



Fairhope Planning Commission Agenda

May 4, 2026 – 5:00 PM

1. CALL TO ORDER

Lee Turner, Chairman	Paul Fontenot
Rebecca Bryant, Vice Chairman	Kim McCormick
Janine Saykes, Secretary	John Worsham
Harry Kohler	Erik Cortinas
Hollie MacKellar	Jimmy Conyers (CC)

(CC) City Council Representative

2. CONSENT AGENDA

- Approval of Minutes – April 6, 2026

3. REGULAR AGENDA

OLD BUSINESS

None

NEW BUSINESS

- A. SR 26.03** Request of the Applicant, Lieb Engineering, on behalf of the Owner, FST Encounter Development, LLC, for Site Plan Approval of Foosackly’s Fairhope on property zoned B-2 General Business District. The property is located on the east side of State Highway 181, north of State Highway 104 and is 1.52± acres. **PPIN #: 627494**
- B. ZC 26.04** Public Hearing to consider the request of the Applicant, S.E. Civil, on behalf of the Owner, Old South Properties, LLC, to rezone property from R-4, Low Density Multi-Family Residential District to R-1, Low Density Single-Family Residential District. The property is located at 8501 Morphy Avenue and is 2.98± acres. **PPIN #:14970**

4. ADJOURN

Sherry Sullivan
Mayor

Council Members

Andrea F. Booth
Jack Burrell, ACO
Jimmy Conyers
Joshua N. Gammon
Jay Robinson

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

Fairhope Planning Commission Minutes

April 6, 2026 – 5:00 PM

ADMINISTRATIVE

The Planning Commission met Monday, April 6, 2026, at 5:00 PM at the City Municipal Complex, 161 N. Section Street in the Council Chambers.

Present:

X	Lee Turner, Chairman	X	Paul Fontenot
X	Rebecca Bryant, Vice Chairman	X	Kim McCormick
X	Janine Saykes, Secretary	X	John Worsham
X	Harry Kohler		Erik Cortinas
	Hollie MacKellar	X	Jimmy Conyers (CC)
(CC) City Council Representative			

Staff: Hunter Simmons, Planning and Zoning Director; Mike Jeffries, Development Services Manager; Payton Rogers, Planning and Zoning Manager; Michelle Melton-Null, City Planner; Chris Williams, City Attorney; and Janine Saykes, Planning Clerk.

Chairman Turner called the meeting to order at 5:02 PM.

Chairman Turner stated the Appointment of Planning Commission Secretary will be moved to New Business, and current item A, ZC 26.01, regarding Building Height, will move to the end of the agenda.

Hunter Simmons, Planning and Zoning Director, gave an update regarding an ongoing issue with Fraudulent/Suspicious Emails targeting Planning Commission cases.

CONSENT AGENDA

- Approval of the Minutes – March 2, 2026
- UR 26.01 Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of 4,767 ± LF of fiber cable at 401 Oak Avenue.
- UR 26.02 Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of 10,863± LF of fiber cable at 167 Ertle Street.
- UR 26.03 03 Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of 27,968± LF of fiber cable at 818 Fairhope Avenue.
- UR 26.04 Request of C-Spire for an 11.52.11 Utility Review and approval of the proposed installation of 11,686± LF of fiber cable at 19362 County Road 13.

Mike Jeffries, Development Services Manager, presented the requests on behalf of the Applicant. Mr. Jeffries shared the aerial maps for all four locations.

Staff recommends approval of all Utility Reviews with the following conditions:

1. A pre-construction meeting shall be held with the City prior to issuance of any permits;
2. Follow-up activities below required by staff and the applicant:
 - a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS technician for inclusion in GIS utility maps;
3. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work; and
4. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).

Jimmy Conyers made a motion to approve the consent agenda including the minutes.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; Jimmy Conyers; Harry Kohler; Paul Fontenot, John Worsham, and Kim McCormick

NAY: None

ABSTAIN: None

OLD BUSINESS

None

NEW BUSINESS

- A. SD 26.07** Public hearing to consider the request of the Applicant, Geographic Consulting LLC, on behalf of the Owner, Ross Wilson, for Preliminary and Final Plat approval of 150 N Section, a 3-unit Multiple Occupancy Project on property zoned B-2, General Business District. The property is located at 150 North Section Street and is 0.18± acres. **PPIN #: 15235**

Mike Jeffries, Development Service Manager, presented the request on behalf of the Applicant. Mr. Jeffries shared the zoning and aerial maps as well as the proposed Unit Layout.

Staff recommends approval of SD 26.07 150 N Section for Preliminary and Final Plat.

There were no questions for Staff.

Chairman Turner asked if the Applicant would like to speak. The Applicant had nothing to add.

Chairman Turner opened the public hearing at 5:10pm. The public hearing was closed at 5:10pm.

John Worsham made a motion to approve 26.07 150 N. Section for Preliminary and Final Plat.

Jimmy Conyers seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; Harry Kohler; Paul Fontenot, John Worsham, Kim McCormick, and Jimmy Conyers

NAY: None

ABSTAIN: None

- B. SD 26.09** Public hearing to consider the request of the Applicant, SE Civil, LLC, on behalf of the Owner, FST RW, LLC, for Preliminary and Final Plat approval of Vatan Mixed Use Development, a 9-unit Multiple Occupancy Project on property zoned B-2, General Business District. The property is located at 301 Magnolia Avenue and is 0.5± acres. **PPIN #: 15164**

Michelle Melton-Null, City Planner, presented the request on behalf of the Applicant. Ms. Melton-Null shared the zoning and aerial maps as well as the proposed Final Plat.

Chris Williams, City Attorney, excused himself from the case.

Staff recommends approval of SD 26.09 Vatan Mixed Use Development MOP for Preliminary and Final Plat with the following conditions:

1. Due to the circumstances of required sidewalks, the City's desire to protect Heritage Trees, and requirements of the City's Zoning Ordinance, the Site Plan shall be reviewed by the City Council as the final authority to determine a solution for any sidewalks that may conflict with Heritage Trees. Final approval of this MOP is contingent on the approval of a revised Site Plan that shall be approved by the City Council;
2. Developer shall coordinate the installation of sidewalks, if any, and any horizontal construction within the ROW, with the Public Works Department to minimize disturbance to the existing trees in the ROWs; and
3. Revision of Phasing Plan and Narrative that prioritizes installation of the landscaped amenity area.

Chairman Turner asked if there were any questions for Staff. No questions were asked.

Dave Lavery, Engineer of Record for SE Civil, LLC, was available for questions.

Rebecca Bryant asked about the stairway landing that is close to the heritage trees, and what is the solution if there is no sidewalk. Are they required for an egress? Mr. Lavery stated that he doesn't think the landings are needed because they aren't a requirement. Owner, David Ryan, FST RW LLC, responded that landings are needed because they are in front of residents' doors. The stairs can be curved and relocated so the landing won't impact the trees. Ms. Bryant stated that she would like the same sensitivity applied to the landing area for the tree protection. Hunter Simmons, Planning and Zoning Director, also stated that the one landing goes into the city right of way which could be a liability.

Mr. Lavery asked Staff for condition #1 to be modified. He doesn't want to keep going back and forth from City Council to the Planning Commission over the sidewalk. Chairman Turner stated the City Attorney is not present and the Planning Commission does not have the right to wave sidewalks, only City Council has that authority. There was more discussion regarding the sidewalks and the members will address it in the motion.

Chairman Turner opened the public hearing at 5:28pm. The public hearing was closed at 5:28pm.

Ms. Bryant asked who could work with the developer on the landings. Mr. Simmons said the Planning Department, Building Department, and Public Works during the permitting process. Mr. Simmons said if the sidewalks are removed, we might have to tweak the Hold Harmless agreement for liability. Ms. Bryant asked if the stairs and landings would be part of the design process. Mr. Simmons said yes, and before it's designed, they will need to know where the tree roots are.

Mr. Ryan said the stairs will be designed with their tree expert, Gary Ickes, on site, to determine where the roots are to protect them. Larry Smith SE Civil, LLC, said his concern is if City Council denied the sidewalk waiver they would have to come back. They are trying to change condition #1 so they don't have to come back. The Planning Committee members continued discussing the sidewalk issue extensively.

Ms. Bryant made a motion to approve 26.09 Vatan Mixed Use Development MOP for Preliminary and Final Plat with staff recommendations and subject to City Council not requiring sidewalks.

Kim McCormick seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; Harry Kohler; Paul Fontenot, John Worsham, Kim McCormick, and Jimmy Conyers

NAY: None

ABSTAIN: None

- C. SD 26.10** Public hearing to consider the request of the Applicant, SE Civil, LLC, on behalf of the Owner, Millrose Properties Alabama LLC, for Final Plat approval of Greenfields, an 81-lot Major Subdivision on property zoned R-2, Medium Density Single-Family Residential District. The property is located on the east side of County Road 13, north of County Road 32 and is 39.9± acres. **PPIN #: 55265, 41079**

Michelle Melton-Null, City Planner, presented the request on behalf of the Applicant. Ms. Melton-Null shared the zoning and aerial maps as well as the proposed Final Plat.

Staff recommends approval of SD 26.10 Greenfields Subdivision Final Plat with the following conditions:

1. Completion of all follow-up activities and punch list items detailed within the Staff Report; and
2. Include in the O&M Plan the wetlands, wetland buffers, and mulch trail and recording of the O&M Plan with Baldwin County Probate.

Chairman Turner asked if there were any questions for Staff. No questions asked.

Larry Smith, Engineer of Record for SE Civil, LLC, was available for questions. He stated that they are working on the punch list items.

Rebecca Bryant asked about the mulch trail and how long the adhesive would last. Paul Fontenot stated it will not last longer than a year. Mike Jeffries stated the mulch path will eventually be bordered by sod. Mr. Smith said this will be included in the O & M plan.

Chairman Turner opened the public hearing at 5:56pm. The public hearing was closed at 5:56pm.

John Worsham made a motion to approve SD 26.10 Greenfields for Final Plat with Staff Recommendations.

Kim McCormick seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; Harry Kohler; Paul Fontenot, John Worsham, Kim McCormick, and Jimmy Conyers

NAY: None

ABSTAIN: None

- D. SD 26.11** Public hearing to consider the request of the Applicant, Arthur Johnson, on behalf of the Owner, Bonnie Baker, for Preliminary Plat approval of Stonevale, a 16-lot Major Subdivision on property zoned R-1, Low Density Single-Family Residential District. The property is located on the west side of Highway 181, south of Windmill Road and is 9.83± acres. **PPIN #: 15456**

Mike Jeffries, Development Service Manager, presented the request on behalf of the Applicant. Mr. Jeffries shared the zoning and aerial maps as well as the proposed Plat.

Staff recommends approval of SD 26.11 Stonevale Preliminary Plat with the following conditions:

1. Revision of the plat GENERAL NOTE 4 to reflect a 15' side and rear drainage and utility easement;
2. Revision of the plat GENERAL NOTE 6 The FFE needs to be shown for each lot;
3. Replace the Planning Director signature block with the Planning Commission Signature block; and
4. Reflect 16 lots on the plat. Currently shows 17.

Chairman Turner asked if there were any questions for Staff. Kim McCormick asked if the stubbed street is where the cul-de-sac is now? Mr. Jeffries said yes, the cul-de-sac will be the future through street.

Chairman Turner opened the public hearing at 6:02pm. The public hearing was closed at 6:02pm.

John Worsham made a motion to approve SD 26.11 Stonevale for Preliminary Plat with Staff Recommendations.

Jimmy Conyers seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; Harry Kohler; Paul Fontenot, John Worsham, Kim McCormick, and Jimmy Conyers

NAY: None

ABSTAIN: None

- E. Resolution 2026-02** Public hearing to consider the request of the City of Fairhope's Planning and Zoning Department to accept Resolution 2026-02 adopting the temporary suspension of consideration of certain residential multiple occupancy project and subdivision applications under the City of Fairhope Subdivision Regulations as set forth in Ordinance 1859.

Hunter Simmons, Planning and Zoning Director, said this has been before the Committee twice before. The City Council passed the suspension of certain applications and the Planning Commission has adopted a related Resolution in support. The City Council extended the suspension to 120 days while they work on the amendments.

Chairman Turner asked if there were any questions. No questions asked.

John Worsham made a motion to approve Resolution 2026-02.

Kim McCormick seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; Harry Kohler; Paul Fontenot, John Worsham, Kim McCormick, and Jimmy Conyers

NAY: None

ABSTAIN: None

- F. Appointment of Planning Commission Secretary**

John Worsham nominated Janine Saykes for Planning Commission Secretary.

Rebecca Bryant seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; Harry Kohler; Paul Fontenot, John Worsham, Kim McCormick, and Jimmy Conyers

NAY: None

ABSTAIN: None

- G. ZC 26.01** Discussion regarding proposed amendments to the City of Fairhope Zoning Ordinance concerning building height. The City of Fairhope Planning and Zoning Department advises that this item be considered for discussion only and recommends the Planning Commission continue discussion of the proposed amendment for further study.

Hunter Simmons, Planning and Zoning Director, stated that up for discussion is the building height amendment and other amendments that might relate to or be affected by a building height amendment. Mr. Simmons also said that City Council has called a special meeting on April 20, 2026, at 5:00pm to discuss additional Zoning amendments.

Mr. Simmons shared a presentation showing multiple definitions of the building height from 1998 to 2017. Mr. Simmons discussed the existing Zoning Ordinance requirements as well as various alternative methods for regulating building height and how to define where to measure from. Additionally, Mr. Simmons discussed a potential steep slope ordinance.

Staff recommend ZC 26.01 be tabled for further discussion.

Chairman Turner opened the public hearing at 6:23pm.

Larry Smith, SE Civil LLC, stated on a large project like an MOP, you might need 20 feet of fill dirt and if we limit measurements to the natural grade where the building sits, it might reduce the height to 10 feet from the front, depending on how much fill you have. Mr. Smith stated the CBD is very different from the rest of the development in the city. I hope you consider that this is not limited to downtown lots.

Mac Walcott, Fairhope resident, stated the appearance of houses that slope away from the street, could be an aesthetic issue. He also said the city created a framework to build a pleasing downtown. Mr. Walcott said it sounds like the Commission's stance on the character of downtown design standards over the last thirty years is not acceptable and the Planning Commission is going to fix it. Mr. Walcott stated it is contrary to how we got here. Chairman Turner did not agree, that is not what they are saying. Mr. Turner stated they made a mistake seven years ago with the height standards. What residents are concerned with downtown are the rooftop terraces and the flat roofs making downtown lose its eclectic feel. Rebecca Bryant stated that it's not accurate to say there are set design standards and that they are dictating architectural style. Ms. Bryant said they are urging the eclectic design.

Mr. Turner reminded everyone that we are here today to discuss building heights.

Lucinda and Lewis Chappelle, 210 Gayfer Court: Mr. Chappelle said their property is depicted in one of the slides. Their property is on a steep slope and the back ends in the Big Mouth Gully. The Chappelle's are building an addition on to their home. Mr. Chappelle stated the height calculation used today will only give them a twenty-foot house. The surveyor, architect, designer, and contractor

did not realize the impact of the Big Mouth Gully and they can't continue with the construction. They have applied for a Variance through the Board of Adjustments.

Ryan Baker 460 Dogwood: Mr. Baker stated Spanish Fort, Baldwin County, and Daphne all have similar building height definitions that measure on the slope roof structures to the mean, and all starting off at the average or proposed grade. It is a helpful start. Figuring out the average grade of a lot is very difficult and understanding where we're going to measure to is needed. Mr. Baker stated the CBD only has 200 properties and the city has approximately 12,000 properties, which are two separate issues. We need to solve the bigger problem.

Mac Walcott also stated the differences with all the different slopes and where you measure to determine what it looks like from the street. Mr. Simmons stated the definition will dictate the solutions. Mr. Walcott would like to manage what we see from the street. There was more discussion regarding measuring to the mean.

Chairman Turner closed the public hearing at 6:54pm.

John Worsham made a motion to table ZC 26.01 Building Height for further discussion.

Jimmy Conyers seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; Harry Kohler; Paul Fontenot, John Worsham, Kim McCormick, and Jimmy Conyers
NAY: None
ABSTAIN: None

ADJOURNMENT

John Worsham made a motion to adjourn.

The motion carried unanimously with the following vote:

AYE: Lee Turner; Rebecca Bryant; Harry Kohler; Paul Fontenot, John Worsham, Kim McCormick, and Jimmy Conyers
NAY: None
ABSTAIN: None

Adjourned at 6:55pm.

Lee Turner, Chairman

Janine Saykes, Secretary



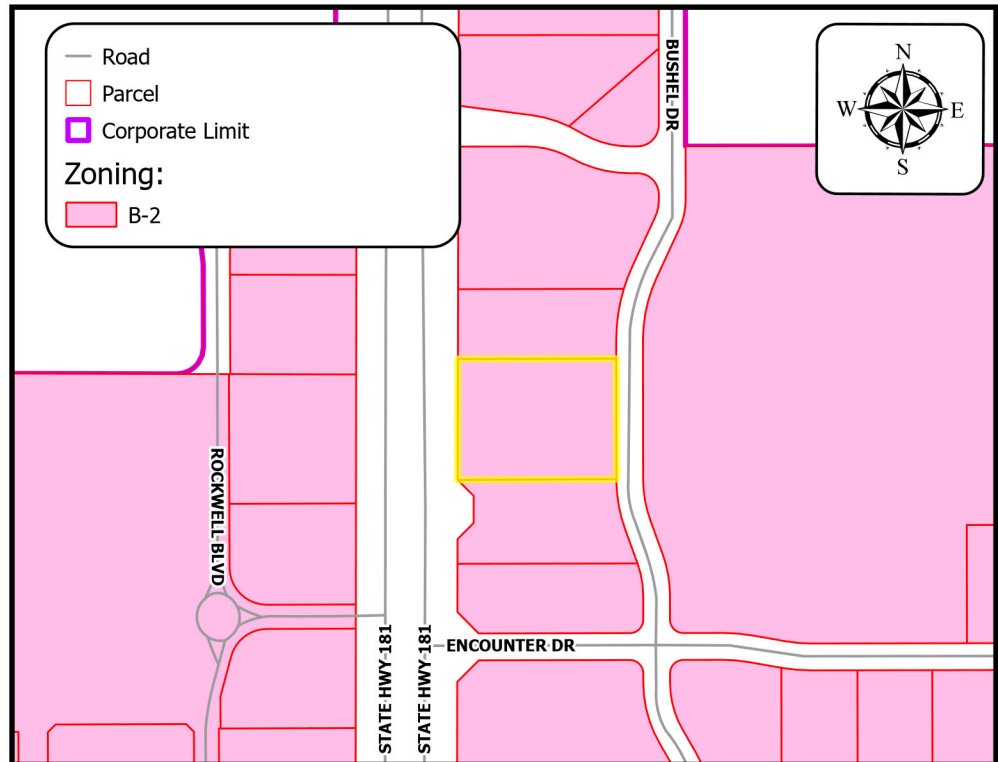
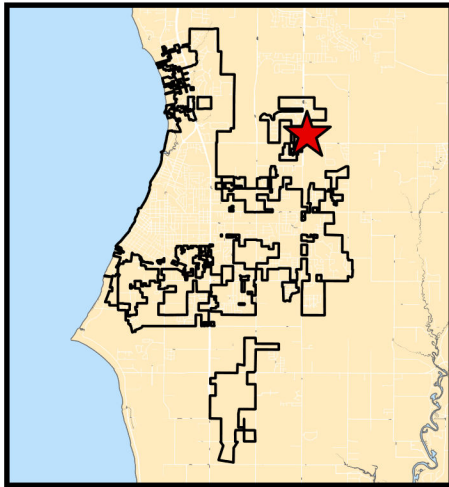
THIS DIGITAL PACKET HAS BEEN CONDENSED IN SIZE AND SOME DOCUMENTS MAY NOT CONTAIN ALL THE ORIGINAL PAGES.

ALL SUBMITTAL DOCUMENTS CAN BE MADE AVAILABLE TO THE PUBLIC UPON REQUEST AND HAVE BEEN REVIEWED IN FULL BY PLANNING STAFF IN PREPARATION FOR THE REPORTS PREPARED FOR PLANNING COMMISSION.

City of Fairhope Planning Commission May 4, 2026



SR 26.03 - Foosackly's Fairhope



Project Name:

Foosackly's Fairhope

Site Data:

1.52 acres

Project Type:

Site Plan Approval

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

B-2, General Business District

PPIN Number:

627494

General Location:

NE of intersection of State Highway 181 and State Highway 104

Surveyor of Record:

Lieb Engineering

Engineer of Record:

Lieb Engineering

Owner / Developer:

FST Encounter Development, LLC

School District:

Fairhope Elementary School
Fairhope Middle and High Schools

Prepared by:

Name Michelle Melton-Null

SUMMARY OF REQUEST

Request of the Applicant, Lieb Engineering, on behalf of the Owner, FST Encounter Development, LLC, for Site Plan Approval of Foosackly’s Fairhope on property zoned B-2 General Business District. The property is located on the east side of State Highway 181, north of State Highway 104 and is 1.52± acres.

SITE HISTORY

Planning Commission originally approved this Site Plan (SR 25.03) on February 3, 2025, with two (2) conditions that were satisfied prior to City Council review. City Council approved SR 25.03 on March 10, 2025. The Council approval has since expired as Site Plan approval stands for 365 days from the approval date per Article II, Section C(e). Hence, the current Site Plan Review.

STAFF COMMENTS

Site Plan

The proposed Site Plan is attached to the end of this report as an exhibit. It is the exact same Site Plan that was previously approved in SR 25.03.

Setbacks - COMPLIANT

Setbacks for this development vary. B-2 requires only a 20ft front setback according to Table 3-2. Lot 4 fronts Bushel Drive which has a 25ft front setback. Lot 4 is adjacent to AL Hwy 181 with a 125ft highway construction setback. The other setbacks are 0ft rear and 0ft side setbacks per the recorded plat for Encounter Commercial and Retail Development.

Buildings - COMPLIANT

There are two (2) proposed restaurant buildings on the site that will face each other. Just Chillin’ is 17 ft high and Foosackly’s is 19.6 ft high. The buildings combined takes up almost 11% of Lot 4. Proposed use is a local chain chicken restaurant and ice cream stand. All elevations are included in the packet.

Tree & Landscaping - COMPLIANT

The landscape plan was reviewed and approved by the City Horticulturist.

Parking - COMPLIANT

The plan has surplus parking with 48 spaces. Forty (40) spaces are required per Table 4-3 Parking Schedule. Twenty percent (20%) overage is allowed and shall be pervious. Thirteen (13) of the 48 parking spaces are pervious. Parking meets the requirements of Zoning Ordinance and the perimeter landscape screening requirements of the Tree Ordinance.

Connectivity - COMPLIANT

This Site Plan includes interior sidewalks from both buildings to a concrete sidewalk along Bushel Drive. The Pedestrian Circulation Plan can be found on Sheet C8.0 in the Complete Plans.

Drainage - COMPLIANT

Drainage has been accounted for the entire Encounter Commercial Retail Center in SD 24.13; thus, there are no retention/detention facilities on individual lots. There is a large retention pond within Lot 12 of the Encounter development where most of the drainage is directed.

Exterior Lighting - COMPLIANT

As proposed, all exterior lighting is compliant with Article IV Section B.3 of the Zoning Ordinance.

Mechanical Equipment - COMPLIANT

Mechanical equipment has been finalized and all appear on the Site Plan.

Dumpster - COMPLIANT

The double dumpster enclosure is located on the Foosackly’s portion of the site. A 1000-gallon grease trap is also located on the Foosackly’s site. Shrubs will be around the parts of the enclosure that are not part of the vehicular use area as well as a vinyl fence. There is sod around the grease trap manholes.

Signage - N/A

Signage will be reviewed at time of a sign permit submittal.

Erosion Control - COMPLIANT

An erosion control plan was submitted with the application and is acceptable.

Utilities - COMPLIANT

A utility plan was submitted and has been reviewed and approved by the appropriate providers.

ADA Standards - COMPLIANT

ADA requirements per the Architect are met and at time of building permit will be further verified.

Traffic - COMPLIANT

A traffic study was conducted for the entire Encounter development and the road infrastructure was designed in accordance with the recommendations from the traffic study. A trip generation letter has been provided and the PM peak trips per day for Foosackly’s is 87 trips and Just Chillin’ 39 trips (Total: 126).

Lot Access - COMPLIANT

Access to Lot 4 is from Bushel Drive.

Comprehensive Plan - COMPLIANT

The Encounter Commercial Retail Center is in a recognized Suburban Mixed-Use Center in the Comprehensive Plan.

Impacts on Surrounding Neighborhood - COMPLIANT

As previously stated, the subject site is zoned B-2. Directly adjacent to the site are additional commercial uses. The larger development site does abut to conflicting uses. Proper buffers are included in the plans to mitigate the conflicting land uses.

Benefits to the Community - COMPLIANT

There are a lot of residential units being built in the surrounding area. A commercial retail center with a variety of retail/restaurant/office/commercial units will be a benefit to the residential subdivisions.

SITE PLAN CONSIDERATIONS

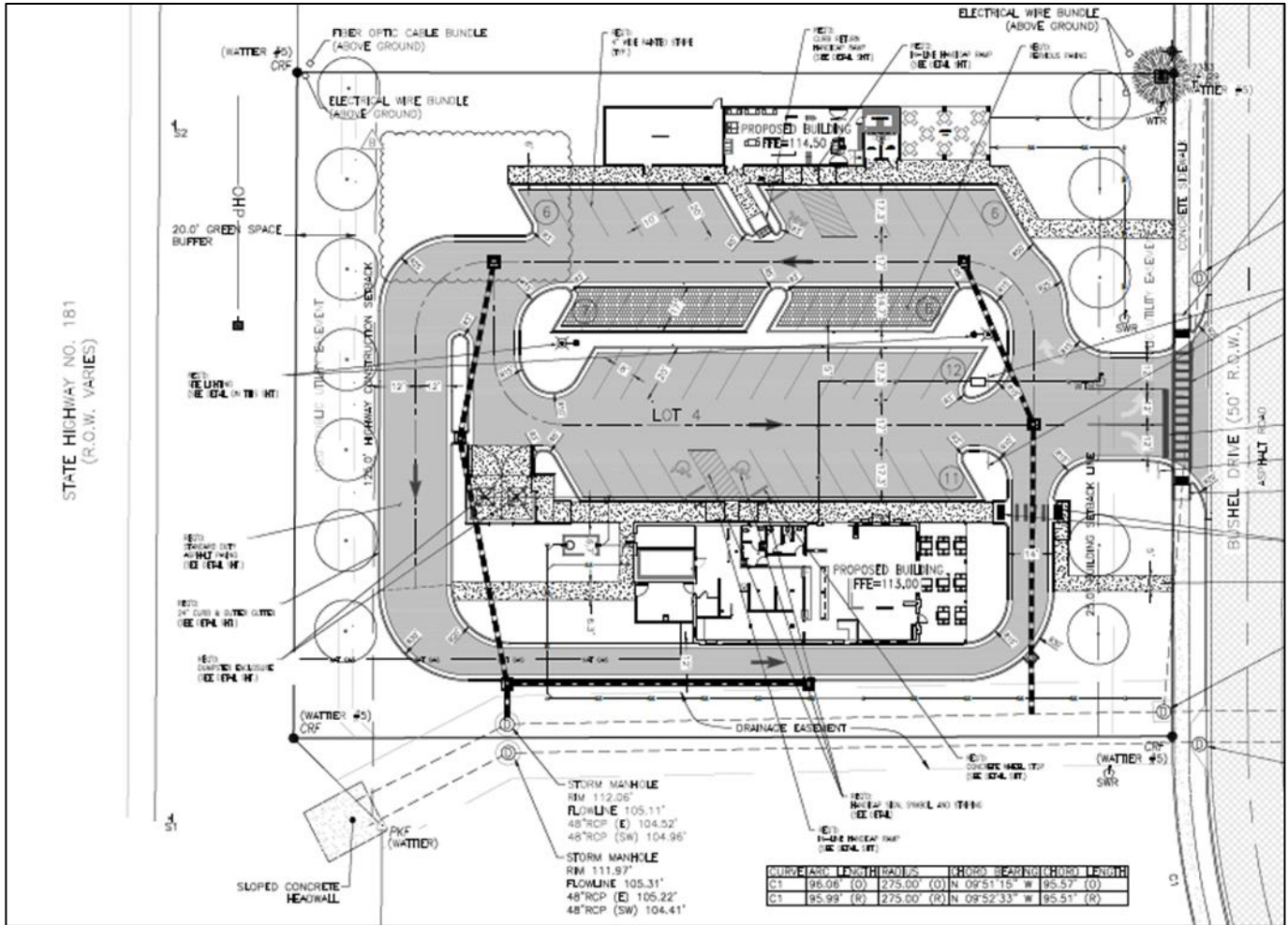
Standards of Review:

Article II Section C.2.d of the City of Fairhope Zoning Ordinance sets forth all criteria for reviewing Site Plan Review requests.

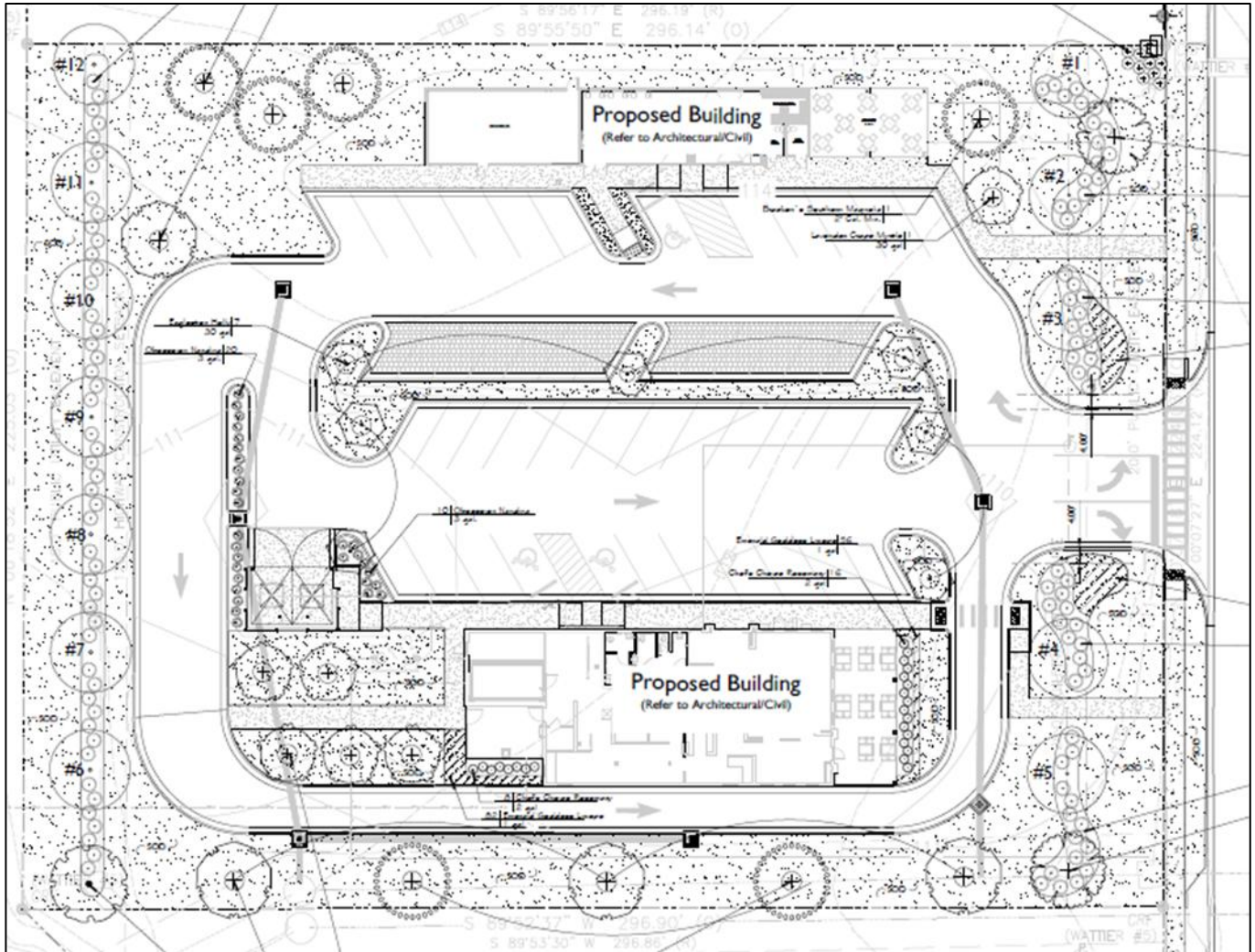
Recommendation:

1. Staff recommends **APPROVAL** of SR 26.03 – Foosackly’s and Just Chillin’.

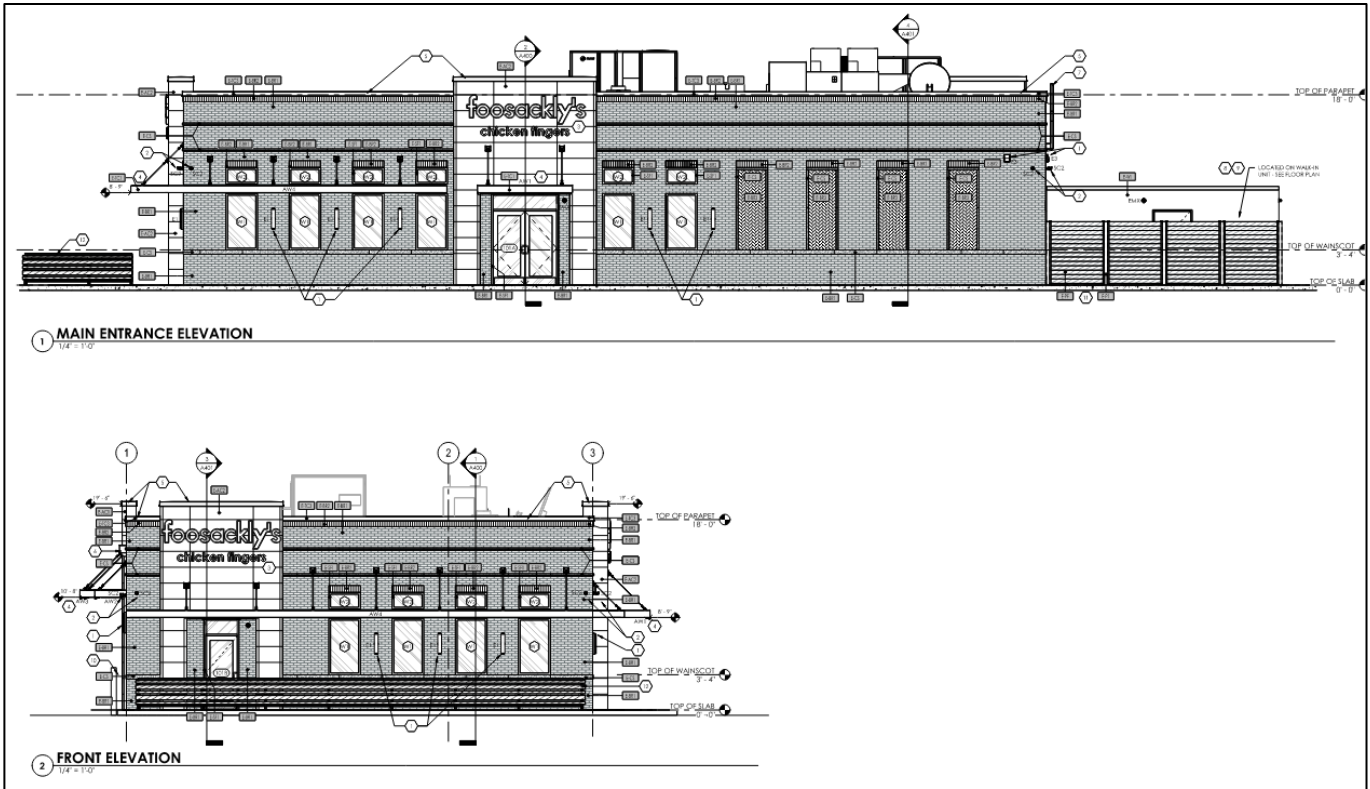
Proposed Site Plan



Proposed Landscape Plan



Foosackly’s Elevation



Just Chillin’ Elevation





APPLICATION FOR SITE PLAN APPROVAL

Application Type: Site Plan
Attachments: Articles of Incorporation or List all associated investors

Date of Application: 3/10/2026

Property Owner / Leaseholder Information
Name of Property Owner: FST Encounter Development LLC Phone Number: _____
Address of Property Owner: 1189 Post Rd Ste 3B
City: Fairfield State: CT Zip: 06824

Proposed Site Plan Name: Foosackly's Fairhope
Site Acreage: _____ Sq. Footage: _____
Parcel No: 05-46-01-02-0-000-001.969 Current Zoning: _____

Authorized Agent Information
Name of Authorized Agent: Chris Lieb with Lieb Engineering Phone Number: 251 978-9779
Address: 7671 Parker Road
City: Fairhope State: AL Zip: 36532
Contact Person: Christopher Lieb

Engineer/Architect Information
Name of Firm: Lieb Engineering Company Phone Number: 251 978-9779
Address: 1290 Main Street Ste E
City: Daphne State: AL Zip: 36526
Contact Person: Christopher Lieb

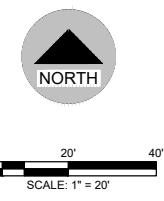
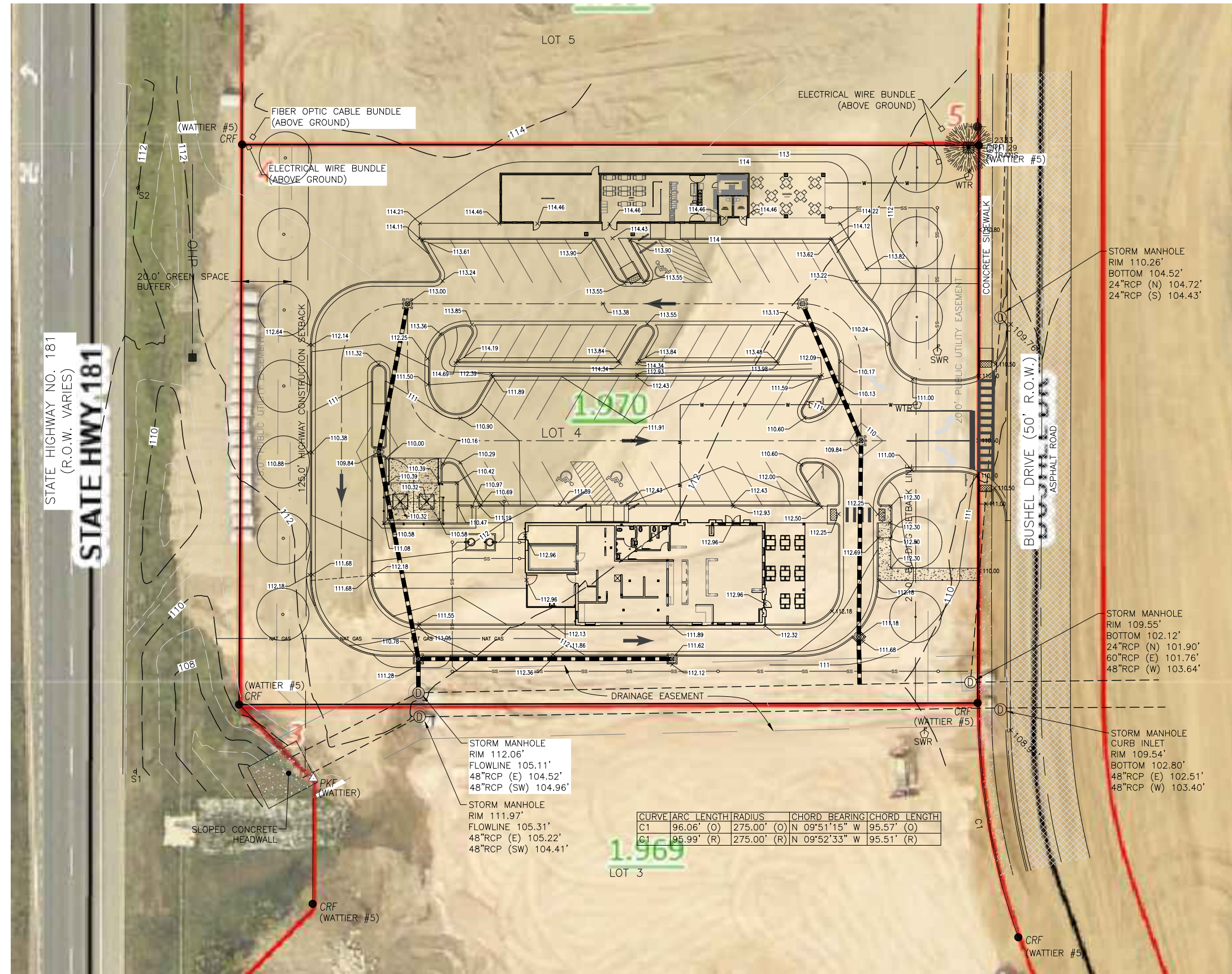
I certify that I am the property owner/leaseholder of the above described property and hereby submit this site plan to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Signature

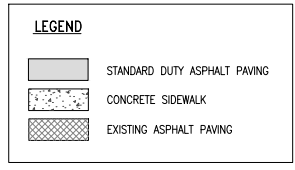
Ivan Blackmon
Property Owner/Leaseholder Printed Name

Fairhope Single Tax Corp. (If Applicable)

03/10/2026
Date



NOTES:
 1. SEE SHEET C2.0 FOR ALL GENERAL NOTES.



STORM MANHOLE
 RIM 110.26'
 BOTTOM 104.52'
 24"RCP (N) 104.72'
 24"RCP (S) 104.43'

STORM MANHOLE
 RIM 109.55'
 BOTTOM 102.12'
 24"RCP (N) 101.90'
 60"RCP (E) 101.76'
 48"RCP (W) 103.64'

STORM MANHOLE
 CURB INLET
 RIM 109.54'
 BOTTOM 102.80'
 48"RCP (E) 102.51'
 48"RCP (W) 103.40'

STORM MANHOLE
 RIM 112.06'
 FLOWLINE 105.11'
 48"RCP (E) 104.52'
 48"RCP (SW) 104.96'

STORM MANHOLE
 RIM 111.97'
 FLOWLINE 105.31'
 48"RCP (E) 105.22'
 48"RCP (SW) 104.41'

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	96.06' (O)	275.00' (O)	N 09°51'15" W	95.57' (O)
C1	95.99' (R)	275.00' (R)	N 09°52'33" W	95.51' (R)

STATE HIGHWAY NO. 181
(R.O.W. VARIES)
STATE HWY 181

BUSHEL DRIVE (50' R.O.W.)
ASPHALT ROAD

ISSUED FOR REVIEW

REVISIONS		
A	ISSUED FOR REVIEW	1/15/2024



LIEB ENGINEERING COMPANY

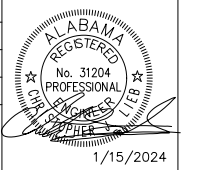
LIEB ENGINEERING COMPANY
 1290 MAIN STREET, SUITE E
 DAPHNE, AL 36526
 PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.
 ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

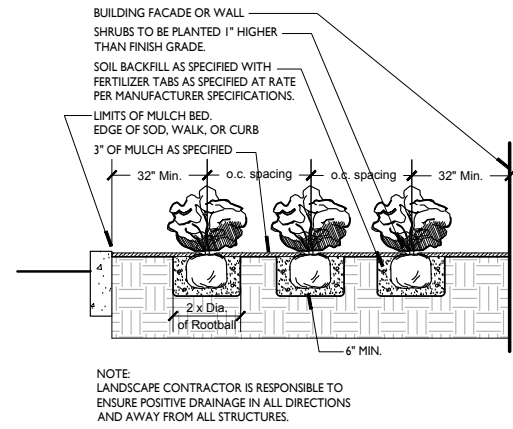
JOB NUMBER	DRAWN BY: JLG	DATE: 1/15/2024	SCALE: 1"=20'
2024-071	CHECKED BY: CJL	APPROVED BY: CJL	ENGR: CJL

FAIRHOPE FOOSACKLY'S
 AERIAL OVERLAY
 FAIRHOPE, AL
 OWNER: FOO PROPERTIES, INC.

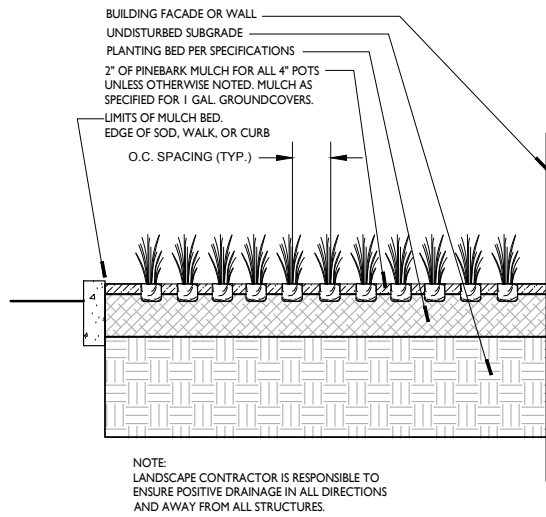
SHEET NUMBER	C9.0	A
9 OF 11		



- LANDSCAPE NOTES:**
- This section covers furnishing and installing all landscape plants and non-plant materials covered by the drawings and these specifications. The work shall include materials, labor, equipment and services as described herein and indicated on the drawings. Also, the work shall include the maintenance of all plants and planting areas until acceptance by the Owner, and fulfillment of all guarantee provisions as herein specified.
 - Before beginning work, the contractor shall thoroughly acquaint himself with the existing site conditions and proposed plans. The intent is to provide a smooth transition between existing conditions that are to remain and the new site features with minimal damage to existing trees and vegetation.
 - Contractor is made aware of active existing underground utilities. It is the contractor's responsibility to familiarize himself with the location of said utilities and other obstructions. The contractor shall investigate and verify, in the field, the existence and location of all utilities and any existing irrigation piping, and take necessary precautions to prevent their disturbance and avoid interruption of service. Contractor is responsible for calling appropriate line location service. All damaged utilities shall be replaced to owners satisfaction by contractor with no additional charge to owner.
 - Discrepancies between site conditions and conditions on plans shall be call to the attention of the Owner immediately.
 - Existing grades shall be verified in field prior to beginning any work. Discrepancies shall be brought to the landscape architects attention immediately. Landscape contractor to provide fine grading to ensure positive drainage.
 - The landscape architect shall have the right to reject any and all work and/or materials at any stage of progress which in his opinion do not meet the requirements of these plans and specifications. Such rejected material shall be removed from the site immediately and replaced with acceptable materials.
 - Landscape contractor is responsible for obtaining all state and local permits and licenses required to perform this work.
 - Landscape contractor shall abide by all state and local laws and ordinances. Contractor shall also conform to POA or ARB guidelines if applicable.
 - All work shall comply with the current edition of the Standard Building Code published by the Southern Building Code Congress International, Inc.
 - Topsoil shall be sandy/loam natural, friable, and fertile with a PH of 5.5 to 6.5. Topsoil shall be free from roots, stones, debris, noxious weeds, or any substance harmful to plant growth. Quality of Topsoil to be approved by Landscape Architect.
 - Once delivered to the site, the contractor is responsible for the protection, including theft, of all materials.
 - The landscape plan is to serve as a guide for installation. Field adjustment and changes to layout may be made by Landscape Architect.
 - Contractor shall layout all plant material per planting plans and schedule a site meeting with landscape architect for approval with a minimum of 48 hours notice.
 - Quantities shown on plant list are for convenience only.
 - All groundcover & flower beds shall receive 3" minimum of planting mix consisting of decomposed pinebark or mushroom compost and blended into the top 6" of existing soil. Rake beds smooth and top dress with 2" min. of ground pinebark prior to planting.
 - All tree and shrub planting pits shall be backfilled with 75% excavated soil & 25% planting mix consisting of decomposed pinebark or mushroom compost.
 - All trees shrubs and groundcovers shall be planted with Woodace fertilizer tabs at rates per manufactures recommendations. All planting beds shall also be top dressed with a slow release Osmocote fertilizer or equal per manufactures recommendations prior to mulching.
 - All beds shall receive Freehand pre-emergent herbicide or equal.
 - Unless otherwise noted, all beds shall receive 3" compacted depth of fresh Long Leaf pine straw free from sticks and pine cones. Groundcover areas with 4" plants or plugs shall be mulched with pulverized pinebark mulch unless otherwise noted.
 - All bed lines shall have 3" V-Shaped trenches. See detail.
 - All plant material shall meet or exceed federal, state, and county laws requiring inspection for plant disease and insect control.
 - All plant material shall be Florida #1 or better and meet the latest standards of the "American Standards for Nursery Stock".
 - All trees shall be staked with arbor guy (or equal) tree stakes per manufactures recommendations.
 - All disturbed areas shall be irrigated and sodded.
 - Contractor shall maintain all plantings and lawn areas until final acceptance by owner and landscape architect. Unless specified otherwise, maintenance includes mowing, edging, weeding, blowing, pruning, watering, mulching, etc.
 - Brown or defoliated plants shall be removed and replaced immediately.
 - All materials and workmanship for landscape and irrigation shall be guaranteed for a minimum of one year from final acceptance.
 - No work shall be performed in any R.O.W. without approval by the appropriate Federal, State, County, or City authority.

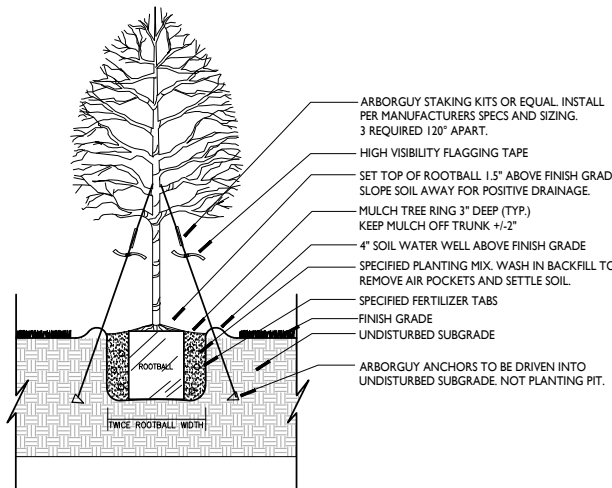


3 SHRUB PLANTING DETAIL
N.T.S. LA-02

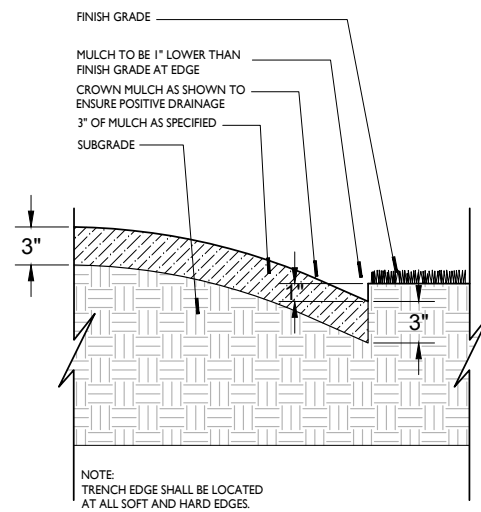


4 GROUNDCOVER PLANTING DETAIL
N.T.S. LA-03

1 LANDSCAPE NOTES
N.T.S. LA-16



2 TREE PLANTING
N.T.S. LA-01



5 TRENCH BED EDGE
N.T.S. LA-04

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CALIPER	HEIGHT	REMARKS
CITY REQUIRED TREES							
	7	Ilex x attenuata 'Eagleston'	Eagleston Holly	30 gal	2" Cal. Min.	8' Ht. Min.	Single Trunk, Tree Form, No B&B. Trees Shall Meet Size Specifications Regardless of Container Size. Approve photo with LA.
	6	Lagerstroemia x 'Muskogee'	Lavender Crape Myrtle	30 gal	(3) Canes Min. @ 17" Cane	8' Ht. Min.	Tree Form, Multi-Trunk, No B&B. Trees Shall Meet Size Specifications Regardless of Container Size. Approve photo with LA.
	6	Magnolia grandiflora 'Brackens Brown Beauty'	Bracken's Southern Magnolia	2" Cal. Min.		10' Ht. Min.	FTG. NO B&B. Trees Shall Meet Size Specifications Regardless of Container Size. Cherry Lake Nursery 352-429-2171, Approve photo with LA.
	4	Quercus lyrata	Overcup Oak	2.5" Cal.		10' Ht. Min.	Trees Shall Meet Size Specifications Regardless of Container Size. Hunter Trees
	2	Quercus nuttallii	Nuttall Oak	2" Cal. Min.		10' Ht. Min.	Trees Shall Meet Size Specifications Regardless of Container Size. Hunter Trees
	1	Quercus virginiana	Live Oak	30 gal	2" Cal. Min.	10' Ht. Min.	No B&B. Trees Shall Meet Size Specifications Regardless of Container Size. Cherrylake Nursery
SHRUBS							
	9	Lomandra longifolia 'Breeze'	Breeze Grass	3 gal			36" o.c.
	30	Nandina domestica 'Seika'	Obsession Nandina	3 gal.			36" o.c.
	108	Podocarpus macrophyllus 'Pringles'	Pringles Podocarpus	48" Tall at Planting	15 Gal.		48" o.c. Must be 48" tall planted out from finished grade at time of planting. Regardless of container size.
	24	Rosmarinus officinalis 'Roman Beauty'	Chef's Choice Rosemary	2 gal			30" o.c.
GROUND COVERS							
	25,922 sf	Cynodon dactylon 'Tif 419'	419 Bermuda Grass	sod			
	341	Liriope muscari 'Love Potion No. 13'	Emerald Goddess Liriope	1 gal			15" o.c.

- NOTES:**
- HARDWOOD MULCH ALL BEDS. APPROVE MULCH SAMPLE WITH LA.
 - APPLY GRANULAR PRE-EMERGENT TO ALL PLANTING BEDS. SEE NOTES.
 - USE WOODACE FERTILIZER TABS IN ALL PLANTING PITS. SEE NOTES.
 - PREP. PLANTING PITS & GROUND COVER AREAS WITH PLANTING MIX. SEE NOTES.
 - THIS PLANT LIST IS FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY.
 - SEE LANDSCAPE NOTES.
- APPROVED NURSERIES:**
- GREEN FOREST NURSERY
 - FLOWERWOOD NURSERY
 - GREENS NURSERY
 - CHERRY LAKE NURSERY
- Other nurseries may be approved at the discretion of the landscape architect.

CITY OF FAIRHOPE LANDSCAPE REQUIREMENTS:

- PERIMETER REQUIREMENTS:**
- Bushel Road Frontage Feet = 224/30' = 7 Trees in First 25' regardless of tree credits.
 - Hwy 181 Road Frontage Feet = 225/30' = 8 Trees in First 25' regardless of tree credits.
 - Remaining Perimeter Feet = 566/30' = 19 Trees
 - Parking Requirements (1 Tree/12 Spaces) = 48 Spaces/12 = 4 Trees
 - Total Existing Tree Credits = 12
 - Total Trees Required = (2) Bushel, (1) Hwy 181 (Overstory), 19 Perimeter Trees (At Least 50% Overstory), & 4 Parking Lot Trees

EXISTING TREE CREDIT TABLE

TREES PROPOSED TO REMAIN:

#1-2" Oak	/8 = 1
#2-2" Oak	/8 = 1
#3-2" Oak	/8 = 1
#4-2" Oak	/8 = 1
#5-2" Oak	/8 = 1
#6-2" Oak	/8 = 1
#7-2" Oak	/8 = 1
#8-2" Oak	/8 = 1
#9-2" Oak	/8 = 1
#10-2" Oak	/8 = 1
#11-2" Oak	/8 = 1
#12-2" Oak	/8 = 1
Total Tree Credits	= 12

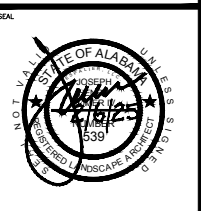


Espalier, LLC
PO Box 1247
Fairhope, Alabama 36533
P: 251.454.3500
espalierdesigns.com

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FAIRHOPE FOOSACKLY'S

Bushel Drive
Fairhope, AL

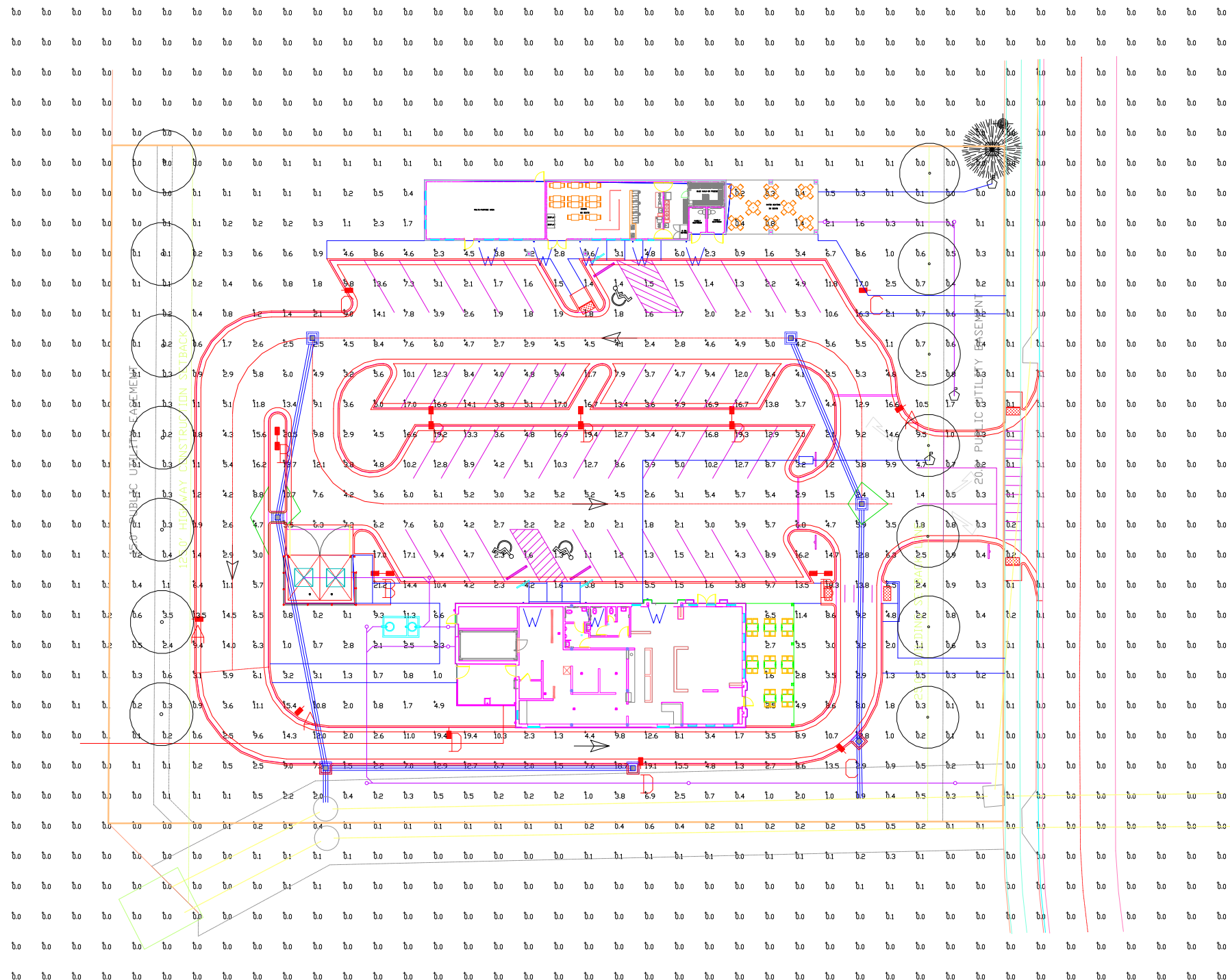


ISSUED/REVISED

Permitting	12/20/24
Permitting	1/9/25
Revised	1/29/25
Revised	2/6/25

LANDSCAPE DETAILS

DESIGNED BY JC	FILE NAME FAIRFOXA
DRAWN BY JC	SHEET
PROJECT NO. 2468	L-1.2
DATE 12/16/24	



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
ALL CALC POINTS AT GRADE	Illuminance	Fc	1.92	21.2	0.0	N.A.	N.A.	0
PAVED AREA	Illuminance	Fc	6.67	19.4	1.1	6.06	17.64	0

Photometric data for fixture type "W" is based upon another manufacturer's test data and as a result can not be verified by LSI Industries for this calculation.

**PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION**

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

The IES no longer uses the Cutoff Classification System for LED fixtures. The IES classifies LED fixtures with the BUG rating which refers to the Backlight-Uplight-Glare system. An Uplight of "U0" most closely matches the old Full Cutoff rating.

Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLF	Arr. Lum. Lumens	Arr. Watts	BUG Rating
■	3	A	Single	MRS-LED-12L-SIL-FT-50-70CRI-SINGLE	8' POLE + 2' BASE	1.000	12311	86	B2-U0-G2
■	6	B	D180°	MRS-LED-12L-SIL-4-50-70CRI-D180	8' POLE + 2' BASE	1.000	25246	172	B2-U0-G3
■	3	C	Single	MRS-LED-12L-SIL-4-50-70CRI-SINGLE	8' POLE + 2' BASE	1.000	12623	86	B2-U0-G3
■	2	D	Single	MRS-LED-12L-SIL-2-50-70CRI-SINGLE	8' POLE + 2' BASE	1.000	12514	86	B3-U0-G2
⊕	8	W	Single	CY3S330K12DICW-P (FIXTURE BY OTHERS)	10'	1.000	998	19.7	B1-U1-G0

Dimensions of drawings that have been scaled or converted from PDF files or scanned /submitted images are approximate.

Total Project Watts
Total Watts = 18776



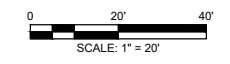
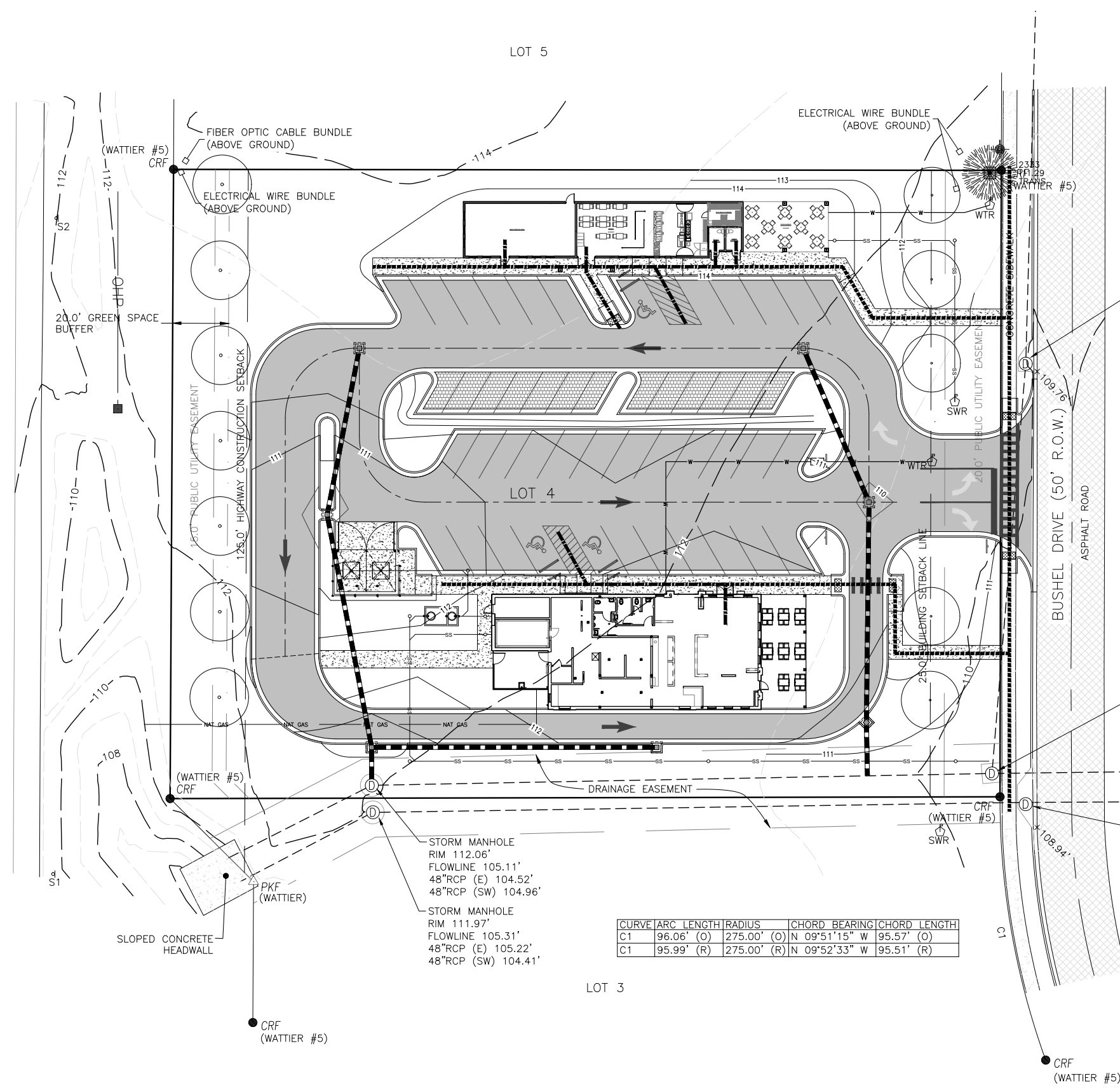
LIGHTING PROPOSAL LO-161947B

FDOSSACKLY'S
BUSHEL DR
FDLEY, AL

BY:DKM DATE:12/25 REV: SHEET 1 OF 1

SCALE: 1"=20'

STATE HIGHWAY NO. 181
(R.O.W. VARIES)



NOTES:
1. SEE SHEET C2.0 FOR ALL GENERAL NOTES.

LEGEND	
	STANDARD DUTY ASPHALT PAVING
	CONCRETE SIDEWALK
	EXISTING ASPHALT PAVING
	PEDESTRIAN ROUTE
	ADA ROUTE

STORM MANHOLE
RIM 110.26'
BOTTOM 104.52'
24"RCP (N) 104.72'
24"RCP (S) 104.43'

STORM MANHOLE
RIM 109.55'
BOTTOM 102.12'
24"RCP (N) 101.90'
60"RCP (E) 101.76'
48"RCP (W) 103.64'

STORM MANHOLE
CURB INLET
RIM 109.54'
BOTTOM 102.80'
48"RCP (E) 102.51'
48"RCP (W) 103.40'

STORM MANHOLE
RIM 112.06'
FLOWLINE 105.11'
48"RCP (E) 104.52'
48"RCP (SW) 104.96'

STORM MANHOLE
RIM 111.97'
FLOWLINE 105.31'
48"RCP (E) 105.22'
48"RCP (SW) 104.41'

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	96.06' (O)	275.00' (O)	N 09°51'15" W	95.57' (O)
C1	95.99' (R)	275.00' (R)	N 09°52'33" W	95.51' (R)

ISSUED FOR REVIEW

REVISIONS		
A	ISSUED FOR REVIEW	1/15/2024

LIEB ENGINEERING COMPANY
1290 MAIN STREET, SUITE E
DAPHNE, AL 36526
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.
ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2024-071
DRAWN BY: JLG
CHECKED BY: CJL
DATE: 1/15/2024
APPROVED BY: CJL
SCALE: 1"=20'
ENGR: CJL

FAIRHOPE FOOSACKLY'S
PEDESTRIAN CIRCULATION PLAN
FAIRHOPE, AL
OWNER: FOO PROPERTIES, INC.

SHEET NUMBER: 8 OF 11

1/15/2024

C8.0 A

LOT 5
ZONED: B-2

LEGEND

- STANDARD DUTY ASPHALT PAVING
- PERVIOUS PAVING
- CONCRETE SIDEWALK
- EXISTING ASPHALT PAVING

NORTH

0 20' 40'

SCALE: 1" = 20'

NOTES:

1. SEE SHEET C2.0 FOR ALL GENERAL NOTES.

SITE DATA:

1. PROPOSED USE:	RESTAURANTS
2. ZONING:	B-2 GENERAL BUSINESS
3. TOTAL AREA:	1.53± AC. (66,576 S.F.)
4. DISTURBED AREA:	1.29± AC. (56,110 S.F.)
5. BUILDING S.F.:	5,874 S.F. (FOOSACKLY'S)
6. BUILDING S.F.:	1,178 S.F. (JUST CHILLIN)
7. BUILDING HEIGHT:	19'-0" (FOOSACKLY'S)
8. BUILDING HEIGHT:	17'-10" (JUST CHILLIN)
9. IMPERVIOUS SURFACE:	0.76 AC. (32,994 S.F.) (49.67%) 21,580 S.F. ASPHALT 4,362 S.F. CONCRETE 7,052 S.F. BUILDING COVERAGE/0.16 AC/10.46% 0.77± AC. (33,582 S.F.) (50.33%)
10. OPEN SPACE:	FRONT 25' SIDE 0' REAR 0'
11. SETBACKS:	
12. PARKING SPACES REQUIRED:	39.33 JUST CHILLIN: 22 INSIDE SEATS/32 OUTSIDE SEATS = 54 = 13.33 SPACES FOOSACKLY'S: 98 INSIDE SEATS/32 OUTSIDE SEATS = 130 = 26 SPACES
13. PARKING SPACES ALLOWED:	39.33*1.2 = 47.196
14. PARKING SPACES PROVIDED:	48

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	AREA LIGHT BY PHILLIPS; GARDCO GULLING LED AREA LIGHT	8

GARDCO Site & Area
by @ignify
Gulling LED
GL18 1x18

Gardco Gulling LED luminaires combine LED performance excellence and advanced Gardco LED thermal management technology with the distinct Gulling style to provide outdoor area lighting that is both energy efficient and aesthetically pleasing.

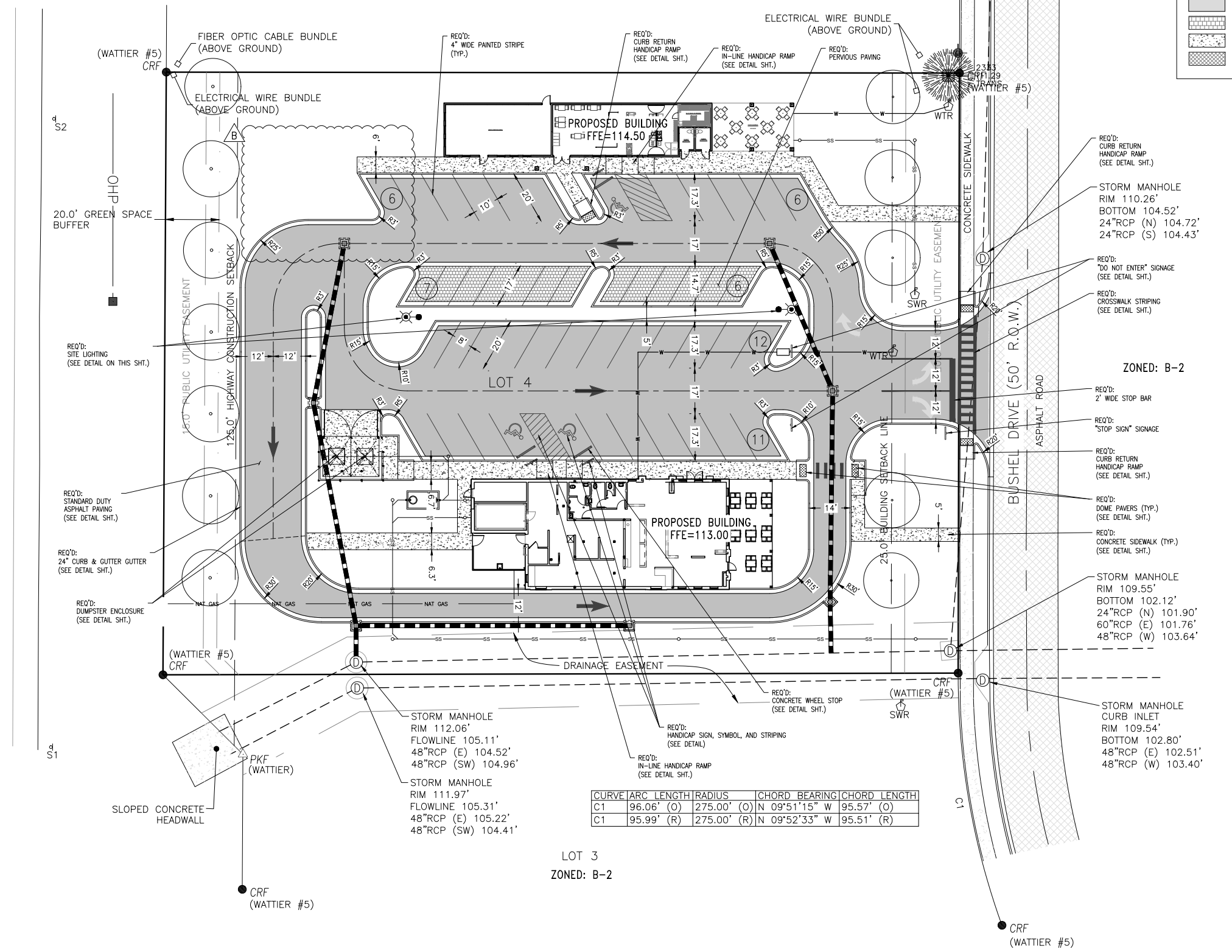
Ordering guide

Code	Description	Qty	Notes
GL18-1	1x18 LED Luminaire	8	

Example: GL18-1-4-80LA-48E3-NW-100-DRP-LF

1. Available 0-277V AC
2. Available 0-277V AC
3. Not available with other configurations
4. Not available with other configurations
5. Not available with other configurations
6. Luminaire does not include assembly and mounting hardware
7. Works with 3 pin or 4 pin NEMA standard plug and socket
8. Luminaire is not for use in wet or damp locations
9. Works with 3 pin or 4 pin NEMA standard plug and socket
10. Mounting hardware is not included
11. Mounting hardware is not included

STATE HIGHWAY NO. 181
(R.O.W. VARIES)



CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	96.06' (O)	275.00' (O)	N 09°51'15" W	95.57' (O)
C1	95.99' (R)	275.00' (R)	N 09°52'33" W	95.51' (R)

REVISIONS

NO.	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	1/15/2024
B	ADDRESSING CITY COMMENTS	1/28/2025

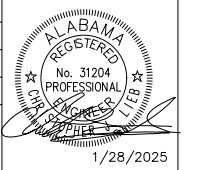


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1290 MAIN STREET, SUITE E
DAPHNE, AL 36526
PH: (251) 978-9779

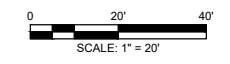
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ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2024-071
DRAWN BY: JLG
CHECKED BY: CJL
DATE: 1/15/2024
APPROVED BY: CJL
SCALE: 1"=20'
ENGR: CJL

FAIRHOPE FOOSACKLY'S
SITE PLAN
FAIRHOPE, AL
OWNER: FOO PROPERTIES, INC.
SHEET NUMBER: 4 OF 11
C4.0 B



LOT 5

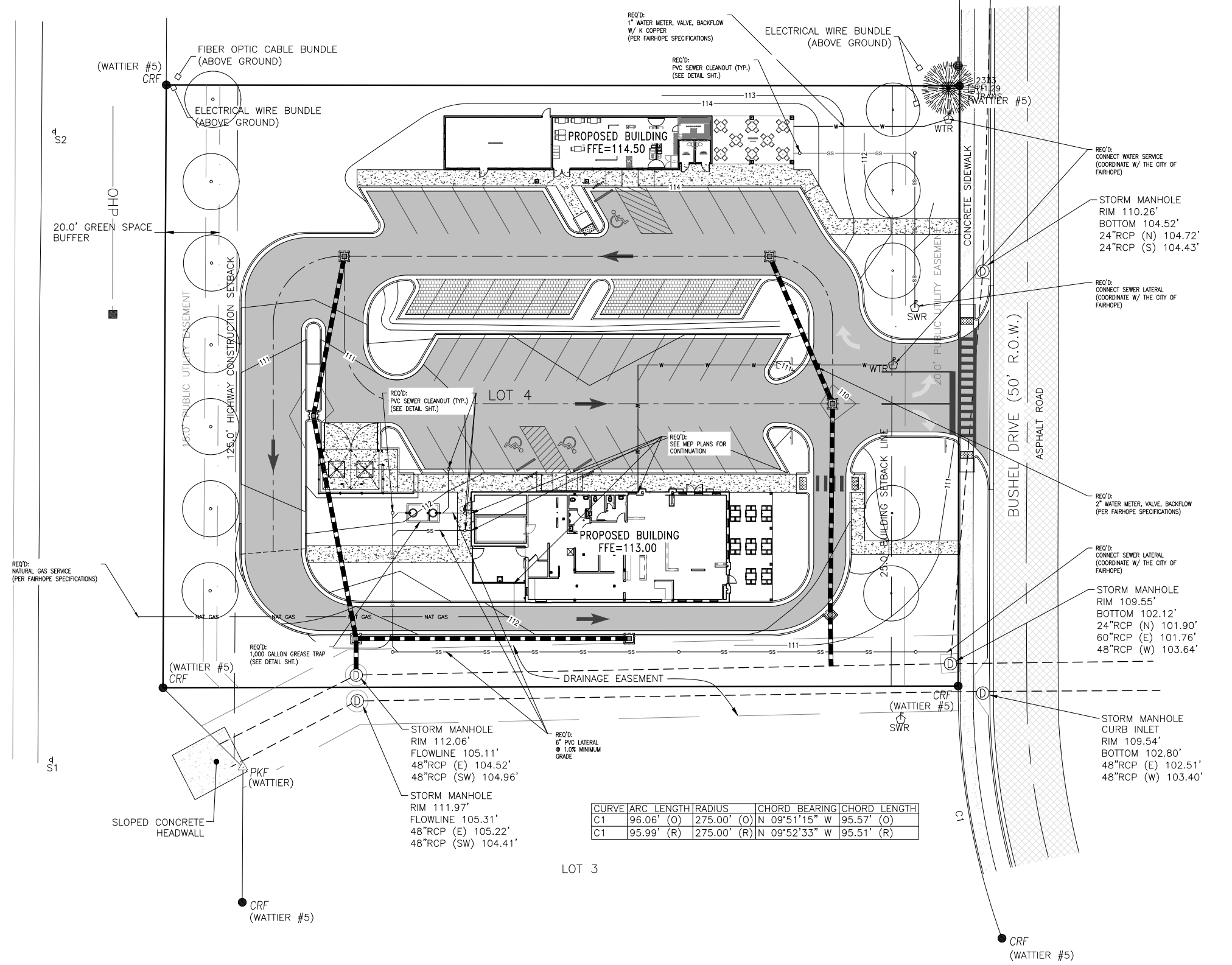


- NOTES:**
- SEE SHEET C2.0 FOR GENERAL NOTES.
 - CLEANOUTS ON THE SEWER LINE SHALL BE INSTALLED AT THE CONNECTION TO THE BUILDING 5' OUTSIDE THE FACE OF THE BUILDING. ALL 6" PIPES SHALL HAVE CLEANOUTS INSTALLED AT 100' INTERVALS.

LEGEND

	STANDARD DUTY ASPHALT PAVING
	PERVIOUS PAVING
	CONCRETE SIDEWALK
	EXISTING ASPHALT PAVING

STATE HIGHWAY NO. 181
(R.O.W. VARIES)



CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	96.06' (O)	275.00' (O)	N 09°51'15" W	95.57' (O)
C1	95.99' (R)	275.00' (R)	N 09°52'33" W	95.51' (R)

ISSUED FOR REVIEW

REVISIONS	ISSUED FOR REVIEW	1/15/2024
A		

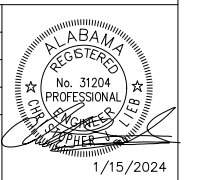
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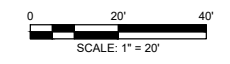
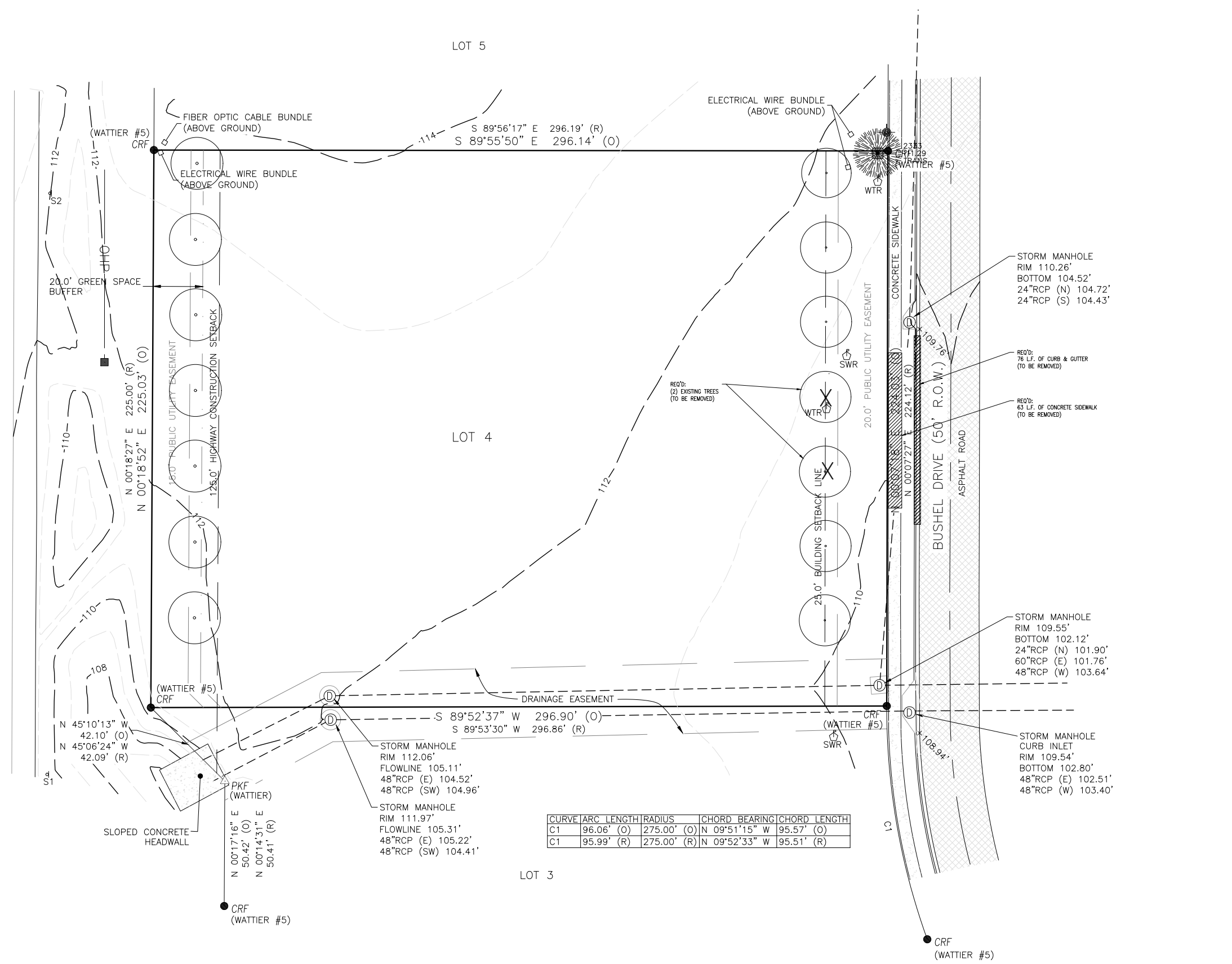
JOB NUMBER: 2024-071
DRAWN BY: JLG
CHECKED BY: CJL
DATE: 1/15/2024
APPROVED BY: CJL
SCALE: 1"=20'
ENGR: CJL

FAIRHOPE FOOSACKLY'S
UTILITY PLAN
FAIRHOPE, AL
OWNER: FOO PROPERTIES, INC.

SHEET NUMBER: 6 OF 11
C6.0 A



STATE HIGHWAY NO. 181
(R.O.W. VARIES)



NOTES:
1. SEE SHEET C2.0 FOR ALL GENERAL NOTES.

LEGEND

- EXISTING ASPHALT PAVING
- TO BE REMOVED
- TREES TO BE REMOVED

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	96.06' (O)	275.00' (O)	N 09°51'15" W	95.57' (O)
C1	95.99' (R)	275.00' (R)	N 09°52'33" W	95.51' (R)

ISSUED FOR REVIEW

REVISIONS	ISSUED FOR REVIEW	1/15/2024
A		



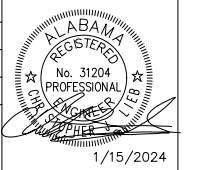
LIEB ENGINEERING COMPANY
1290 MAIN STREET, SUITE E
DAPHNE, AL 36526
PH: (251) 978-9779

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ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

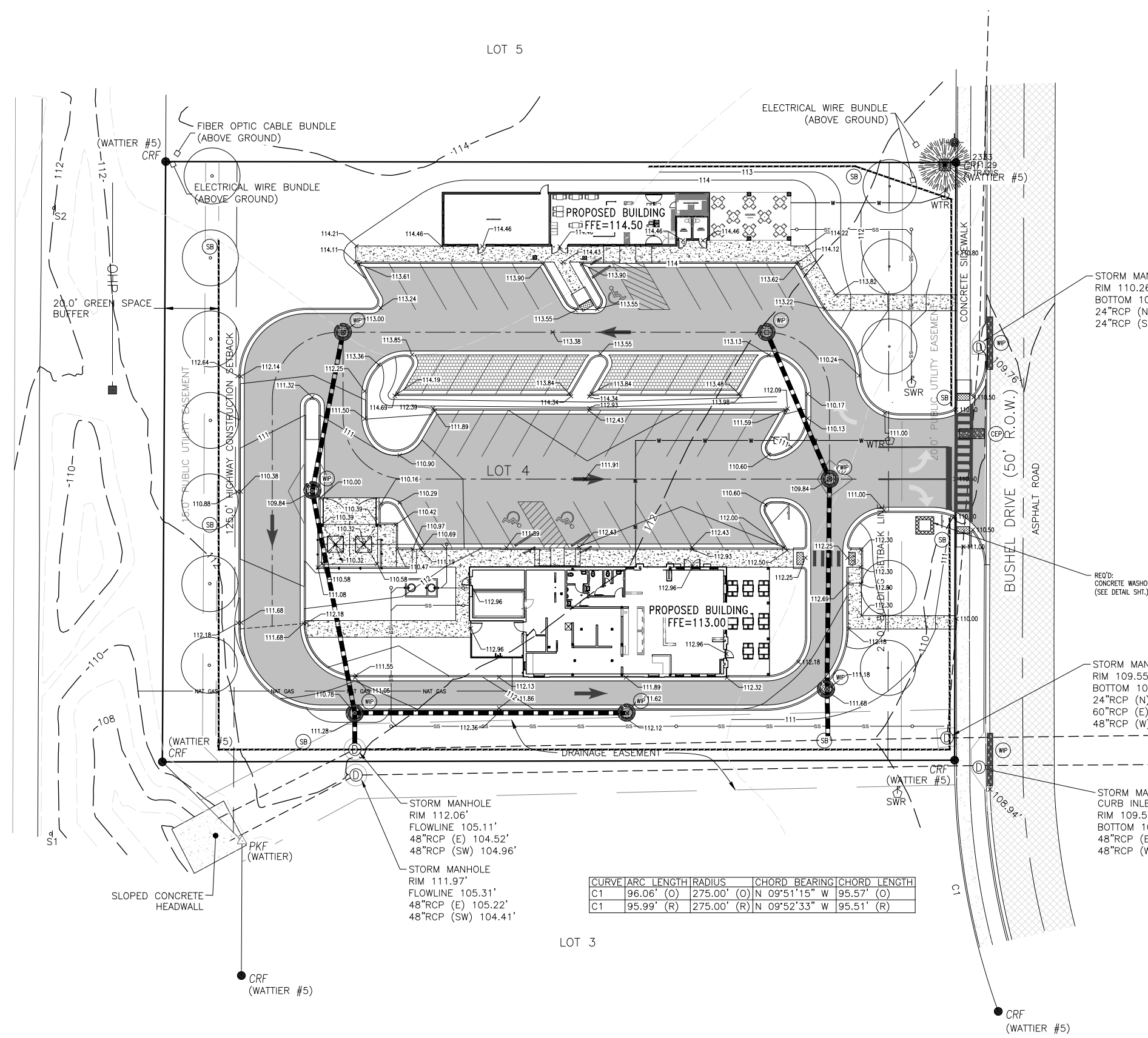
JOB NUMBER: 2024-071
DRAWN BY: JLG
CHECKED BY: CJL
DATE: 1/15/2024
APPROVED BY: CJL
SCALE: 1"=20'
ENGR: CJL

FAIRHOPE FOOSACKLY'S
EXISTING CONDITIONS & DEMOLITION PLAN
FAIRHOPE, AL
OWNER: FOO PROPERTIES, INC.

SHEET NUMBER: 3 OF 11
C3.0 A



STATE HIGHWAY NO. 181
(R.O.W. VARIES)

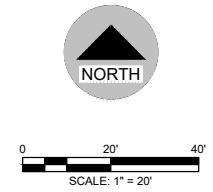


LEGEND

- STANDARD DUTY ASPHALT PAVING
- PERVIOUS PAVING
- CONCRETE SIDEWALK
- EXISTING ASPHALT PAVING

EROSION CONTROL LEGEND

- SB SILT FENCING
- CEP CONSTRUCTION EXIT PAD
- WIP WATTLE INLET PROTECTION OR SILT SAVER (OR APPROVED EQUAL)



NOTES:
1. SEE SHEET C2.0 FOR ALL GENERAL NOTES.

- EROSION CONTROL NOTES:**
- SITE EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS, CODES, AND REGULATIONS.
 - ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING THE CONSTRUCTION PROCESS AND UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
 - EROSION CONTROL DEVICES SHOWN ON THESE PLANS ARE A MINIMUM. ADDITIONAL DEVICES SHALL BE INSTALLED AS REQUIRED TO PREVENT SILTATION, EROSION AND OTHER DEGRADATION OR POLLUTION TO THE SITE OR ADJACENT PROPERTIES, STREAMS, DITCHES, AND PUBLIC ROADWAYS.
 - EROSION CONTROL DEVICES SHALL INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING DEVICES: SILT FENCINGS, BRUSH BERMS, SEDIMENT BASINS, DETENTION PONDS, STRAW WATTLES, CHECK DAMS, FILTER BERMS, JUTE MATTING, VEGETATIVE FILTER STRIPS, TURF REINFORCEMENT MAT, DIVERSION BERMS, ETC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES IN GOOD OPERATING CONDITION DURING ALL LAND DISTURBING ACTIVITIES. THIS RESPONSIBILITY SHALL INCLUDE THE CLEANUP AND/OR REPAIRS TO THE DEVICES AT NO ADDITIONAL COST TO THE OWNER.
 - EROSION CONTROL DEVICES SHALL BE MONITORED AND MAINTAINED UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD, ANY WIND GUSTS GREATER THAN 25 MPH, AND ANY SUSTAINED WINDS GREATER THAN 20 MPH IN A 24 HOUR PERIOD.
 - AFTER ALL LAND DISTURBANCE ACTIVITIES HAVE CEASED AND AFTER ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED, THE EROSION CONTROL DEVICES SHALL BE REMOVED BY THE CONTRACTOR AND THE AREA CLEANED AND DRESSED.
 - DEWATERING OPERATIONS MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR POLLUTION TO ADJACENT PROPERTIES, STREAMS, DITCHES, OR PUBLIC ROADWAYS.
 - A GRAVELED ACCESS DRIVE OF SUFFICIENT SIZE SHALL BE AT EACH SITE ENTRANCE/EXIT TO PREVENT TRACKING OF DIRT AND SEDIMENT ONTO PUBLIC OR PRIVATE ROADWAYS. IF SEDIMENT REACHES THE ROADWAY, THEN IT MUST BE CLEANED AT THE END OF EACH WORKDAY.
 - ALL LAND DISTURBANCE ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE EXPOSURE OF BARE AREAS AT ANY ONE TIME.
 - ALL DISTURBED AREAS LEFT INACTIVE FOR MORE THAN 10 DAYS SHALL BE SEEDED AND MULCHED.
 - PRIOR TO SITE CLEARING, ALL PERIMETER SILT FENCING, BRUSH BERMS, ETC. AND GRAVELED ACCESS DRIVES SHALL BE INSTALLED.
 - ALL EXISTING STREAMS, DITCHES, ETC. SHALL BE PROTECTED FROM SEDIMENTS AND SILTS BY SILT FENCING, WATTLES, BRUSH BERMS, ETC.
 - WATTLES OR SILT FENCING SHALL BE INSTALLED AT ALL INLETS UPON THE COMPLETION OF EACH INLET AS INSTALLED.
 - RIP RAP SHALL BE PLACED AT EACH HEADWALL IMMEDIATELY FOLLOWING CONSTRUCTION OF EACH HEADWALL.
 - GEOTEXTILE SHALL BE PLACED ON ALL 2:1 SIDE SLOPES. GEOTEXTILE SHALL BE NORTH AMERICAN GREEN SC150 OR APPROVED EQUAL UNLESS OTHERWISE NOTED ON PLANS. ALL GEOTEXTILES SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
 - GEOTEXTILE SHALL BE PLACED ON ALL 3:1 SIDE SLOPES. GEOTEXTILE SHALL BE NORTH AMERICAN GREEN S150 OR APPROVED EQUAL UNLESS OTHERWISE NOTED ON PLANS. ALL GEOTEXTILES SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
 - GEOTEXTILE SHALL BE PLACED ON ALL DITCH BOTTOMS & 1' UP EACH SIDE. GEOTEXTILE SHALL BE NORTH AMERICAN GREEN SC250 OR APPROVED EQUAL UNLESS OTHERWISE NOTED ON PLANS. ALL GEOTEXTILES SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
 - GOOD HOUSEKEEPING PRACTICES AND PREVENTATIVE MAINTENANCE SHALL BE PERFORMED ON SITE DAILY TO PREVENT POLLUTION SOURCES FROM CONTACTING STORMWATER AND GROUND WATER. THIS INCLUDES, BUT IS NOT LIMITED TO: EQUIPMENT INSPECTION FOR LEAKS OF HAZARDOUS MATERIALS, PICKUP AND PROPER DISPOSAL OF WASTE MATERIALS TO APPROVED DISPOSAL SITES, STORING CONTAINERS AND BAGS AWAY FROM TRAFFIC ROUTES, PUBLICIZING POLLUTION PREVENTION CONCEPTS THROUGH POSTERS, WASHING EQUIPMENT AND VEHICLES AT APPROVED WASHING LOCATIONS, AND USING ONLY WATER (NO DETERGENTS) FOR WASHING ACTIVITIES.
 - AT A MINIMUM, THE EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE INSTALLED. ADDITIONAL MEASURES MAY BE REQUIRED AND SHALL BE IMMEDIATELY INSTALLED UPON ANY ADDITIONAL SILTATION, EROSION, AND OTHER DEGRADATION OR POLLUTION TO THE SITE OR ADJACENT PROPERTIES, STREAMS, DITCHES, AND PUBLIC ROADWAYS NOT MITIGATED OR UNFORESEEN BY THIS SET OF PLANS.
 - THE CONTRACTOR SHALL SIZE, INSTALL, AND MAINTAIN ADEQUATE CONTROLS FOR THE SITE. REFER TO THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS, LATEST EDITION.

STORM MANHOLE
RIM 110.26'
BOTTOM 104.52'
24"RCP (N) 104.72'
24"RCP (S) 104.43'

REQ'D:
CONCRETE WASHOUT
(SEE DETAIL SH1.)

STORM MANHOLE
RIM 109.55'
BOTTOM 102.12'
24"RCP (N) 101.90'
60"RCP (E) 101.76'
48"RCP (W) 103.64'

STORM MANHOLE
CURB INLET
RIM 109.54'
BOTTOM 102.80'
48"RCP (E) 102.51'
48"RCP (W) 103.40'

STORM MANHOLE
RIM 112.06'
FLOWLINE 105.11'
48"RCP (E) 104.52'
48"RCP (SW) 104.96'

STORM MANHOLE
RIM 111.97'
FLOWLINE 105.31'
48"RCP (E) 105.22'
48"RCP (SW) 104.41'

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	96.06' (O)	275.00' (O)	N 09°51'15" W	95.57' (O)
C1	95.99' (R)	275.00' (R)	N 09°52'33" W	95.51' (R)

REVISIONS	ISSUED FOR REVIEW	1/15/2024
A		

LIEB ENGINEERING COMPANY
1290 MAIN STREET, SUITE E
DAPHNE, AL 36526
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.
ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2024-071
DRAWN BY: JLG
CHECKED BY: CJL
DATE: 1/15/2024
APPROVED BY: CJL
SCALE: 1"=20'
ENGR: CJL

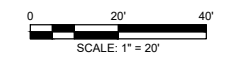
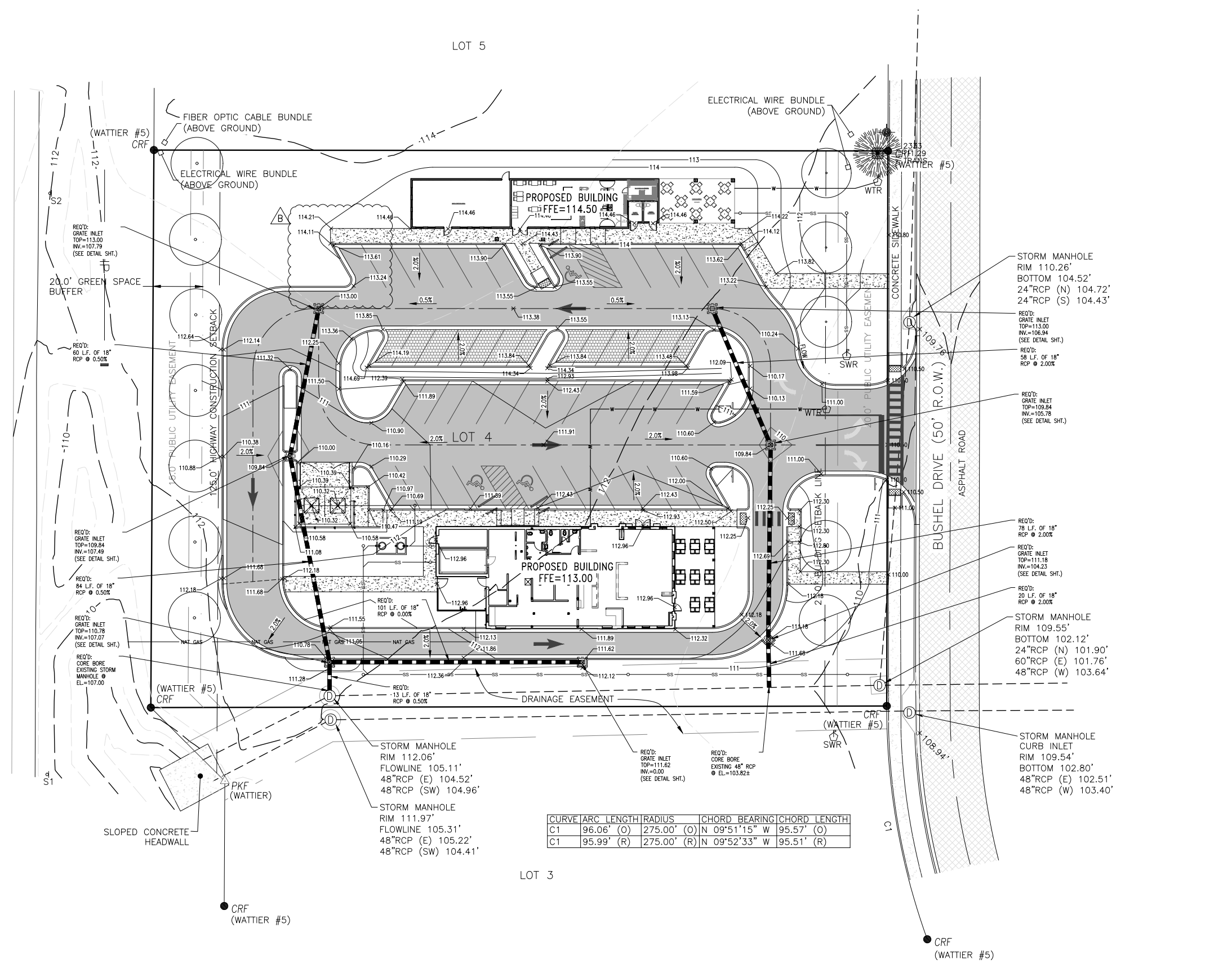
FAIRHOPE FOOSACKLY'S
EROSION CONTROL PLAN
FAIRHOPE, AL
OWNER: FOO PROPERTIES, INC.

SHEET NUMBER: 7 OF 11
C7.0 A

ALABAMA REGISTERED PROFESSIONAL ENGINEER
No. 31204
CHRISTOPHER JAY LIEB
1/15/2024

ISSUED FOR REVIEW

STATE HIGHWAY NO. 181
(R.O.W. VARIES)



NOTES:
1. SEE SHEET C2.0 FOR ALL GENERAL NOTES.

LEGEND	
	STANDARD DUTY ASPHALT PAVING
	PERVIOUS PAVING
	CONCRETE SIDEWALK
	EXISTING ASPHALT PAVING

STORM MANHOLE
RIM 110.26'
BOTTOM 104.52'
24"RCP (N) 104.72'
24"RCP (S) 104.43'

REQ'D: GRATE INLET
TOP=113.00
INV.=106.94
(SEE DETAIL SHT.)

REQ'D: 58' L.F. OF 18"
RCP @ 2.00%

REQ'D: GRATE INLET
TOP=109.84
INV.=106.78
(SEE DETAIL SHT.)

REQ'D: 78' L.F. OF 18"
RCP @ 2.00%

REQ'D: GRATE INLET
TOP=111.18
INV.=104.23
(SEE DETAIL SHT.)

REQ'D: 28' L.F. OF 18"
RCP @ 2.00%

STORM MANHOLE
RIM 109.55'
BOTTOM 102.12'
24"RCP (N) 101.90'
60"RCP (E) 101.76'
48"RCP (W) 103.64'

STORM MANHOLE
CURB INLET
RIM 109.54'
BOTTOM 102.80'
48"RCP (E) 102.51'
48"RCP (W) 103.40'

STORM MANHOLE
RIM 112.06'
FLOWLINE 105.11'
48"RCP (E) 104.52'
48"RCP (SW) 104.96'

STORM MANHOLE
RIM 111.97'
FLOWLINE 105.31'
48"RCP (E) 105.22'
48"RCP (SW) 104.41'

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	96.06' (O)	275.00' (O)	N 09°51'15" W	95.57' (O)
C1	95.99' (R)	275.00' (R)	N 09°52'33" W	95.51' (R)

ISSUED FOR REVIEW

REVISIONS		
A	ISSUED FOR REVIEW	1/15/2024
B	ADDRESSING CITY COMMENTS	1/28/2025

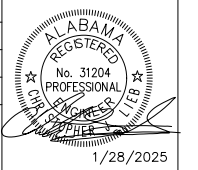


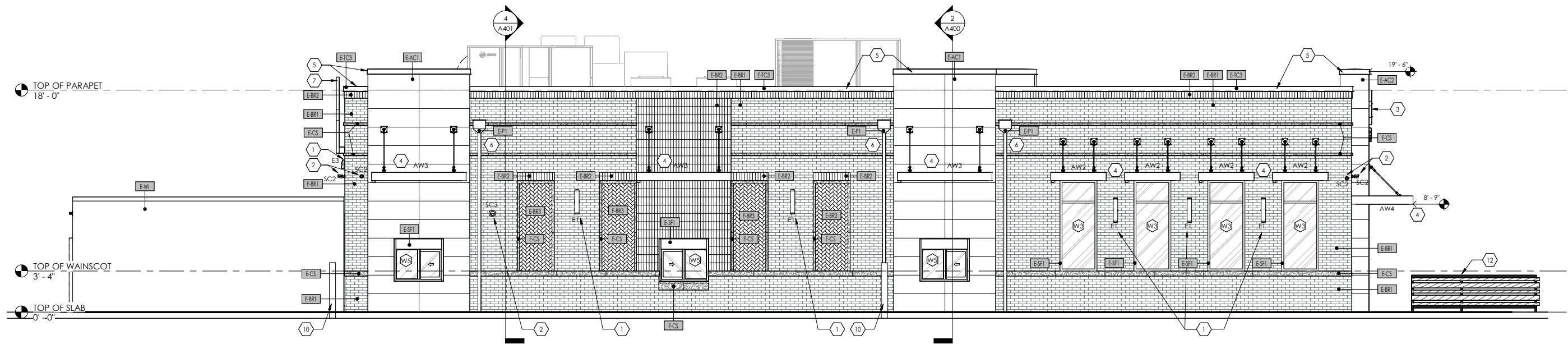
LIEB ENGINEERING COMPANY
1290 MAIN STREET, SUITE E
DAPHNE, AL 36526
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.
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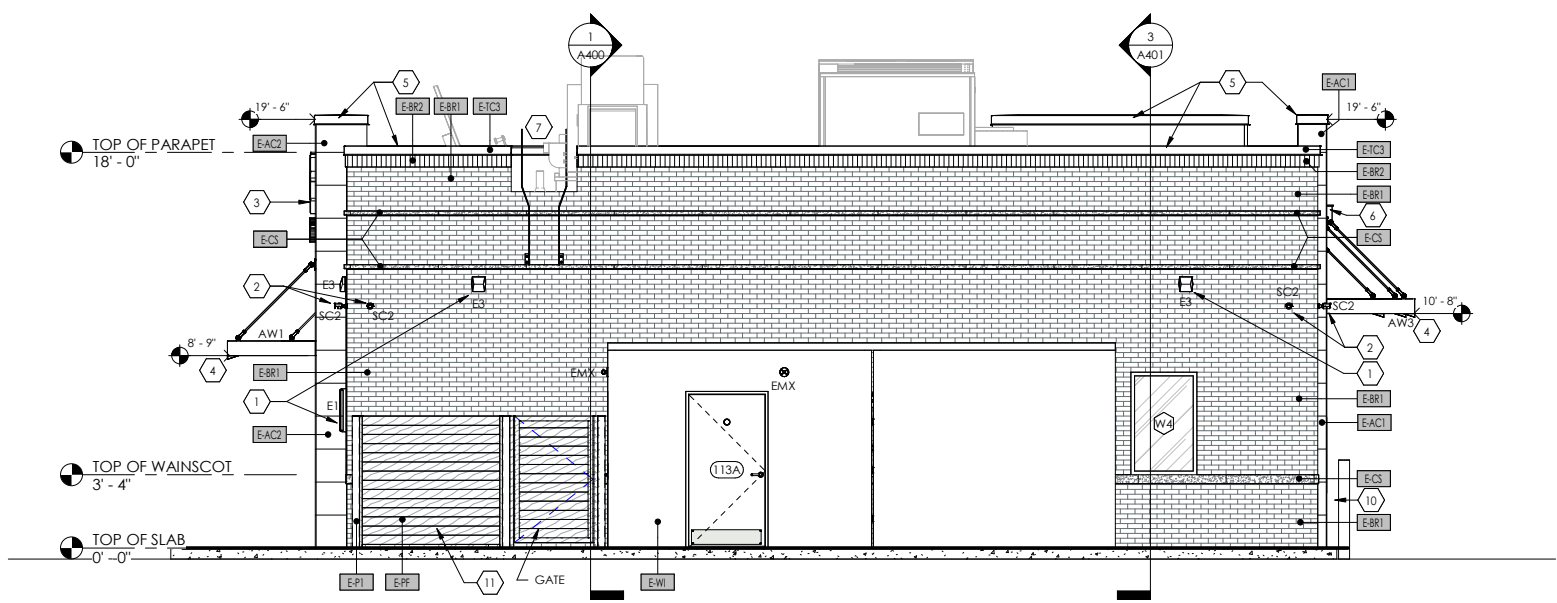
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DRAWN BY: JLG
CHECKED BY: CJL
DATE: 1/15/2024
APPROVED BY: CJL
SCALE: 1"=20'
ENGR: CJL

FAIRHOPE FOOSACKLY'S
GRADING & DRAINAGE PLAN
FAIRHOPE, AL
OWNER: FOO PROPERTIES, INC.
SHEET NUMBER: 5 OF 11
C5.0 B





3 DRIVE-THRU ELEVATION
1/4" = 1'-0"



4 REAR ELEVATION
1/4" = 1'-0"

LEGEND

- WALL TAGS INDICATED WITH: X#
- DOORS INDICATED WITH: #/#
- WINDOWS INDICATED WITH: #/#
- MATERIALS INDICATED WITH: X#

TAG NOTES

- 1 EXTERIOR WALL LIGHTING - SEE ELECT. DWGS. & LIGHTING SCHEDULE SHT. A130.
- 2 EXTERIOR WALL MNTD. SECURITY DEVICES BY VENDOR. GC TO COORD. ROUGH-IN REQUIREMENTS & UTILITY CONNECTIONS w/ VENDOR & OWNER.
- 3 BUILDING SIGNAGE (PERMITTED SEPARATELY BY VENDOR) GC TO COORD. MNTG. REQUIREMENTS & UTILITY CONNECTIONS w/ VENDOR PRIOR TO ELECT. ROUGH-IN WORK. GC TO VERIFY IF ACCESS PANELS ARE REQUIRED IN EXTERIOR WALL OR IN PARAPET WALL THAT ARE LOCATED ABOVE THE ROOF DECK. IF REQD., GC TO COORD. WORK w/ ROOFING VENDOR.
- 4 MTL. HORIZ. CANOPY SYSTEM - SEE STRUCT. DWGS. FOR BLOCKING DETAILS. BASIS OF DESIGN: LAWRENCE METAL STRUCTURES MODEL# LFS-FLCA 8TH CHANNEL FACIA - FINISH PER SCHEDULE
- 5 PRE-FINISHED MTL. PARAPET CAP SIM. TO EXCEPTIONAL METALS (CANTED COPING - 0.40 GA.) - SEE FINISH SCHEDULE SHT. A705.
- 6 PRE-FINISHED MTL. SCUPPER & DOWNSPOUT.
- 7 ROOF ACCESS LADDER RECEIVER - SEE SHT. A151.
- 8 RECESS OIL FILLBOX - COORD. MNTG. REQUIREMENTS & LOCATION w/ VENDOR & OWNER.
- 9 RECESS CO2 FILLBOX - COORD. MNTG. REQUIREMENTS & LOCATION w/ VENDOR & OWNER.
- 10 BOLLARD - SEE CIVIL DWGS.
- 11 PRIVACY FENCE & STL. POSTS - SEE MNTG. DETAIL SHT. A312 & STRUCT. DWGS.
- 12 PATIO RAILING & SLATS - SEE MNTG. DETAIL SHT. A312 & STRUCT. DWGS.

GENERAL NOTES

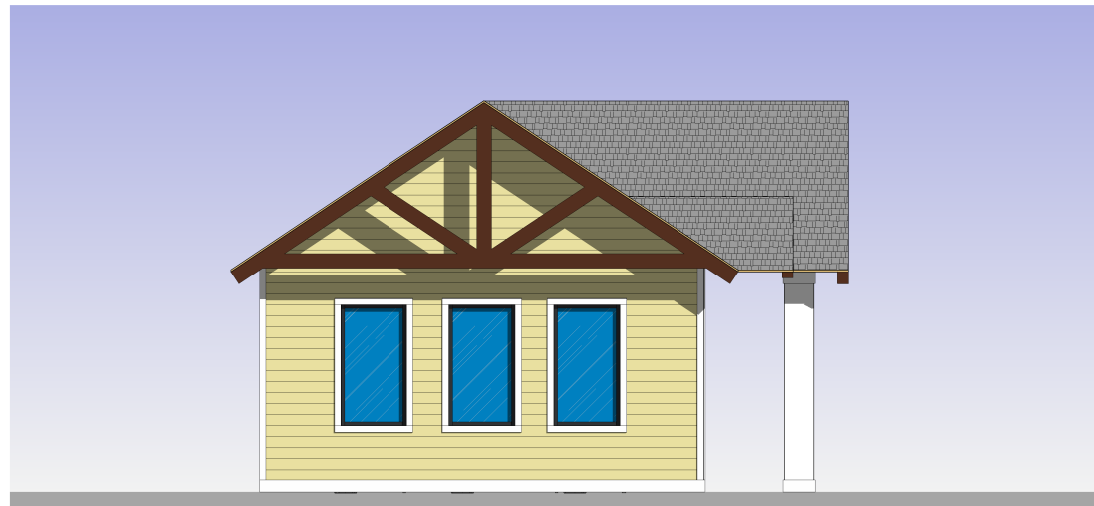
1. ANY BUILDING MOUNTED SIGNAGE DEPICTED IN THESE DOCUMENTS IS FOR COORDINATION PURPOSES ONLY AND IS NOT INTENDED FOR FABRICATION OR INSTALLATION BY THE GENERAL CONTRACTOR. IT SHALL BE UNDERSTOOD THAT ALL EXTERIOR BUILDING MOUNTED SIGNAGE & SITE SIGNAGE WILL BE PERMITTED SEPARATELY BY THE OWNER'S SIGN VENDOR. AT THAT TIME, COMPLETE DETAILS INCLUDING, BUT NOT LIMITED TO, SIGN FABRICATION, SIGN INSTALLATION, SIGN AREA AND QUANTITIES, ETC. SHALL BE SUBMITTED TO THE SIGN VENDOR FOR PERMIT AND APPROVAL PRIOR TO COMMENCEMENT OF WORK. SEE ELECT. DWGS. FOR PWR. REQUIREMENTS.
2. ALL EXTERIOR GLAZING SHALL BE IMPACT RATED PER LOCAL CODE - SEE STRUCT. FOR WIND SPEED & CODE CRITERIA.
3. STOREFRONT VENDOR TO FIELD VERIFY ALL ROUGH OPENINGS & BUILT CONDITIONS PRIOR TO FABRICATION.

PERMIT SET		
DRAWN BY	KEN BROWN	
CHECKED BY	KEN BROWN	
DATE	9-4-24	
REV.	DATE	DESCRIPTION

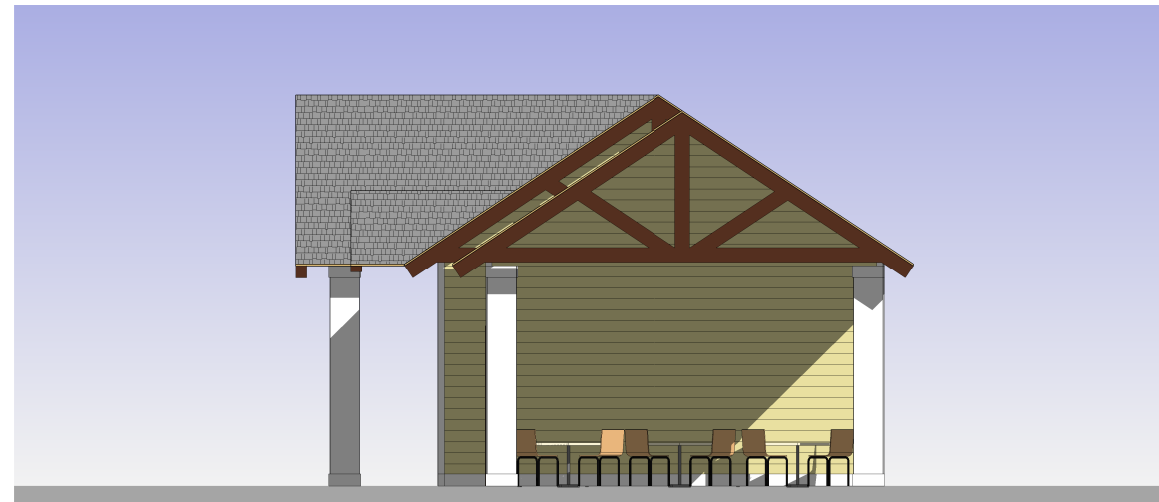
The Construction Documents shall consist of all drawings, specifications, surveys, soil reports, addenda and other information as provided to the General Contractor, all sheets shall be taken separately or "stand alone" from the remainder of the Construction Documents. All sheets of Construction Documents shall be taken from the set of Construction Documents to determine the particular scope of work. Any discrepancies or conflicting information not brought to the attention of the Architect shall be the sole responsibility of the Contractor.



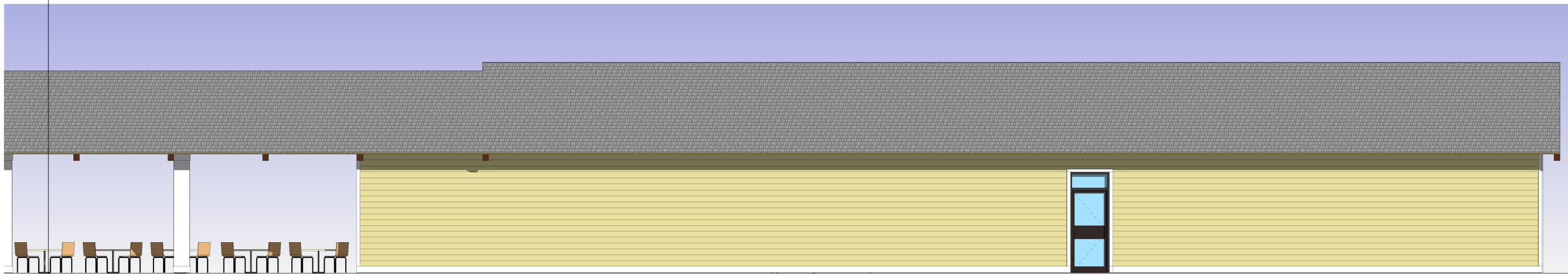
1 FRONT ELEVATION
1/4" = 1'-0"



2 LEFT SIDE ELEVATION
1/4" = 1'-0"



3 PATIO ELEVATION
1/4" = 1'-0"



4 REAR ELEVATION
1/4" = 1'-0"

Just Chillin' Too
Fairhope, AL.

PERMIT SET		
DRAWN BY	KEN BROWN	
CHECKED BY	KEN BROWN	
DATE	10/17/24	
REV.	DATE	DESCRIPTION

The Construction Documents shall consist of all drawings, specifications, surveys, soils reports, addenda and other information as provided to the General Contractor, all sheets shall be taken separately or "laid down" from the remainder of the Construction Documents. All sheets shall be taken together to determine the entire set of Construction Documents to determine the particular scope of work. Any discrepancies or conflicting information not brought to the attention of the Architect shall be the responsibility of the Contractor and shall be interpreted at the sole discretion of the Architect.

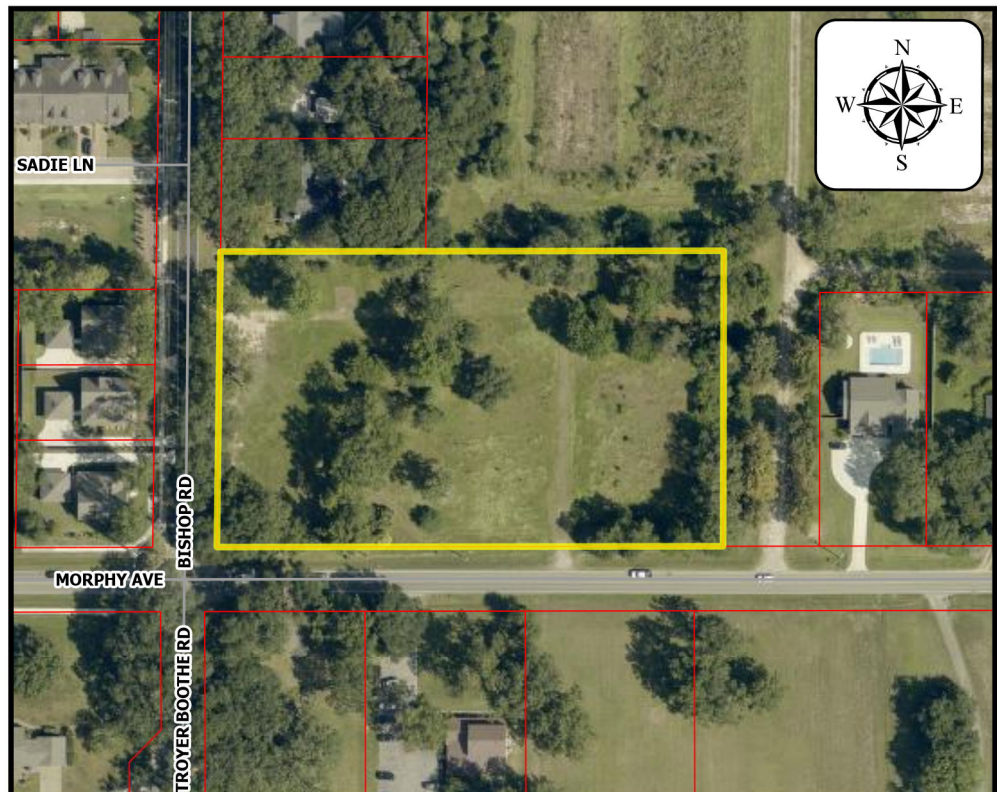
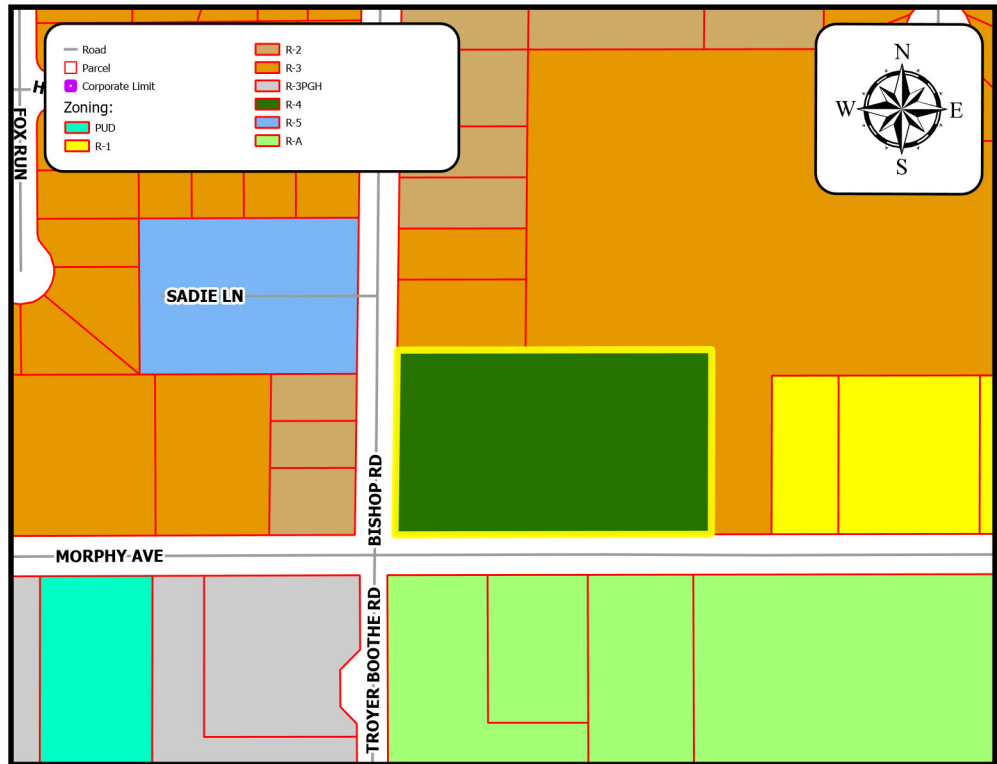
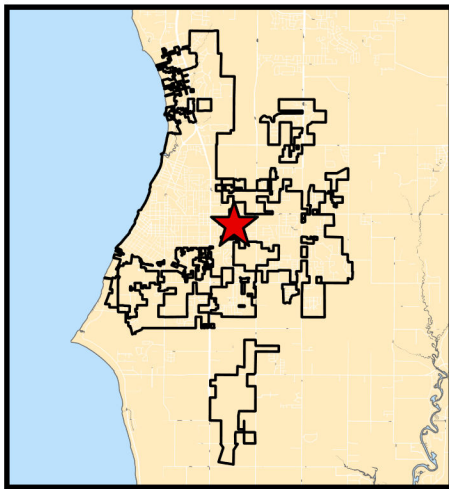
PRELIM EXTERIOR ELEVATIONS

A102

City of Fairhope Planning Commission May 4, 2026



ZC 26.04 - Morphy Corners



Project Name:

Morphy Corners

Site Data:

2.98 acres

Project Type:

Rezone from R-4 to R-1

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

R-4, Low Density Multi-Family Residential District

PPIN Number:

14970

General Location:

NE corner of the intersection of Bishop Road and Morphy Ave

Surveyor of Record:

S.E. Civil

Engineer of Record:

S.E. Civil

Owner / Developer:

Old South Properties, LLC

School District:

Fairhope Elementary School
Fairhope Middle and High Schools

Prepared by:

Michelle Melton-Null

SUMMARY OF REQUEST

Public Hearing to consider the request of the Applicant, S.E. Civil, on behalf of the Owner, Old South Properties, LLC, to rezone property from R-4, Low Density Multi-Family Residential District to R-1, Low Density Single-Family Residential District. The property is located at 8501 Morphy Avenue and is 2.98± acres.

SITE HISTORY

To the best of Staff’s knowledge, there are no previous Planning Commission, BOA, or City Council cases attributed to this site.

STAFF COMMENTS

The current application is a request for zoning change from R-4 to R-1, and as such a development plan was not submitted nor required.

Article III of the City of Fairhope Zoning Ordinance defines R-1 and R-4 Districts and allowed Uses as follows:

R-1 Low Density Single-Family Residential District: *This district is intended to provide choices of low-density suburban residential environment consisting of single-family homes on large parcels of land. It is sub-classified into four categories (R-1, R-1a, R-1b, and R-1c) based on lot sizes.*

R-4 Low Density Multi-Family Residential District: This district is intended to provide a medium high density single-family structure and two to four family units to a building structure.

Since this is a request for re-zoning a development plan was not submitted nor required. Nonetheless, a lower density zoning district is appropriate for this area due to the fact that the subject property is surrounded by city zoned, lower density residential districts. Across Morphy Avenue is a bevy of RA (3 acre) zoned parcels as well.

Subject property is 131,551.2± SF or 3.02± acres. R-1 lots are required to be at least 15,000 SF. The proposed R-1 zoning district will, at most, yield eight (8) dwelling units. The Applicants’ intent with the request is to subdivide the parcel into four (4) lots to be utilized for four (4) single-family residences. In contrast, R-4 allows up to 7 units/acre. Three (3) acres in R-4 could yield up to 21 dwelling units.

Wetlands

The Applicant did not submit a wetland delineation with the application. Baldwin County GIS does show a small area of “potential wetlands” (see exhibits) along the eastern boundary of the parcel that will need to be addressed with any proposed development.

Citizen Comments

During the public comment period staff did not receive any citizen comments.

REZONING CONSIDERATIONS

Standards of Review:

The Zoning Ordinance and its associated zoning map are derived from long-range comprehensive planning studies intended to promote orderly, desirable development. Casual or unsupported amendments to the Zoning Ordinance can undermine this purpose. Therefore, rezoning requests are evaluated according to the following criteria:

1. Compliance with the Comprehensive Plan;
2. Compliance with the standards, goals, and intent of this ordinance;
3. The character of the surrounding property, including any pending development activity;
4. Adequacy of public infrastructure to support the proposed development;
5. Impacts on natural resources, including existing conditions and ongoing post-development conditions;
6. Compliance with other laws and regulations of the City;
7. Compliance with other applicable laws and regulations of other jurisdictions;
8. Impacts on adjacent property including noise, traffic, visible intrusions, potential physical impacts, and property values; and
9. Impacts on the surrounding neighborhood including noise, traffic, visible intrusions, potential physical impacts, and property values.

Recommendation:

Staff recommends **APPROVAL** of ZC 26.04– Morphy Corners at 8501 Morphy Avenue, request to rezone property from R-4, Low Density Multi-Family Residential District to R-1, Low Density Single-Family Residential District.

EXHIBITS

ZC 26.04 –Morphy Corners

May 4, 2026

Potential Wetlands



EXHIBITS

Excerpt from Table 3-2: Dimension Table – Lots and Principle Structure

Dimension District or Use	Min. Lot Area / Allowed Units Per Acre (UPA)	Min. Lot Width	Front Setback	Rear Setback	Side Setback	Street Side Setback	Max. Total Lot Coverage by All Structures	Max. Height
R/A	3 acres/ -	198'	75'	75'	25'	50'	none	30'
R-1	15,000 s.f./ -	100'	40'	35'	10' ^b	20'	40%	30' ^a
R-1a	40,000 s.f./ -	120'	30'	30'	10' ^b	20'	25%	35'
R-1b	30,000 s.f./ -	100'	30'	30'	10' ^b	20'	25%	35'
R-1c	20,000 s.f./ -	80'	30'	30'	10' ^b	20'	25%	35'
R-2	10,500 s.f./ -	75'	35'	35'	10' ^b	20'	37%	30' ^a
R-3	7,800 s.f./ -	65'	30'	35'	8' ^b	20'	35%	30'
R-3 PGH	4,000 s.f./ -	40'	20'	15'	10' ^b	10'	32.50%	30'
R-3 TH	2,400 s.f./ -	24'	20'	35'	0' ^c	20'	45%	30'
R-4	10,500 s.f. for two dwelling units plus 6,500 s.f. for each additional unit/ 7 UPA	75' for two dwelling units plus 5' for each additional unit	30'	35'	10' ^b	20'	30%	30'

EXHIBITS

Excerpt from Table 3-1 Use Table

Zoning Districts	R-4	R-1 (a, b, c)
Use Categories / Specific Uses		
Dwelling		
Single-Family	●	●
Two-family	●	
Townhouse	∅	
Patio Home		
Multiple-family / Apartment	∅	
Manufactured Home		
Mixed-use		
Accessory Dwelling		
Estate		
Civic		
Elementary School	●	●
Secondary School	●	●
Education Facility	●	●
Library	●	●
Place of Worship		
Cemetery	○	○
Hospital		
Public Open Space	●	●
Common Open Space	●	●
Community Center or Club	○	○
Public Utility	○	○
Office		
General		
Professional		
Home Occupation	∅	∅
Retail		
Grocery		
Convenience Store		
General Merchandise		
Shopping Center		
Automobile Service Station		
Outdoor Sales Limited		
Outdoor Sales Lot		
Garden Center		

Zoning Districts	R-4	R-1 (a, b, c)
Use Categories / Specific Uses		
Service		
Convalescent or Nursing Home	○	○
Clinic	○	○
Outdoor Recreation Facility	○	○
Day Care	○	○
General Personal Services		
Mortuary or Funeral Home		
Automobile Repair		
Indoor Recreation		
Dry Cleaner / Laundry		
Personal Storage		
Bed & Breakfast		
Hotel / Motel		
Boarding House or Dormitory		
Recreational Vehicle Park		
Restaurant		
Bar		
Entertainment Venue		
Marina		
Kennel or Animal Hospital		
Warehouse		
Junk Yard or Salvage Yard		
Manufacturing		
Limited		
Light		
General		
Food Processing		
Rural		
Agriculture		
Rural Market		
Plant Nursery		

● = Allowed By-Right	∅ = Special Conditions	○ = On Appeal
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THE CITY OF FAIRHOPE, ALABAMA
PLANNING & ZONING DEPARTMENT

Notification Letter

April 16, 2026

RE: ZC 26.04
Public hearing to rezone property
PPIN #: 14970
Description: Applicant, S.E. Civil LLC, on behalf of the Owner, Old South Properties, LLC, to rezone property from R-4, Low Density Multi-Family Residential District to R-1, Low Density Single-Family Residential District. The property is located at 8501 Morphy Avenue.

Sherry Sullivan
Mayor

Council Members

Andrea F. Booth
Jack Burrell, ACOMO
Jimmy Conyers
Joshua N. Gammon
Jay Robinson

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

Dear Fairhope Resident,

State law requires all property owners within 300' of property being considered for a zoning change to be notified by mail. The Baldwin County Revenue Office provided your information as a current property owner within 300' of the zoning change request detailed above.

The City of Fairhope Planning Commission will hold a public hearing at **5:00 PM in the Council Chambers located in the Municipal Complex at 161 N. Section Street on May 4, 2026**. All written comments and/or presentation materials MUST be received by the Planning Department by no later than noon on April 23, 2026, to ensure adequate time for review and distribution to the Planning Commission prior to the public hearing. Written comments/materials received after this deadline may not be included in the advance report packet but may be submitted for the record at the public hearing.

Staff reports and application materials will be posted online during the week prior to the public hearing at www.fairhopeal.gov under the Agendas and Minutes tab.

FRAUDULENT & SUSPICIOUS EMAILS

The City of Fairhope Planning Department is aware of fraudulent emails impersonating City Staff and Commission members requesting payment for permits or services via wire transfer. Please note that the City of Fairhope will never request payment of any kind via wire transfer and application fees will always be processed prior to a case going before any Board or Commission. If you receive a suspicious message please notify the Planning Department right away and do not click any links, open attachments, or send any payment or personal information.

Should you have any questions or concerns, please contact the Planning Department.

Cordially,

Janine Saykes

Janine Saykes
Planning Clerk



APPLICATION FOR ZONING DISTRICT CHANGE

Property Owner / Leaseholder Information

Name: Old South Properties LLC Phone Number: 251-923-7885
 Street Address: 20259 Bishop Road
 City: Fairhope State: AL Zip: 36532

Applicant / Agent Information

If different from above.
 Notarized letter from property owner is required if an agent is used for representation.

Name: Arthur Johnson for S.E. Civil Phone Number: 251-990-6566
 Street Address: 9969 Windmill Road
 City: Fairhope State: AL Zip: 36532

Current Zoning of Property: (R-4) Low Density Multi-Family Residential District
 Proposed Zoning/Use of the Property: (R-1) Low Density Single-Family Residential District / Single Family Residential
 Property Address: 8501 Morphy Ave, Fairhope, AL 36532
 Parcel Number: 05-46-05-16-0-000-028.518
 Property Legal Description: Please see the attached supporting document.
 Reason for Zoning Change: To subdivide the subject property into 4 lots and build single family homes.

Property Map Attached YES NO
 Metes and Bounds Description Attached YES NO
 Names and Address of all Real Property Owners within 300 Feet of Above Described Property Attached. YES NO

Character of Improvements to the Property and Approximate Construction Date: We anticipate construction will begin in July. The proposed improvements are limited to the creation of four lots and the construction of four single family residences.

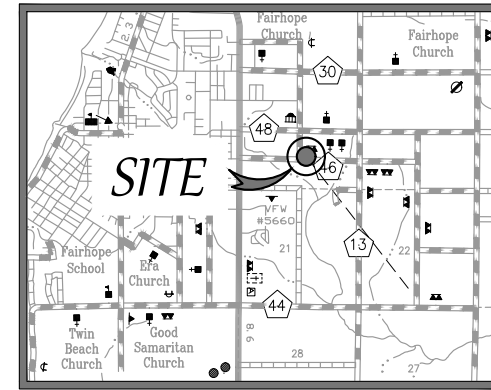
Zoning Fee Calculation:
 Reference: Ordinance 1269

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Arthur Johnson for S.E. Civil (Agent)
 Property Owner/Leaseholder Printed Name
03/18/2026
 Date

Arthur Johnson
 Signature
Rubben E. Davidson, III
 Fairhope Single Tax Corp. (If Applicable)
 Secretary, FSTC

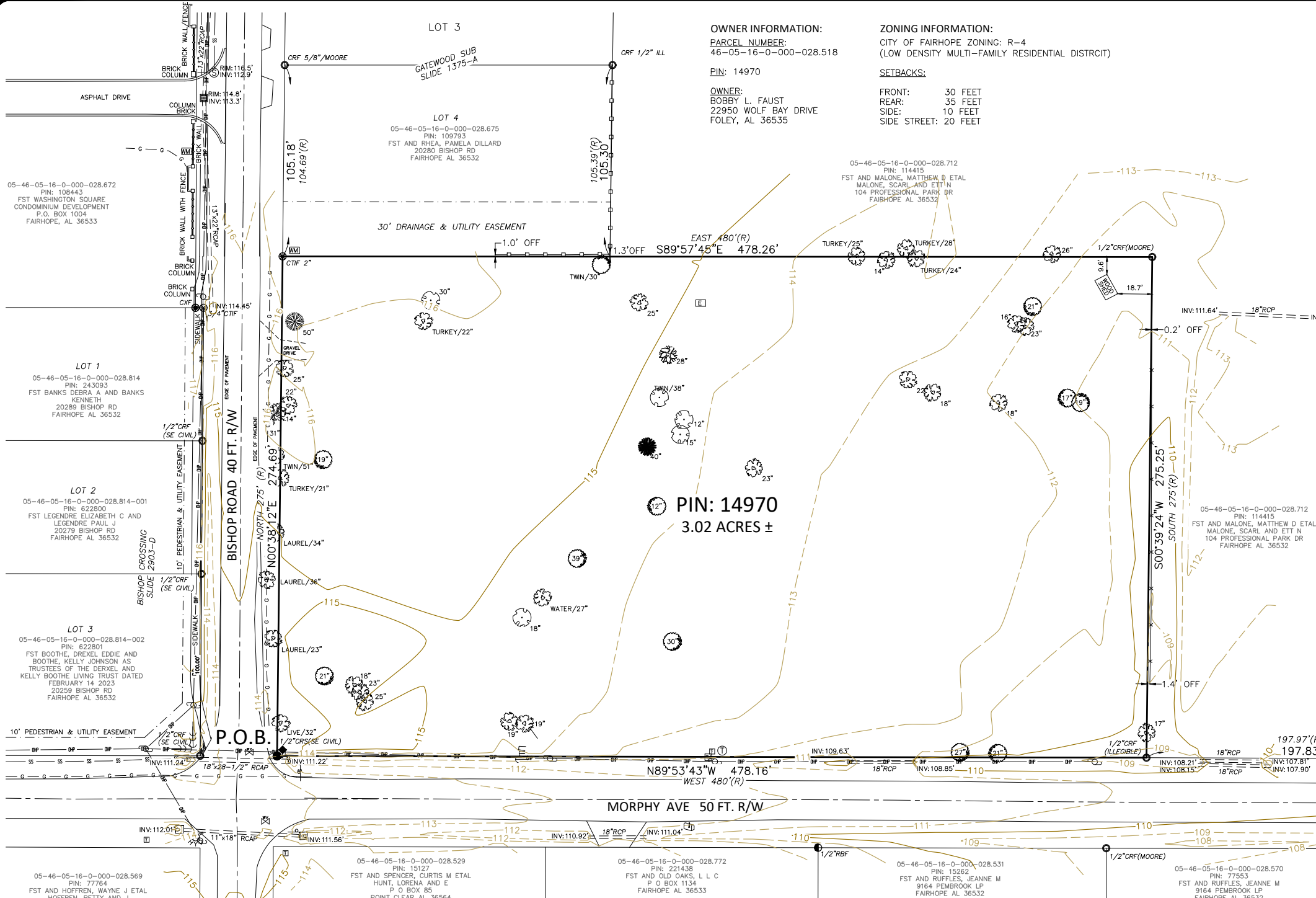
PROPERTY IS LOCATED IN SECTION 16, TOWNSHIP 6 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA. (VICINITY MAP - NOT TO SCALE)



OWNER INFORMATION:
 PARCEL NUMBER: 46-05-16-0-000-028.518
 PIN: 14970
 OWNER: BOBBY L. FAUST
 22950 WOLF BAY DRIVE
 FOLEY, AL 36535

ZONING INFORMATION:
 CITY OF FAIRHOPE ZONING: R-4
 (LOW DENSITY MULTI-FAMILY RESIDENTIAL DISTRICT)

SETBACKS:
 FRONT: 30 FEET
 REAR: 35 FEET
 SIDE: 10 FEET
 SIDE STREET: 20 FEET



- LEGEND:**
- P.O.B. = POINT OF BEGINNING
 - PIN = PARCEL IDENTIFICATION NUMBER
 - (A & R) = ACTUAL & RECORD BEARING/DISTANCE
 - (R) = RECORD BEARING/DISTANCE
 - CRF = CAPPED REBAR SET (SE CIVIL CA-1167)
 - CRF = CAPPED REBAR FOUND
 - CTIF = CRIMP TOP IRON FOUND
 - RBF = REBAR FOUND (NO CAP)
 - CXF = CUT "X" IN CONCRETE FOUND
 - CPP = CORRUGATED PLASTIC PIPE
 - RCAP = REINFORCED CONCRETE ARCH PIPE
 - RCP = REINFORCED CONCRETE PIPE
 - = WOOD FENCE
 - x— = BARBED WIRE FENCE
 - OP— = OVERHEAD POWER LINE
 - SS— = SEWER MAIN
 - G— = UNDERGROUND GAS LINE
 - ⊕ = TELEPHONE MANHOLE
 - = GUY WIRE
 - ⊙ = UTILITY POLE
 - ⊗ = SEWER MANHOLE
 - ⊗ = WATER VALVE
 - ⊗ = FIRE HYDRANT
 - ⊗ = TELEPHONE PEDESTAL
 - ⊗ = TELEPHONE JUNCTION BOX
 - ◆ = WOODEN POST
 - ⊗ = MAILBOX
 - ⊗ = GRATE INLET

- TREE LEGEND:**
- ⊗ = OAK TREE
 - ⊗ = POPCORN TREE
 - ⊗ = PECAN TREE
 - ⊗ = CYPRESS TREE
 - ⊗ = CEDAR TREE
 - ⊗ = SWEETGUM TREE

FLOOD STATEMENT:
 PROPERTY LIES IN FLOOD ZONE "X" (UNSHADED), AS SCALED FROM FLOOD INSURANCE RATE MAP NUMBER 01003C0644M, COMMUNITY NUMBER 010006, PANELS 0644, SUFFIX "M", MAP REVISED DATE APRIL 19, 2019.

- SURVEYOR'S NOTES:**
- THERE MAY BE RECORDED OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
 - THERE WAS NO ATTEMPT TO DETERMINE THE EXISTENCE, LOCATION, OR EXTENT OF ANY SUB-SURFACE FEATURES.
 - SURVEY WAS CONDUCTED IN JANUARY 2026, AND IS RECORDED IN AN ELECTRONIC FIELD BOOK.
 - BEARINGS AND DISTANCES SHOWN HEREON WERE "COMPUTED" FROM ACTUAL FIELD TRAVERSES, AND ARE BASED ON STATE PLANE GRID, ALABAMA WEST ZONE NAD83 (2011) USING GPS OBSERVATIONS.
 - ELEVATIONS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
 - THE UTILITY INFORMATION SHOWN HEREON WAS OBTAINED BY FIELD LOCATING AND PLOTTING THE VISIBLE ABOVE GROUND UTILITY FEATURES.
 - SURVEY CONDUCTED USING INSTRUMENT NUMBER 1125413, & 587301 PROBATE RECORDS, BALDWIN COUNTY, ALABAMA. NO TITLE SEARCH OR REPORT WAS PROVIDED FOR THIS SURVEY.

SURVEYOR'S CERTIFICATE:
SURVEY DESCRIPTION:
 BEGINNING AT A ONE-HALF INCH CAPPED REBAR SET (SE CIVIL CA-1167) AT THE NORTHEAST CORNER OF THE INTERSECTION OF THE NORTH RIGHT-OF-WAY OF MORPHY AVENUE WITH THE EAST RIGHT-OF-WAY OF BISHOP ROAD; THENCE RUN NORTH 00 DEGREES 38 MINUTES 12 SECONDS EAST ALONG THE EAST RIGHT-OF-WAY OF BISHOP ROAD, A DISTANCE OF 274.69 FEET TO A TWO INCH CRIMP TOP IRON FOUND AT THE SOUTHWEST CORNER OF GATEWOOD SUBDIVISION, BEING A MAP OR PLAT THEREOF, AS RECORDED ON SLIDE 1375-A, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA; THENCE DEPARTING SAID RIGHT-OF-WAY, RUN SOUTH 89 DEGREES 57 MINUTES 45 SECONDS EAST, A DISTANCE OF 478.26 FEET TO A ONE-HALF INCH CAPPED REBAR FOUND (MOORE); THENCE RUN SOUTH 00 DEGREES 39 MINUTES 24 SECONDS WEST, A DISTANCE OF 275.25 FEET TO A ONE-HALF INCH CAPPED REBAR FOUND (ILLEGIBLE) ON THE NORTH RIGHT-OF-WAY OF MORPHY AVENUE; THENCE RUN NORTH 89 DEGREES 53 MINUTES 43 SECONDS WEST ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 478.16 FEET TO THE POINT OF BEGINNING.
 TRACT CONTAINS 3.02 ACRES, MORE OR LESS.
 (DESCRIPTION COMPOSED FROM PROBATE RECORDS AND AN ACTUAL FIELD SURVEY)

WE, S.E. CIVIL, LLC, A FIRM OF LICENSED ENGINEERS AND LAND SURVEYORS OF FAIRHOPE, ALABAMA, HEREBY STATE THAT ALL PARTS OF THIS MAP OF SURVEY HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

David E. Diehl
 DATE: 02-04-2026
 S.E. CIVIL, LLC
 DAVID E. DIEHL
 P.L.S. NO. 26014
 SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.



BOUNDARY & TOPOGRAPHIC SURVEY
DREXEL BOOTHE



DRAWN	ZJH
CHKD.	BMB
PROJ MGR	DED
SCALE	1"=40'
PROJECT	20261640
FILE	20261640-B-T-TREES
SHEET	1 OF 1