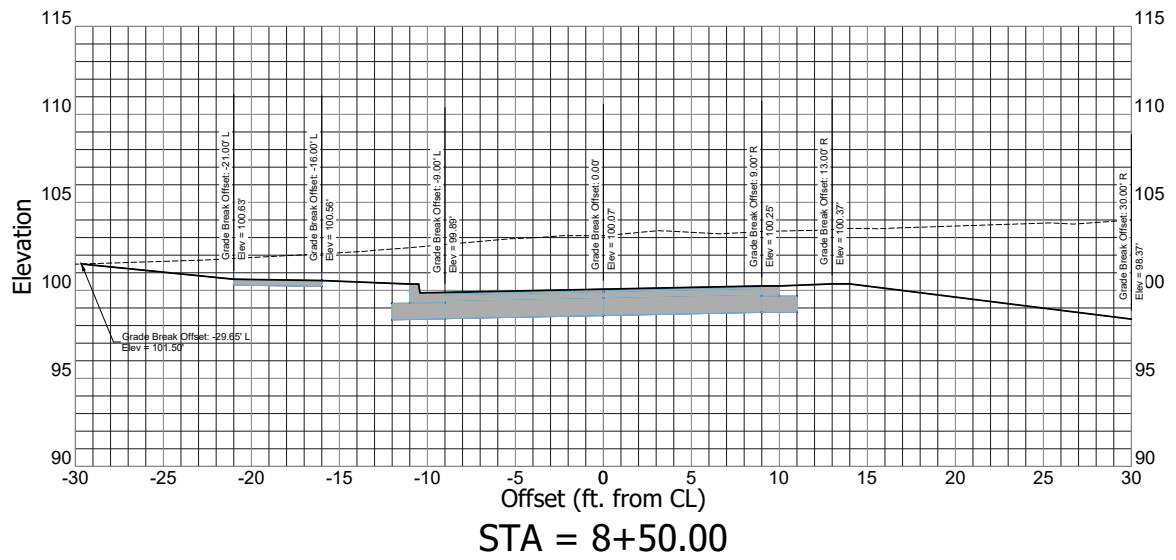
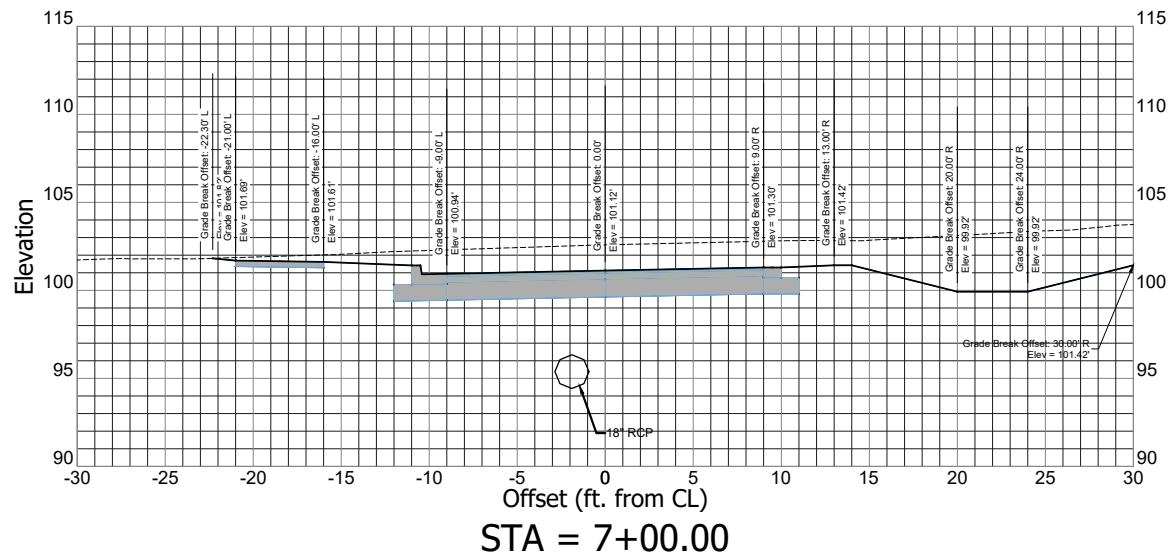
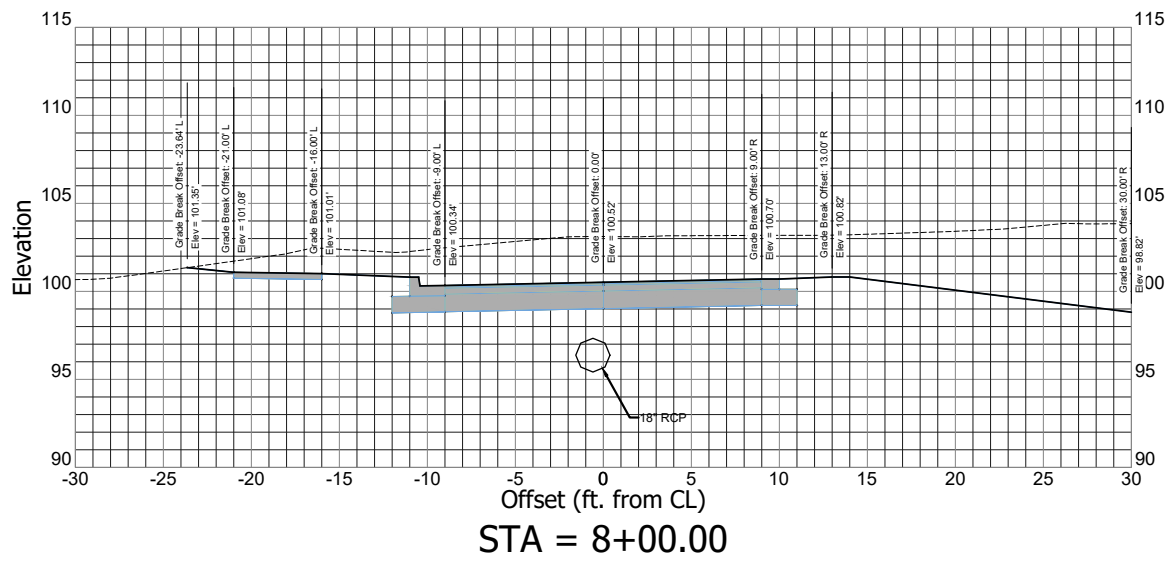
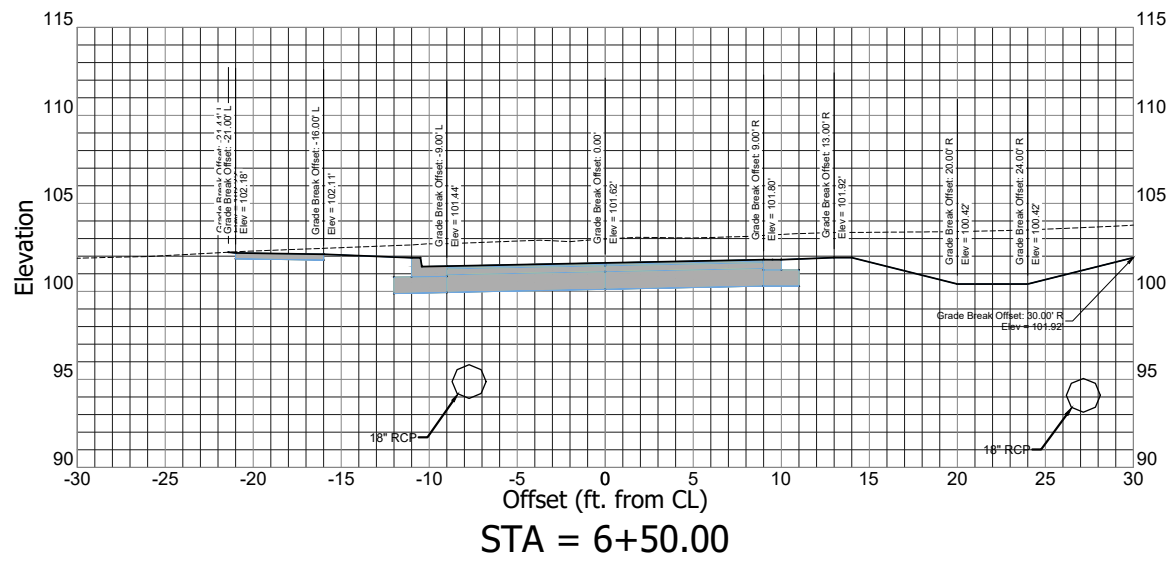
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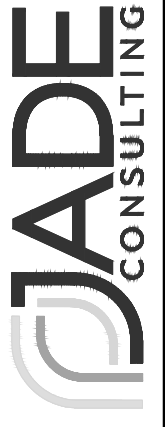
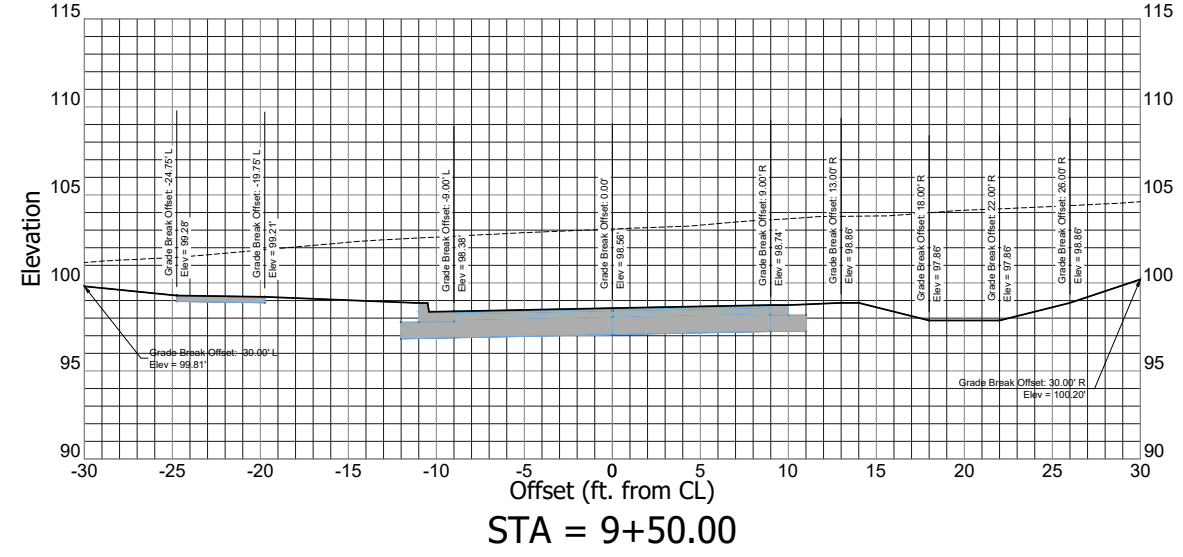


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