



Sherry Sullivan
Mayor

Council Members

Andrea F. Booth
Jack Burrell, ACO
Jimmy Conyers
Joshua N. Gammon
Jay Robinson

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

Fairhope Planning Commission Agenda

July 6, 2026 – 5:00 PM

1. CALL TO ORDER

Lee Turner, Chairman	Paul Fontenot
Rebecca Bryant, Vice Chairman	Kim McCormick
Harry Kohler	John Worsham
Hollie MacKellar	Erik Cortinas
Janine Saykes, Secretary	Jimmy Conyers (CC)
(CC) City Council Representative	

2. CONSENT AGENDA

- **Approval of Minutes** – June 1, 2026

3. REGULAR AGENDA

OLD BUSINESS

- A. UR 26.06** Correction of previous Recommendation to City Council for Verizon Wireless for the installation of a new small cell tower in downtown Fairhope. Located within the right-of-way near 450 Fairhope Avenue.
- B. UR 26.10** Correction of previous Recommendation to City Council for Verizon Wireless for the installation of a new small cell tower in downtown Fairhope. Located within the right-of-way near 108 North Section Street.
- C. UR 26.05** Request of Verizon Wireless for the installation of a new small cell tower in downtown Fairhope. Located within the right-of-way near 5 North Church Street.
- D. UR 26.07** Request of Verizon Wireless for the installation of a new small cell tower in downtown Fairhope. Located within the right-of-way near 100 North Bancroft Street.
- E. UR 26.08** Request of Verizon Wireless for the installation of a new small cell tower in downtown Fairhope. Located within the right-of-way near 319 Magnolia Avenue.

NEW BUSINESS

- F. UR 26.13** Request of AT & T for the installation of a new small cell tower in Fairhope. Located within the right-of-way near 18800 South Greeno Road.



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- G. SR 26.04** Request of the Applicant, Murphy Oil USA, INC., on behalf of the Owner, Corte Cave/Mitchell 1, LLC for Site Plan Review Approval of Murphy Oil Automobile Service Station. The property is located at the northwest corner of State Hwy 181 and State Highway 104 and is 1.18± acres. **PPIN#: 626309**

- H. ZC 26.06** Public hearing to consider the request of the Applicant, S.E. Civil, LLC, on behalf of the Owner, Krhut Enterprises LLC., for Conditional Annexation to R-1, Low Density Single-Family District for Tower Homes. The property is located at the southeast corner of County Road 13 and Mosley Road and is 43.6± acres. **PPIN#: 24484, 109974, 113514, 234578**

4. ADJOURN

Fairhope Planning Commission Minutes

June 1, 2026 – 5:00 PM

ADMINISTRATIVE

The Planning Commission met Monday, June 1, 2026, at 5:00 PM at the City Municipal Complex, 161 N. Section Street in the Council Chambers.

Present:

X	Lee Turner, Chairman	X	Paul Fontenot
X	Rebecca Bryant, Vice Chairman	X	Kim McCormick
X	Janine Saykes, Secretary	X	John Worsham
X	Harry Kohler	X	Erik Cortinas
X	Hollie MacKellar	X	Jimmy Conyers (CC)
(CC) City Council Representative			

Staff: Mike Jeffries, Development Services Manager; Payton Rogers, Planning and Zoning Manager; Chris Williams, City Attorney; and Janine Saykes, Planning Clerk.

Chairman Lee Turner called the meeting to order at 4:58pm.

CONSENT AGENDA

- Approval of the Minutes – May 4, 2026

John Worsham made a motion to approve the minutes.

Harry Kohler seconded the motion and the motion carried with the following vote:

AYE: Lee Turner, Paul Fontenot, John Worsham, Jimmy Conyers, Harry Kohler, Hollie MacKellar, Kim McCormick, and Erik Cortinas

NAY: None

ABSTAIN: Rebecca Bryant

OLD BUSINESS

- A. SD 24.05** Request of the Applicant, Goodwyn Mills Cawood, on behalf of the Owner, Starlight Development, LLC, for a one-year extension for The Proper Townhomes, a 10-unit Multiple Occupancy Project zoned B-1, Local Shopping District. The property is located at the southwest corner of Young Street and Nichols Avenue and is 1.68± acres. **PPIN#: 9585, 9601, 121255, 9602, 361754**

Mike Jeffries, Development Services Manager, presented the request on behalf of the Applicant. Mr. Jeffries shared an aerial map and proposed site plan. This project was approved with conditions in July 2024 but no permits have been submitted to date. The project falls under the current suspension of certain Subdivision applications and will not be permitted for resubmission at this time. Also, various Zoning Amendments are currently pending before the City Council, and if approved as written, could make this project non-compliant.

Chairman Turner asked the Applicant if she would like to speak. Ms. Melissa Hadley, representative for Goodwyn Mills Cawood was available for questions.

Chairman Turner asked why nothing has been done to the property in two (2) years. Ms. Hadley responded there were financial problems and the unit costs were coming in too high. Ms. Hadley stated they needed additional time to select the right contractor. Chairman Turner stated this is an unprecedented case because no work has been done yet.

Erik Cortinas stated most cases that were granted extensions were after work had started and they needed more time to finish. If granted this would mean that the final Multiple Occupancy Project (MOP) would need to be completed by the end of the one-year extension. Mike Jeffries agreed. Payton Rogers stated that if it were not completed in the one-year period they would need to ask for another extension.

Ms. Hadley stated that the Owners have already put a lot of expense into the project. There has been a lot of work done and she would like that to be considered in the decision.

Mike Jeffries asked Ms. Hadley if they had a submittal date for a building permit. Ms. Hadley stated they hoped to submit it within June if their extension is granted.

Erik Cortinas asked what the legalities would be if they did not complete the work in one year. Attorney Chris Williams stated that they would need to ask for another extension and if it were not granted they would need to submit a new application within compliance with the regulations at the time.

The Commission and Attorney Williams discussed viable options at length and the possibility of adding conditions for approval.

Rebecca Bryant made a motion to deny a request for a one-year extension of SD 24.05 The Proper Townhomes, a 10-unit Multiple Occupancy Project.

Harry Kohler seconded the motion and the motion carried 7-2 with the following vote.

AYE: Paul Fontenot, John Worsham, Jimmy Conyers, Harry Kohler, Hollie MacKellar, Kim McCormick, and Rebecca Bryant

NAY: Lee Turner and Erik Cortinas

ABSTAIN: None

NEW BUSINESS

- B. SD 26.08** Public hearing to consider the request of the Applicant, Lieb Engineering, on behalf of the Owner, Gold Kist Corner LLC, for Preliminary Plat approval of Pecan Pointe, a 3-lot Minor Subdivision with three (3) waiver requests on property zoned B-2, General Business District. The property is located on the southwest corner of the intersection of Highway 104 and 181 and is 4.7± acres. **PPIN#: 9585, 9601, 121255, 9602, 361754**

Mike Jeffries, Development Services Manager, presented the request on behalf of the Applicant. Mr. Jeffries shared the zoning and aerial maps as well as the proposed Plat. Mr. Jeffries stated the property was annexed into the City as B-2, General Business District in August 2025. There are multiple waiver requests to allow for simultaneous Preliminary and Final Plat approval. Mr. Jeffries discussed the three waiver requests as well as a fourth request to delay the installation of required landscaping, which is a requirement of the Tree Ordinance. All the requests provide a bond or acceptable surety for the work.

Staff recommends denial for all waiver requests. These requests seek to provide a bond or financial surety to delay the subdivision requirements.

1. Section IV.C.1.h Traffic Data/Study Standards
2. Section V.D.6. Pedestrian area Design Standards
3. Section V.F Storm Water Standards from the City of Fairhope Subdivision Regulations.

Staff recommends denial of SD 26.13 Pecan Pointe, a 3-lot Minor Subdivision.

Chairman Turner asked if there were any questions for Staff.

John Worsham asked Mike Jeffries if they deny all waiver requests but approve the plan are there any other conditions that staff can put on this plan. Mr. Jeffries stated they could only approve the plan if they approved the waivers.

Jimmy Conyers asked if the waivers were not needed are there any other issues with the project. Mike Jeffries responded he did not think so but, with the waiver requests, we do not have a full drainage report to verify how the drainage will be installed. All the pieces are not in place for a full project review. The Members and Staff discussed all options at length.

Chairman Turner asked if the Applicant would like to come up and speak. Mr. Charles Taylor of the Foundation Group, a Real Estate Brokerage Development Company who is working on behalf of Gold Kist Corner, LLC., was available to speak. Mr. Taylor discussed what the family had in mind for the development. He stated they want to split one parcel into three (3). Mr. Taylor spoke at great length discussing the corner and how it will not be affected right now by traffic, storm water, drainage, and would not need a pedestrian walkway and a landscape buffer at this time. They currently have tenants in place and they do not want to cause chaos for them. Mr. Taylor stated they would like to make the improvements later. They feel that making the improvements before removing fuel tanks and building demolition, they would destroy the work that was just done. Mr. Taylor stated that the family is being asked to do a lot before they know if the property can be subdivided.

Erik Cortinas asked Mike Jeffries if there is anything that prevents redevelopment or work on the gas station. Mike Jeffries stated that nothing can be torn down and rebuilt, but maintenance on existing structures can be done. Mr. Cortinas also asked if the proposed drainage pond on the south-west corner is a common drainage plan for all three (3) lots. Mike Jeffries stated that it is the future retention area for the site. Mr. Cortinas stated you would not know what drainage you need to build without knowing who the tenants are and what they require. Mr. Jeffries stated the engineer would need to assume an impervious percentage to use for calculations.

John Worsham asked Chris Lieb, Engineer of Record, if there is a demolition and excavation plan for this project. Chris Lieb responded he has not seen a plan. John Worsham asked how they know that digging up the fuel tanks would destroy work that has been done. Mr. Lieb stated that the tanks are close to the right-of-way in the north-west corner by lot 2, which would be tight. Mr. Worsham stated he has seen much tighter areas excavated without any damage.

Chairman Turner asked when the tenants leases were expiring. Chris Lieb said the HUB expires July 31, 2026, and the others in December. Chairman Turner stated that you have four (4) waivers and we can only address three (3).

Cece Smith from Gold Kist Corner, asked to speak. Ms. Smith stated they have a general concept plan drawn. On Lot 3 they have added a quick-serve restaurant, which may not be the final tenant,

but has the smallest building with maximum parking area and impervious surfaces. Using this will give them the largest retention. They can always back down the retention if the tenant building is smaller. Ms. Smith stated they are asking for the waivers because the ingresses and egresses are going to move and change based on the tenant.

Chairman Turner opened the public hearing at 5:55pm. The public hearing was closed at 5:55pm.

Erik Cortinas made a motion to table SD 26.08 Pecan Pointe, a 3-lot Minor Subdivision for up to six (6) months.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, John Worsham, Jimmy Conyers, Paul Fontenot, Harry Kohler, Rebecca Bryant, Hollie MacKellar, Kim McCormick, and Erik Cortinas

NAY: None

ABSTAIN: None

- C. SD 26.13** Public hearing to consider the request of the Applicant, SE Civil, LLC, on behalf of the Owner, Old South Properties, LLC, for Preliminary and Final Plat Approval of Morphy Corners, a 4-lot Minor Subdivision on property zoned R-1, Low Density Single-Family Residential District. The property is located at 8501 Morphy Avenue and is 2.98± acres. **PPIN #: 14970**

Mike Jeffries, Development Services Manager, presented the request on behalf of the Applicant. Mr. Jeffries shared the zoning and aerial maps, as well as the proposed Plat. Mr. Jeffries stated the Planning Commission approved rezoning this property (ZC 26.04) in May from R-4, Low Density Multi-Family Residential District to R-1, Low Density Single-Family Residential District, without any conditions. ZC 26.04 will go before the City Council for consideration on June 22, 2026.

Staff recommends approval of SD 26.04 Morphy Corners a 4-lot Minor Subdivision with conditions.

1. Approval of ZC 26.04 Morphy Corners by the City Council;
2. Revision of the Final Plat to include a Finished Floor Elevation (FFE) for all proposed lots;
3. Installation of sidewalks pursuant to Sheet C01 – “sidewalk and utility Plan”; and
4. Record Final Plat with Baldwin County Probate within 120 days of approval.

No questions for Staff or Applicant.

Chairman Turner opened the public hearing at 6:14pm. The public hearing was closed at 6:14pm.

John Worsham made a motion to approve SD 26.13 Morphy Corners Preliminary and Final Plat Approval with Staff recommendations.

Jimmy Conyers seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, John Worsham, Jimmy Conyers, Harry Kohler, Hollie MacKellar, Rebecca Bryant, Paul Fontenot, Kim McCormick, and Erik Cortinas

NAY: None

ABSTAIN: None

- D. SD 26.14** Public hearing to consider the request of the Applicant, S.E. Civil LLC on behalf of the Owner, FST and Summit Inn LLC, for Final Plat approval of Summit Street Inn, a 6-unit Multiple

Occupancy Project on property zoned B-3b, Tourist Resort Commercial Service District. The property is located at 131 Fairhope Avenue and is 0.29± acres. **PPIN#: 15053**

Mike Jeffries, Development Services Manager, presented the request on behalf of the Applicant. Mr. Jeffries shared the zoning and aerial maps. In July 2024, the Board of Adjustments granted a use approval for a hotel and in June 2025 the Planning Commission approved the Preliminary Multiple Occupancy Project with conditions. All conditions have been met.

Staff recommends approval of SD 26.14 Summit Street Inn for Final Plat.

Chairman Turner opened the public hearing at 6:17pm. The public hearing was closed at 6:17pm.

John Worsham made a motion to recommend approval of SD 26.14 Summit Street Inn 6-unit MOP for Final Plat.

Kim McCormick seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, John Worsham, Jimmy Conyers, Harry Kohler, Hollie MacKellar, Rebecca Bryant, Paul Fontenot, Kim McCormick, and Erik Cortinas

NAY: None

ABSTAIN: None

- E. ZC 26.05** Public hearing to consider the request of the Applicant, Thompson Engineering Inc., on behalf of the Owner, Gulf Health Hospitals, Inc., to rezone property from R-4, Low Density Multi-Family Residential District to B-2, General Business District. The property is located at 751 and 757 Northrop Avenue and a total of 0.35± acres. **PPIN#: 36183, 38153**

Payton Rogers, Planning and Zoning Manager, presented the request on behalf of the Applicant. Mr. Rogers clarified an incorrect zoning district (B-4, Business Professional District) that was advertised as the requested zoning district for the zoning change. Following discussion with legal counsel the requested zoning district was corrected to B-2, General Business District within the slides presented to the Commission. Mr. Rogers stated that the change had no effect on staff's recommendation and that the corrected zoning change request for B-2, General Business District will be advertised twice prior to appearing before City Council as per standard requirements. The Applicant, Janic Terry, Thompson Engineering, stated on the Record they approved the correction for rezoning to B-2, General Business District.

Mr. Rogers shared the zoning and aerial maps as well as the Boundary Survey. The subject site has had numerous Subdivision requests and Site Plan Reviews approved dating back to 1955. In June 2024, the Planning Commission recommended approval to City Council a request for Site plan Review of a 25-bed addition to Thomas Hospital, which City Council approved. An Administrative Replat is pending which proposes combing the two (2) subject sites along Northrop Street with the Thomas Hospital site. One of the subject sites has an active Permit to build a new electrical generator.

Staff recommends approval of ZC 26.05 Thomas Hospital to rezone property from R-4, Low Density Multi-Family Residential District to B-2, General Business District.

Chairman Turner opened the public hearing at 6:24pm.

Oletha and Samuel Curry, 763 Northrop Ave: Mrs. Curry stated they live next door to where the generator is being installed. Mrs. Curry stated they have lived there for 44 years. She would like to be rezoned B-2 so she can afford to move. Chairman Turner advised Mrs. Curry that she would need to go through the rezoning process with the Planning and Zoning Department.

Matt Wilson, 304 Ingleside Street: Mr. Wilson stated one of the subject properties currently has a construction trailer on it and it is not being used as a residential lot. Mr. Wilson would like to know if that is allowed. Attorney Chris Williams stated that it is part of the Medical Overlay District which has broader uses over the property. Mr. Wilson also discussed a property next to his that is being used as a construction parking lot and it is zoned residential. Mike Jeffries, Development Services Manager, offered to speak with Mr. Wilson later regarding his concerns since it does not have any bearing on rezoning.

Chairman Turner closed the public hearing at 6:31pm.

John Worsham made a motion to recommend approval to City Council of ZC 26.05 Thomas Hospital request to rezone property from R-4, Low Density Multi-Family Residential District to B-2, General Business District.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, John Worsham, Jimmy Conyers, Harry Kohler, Hollie MacKellar, Rebecca Bryant, Paul Fontenot, Kim McCormick, and Erik Cortinas

NAY: None

ABSTAIN: None

- F. UR 26.05** Request of Verizon Wireless for the installation of a new small cell tower in downtown Fairhope. Located within the right-of-way near 5 North Church Street.
- G. UR 26.06** Request of Verizon Wireless for the installation of a new small cell tower in downtown Fairhope. Located within the right-of-way near 450 Fairhope Avenue.
- H. UR 26.07** Request of Verizon Wireless for the installation of a new small cell tower in downtown Fairhope. Located within the right-of-way near 100 North Bancroft Street.
- I. UR 26.08** Request of Verizon Wireless for the installation of a new small cell tower in downtown Fairhope. Located within the right-of-way near 319 Magnolia Avenue.
- J. UR 26.10** Request of Verizon Wireless for the installation of a new small cell tower in downtown Fairhope. Located within the right-of-way near 108 North Section Street.
- K. UR 26.11** Request of Verizon Wireless for the replacement of an existing wooden service pole with a new small cell tower. Located near 850 Sea Cliff Drive.

Mike Jeffries, Development Services Manager, presented the requests on behalf of the Applicant. Mr. Jeffries shared the aerial maps for all six (6) locations. Mr. Jeffries stated that Verizon was approved for 5 small cell towers in August 2025 and no permits have been submitted to begin work. Mr. Jeffries

stated that these Reviews do not have an expiration date and the height of the poles are a concern for Staff.

Committee Members and Staff discussed in detail co-location, height, density, population, coverage, special events, and the visual aesthetics of multiple poles in downtown. Erik Cortinas asked if a tower were placed on a building roof, would that fall outside of the City's franchise agreement. Attorney Chris Williams stated that Verizon would need a private lease with the property owner.

Staff recommends approval for **UR 26.05, UR 26.07, UR 26.08, UR 26.10, UR26.11** with the following conditions:

1. Install a street light arm on the pole as required by ROW and Utilities.
2. City Council approval of the proposed small cell.
3. A pre-construction meeting shall be held with the City prior to issuance of an permits;
4. Follow-up activities below required by staff and the applicant:
 - a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS technician for inclusion in GIS utility maps;
5. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
6. Applicant shall contact Alabama One Call to locate all existing utilities (1000 ft max per day).
7. Co-location shall be required if a viable option is determined.

Staff recommends approval for **UR 26.06** with the following conditions:

1. The location is moved east in front of Coastal Community College to replace the existing streetlight.
2. City Council approval of the proposed small cell.
3. A pre-construction meeting shall be held with the City prior to issuance of an permits;
4. Follow-up activities below required by staff and the applicant:
 - a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS technician for inclusion in GIS utility maps;
5. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
6. Applicant shall contact Alabama One Call to locate all existing utilities (1000 ft max per day).
7. Co-location shall be required if a viable option is determined.

Chairman Turner asked the representative from Verizon Wireless to come up and speak.

Bob Chopra representative for S.A.M., agents for Verizon Wireless, stated they supplied a temporary "Cell on Wheels," during Mardi Gras and were asked to stay until the Arts and Craft Festival but contractually could not. Mr. Chopra stated they received multiple calls after leaving, regarding bad cell service in the downtown area during big events. Mr. Chopra stated that having multiple towers in a small area working together provide better coverage downtown for these events.

Erik Cortinas made a motion to table Utility Review UR 26.05 5 North Church Street until the July 6, 2026 Planning Commission Meeting to explore other locations.

Rebecca Bryant seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, John Worsham, Jimmy Conyers, Harry Kohler, Hollie MacKellar, Rebecca Bryant, Paul Fontenot, Kim McCormick, and Erik Cortinas

NAY: None

ABSTAIN: None

John Worsham made a motion to recommend approval to City Council Utility Review UR 26.06 450 Fairhope Avenue with Staff recommendations.

Erik Cortinas seconded the motion and the motion carried 8-1 with the following vote:

AYE: Lee Turner, John Worsham, Jimmy Conyers; Harry Kohler, Rebecca Bryant, Paul Fontenot, Kim McCormick, and Erik Cortinas

NAY: Hollie MacKellar

ABSTAIN: None

Erik Cortinas made a motion to table Utility Review UR 26.07 100 North Bancroft Street until the July 6, 2026 Planning Commission Meeting to explore other locations.

Kim McCormick seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, John Worsham, Jimmy Conyers, Harry Kohler, Hollie MacKellar, Rebecca Bryant, Paul Fontenot, Kim McCormick, and Erik Cortinas

NAY: None

ABSTAIN: None

Erik Cortinas made a motion to table Utility Review UR 26.08 319 Magnolia Avenue until the July 6, 2026 Planning Commission Meeting to explore other locations.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, John Worsham, Jimmy Conyers, Harry Kohler, Hollie MacKellar, Rebecca Bryant, Paul Fontenot, Kim McCormick, and Erik Cortinas

NAY: None

ABSTAIN: None

John Worsham made a motion to recommend approval to City Council Utility Review UR 26.10 108 North Section Street with Staff recommendations.

Harry Kohler seconded the motion and the motion carried 7-2 with the following vote:

AYE: Lee Turner, John Worsham, Jimmy Conyers, Harry Kohler, Rebecca Bryant, Paul Fontenot, and Kim McCormick

NAY: Hollie MacKellar and Erik Cortinas

ABSTAIN: None

John Worsham made a motion to recommend approval to City Council Utility Review UR 26.11 850 Sea Cliff Drive with Staff recommendations and;

1. Equipment to meet flood zone regulations.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, John Worsham, Jimmy Conyers, Harry Kohler, Rebecca Bryant, Paul Fontenot, Kim McCormick, Hollie MacKellar, and Erik Cortinas

NAY: None

ABSTAIN: None

ADJOURNMENT

John Worsham made a motion to adjourn.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, John Worsham, Jimmy Conyers, Harry Kohler, Rebecca Bryant, Paul Fontenot, Kim McCormick, Hollie MacKellar, and Erik Cortinas

NAY: None

ABSTAIN: None

Adjourned at 7:06pm.

Lee Turner, Chairman

Janine Saykes, Secretary



Navigate to... [dropdown arrow]

VIEW PERMIT

Home / Services / Permits / View Permit

Permit #: ROW26-000022

Project #: 26-000454

Status: Under Review

Address: 450 Fairhope Avenue (closest address to ROW)

Description: Verizon Wireless / Downtown Fairhope SC2: Install of new small cell metal pole in "Fairhope Green" color with luminaire attachment. See drawing submitted for full details.

- Permit
- Reviews
- Documents
- Inspections

Permit #:

ROW26-000022

Permit Type:

Right of Way (City Limits)

Sub Type:

Fiber Optics

Issue Date:

Expiration Date:

Project Information

Project Contact:

Satya Acquisition Management, - Bob Chopra

Project Contact must be the Property Owner or Contractor

Contractor:

Verizon Wireless - Willis Willcox

General Contractor:

Electrical Contractor:

Is the owner completing the work?:

Yes

ADEM Permit Number:

Is property located in a flood zone?:

No

Search flood zones by address (<https://msc.fema.gov/portal/search>)

Is property located in a Wetland?:

No

Current Fair Market Value of land by purchase or appraisal:

Fairhope Corporate Limits only for new construction

Utility Name:

n/a

Utility being worked on:

Other

Describe:

Installation of NEW small cell antenna metal pole with luminaire

Linear Feet Installing:

0

Number of Handholes/Peds:

Date to Begin Work:

07/01/2026

Date of Completion:

07/20/2026

Min of 72 hrs later

Cost of Work to be Performed:

20000.00

Tree Species

TREE TYPE	DIAMETER AT BREAST HEIGHT (DBH)	NUMBER OF TREES
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SUBMITTAL DOCUMENTS

Additional Document Attachments:

Downtown+Fairhope+SC2+Final+CDs+Rev0+2026-01-14.pdf

I agree to hold the City of Fairhope harmless from any and all liability, claims, costs and expenses whatsoever arising out of or related to any loss, damage, or injury, that may be sustained by work commencing in the Right of Way at or near

Signature:

signature.png

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VIEW PERMIT

Home / Services / Permits / View Permit

Permit #: ROW26-000026

Project #: 26-000459

Status: Under Review

Address: 108 North Section Street (closest address to ROW)

Description: Verizon Wireless / Downtown Fairhope SC6: Install of replacement pole for small cell metal pole in "Fairhope Green" color with luminaire attachment. See drawing submitted for full details.

- Permit
- Reviews
- Documents
- Inspections

Permit #:

ROW26-000026

Permit Type:

Right of Way (City Limits)

Sub Type:

Fiber Optics

Issue Date:

Expiration Date:

Project Information

Project Contact:

Satya Acquisition Management, - Bob Chopra

Project Contact must be the Property Owner or Contractor

Contractor:

Verizon Wireless - Willis Willcox

General Contractor:

Electrical Contractor:

Is the owner completing the work?:

Yes

ADEM Permit Number:

Is property located in a flood zone?:

No

Search flood zones by address (<https://msc.fema.gov/portal/search>)

Is property located in a Wetland?:

No

Current Fair Market Value of land by purchase or appraisal:

Fairhope Corporate Limits only for new construction

Utility Name:

n/a

Utility being worked on:

Other

Describe:

Installation of NEW small cell antenna metal pole with luminaire

Linear Feet Installing:

0

Number of Handholes/Peds:

Date to Begin Work:

07/01/2026

Date of Completion:

07/20/2026

Min of 72 hrs later

Cost of Work to be Performed:

20000.00

Tree Species

TREE TYPE	DIAMETER AT BREAST HEIGHT (DBH)	NUMBER OF TREES
-----------	---------------------------------	-----------------

SUBMITTAL DOCUMENTS

Additional Document Attachments:

Downtown+Fairhope+SC6+Final+CDs+Rev0+2026-01-14 (1).pdf

I agree to hold the City of Fairhope harmless from any and all liability, claims, costs and expenses whatsoever arising out of or related to any loss, damage, or injury, that may be sustained by work commencing in the Right of Way at or near

Signature:

signature.png

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VIEW PERMIT

Home / Services / Permits / View Permit

Permit #: ROW26-000020

Project #: 26-000452

Status: Under Review

Address: 5 N Church St (closest address to ROW)

Description: Verizon Wireless / Downtown Fairhope SC1: Install of new small cell metal pole in "Fairhope Green" color with luminaire attachment. See drawing submitted for full details.

- Permit
- Reviews
- Documents
- Inspections

Permit #:

ROW26-000020

Permit Type:

Right of Way (City Limits)

Sub Type:

Fiber Optics

Issue Date:

Expiration Date:

Project Information

Project Contact:

Satya Acquisition Management, - Bob Chopra

Project Contact must be the Property Owner or Contractor

Contractor:

Verizon Wireless - Willis Willcox

General Contractor:

Electrical Contractor:

Is the owner completing the work?:

Yes

ADEM Permit Number:

Is property located in a flood zone?:

No

Search flood zones by address (<https://msc.fema.gov/portal/search>)

Is property located in a Wetland?:

No

Current Fair Market Value of land by purchase or appraisal:

Fairhope Corporate Limits only for new construction

Utility Name:

n/a

Utility being worked on:

Other

Describe:

Installation of NEW small cell antenna metal pole with luminaire

Linear Feet Installing:

0

Number of Handholes/Peds:

Date to Begin Work:

07/01/2026

Date of Completion:

07/20/2026

Min of 72 hrs later

Cost of Work to be Performed:

20000.00

Tree Species

TREE TYPE	DIAMETER AT BREAST HEIGHT (DBH)	NUMBER OF TREES
-----------	---------------------------------	-----------------

SUBMITTAL DOCUMENTS

Additional Document Attachments:

Downtown+Fairhope+SC1+Final+CDs+Rev0+2026-01-14.pdf

I agree to hold the City of Fairhope harmless from any and all liability, claims, costs and expenses whatsoever arising out of or related to any loss, damage, or injury, that may be sustained by work commencing in the Right of Way at or near

Signature:

signature.png

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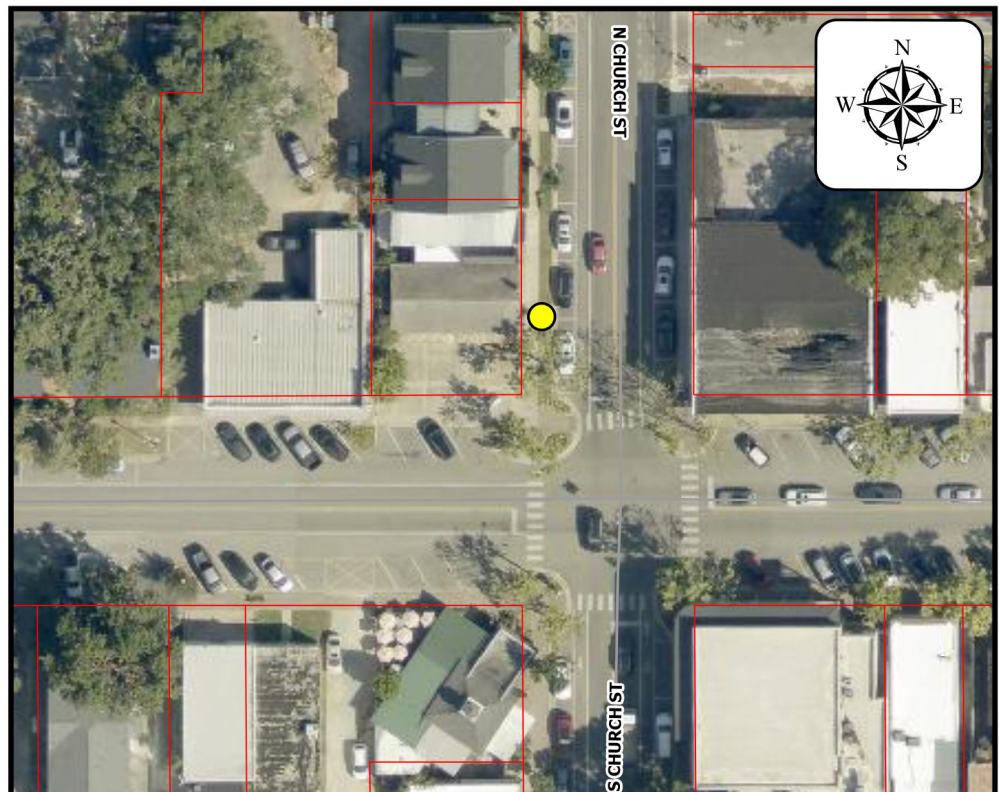
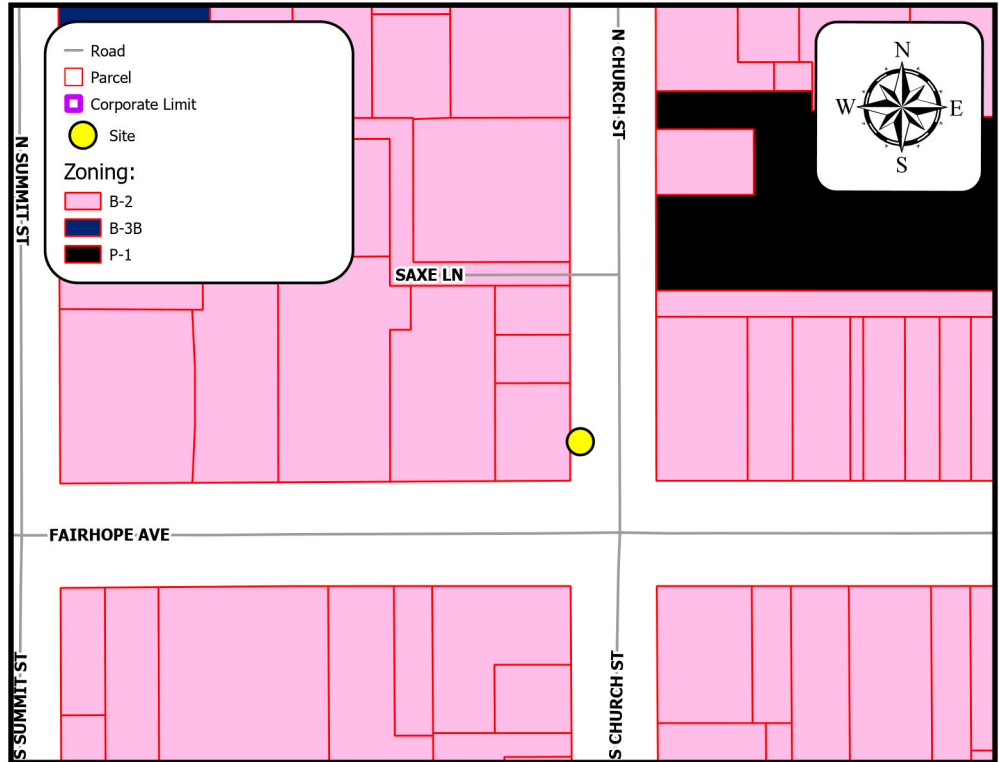
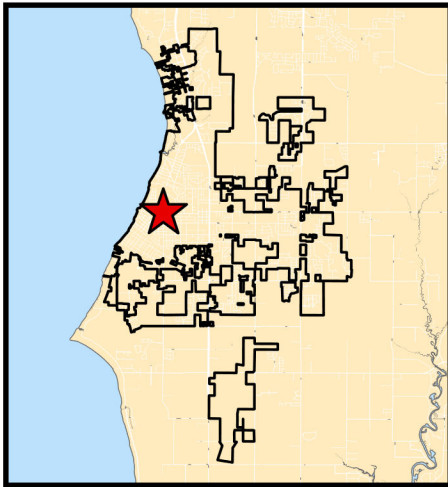
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City of Fairhope Planning Commission June 1, 2026



UR 26.05 - 5 North Church Street

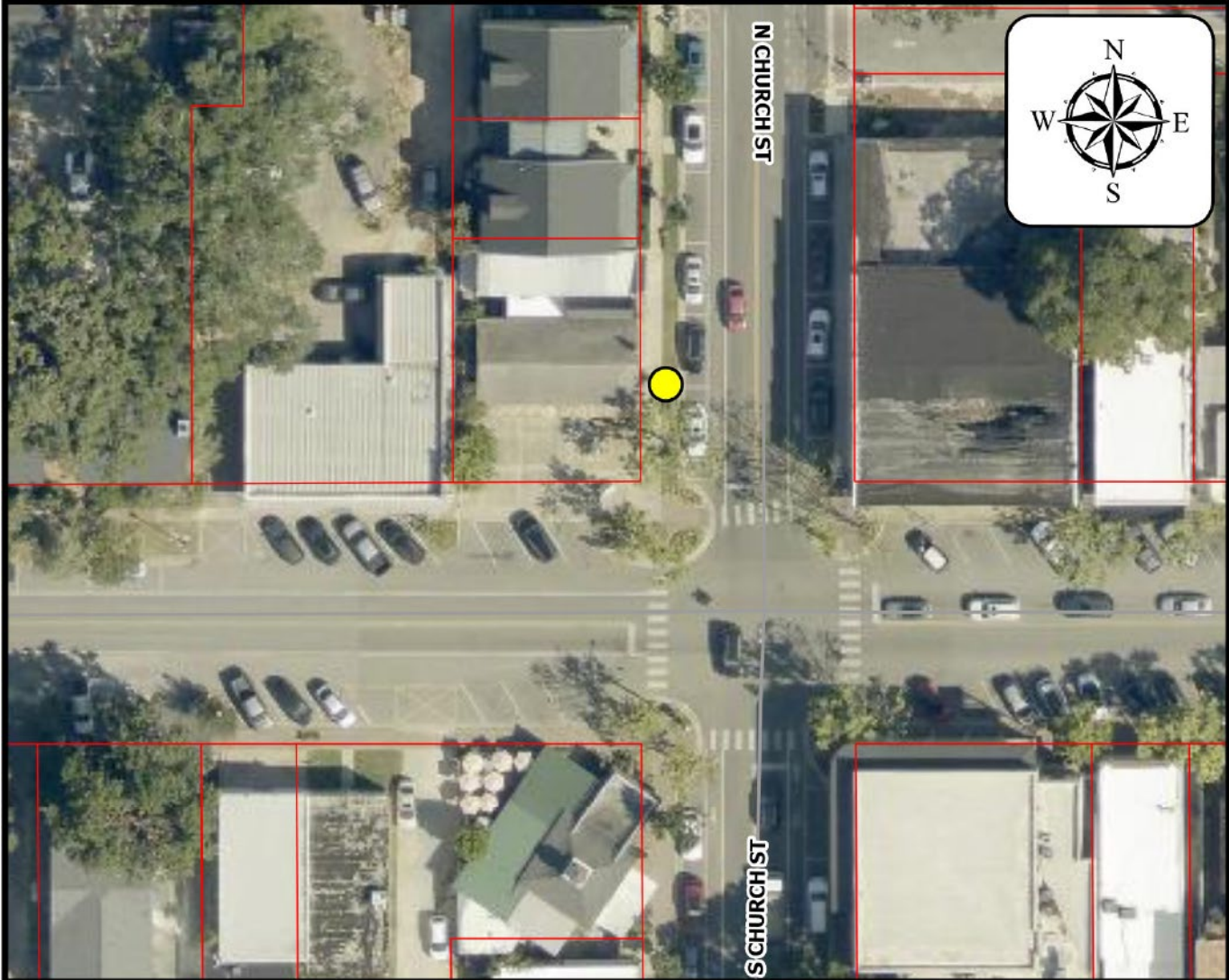


Project Name:	5 North Church Street
Site Data:	N/A
Project Type:	New small cell tower
Jurisdiction:	Fairhope Planning Jurisdiction
Zoning District:	N/A
PPIN Number:	N/A
General Location:	NW corner of the intersection of Church Street and Fairhope Avenue
Surveyor of Record:	N/A
Engineer of Record:	N/A
Owner / Developer:	Verizon
School District:	Fairhope Elementary School Fairhope Middle and High Schools
Prepared by:	Mike Jeffries

SUMMARY OF REQUEST

Request of Verizon Wireless for the installation of a new small cell tower in downtown Fairhope. Located within the right-of-way near 5 N. Church St.

Locator Image



Permitting, Locating, and Phasing

- Subsurface Utility Engineering may be required for sensitive locations within the city as required by the ROW supervisor.
- An additional right-of-way permit may be required for the potholing procedures needed for SUE.
- A traffic control plan shall be submitted with all permits that affect the flow of traffic.
- No work shall begin until a ROW permit is issued by the City of Fairhope Building Department. Permit not valid until approved and paid for on Citizen Serve online portal.
- The City’s ROW inspector is to be notified 24 hours prior to any activity within the ROW. The prior notice applied to all activity within the ROW including but not limited to trenching, boring, concrete placement.
- Hand holes/boxes shall not be allowed to be installed in sidewalks. The applicant shall review the sidewalk plan to determine if there are any conflicts. The applicant shall coordinate with the ROW inspector to resolve any conflicts.
- The applicant shall contact Alabama One Call 811 to locate all existing utilities in the ROW (750 LF maximum daily allocation for COF utility locates per day).
- A pre-construction meeting shall be held with the City prior to issuance of any permits.

Construction

- A minimum horizontal clearance (separation) of 36” must be maintained from water, sewer, gas, stormwater, and other city utility infrastructure.
- A minimum depth for all telecommunication lines shall be 30”.
- Conduit shall match the 811-color code for communication, electric, gas etc. No blue/blue striped conduit is to be used for telecommunications.
- The contractor responsible for *excavating inside right of way will be required to provide video documentation of the integrity of any sanitary sewer line (including laterals) within 3 feet of work being performed. This can be videoed prior to work being performed if locations, including depths, are clearly established by contractor, and said work is not within 3 ft of sewer mains or laterals within right of way. This does not apply to laterals on private property not “publicly maintained” (Private infrastructure).
- Water, sewer, and gas mains/services must be potholed prior to bore/missile crossings. If street cuts are necessary please contact Right of Way inspector for restoration.
- If sidewalk panels need to be removed, the subgrade must be compacted to the satisfaction of the ROW inspector. Cold patch asphalt shall be used as a temporary walking surface until the permanent repair can be done.
- Sidewalk panels shall be a minimum of 4000 psi and be inspected within 24 hours of pouring concrete. Anything over one sidewalk panel shall be poured via concrete truck (no bag mix allowed).

Horticultural

- Handholes shall not be located within driplines of trees within City property, to include the right of ways, without explicit written permission from the City Horticulturalist.
- Any proposed trenching shall not be within the dripline of trees.
- If within tree dripline, consult the City of Fairhope Horticulturist prior to earth work.
- Trees shall not be negatively impacted.
- Consultation with the City’s horticulturalist, to determine if the required depth of bore must be increased so that no trees are impacted by the project. The contractor is responsible for any damaged trees.
- Any work done within the critical root zone shall be done to meet or exceed Internal Society Arboriculture (ISA) standards.
- All roots to be removed shall be severed cleanly at the perimeter of the protected radius.

- Protective barriers shall be used for all trees, barricades shall be erected a minimum of 20' from the trunk.

Erosion Control

- Any ROW cuts shall be stabilized (covered) at the end of each day & disturbed areas shall be re-vegetated with sod within ten (10) days of completion of the project. Sod shall be watered to ensure survival.
- Any excess soil shall be removed and disposed of properly. Dumping on private property without approval will not be tolerated.
- Mulch / seed shall only be acceptable as temporary cover.
- Inlets shall be protected. BMPs shall be placed at all affected storm inlets.
- If the site is within 100' of a critical area (wetland, etc.), red soil/clay shall not be allowed as fill material, per the City's Red Clay/Soil Ordinance.
- BMPs shall be installed at boring sites and trench locations.
- Ground conditions in the ROW's shall be returned to original preconstruction condition(s) or better.
- No open trenches shall be allowed. Directional boring shall be used in sensitive areas, such as under roads, in proximity to trees, on finished lots, etc.

Project Completion, Punch List Walk, and As-Built

- The applicant shall provide as-built drawings of all installed lines depicting depths.
- Damage to any City's infrastructure (storm, sewer, water, ditches etc. shall be the responsibility of the permittee to repair to city standards at no cost to the city.
- Any damage that occurs needs to be reported to the city as soon as possible.
- Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency..

UTILITY REVIEW CONSIDERATIONS

Standards of Review:

Alabama Code Section 11-52-11 grants review authority to the Planning Commission for all proposed construction of utilities within public right-of-way.

Recommendation:

Staff recommends **APPROVAL** of UR 26.05 – 5 N. Church St. Utility Review with the following conditions:

1. Install a street light arm on the pole as required by ROW and Utilities.
2. City Council approval of the proposed small cell.
3. A pre-construction meeting shall be held with the City prior to issuance of any permits;
4. Follow-up activities below required by staff and the applicant:
 - a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS technician for inclusion in GIS utility maps;
5. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
6. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).
7. Co-location shall be required if a viable option is determined.



Navigate to... [dropdown arrow]

VIEW PERMIT

Home / Services / Permits / View Permit

Permit #: ROW26-000023

Project #: 26-000455

Status: Under Review

Address: 100 N Bancroft St (closest address to ROW)

Description: Verizon Wireless / Downtown Fairhope SC3: Install of new small cell metal pole in "Fairhope Green" color with luminaire attachment. See drawing submitted for full details.

- Permit
- Reviews
- Documents
- Inspections

Permit #:

ROW26-000023

Permit Type:

Right of Way (City Limits)

Sub Type:

Fiber Optics

Issue Date:

Expiration Date:

Project Information

Project Contact:

Satya Acquisition Management, - Bob Chopra

Project Contact must be the Property Owner or Contractor

Contractor:

Verizon Wireless - Willis Willcox

General Contractor:

Electrical Contractor:

Is the owner completing the work?:

Yes

ADEM Permit Number:

Is property located in a flood zone?:

No

Search flood zones by address (<https://msc.fema.gov/portal/search>)

Is property located in a Wetland?:

No

Current Fair Market Value of land by purchase or appraisal:

Fairhope Corporate Limits only for new construction

Utility Name:

n/a

Utility being worked on:

Other

Describe:

Installation of NEW small cell antenna metal pole with luminaire

Linear Feet Installing:

0

Number of Handholes/Peds:

Date to Begin Work:

07/01/2026

Date of Completion:

07/20/2026

Min of 72 hrs later

Cost of Work to be Performed:

20000.00

Tree Species

TREE TYPE	DIAMETER AT BREAST HEIGHT (DBH)	NUMBER OF TREES
-----------	---------------------------------	-----------------

SUBMITTAL DOCUMENTS

Additional Document Attachments:

Downtown+Fairhope+SC3+Final+CDs+Rev0+2026-01-14.pdf

I agree to hold the City of Fairhope harmless from any and all liability, claims, costs and expenses whatsoever arising out of or related to any loss, damage, or injury, that may be sustained by work commencing in the Right of Way at or near

Signature:

signature.png

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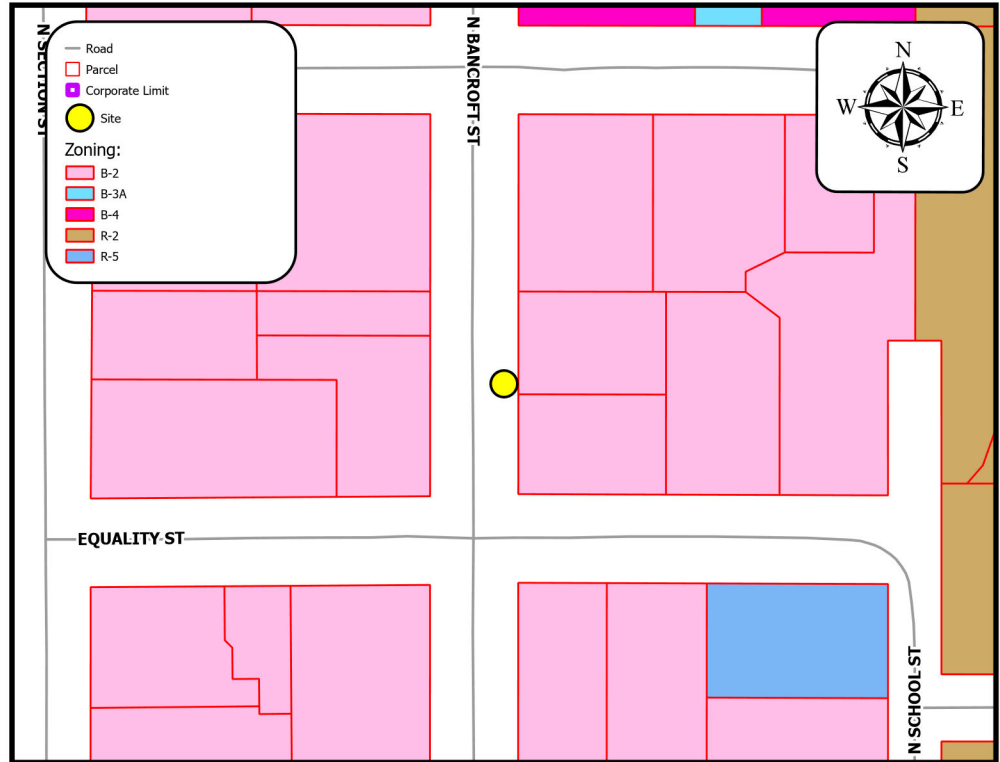
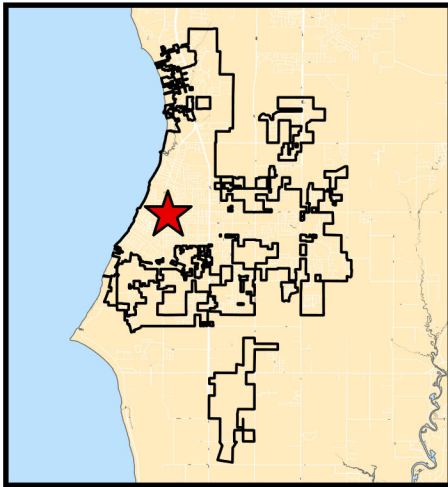
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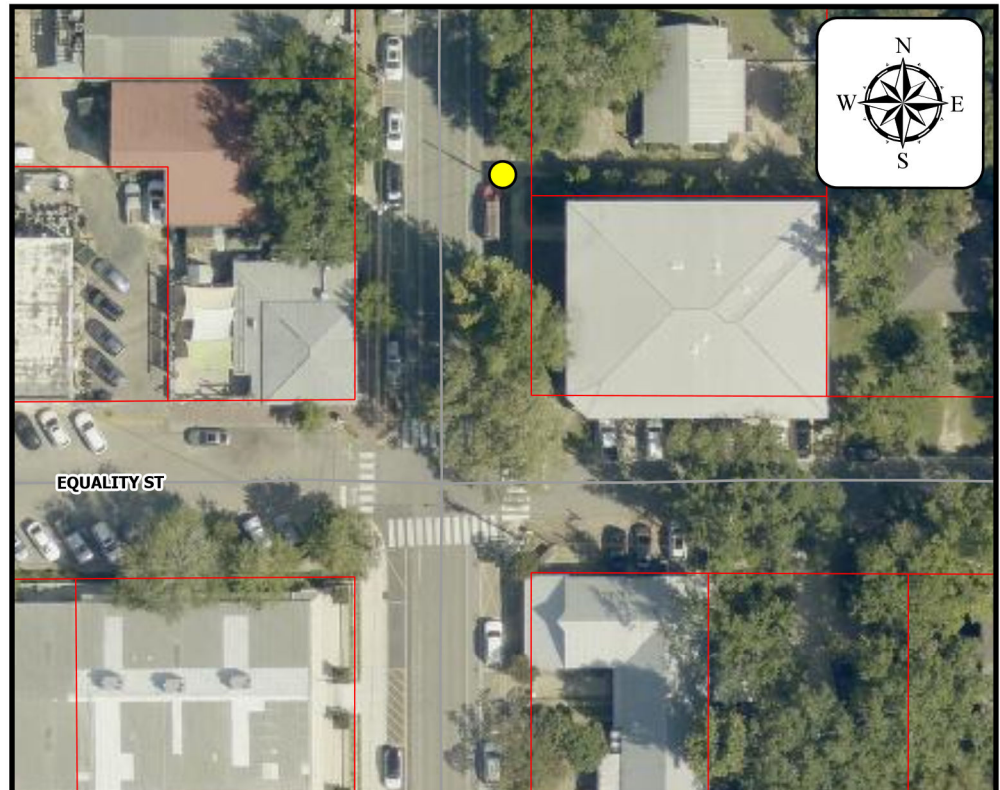
City of Fairhope Planning Commission June 1, 2026



UR 26.07 - 100 North Bancroft Street



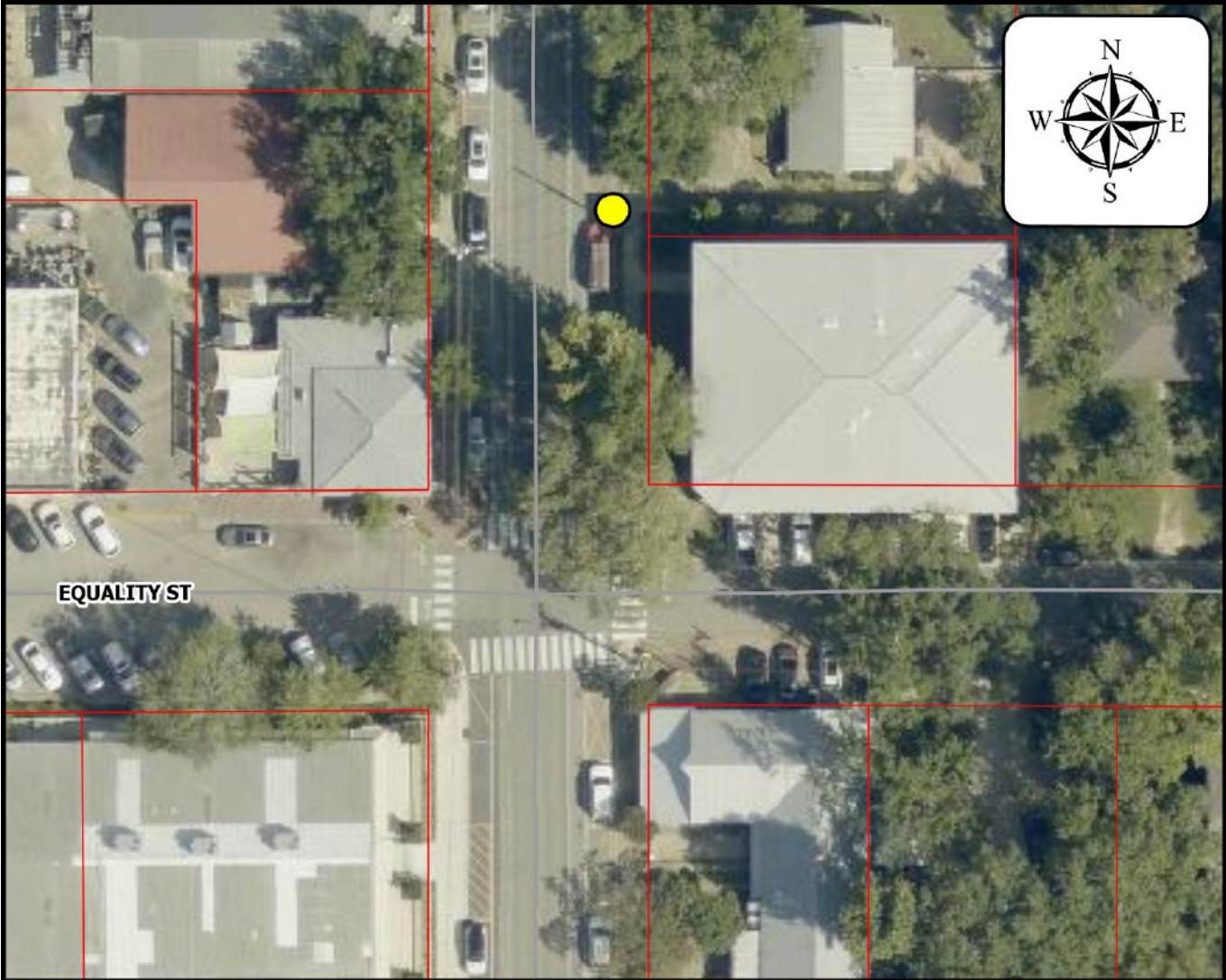
<u>Project Name:</u>	100 N Bancroft St
<u>Site Data:</u>	N/A
<u>Project Type:</u>	New small cell tower
<u>Jurisdiction:</u>	Fairhope Planning Jurisdiction
<u>Zoning District:</u>	N/A
<u>PPIN Number:</u>	N/A
<u>General Location:</u>	North of the intersection of Equality Street and Bancroft Street
<u>Surveyor of Record:</u>	N/A
<u>Engineer of Record:</u>	N/A
<u>Owner / Developer:</u>	Verizon
<u>School District:</u>	Fairhope Elementary School Fairhope Middle and High Schools
<u>Prepared by:</u>	Mike Jeffries



SUMMARY OF REQUEST

Request of Verizon Wireless for the installation of a new small cell tower in downtown Fairhope. Located within the right-of-way near 100 North Bancroft Street.

Locator Image



Permitting, Locating, and Phasing

- Subsurface Utility Engineering may be required for sensitive locations within the city as required by the ROW supervisor.
- An additional right-of-way permit may be required for the potholing procedures needed for SUE.
- A traffic control plan shall be submitted with all permits that affect the flow of traffic.
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- A pre-construction meeting shall be held with the City prior to issuance of any permits.

Construction

- A minimum horizontal clearance (separation) of 36” must be maintained from water, sewer, gas, stormwater, and other city utility infrastructure.
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Horticultural

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- All roots to be removed shall be severed cleanly at the perimeter of the protected radius.

- Protective barriers shall be used for all trees, barricades shall be erected a minimum of 20' from the trunk.

Erosion Control

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Project Completion, Punch List Walk, and As-Built

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- Any damage that occurs needs to be reported to the city as soon as possible.
- Pedestals shall be placed in a manner as to avoid obstructing visibility of motorists and to allow vehicles to exit the roadway during an emergency..

UTILITY REVIEW CONSIDERATIONS

Standards of Review:

Alabama Code Section 11-52-11 grants review authority to the Planning Commission for all proposed construction of utilities within public right-of-way.

Recommendation:

Staff recommends **APPROVAL** of UR 26.07 - 100 North Bancroft Street Utility Review with the following conditions:

1. Install a street light arm on the pole as required by ROW and Utilities.
2. City Council approval of the proposed small cell.
3. A pre-construction meeting shall be held with the City prior to issuance of any permits;
4. Follow-up activities below required by staff and the applicant:
 - a. Upon satisfactory review and approval by ROW Construction Inspector, as-builts will be submitted to the GIS technician for inclusion in GIS utility maps;
5. Provide a Traffic Control Plan to ROW Inspector prior to commencement of any work.
6. Applicant shall contact Alabama One Call to locate all existing utilities (1000ft max per day).
7. Co-location shall be required if a viable option is determined.



Navigate to... [dropdown arrow]

VIEW PERMIT

Home / Services / Permits / View Permit

Permit #: ROW26-000024

Project #: 26-000456

Status: Under Review

Address: 319 Magnolia Ave (closest address to ROW)

Description: Verizon Wireless / Downtown Fairhope SC4: Install of new small cell metal pole in "Fairhope Green" color with luminaire attachment. See drawing submitted for full details.

- Permit
- Reviews
- Documents
- Inspections

Permit #:

ROW26-000024

Permit Type:

Right of Way (City Limits)

Sub Type:

Fiber Optics

Issue Date:

Expiration Date:

Project Information

Project Contact:

Satya Acquisition Management, - Bob Chopra

Project Contact must be the Property Owner or Contractor

Contractor:

Verizon Wireless - Willis Willcox

General Contractor:

Electrical Contractor:

Is the owner completing the work?:

No

ADEM Permit Number:

Is property located in a flood zone?:

No

Search flood zones by address (<https://msc.fema.gov/portal/search>)

Is property located in a Wetland?:

No

Current Fair Market Value of land by purchase or appraisal:

Fairhope Corporate Limits only for new construction

Utility Name:

n/a

Utility being worked on:

Other

Describe:

Installation of NEW small cell antenna metal pole with luminaire

Linear Feet Installing:

0

Number of Handholes/Peds:

Date to Begin Work:

07/01/2026

Date of Completion:

07/20/2026

Min of 72 hrs later

Cost of Work to be Performed:

20000.00

Tree Species

TREE TYPE	DIAMETER AT BREAST HEIGHT (DBH)	NUMBER OF TREES
-----------	---------------------------------	-----------------

SUBMITTAL DOCUMENTS

Additional Document Attachments:

Downtown+Fairhope+SC4+Final+CDs+Rev0+2026-01-14.pdf

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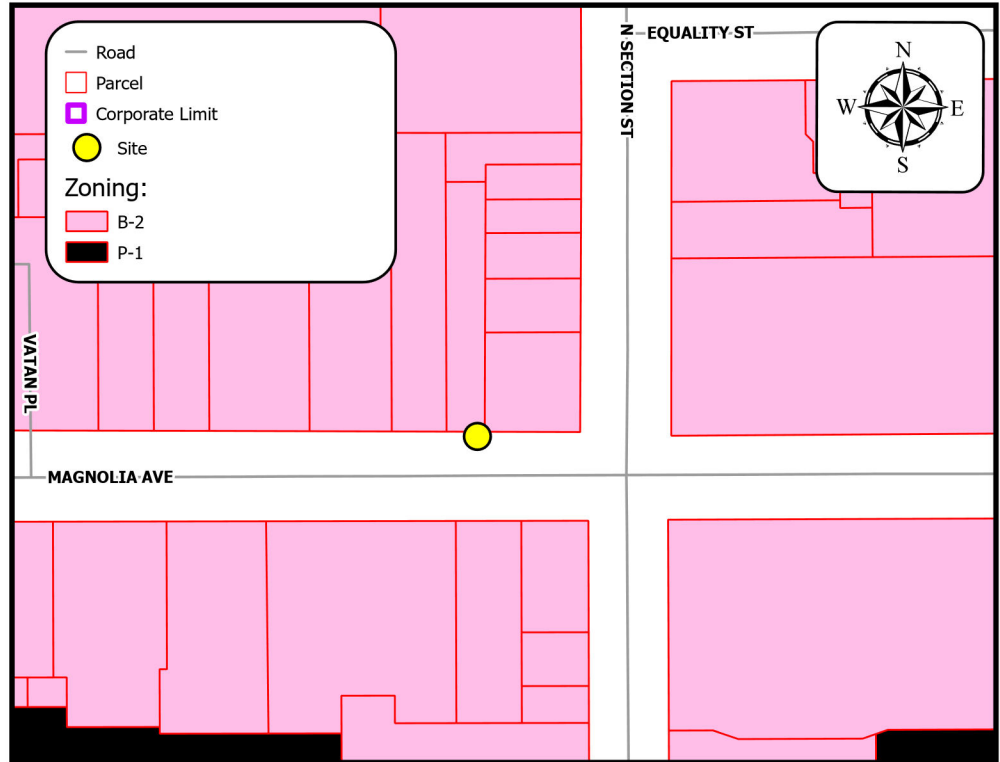
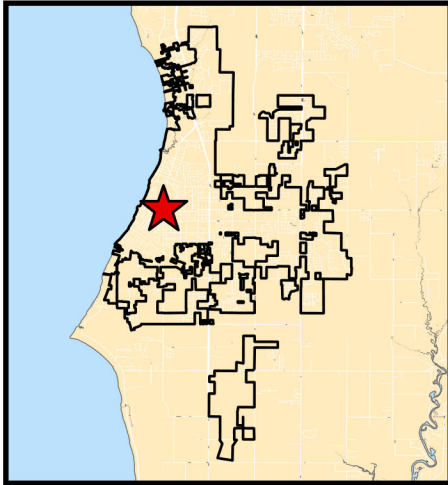
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City of Fairhope Planning Commission June 1, 2026



UR 26.08 - 319 Magnolia Avenue



<u>Project Name:</u>	319 Magnolia Avenue
<u>Site Data:</u>	N/A
<u>Project Type:</u>	New small cell tower
<u>Jurisdiction:</u>	Fairhope Planning Jurisdiction
<u>Zoning District:</u>	N/A
<u>PPIN Number:</u>	N/A
<u>General Location:</u>	West of the intersection of Section Street and Magnolia Avenue
<u>Surveyor of Record:</u>	N/A
<u>Engineer of Record:</u>	N/A
<u>Owner / Developer:</u>	Verizon
<u>School District:</u>	Fairhope Elementary School Fairhope Middle and High Schools
<u>Prepared by:</u>	Mike Jeffries

SUMMARY OF REQUEST

Request of Verizon Wireless for the installation of a new small cell tower in downtown Fairhope. Located within the right-of-way near 319 Magnolia Avenue.

Locator Image



Permitting, Locating, and Phasing

- Subsurface Utility Engineering may be required for sensitive locations within the city as required by the ROW supervisor.
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Erosion Control

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Project Completion, Punch List Walk, and As-Built

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UTILITY REVIEW CONSIDERATIONS

Standards of Review:

Alabama Code Section 11-52-11 grants review authority to the Planning Commission for all proposed construction of utilities within public right-of-way.

Recommendation:

Staff recommends **APPROVAL** of UR 26.08 - 319 Magnolia Avenue Utility Review with the following conditions:

1. Install a street light arm on the pole as required by ROW and Utilities.
2. City Council approval of the proposed small cell.
3. A pre-construction meeting shall be held with the City prior to issuance of any permits;
4. Follow-up activities below required by staff and the applicant:
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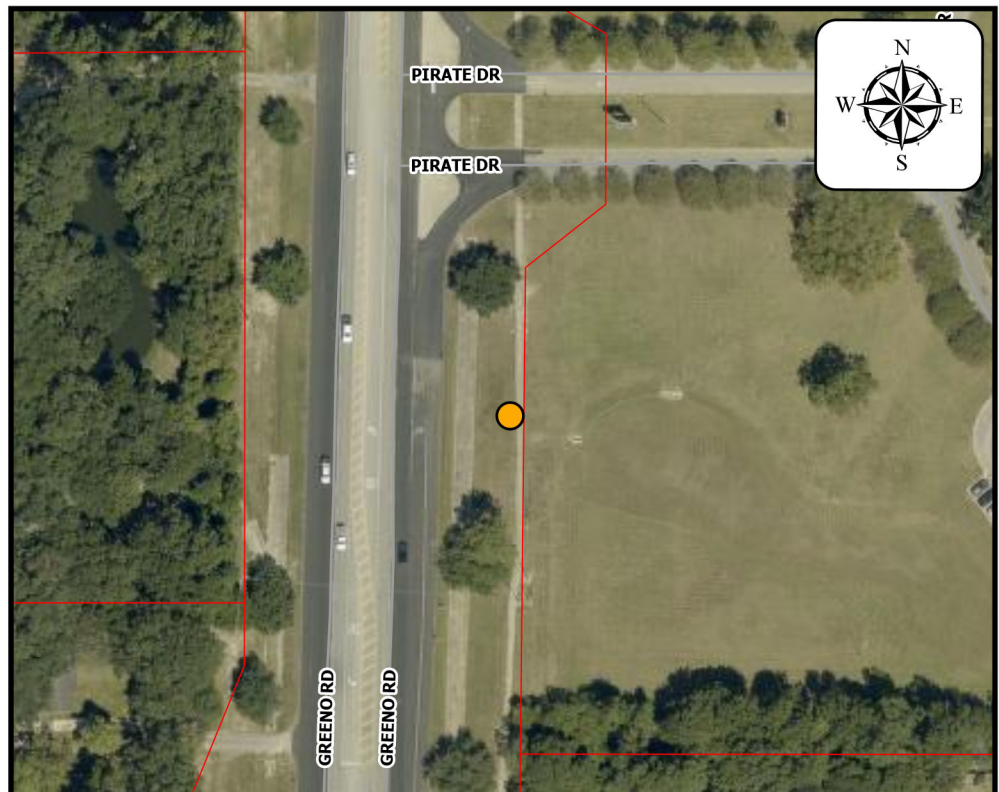
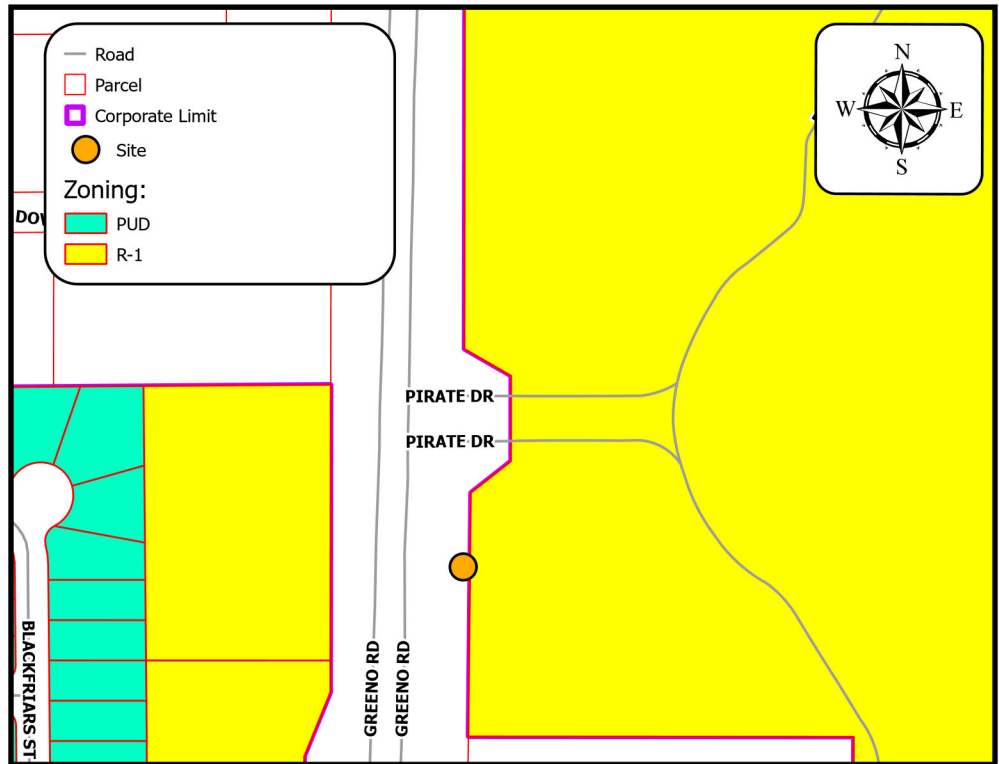
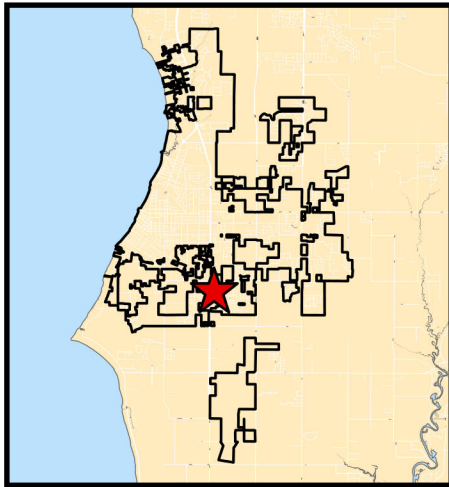
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City of Fairhope Planning Commission July 6, 2026



UR 26.13 - 18800 South Greeno Road



Project Name:

18800 South Greeno Road

Site Data:

N/A

Project Type:

New small cell tower

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

N/A

PPIN Number:

N/A

General Location:

South of intersection of Greeno and
entrance to Fairhope High School
(Pirate Drive)

Surveyor of Record:

N/A

Engineer of Record:

N/A

Owner / Developer:

AT&T

School District:

Fairhope Elementary School
Fairhope Middle and High Schools

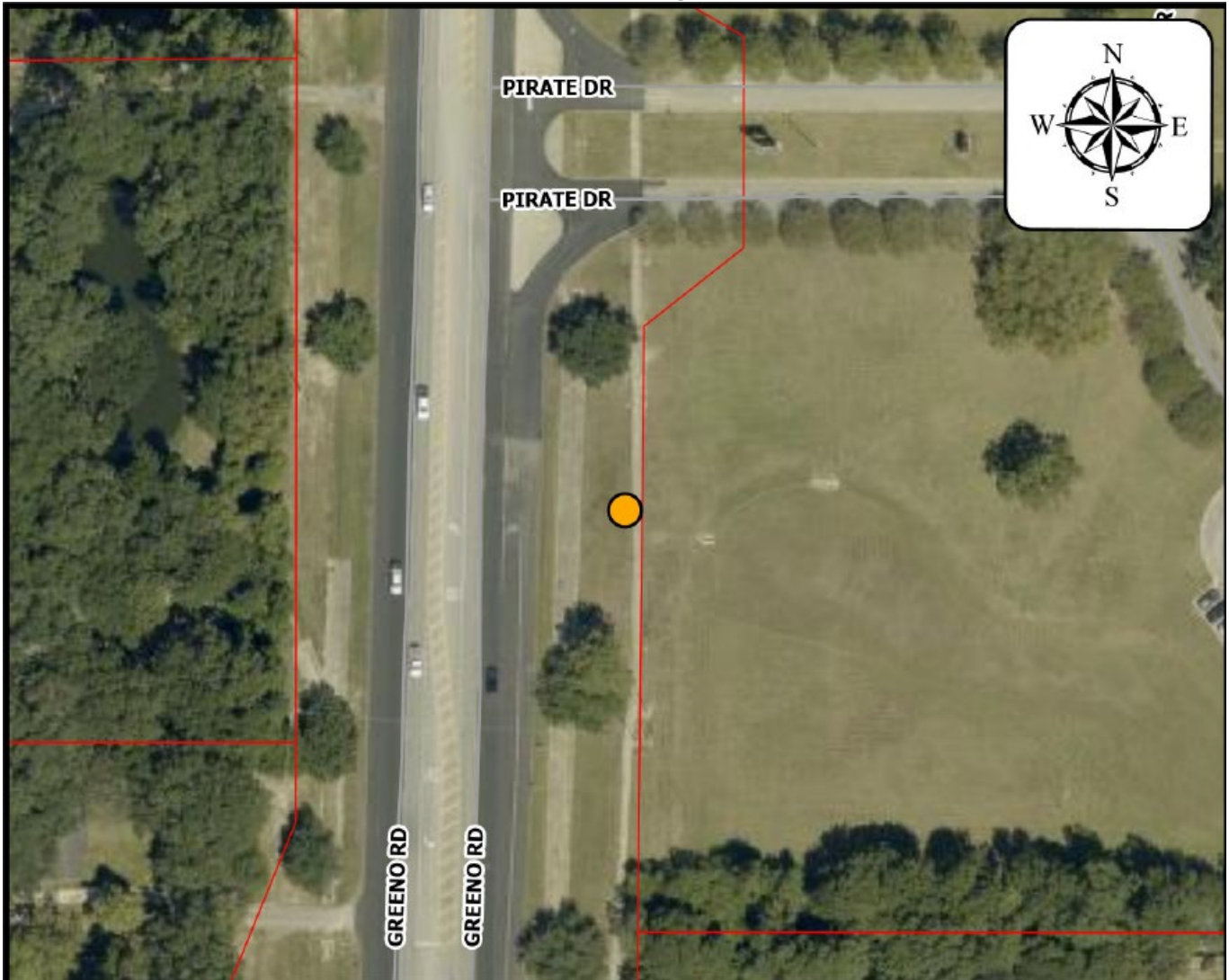
Prepared by:

Mike Jeffries

SUMMARY OF REQUEST

Request of AT & T for the installation of a new small cell tower in Fairhope. Located within the right-of-way near 18800 South Greeno Road.

Locator Image



STAFF COMMENTS

The proposed utility construction falls within the Alabama Department of Transportation (ALDOT) ROW and shall require permits through the respective agency. ALDOT has approved the permit as shown.

This site shall comply with all State, Federal and local requirements.

Construction

- A minimum horizontal clearance (separation) of 36” must be maintained from water, sewer, gas, stormwater, and other city utility infrastructure.
- A minimum depth for all telecommunication lines shall be 30”.
- Conduit shall match the 811-color code for communication, electric, gas etc. No blue/blue striped conduit is to be used for telecommunications.

General

- Damage to any City’s infrastructure (storm, sewer, water, ditches etc. shall be the responsibility of the permittee to repair to city standards at no cost to the city.
- Any damage that occurs needs to be reported to the city as soon as possible.

UTILITY REVIEW CONSIDERATIONS

Standards of Review:

Alabama Code Section 11-52-11 grants review authority to the Planning Commission for all proposed construction of utilities within public right-of-way.

Recommendation:

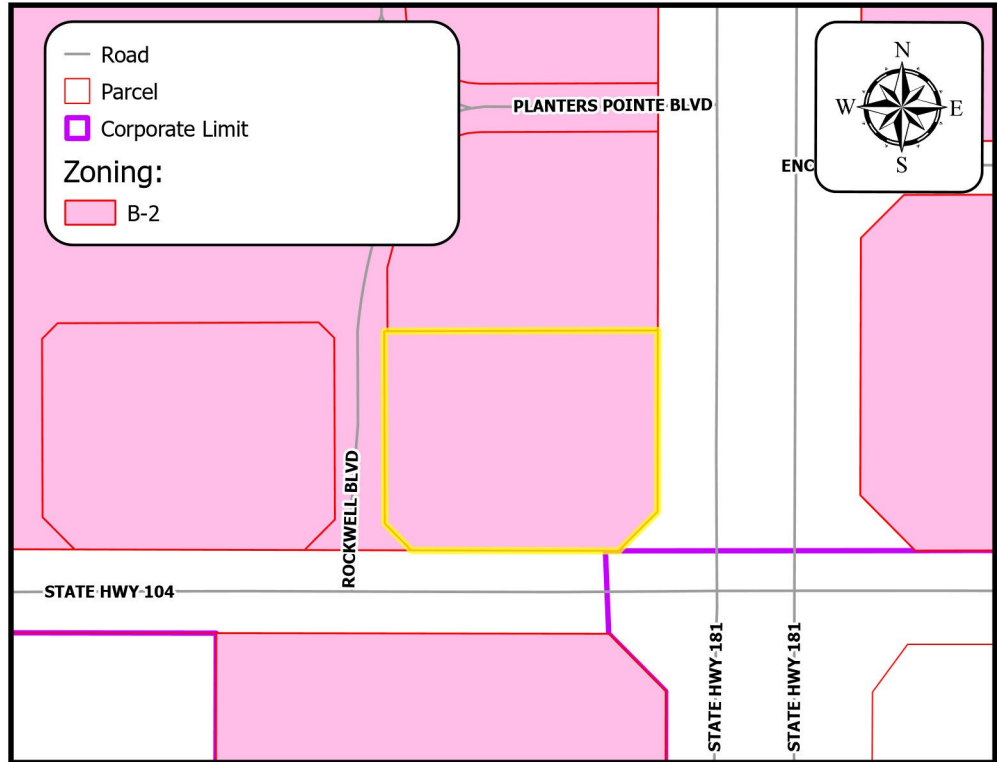
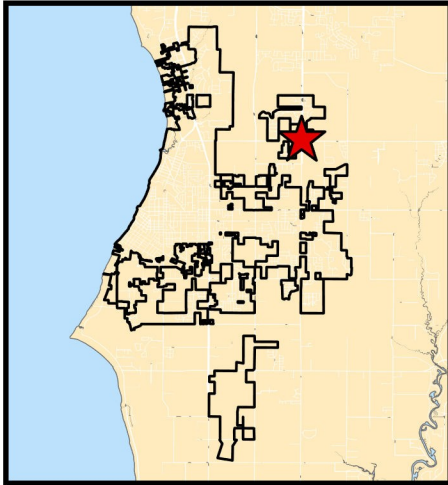
Staff recommends **APPROVAL** of UR 26.13 – 18800 S Greeno Rd. Utility Review with the following conditions:

1. The applicant shall coordinate with Fairhope Utilities to avoid conflicts with existing City infrastructure.

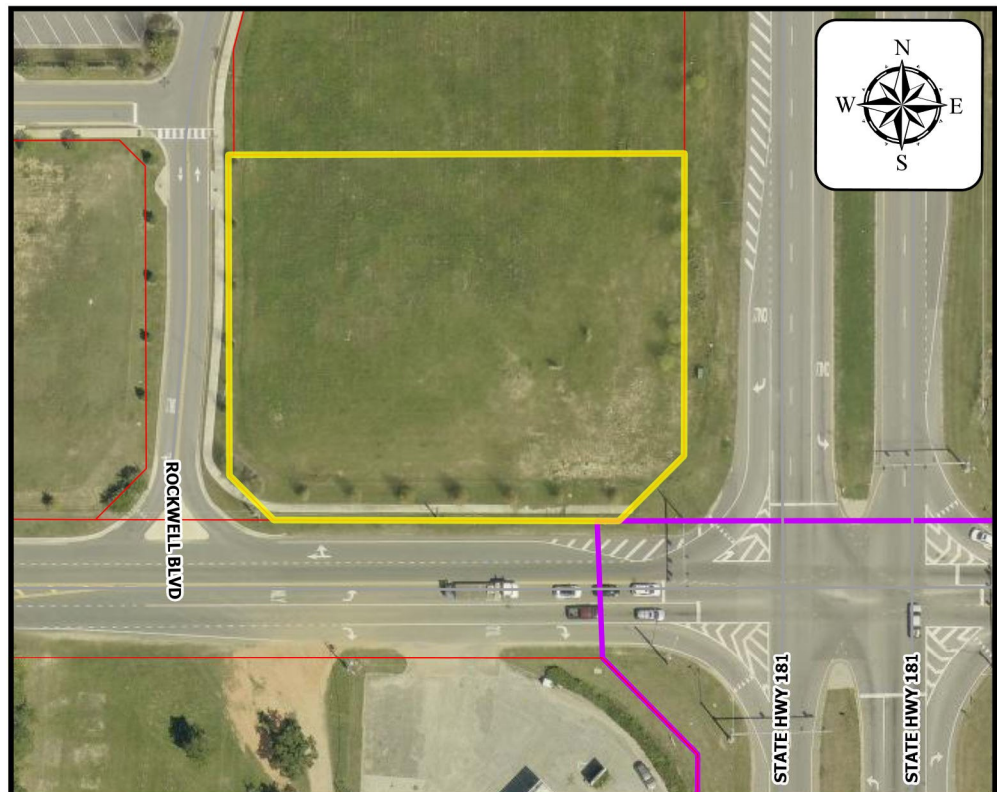
City of Fairhope Planning Commission July 6, 2026



SR 26.04 - Murphy Oil, USA



<u>Project Name:</u>	Murphy Oil, USA
<u>Site Data:</u>	1.18 acres
<u>Project Type:</u>	Site Plan Review
<u>Jurisdiction:</u>	Fairhope Planning Jurisdiction
<u>Zoning District:</u>	B-2, General Business District
<u>PPIN Number:</u>	626309
<u>General Location:</u>	Northwest corner of the intersection of State Highway 181 and State Highway 104
<u>Surveyor of Record:</u>	RAM Engineering
<u>Engineer of Record:</u>	RAM Engineering
<u>Owner / Developer:</u>	Corte Cave/Mitchell 1, LLC
<u>School District:</u>	Fairhope Elementary School Fairhope Middle and High Schools
<u>Prepared by:</u>	Payton Rogers



SUMMARY OF REQUEST

Request of the Applicant, Murphy Oil USA, INC., on behalf of the Owner, Corte Cave/Mitchell 1, LLC for Site Plan Review Approval of Murphy Oil Automobile Service Station. The property is located at the northwest corner of State Hwy 181 and State Highway 104 and is 1.18± acres.

SITE HISTORY

At its meeting in November 2020 the Planning Commission approved a Preliminary MOP for the Planter's Pointe development. A year later in November 2021 the Planning Commission granted Preliminary Plat approval of a 9-lot subdivision (resubdivision of Lot 2). Both the 2020 and 2021 approvals were granted prior to annexation while the properties were located within the City of Fairhope's Planning Jurisdiction.

The Planter's Pointe properties conditionally annexed into city limits in December 2021.

At its October 2023 meeting the Planning Commission granted a 12-month extension to the 9-unit MOP. Final plat approval was granted later that year in December.

At its meeting on April 21, 2026 the Board of Adjustment approved a Special Exception request to allow construction of an Automobile Service Station on the subject site.

STAFF COMMENTS

Site Plan

The proposed site plan is attached to the end of this report as an exhibit.

Setbacks - COMPLIANT

The Final Plat recorded for Planter's Pointe Subdivision establishes setback requirements for Lot 4 to be 10 feet from the North property line where the subject site abuts Lot 5, 10 feet from the West property line along Rockwell Boulevard, 50 feet from the South property line along State Highway 104, and 50 feet from the East property line along State Highway 181. All setbacks are illustrated as compliant on the proposed Site Plan.

Buildings - COMPLIANT

B-2, General Business District has a required maximum building height of 30 feet. The proposed building height for the one-story structure is 18± feet.

Tree & Landscaping - COMPLIANT

The City of Fairhope Trees and Landscaping Ordinance details all tree planting and landscape area requirements for commercial development. As proposed, the Tree and Landscape Plan illustrates full compliance with the Tree Ordinance (see exhibits).

It should be noted that the applicant requested to utilize nine (9) understory trees on site in place of nine (9) required overstory trees. After review by the City Horticulturist the applicant's request was approved in order to help mitigate overcrowding on site.

Additionally, the tree plan illustrates six (6) crape myrtle trees along State Highway 181. It's important to note that these six (6) understory trees are existing and were included in the original landscape plan approved with the Planter's Pointe Multiple Occupancy Project (MOP), and as such, cannot be removed and must be protected throughout construction. However, one of the existing crape myrtles appears to be located within

State ROW and should be either moved on site to be located on the other side of the two neighboring trees maintaining the intent of the original design OR the applicant may remove the existing tree altogether and plant a new crape myrtle of the same size and species as the one removed on site to be located on the other side of the two neighboring trees maintaining the intent of the original design.

Parking - COMPLIANT

Per Article IV-E.4 Table 4-3, *Parking Schedule* the proposed Site Plan illustrates a compliant amount of on-site parking.

Connectivity - COMPLIANT

Sidewalks and pedestrian connectivity are illustrated along Rockwell Boulevard and State Highway 104, as required. Additionally, the proposed Site Plan illustrates the extension of the 12-foot-wide multi-purpose trailway along State Highway 181 with direct pedestrian access as required.

Drainage - COMPLIANT

Drainage is unique within the Planter's Pointe development. Publix, the anchor store, provided underground drainage for itself and those stores connected to it. Notes on the Final Plat for Planter's Pointe Subdivision state that all other lots must have self-sufficient drainage addressing all post-development stormwater runoff on the individual lots.

As proposed the Applicant intends to utilize an onsite detention pond located in the southwest corner of the site and demonstrates within the provided Drainage Report that post development runoff conditions will not exceed predevelopment conditions.

Exterior Lighting - COMPLIANT

As proposed, exterior lighting is compliant with Article IV Section B.3 of the Zoning Ordinance as it relates to on-site lighting.

Mechanical Equipment - COMPLIANT

All mechanical equipment is proposed to be located on the building's roof and is illustrated in the submitted plans.

Dumpster - COMPLIANT

The Site Plan illustrates a dumpster on the North side of the proposed building and include a plan detail illustrating an enclosure and screening in compliance with Article IV-B.2. of the Zoning Ordinance.

Signage - N/A

All Signage will be formally reviewed at time of sign permit submittal. As a lot with three (3) frontages the subject site is allowed a total of three (3) building signs and three (3) freestanding signs. However, the aggregate surface area of **ALL** permitted signs shall not exceed 50 square feet for the entire site. It should be noted that gasoline pricing signage is included in the total aggregate signage calculations. Additionally, the City of Fairhope Sign Ordinance does not allow for canopy signs.

Erosion Control - COMPLIANT

An erosion control plan was submitted with the application and is acceptable.

Utilities - COMPLIANT

A utility plan was submitted and has been reviewed and approved by the appropriate providers. No utility upgrades are required.

ADA Standards - COMPLIANT

ADA requirements per the Architect are met and at time of building permit will be further verified.

Traffic - COMPLIANT

A Traffic Study was generated with the application for Planter's Pointe Subdivision in 2021. At that time there were not any determined land uses for each outparcel. As such, the trip generation analysis produced 395 entering trips and 302 exiting trips during a weekday AM peak hour; 573 entering trips and 559 exiting trips during a weekday PM peak hour. Per the applicant's submitted traffic letter the proposed Murphy Oil USA will generate a total of 40 trips (20 entry and 20 exit) during the Weekday AM peak hour and a total of 48 trips (24 entry and 24 exit) during the Weekday PM peak hour.

Lot Access - COMPLIANT

As illustrated, the subject site proposes one (1) access point to the site from Rockwell Boulevard.

Comprehensive Plan - COMPLIANT

Planters Pointe is in a newly recognized Suburban Mixed-Use Center in the proposed Comprehensive Plan.

Impacts on Surrounding Neighborhood - COMPLIANT

As previously stated, the subject site is zoned B-2. Directly adjacent to the site are additional commercial uses.

Benefits to the Community - COMPLIANT

As the number of residential units being developed in the area continues to grow a commercial retail center with a variety of retail/restaurant/office/commercial units will be a benefit to the residential subdivisions.

SITE PLAN CONSIDERATIONS

Standards of Review:

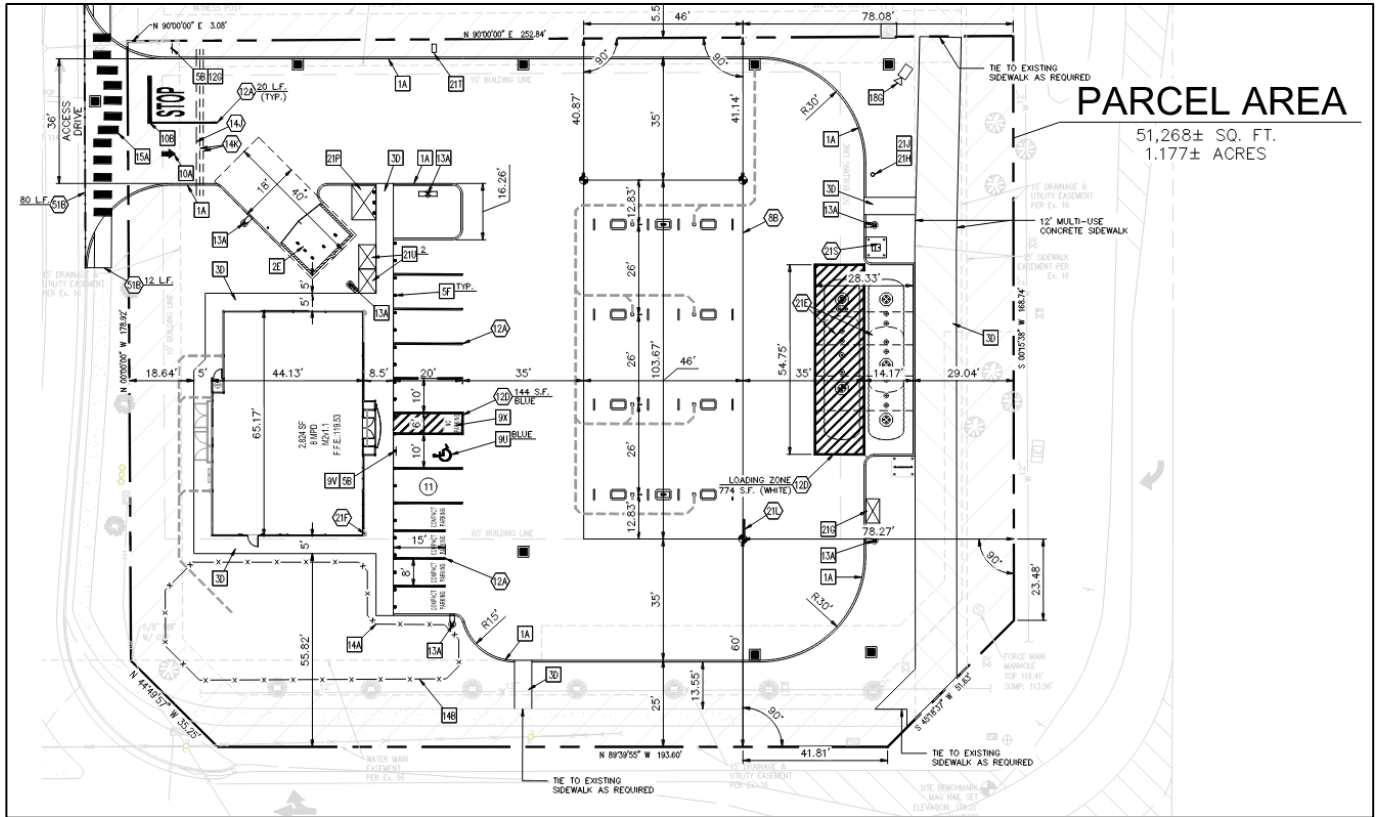
Article II Section C.2.d of the City of Fairhope Zoning Ordinance sets forth all criteria for reviewing Site Plan Review requests.

Recommendation:

Staff recommends **APPROVAL** of SR 26.04 – Murphy Oil USA Site Plan with the following conditions:

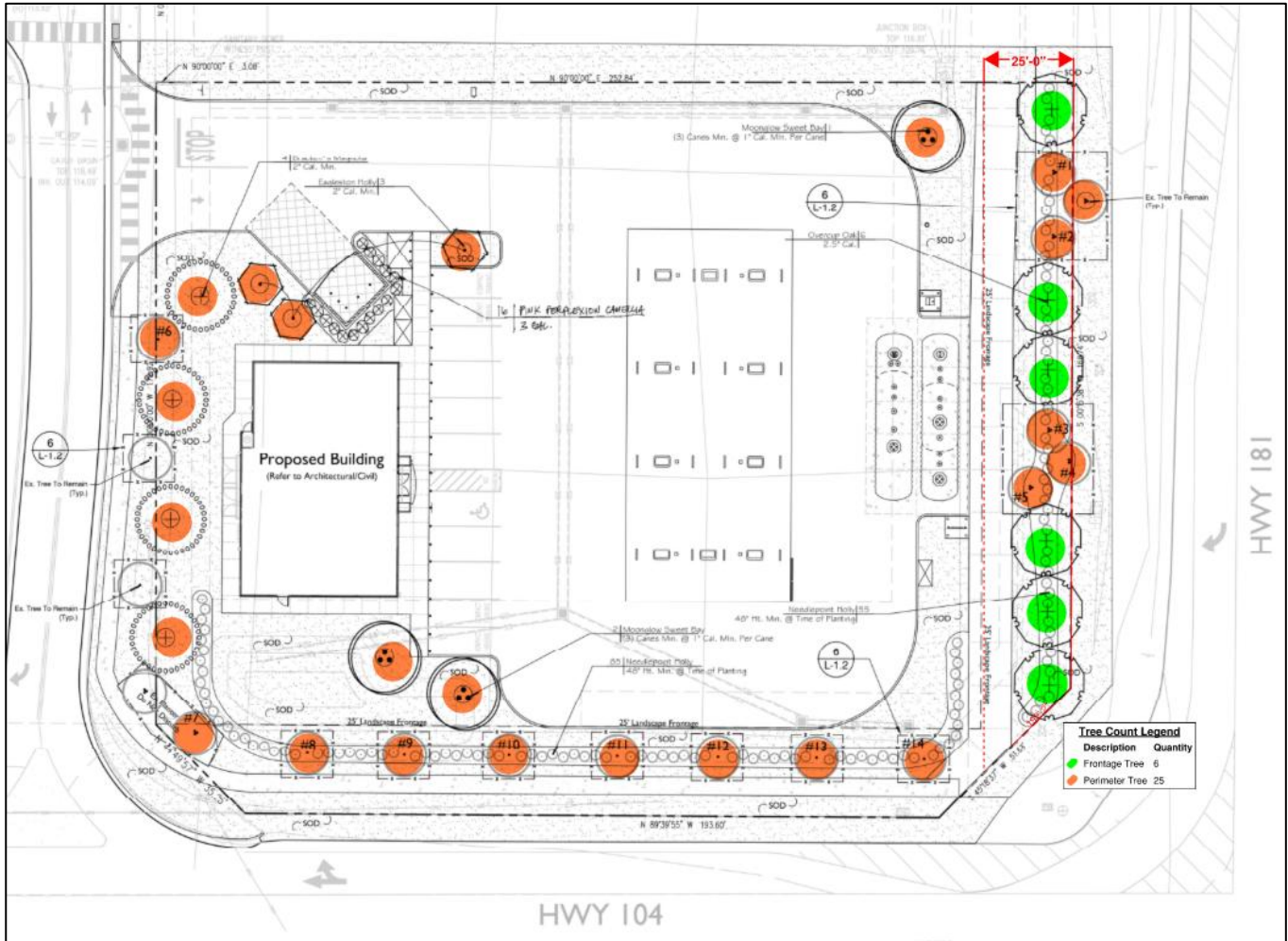
1. Revision of the Tree and Landscape Plan to illustrate one of the following solutions to address the understory tree within State Highway 181 ROW:
 - a. Move the existing crape myrtle onto the subject site to be located on the other side of the two neighboring trees; or
 - b. Remove the existing tree and plant a new crape myrtle of the same size and species as the one removed on the subject site to be located on the other side of the two neighboring trees.

Proposed Site Plan



SITE DATA		
DESCRIPTION	REQUIRED	PROVIDED
SITE AREA (AC)	-	1.177
BUILDING GSF (SF)	-	2,824
ZONING	-	GENERAL BUSINESS (B-2)
USE	-	AUTOMOBILE SERVICE STATION
PROPOSED LANDSCAPING (GREEN SPACE)	20% (MIN.)	30%
IMPERVIOUS COVERAGE (EXCLUDING BUILDING)	-	64%
BUILDING HEIGHT (FT)	30' (MAX.)	BUILDING 18'-6" CANOPY 18'-9"
SET BACKS		
FRONT (FT)	50'	78'
SIDE INTERIOR (FT)	10'	41'
SIDE CORNER (FT)	60'	60'
REAR (FT)	10'	23.5'
PARKING (FT)	10'	33'
BUFFERS (LANDSCAPE)		
FRONT (FT)	10'	13.5'
SIDE INTERIOR (FT)	5'	5.0'+
SIDE CORNER (FT)	6'	25'
SIDE REAR (FT)	5'	18.6'
SCREENING		
ALONG PROPERTY LINES	YES	YES
ONSITE MEP EQUIPMENT	NONE	NONE
TRASH ENCLOSURE/ ACCESSORY USE	YES	YES
PARKING		
TOTAL SPACES (EA)	11	11 + 16 UNDER CANOPY
CALCULATION	4 sp FOR 1st 400 SF + 1 / EACH ADDITIONAL 400 SF 4+(2824-400/400)=10.06 (≈11)	-
PARKING STALL DIMENSION (FTxFT)	10 x 20	10 x 20
COMPACT CAR STALLS (8' WIDE)	30%-40% OF PROVIDED PARKING (3.3-4.4)	4 PROVIDED
DRIVE ISLE WIDTH AT STALLS	-	35'

Proposed Tree & Landscape Plan



TREE & LANDSCAPE COMPLIANCE TABLE				
Prepared by Payton Rogers				
Date 06/11/26				
Total	Plan Required	Plan Provided	Plan Compliance?	
Landscape Area				
Total Landscape Area	10,254	16,022	Yes	
Front Landscape Area	6,152	11,934	Yes	
Frontage Trees				
	6	6	Yes	
Perimeter Trees				
	23	25	Yes	
Parking Trees				
	0	0		
Overstory	0	0		
Understory	0	0		
Parking Understory < 50%				
Total	29	31	Yes	
Overstory	29	31	Yes	
Understory	0	0		
Total Trees Saved (Credits)				
	0			
Total New Overstory Planted				
	31			
Total New Understory Planted				
	0			
Species Richness (> 4)				
	6		Yes	

Proposed Elevations

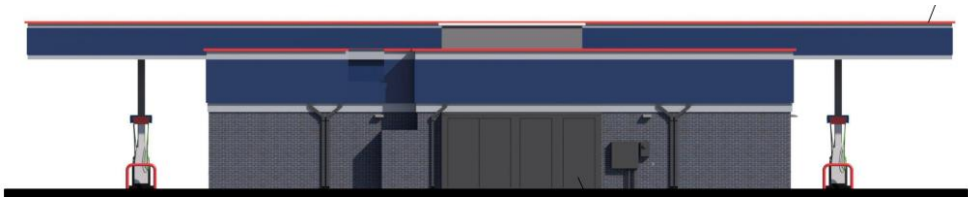


① ELEVATION - FRONT (FACING EAST)

LR
RF



② ELEVATION - RIGHT (FACING SOUTH)



③ ELEVATION - REAR (FACING WEST)



④ ELEVATION - LEFT (FACING NORTH)



⑤ ELEVATION - FRONT BUILDING ONLY (FACING EAST)



APPLICATION FOR SITE PLAN APPROVAL

Application Type: Site Plan
Attachments: Articles of Incorporation or List all associated investors

Date of Application: 4/24/2026

Property Owner / Leaseholder Information
Name of Property Owner: CORTE, CAVE/MITCHELL 1, LLC Phone Number: 251-421-2641
Address of Property Owner: P.O. Box 81322
City: Mobile State: AL Zip: 36680

Proposed Site Plan Name: Murphy USA #8849
Site Acreage: 1.177 Acres Sq. Footage: 51,268
Parcel No: 626309 Current Zoning: B2

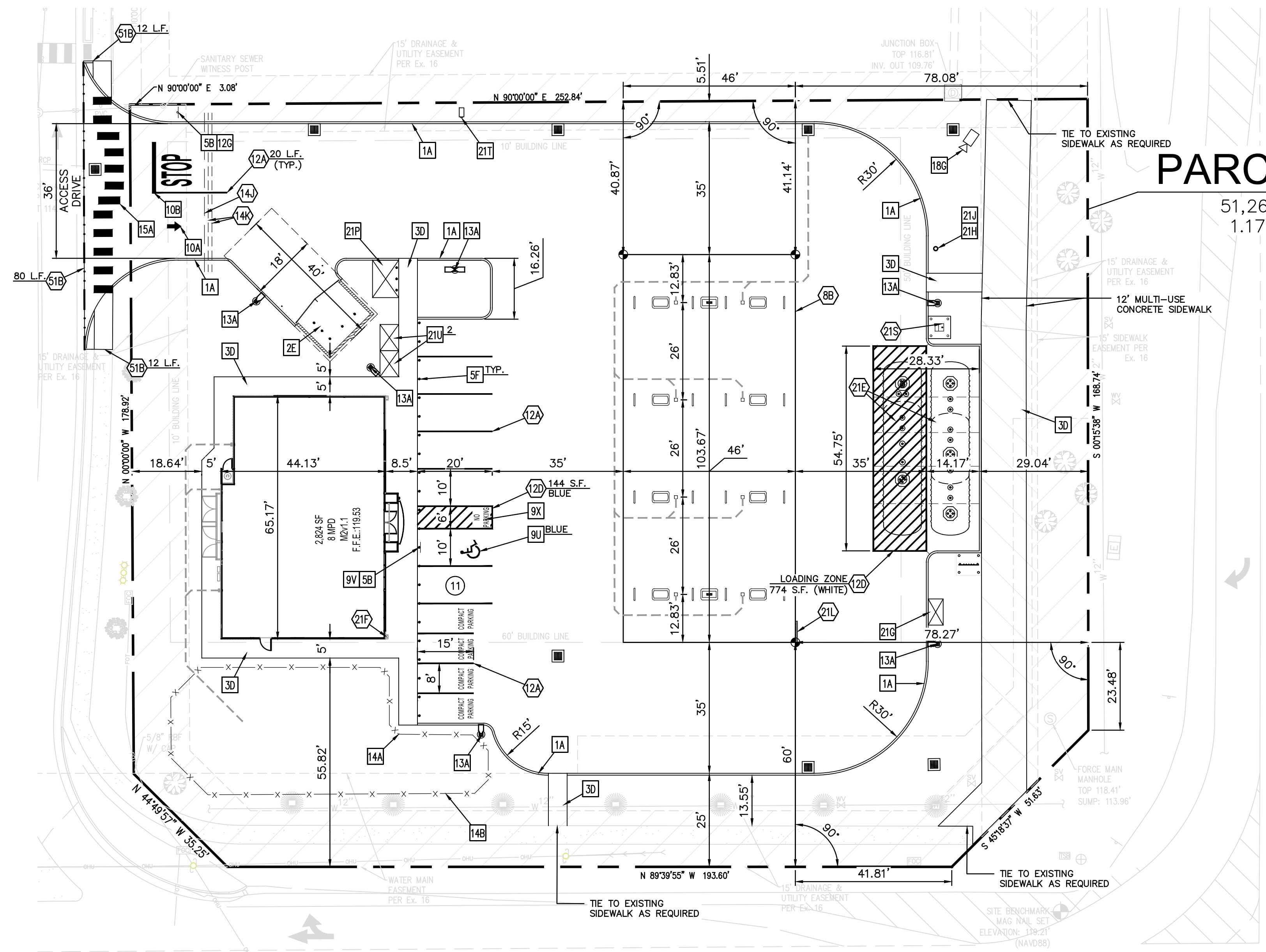
Authorized Agent Information
Name of Authorized Agent: Murphy Oil USA, Inc. Phone Number: 318-206-3838
Address: 200 Peach Street
City: EL Dorado State: Arkansas Zip: 71731
Contact Person: Wesley Miller

Engineer/Architect Information
Name of Firm: RAM Engineering, LLC Phone Number: 318-206-3838
Address: P.O. Box 11696
City: Alexandria State: Louisiana Zip: 71315
Contact Person: Wesley Miller

I certify that I am the property owner/leaseholder of the above described property and hereby submit this site plan to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application

CORTE, CAVE/MITCHELL 1, LLC
Property Owner/Leaseholder Printed Name
4/17/2026
Date

[Signature]
Signature
Fairhope Single Tax Corp. (If Applicable)



PARCEL AREA

51,268± SQ. FT.
 1.177± ACRES

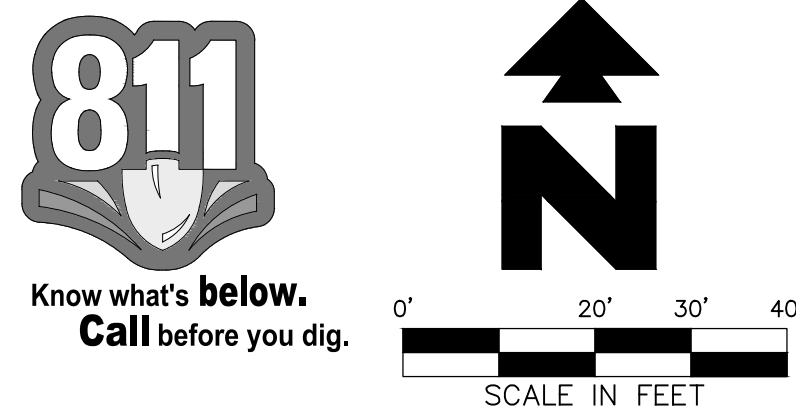
CONTRACTOR SHALL BE RESPONSIBLE FOR AND HIRE A ALABAMA REGISTERED LAND SURVEYOR TO ESTABLISH PROPERTY CORNERS, BUILDING CORNERS, CANOPY, ETC. AS REQUIRED FOR CONSTRUCTION LAYOUT.

CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA. (RE: DETAIL 2F)

CONTRACTOR TO ENSURE THE LIGHT POLES AND SIGNS ARE AT LEAST 2' FROM THE BACK OF THE CURB TO PREVENT THE VEHICLES STRIKING THE LIGHT POLE OR SIGN.

SEE SHEET C-4.3 FOR BUILDING ROOF AND CANOPY DRAINAGE

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.
 THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



SITE DATA		
DESCRIPTION	REQUIRED	PROVIDED
SITE AREA (AC)	-	1.177
BUILDING GSF (SF)	-	2,824
ZONING	-	GENERAL BUSINESS (B-2)
USE	-	AUTOMOBILE SERVICE STATION
PROPOSED LANDSCAPING (GREEN SPACE)	20% (MIN.)	30%
IMPERVIOUS COVERAGE (EXCLUDING BUILDING)	-	64%
BUILDING HEIGHT (FT)	30' (MAX.)	BUILDING 18'-6" CANOPY 18'-9"
SET BACKS		
FRONT (FT)	50'	78'
SIDE INTERIOR (FT)	10'	41'
SIDE CORNER (FT)	60'	60'
REAR (FT)	10'	23.5'
PARKING (FT)	10'	33'
BUFFERS (LANDSCAPE)		
FRONT (FT)	10'	13.5'
SIDE INTERIOR (FT)	5'	5.0'+
SIDE CORNER (FT)	6'	25'
SIDE REAR (FT)	5'	18.6'
SCREENING		
ALONG PROPERTY LINES	YES	YES
ONSITE MEP EQUIPMENT	NONE	NONE
TRASH ENCLOSURE/ ACCESSORY USE	YES	YES
PARKING		
TOTAL SPACES (EA)	11	11 + 16 UNDER CANOPY
CALCULATION	4 sp FOR 1st 400 SF + 1 / EACH ADDITIONAL 400 SF 4+(2824-400/400)=10.06 (≈11)	-
PARKING STALL DIMENSION (FTxFT)	10 x 20	10 x 20
COMPACT CAR STALLS (8' WIDE)	30%-40% OF PROVIDED PARKING (3.3-4.4)	4 PROVIDED
DRIVE ISLE WIDTH AT STALLS	-	35'

EXISTING	
S	SANITARY SEWER LINE
W	WATER LINE
UGE	UNDERGROUND ELECTRIC LINE
UGT	UNDERGROUND TELEPHONE LINE
OHE,TV,T	OVERHEAD ELECTRIC, TELEVISION, TELEPHONE
-12-	CONTOUR LINE W/ELEVATION LABEL
⊙	SEWER MANHOLE
⊕	WATER METER
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	UTILITY POLE

PROPOSED	
---	BOUNDARY LINE
---	CONCRETE CURB AND GUTTER
⊙	BUILDING CONTROL POINT
---	CONSTRUCTION FENCE

GENERAL SITE NOTES

A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

B. ALL CURB RETURN RADII SHALL BE 3', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.

C. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON: ALL CURB AND GUTTER ADJACENT TO PAVING SHALL BE INSTALLED PER DETAIL.

PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES.

SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, DISPENSER ISLAND DETAILS AND LAYOUT.

D. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.

E. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

F. CONTRACTOR SHALL PURCHASE AND INSTALL A MAILBOX AND SHALL COORDINATE LOCATION OF MAILBOX WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL POSTMASTER.

G. ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAIL 10A.

SITE NOTES	
⊙	OVERHEAD CANOPY (TYP. PER CANOPY PLANS)
12A	4" TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL)
12D	4" WIDE PAINTED STRIPES, 2' O.C. @ 45" (SEE SIZE INDICATED AT SYMBOL)
14J	GC TO INSTALL (1) 4" PVC SLEEVE FOR IRRIGATION LINE. (SEE UTILITY PLAN FOR INSTALLATION REQUIREMENTS)
14K	GC TO INSTALL (2) 4" PVC SLEEVES FOR FUTURE USE (SEE UTILITY PLAN FOR INSTALLATION REQUIREMENTS)
21E	UNDERGROUND STORAGE TANKS
21F	E-STOP (PER TANK & PIPING PLANS)
21G	PRICE SIGN PER APPROVED ELEVATION
21S	REMOTE DEF FILL
51B	LIMITS OF SAWCUT AND PAVEMENT REMOVAL

SITE DETAILS	
1A	INTEGRAL CONCRETE CURB
2E	DUMPSTER ENCLOSURE
3D	CONCRETE SIDEWALK (SEE PAVING AND JOINT PLAN)
5B	TRAFFIC SIGN IN BOLLARD
5F	STEEL BOLLARD W/COVER (SINGLE)
9U	ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL)
9V	ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN MOUNTED IN BOLLARD
9X	"NO PARKING" PAINTED ON PAVEMENT
10A	TRAFFIC FLOW ARROW (TYP.)
10B	STOP BAR (TYP.)
12G	"STOP" SIGN
13A	SITE LIGHT POLE (SEE PHOTOMETRIC PLANS FOR POLE BASE DETAIL, FIXTURE TYPE, LOCATION AND MOUNTING DETAILS)
14A	3 RAIL FENCE W/ WIRE MESH
14B	3 RAIL GATE W/ WIRE MESH (CONTRACTOR SHALL COORDINATE LOCATION WITH PROJECT MANAGER BEFORE INSTALLATION)
15A	PEDESTRIAN CROSSWALK STRIPING
18G	CONSTRUCTION CAMERA (COORDINATE WITH MOUSA PM FOR LOCATION)
21G	AIR VACUUM UNIT WITH 4'X7' CONCRETE SLAB
21H	FUTURE ATM PAD AND BOLLARDS BY ATM EQUIPMENT SUPPLIER (SEE DEVELOPMENT PLAN SHT. FE-1 FOR CONDUITS)
21J	ELECTRICAL PULL BOX FOR FUTURE ATM
21P	7'X10' CONCRETE SLAB FOR PROPANE TANKS
21T	MAILBOX (CONTRACTOR SHALL COORDINATE LOCATION WITH MURPHY AND POSTMASTER PRIOR TO INSTALLATION)
21U	ICE UNIT (SEE NUMBER INDICATED AT SYMBOL)

PRE-CONSTRUCTION

IMPERVIOUS SITE RATIO (ISR)		
AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	439	1
LANDSCAPE AREA	50,829	99
GROSS SITE	51,268	100

POST-CONSTRUCTION

IMPERVIOUS SITE RATIO (ISR)		
AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	35,792	70
LANDSCAPE AREA	15,476	30
GROSS SITE	51,268	100

DEVELOPMENT NOTES:

- THE OWNER SHALL NOT UNREASONABLY INTERFERE WITH CONSTRUCTION WORK BEING PERFORMED ON ANY PART OF THE SHOPPING CENTER TRACT OR ANY OF THE OTHER OUTPARCELS
- THE OWNER SHALL NOT UNREASONABLY INTERFERE WITH TENANTS OR OCCUPANTS OF THE SHOPPING CENTER TRACT OR ANY OF THE OTHER OUTPARCELS AND THEIR ABILITY TO DO BUSINESS THEREIN OR THE ABILITY OF THEIR CUSTOMERS AND EMPLOYEES TO USE THE COMMON AREAS.
- THE OWNER SHALL NOT CAUSE ANOTHER OWNER OR OCCUPANT OF ANY PORTION OF THE PLANTERS POINTE PROJECT (EACH, A "PROJECT OWNER"), AS APPLICABLE, TO BE IN VIOLATION OF ANY LAW, RULE, REGULATION, ORDER OR ORDINANCE APPLICABLE TO THE SHOPPING CENTER OR ANY OF THE OTHER OUTPARCELS.
- THE OWNER SHALL IMPLEMENT AND MAINTAIN DUST ABATEMENT AND EROSION CONTROL MEASURES DURING ALL STAGES OF CONSTRUCTION.
- THE OWNER SHALL REMOVE ALL BUILDING DEBRIS, STUMPS, TREES, ETC., AS OFTEN AS NECESSARY TO KEEP THE OUTPARCELS IN AN ATTRACTIVE CONDITION.
- THE OWNER SHALL ENSURE THAT ALL VEHICLES, INCLUDING THOSE DELIVERING SUPPLIES, ARE PARKED ON THE OUTPARCELS WHERE THE CONSTRUCTION IS UNDER WAY SO AS TO NOT UNNECESSARILY DAMAGE ANY OTHER ADJACENT PROPERTY.
- THE OWNER SHALL PROTECT EXISTING UTILITIES.

SHEET NO. C-03



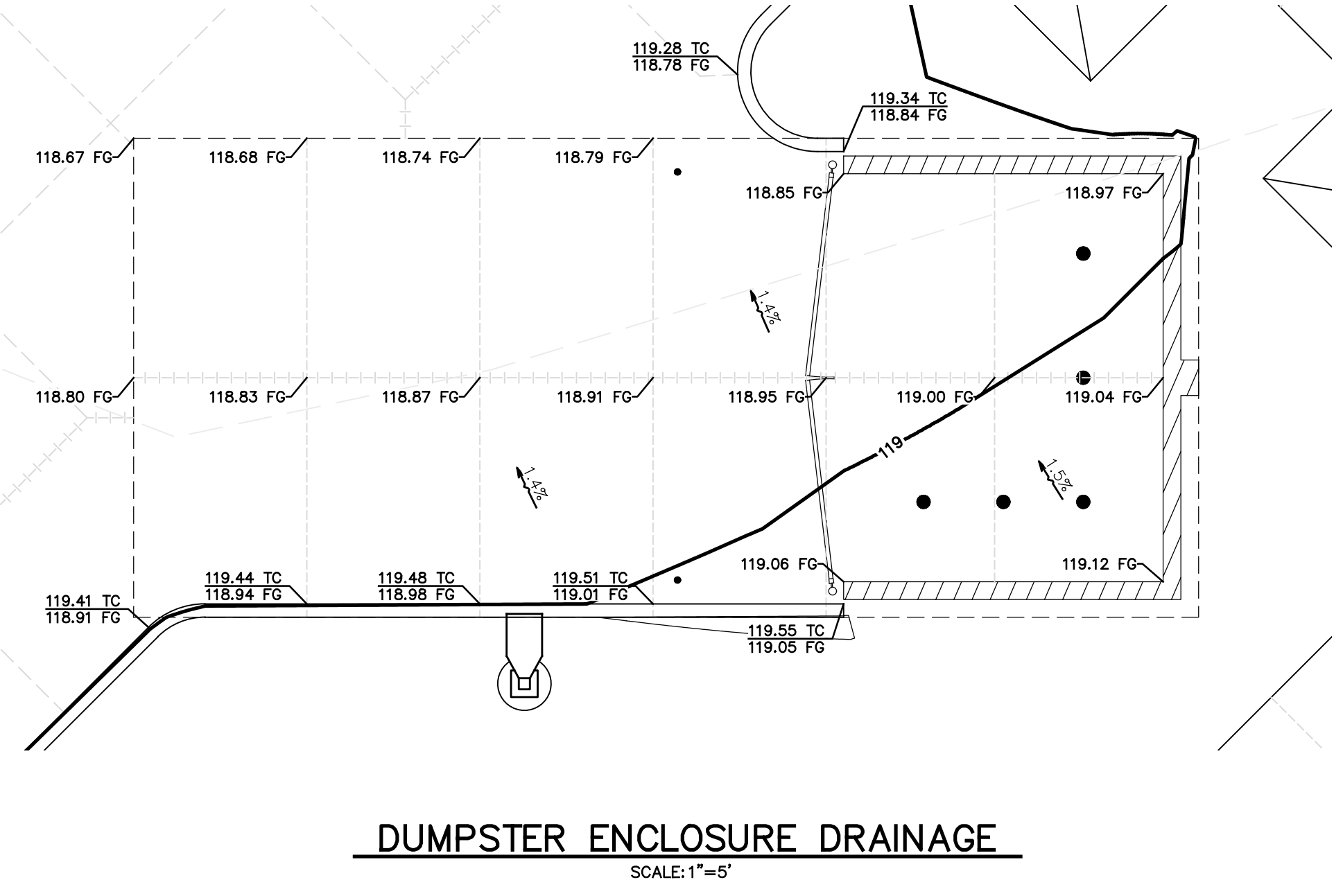
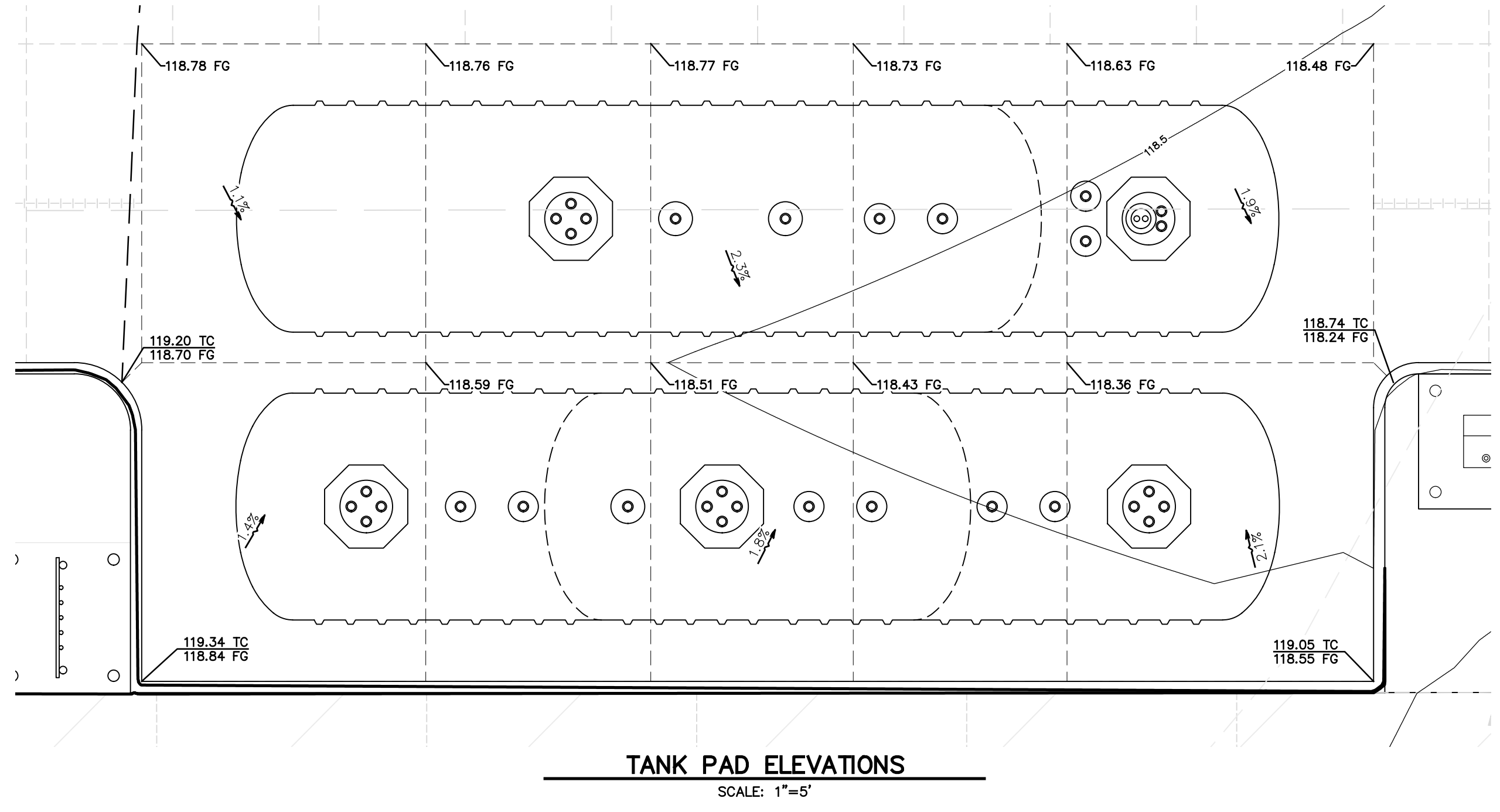
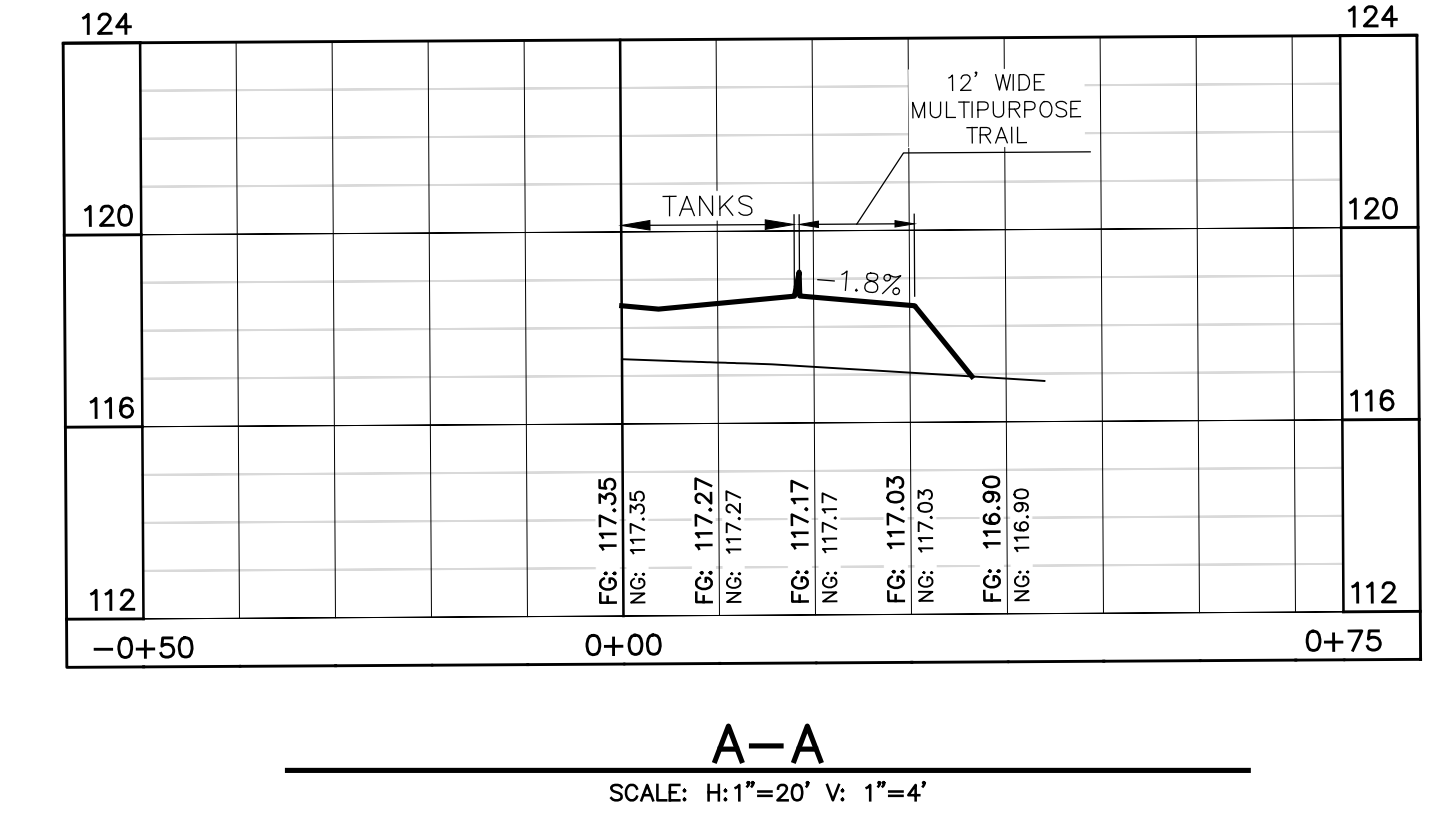
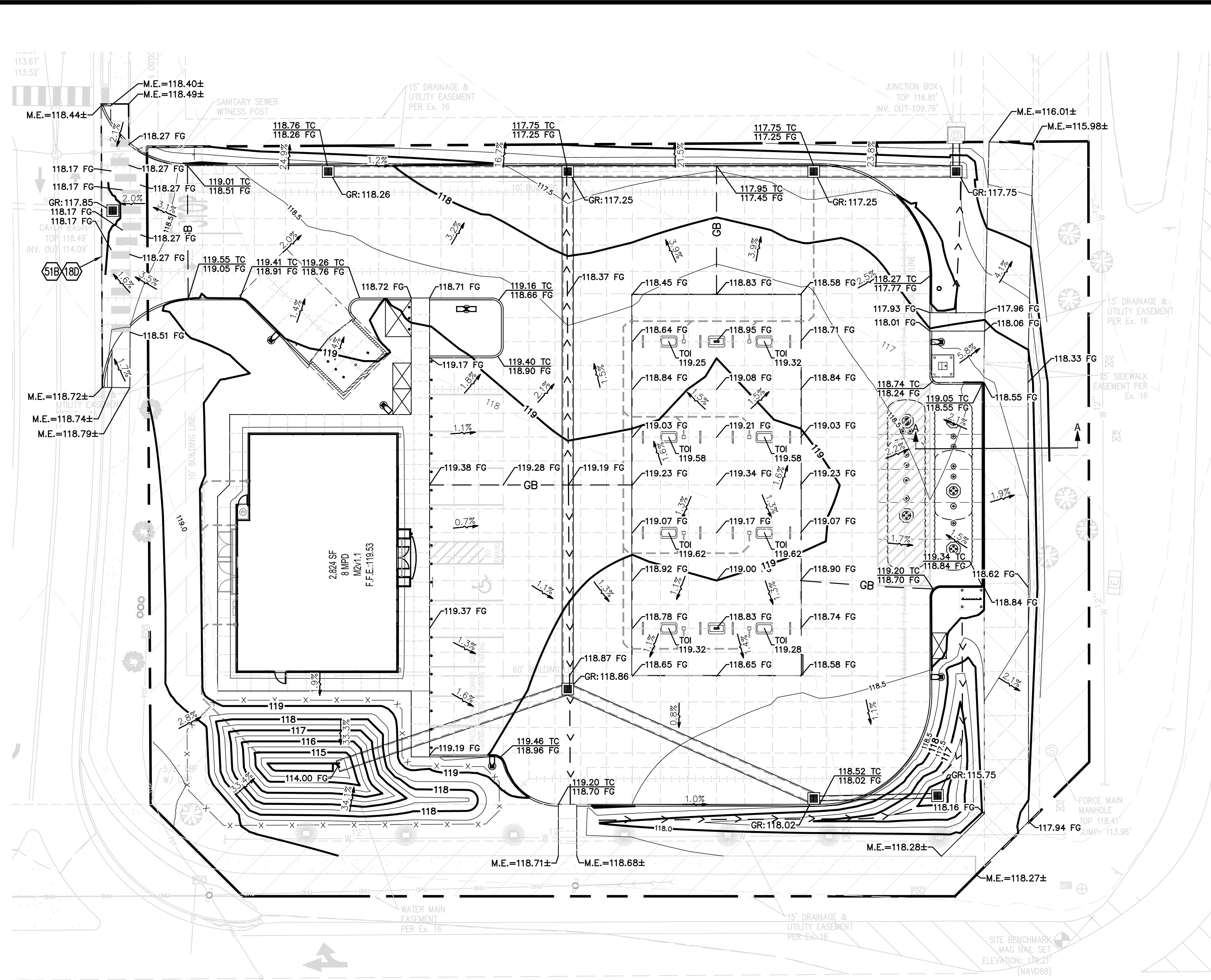
SITE PLAN
 MURPHY OIL USA (NTI) #8849
 22021 STATE HIGHWAY 181
 FAIRHOPE ALABAMA

CONTACT: WESLEY MILLER
 RAM ENGINEERING, LLC
 P.O. BOX 11696
 ALEXANDRIA, LA 71315
 (318) 206-3838



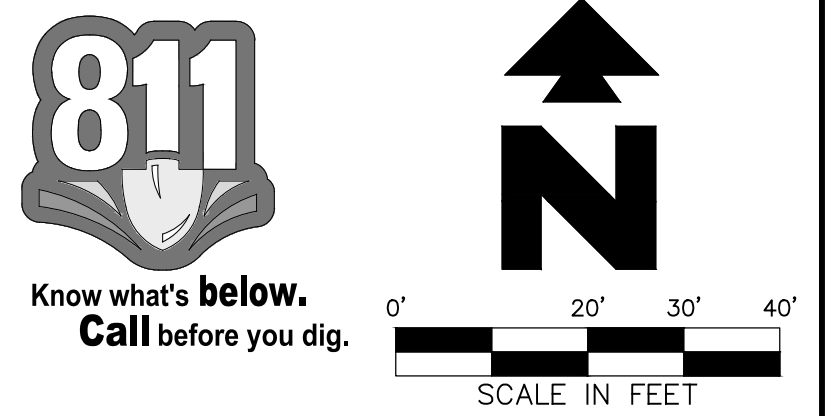
MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730





TBM
 MAG NAIL SET
 ELEVATION 119.21'
 TBM
 MAG NAIL SET
 ELEVATION 117.96'

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.
 THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

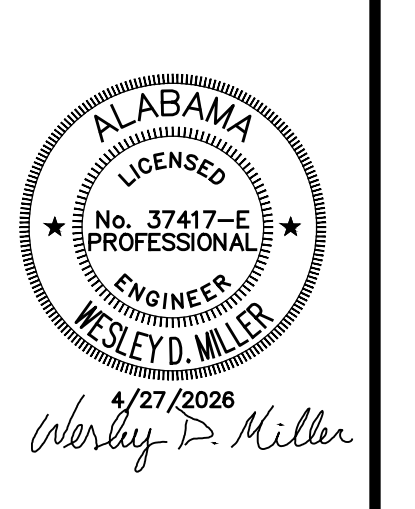


EXISTING		PROPOSED	
—s—	SANITARY SEWER LINE	---	BOUNDARY LINE
—w—	WATER LINE	---	GRADE BREAK
—g—	NATURAL GAS LINE	---	CONTOUR ELEVATIONS
—ue—	UNDERGROUND ELECTRIC LINE	---	SWALE/FLOW DIRECTION
—ut—	UNDERGROUND TELEPHONE LINE	---	SPOT ELEVATIONS:
—fgc—	FIBER OPTIC CABLE	xx.xx	xx.xx G = TOP OF CURB
---	CONTOUR LINE W/ELEVATION LABEL	---	xx.xx TOI = TOP OF ISLAND
		---	xx.xx FG = FINISHED GRADE
		---	M.E. = MATCH EXISTING
		---	DRAINAGE SLOPE AND DIRECTION

- GENERAL GRADING NOTES**
- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, WATER MAIN, OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSING AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR REQUIRED DEVIATIONS FROM THE PLAN PRIOR TO CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, THE ENGINEER AND HIS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
 - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND GROUND COVER ESTABLISHED. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE STABILIZED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
 - REFER TO GEOTECHNICAL REPORT FOR SPECIFIC SITE SOIL CONDITIONS AND CONSIDERATIONS.
 - CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
 - ALL HDPE PIPE IN SANDY OR HIGHLY EROSION, OR EXPANSIVE SOILS SHALL BE N-12 WT IB (OR EQUIVALENT WITH SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. 4"-48" PIPE SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S) REQUIREMENTS AND SHALL HAVE A MINIMUM MANNINGS "N" DESIGN VALUE OF 0.012. JOINTS SHALL BE WATERTIGHT ACCORDING TO ASTM D3212 (OR AASHTO M252, M294) REQUIREMENTS. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATION FOR ADS N-12 WE IB PIPE FOUND IN THE ADS, INC. DRAINAGE HANDBOOK, LATEST EDITION.
 - ALL OTHER HDPE PIPE SHALL BE N-12 ST IB (OR EQUIVALENT WITH SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. 4"-48" SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S OR SP) REQUIREMENTS AND SHALL HAVE A MINIMUM MANNINGS "N" DESIGN VALUE OF 0.012. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATIONS FOR ADS N-12 ST IB PIPE FOUND IN THE ADS, INC. HAND BOOK, LATEST EDITION.
 - IF USING HDPE PERFORATED PIPE FOR SUBSURFACE DRAINAGE AND DETENTION/RETENTION SYSTEMS, THE PERFORATION SHALL MEET THE AASHTO CLASS II STANDARD PERFORATION PATTERN REQUIREMENTS.
 - STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 (WATERTIGHT) UNLESS OTHERWISE INDICATED.
 - CORRUGATED METAL PIPE, WHERE SPECIFICALLY SPECIFIED ON PLAN, SHALL BE TYPE II OF AASHTO M 36 GALVANIZED WITH TYPE 3 JOINTS.
 - CONTRACTOR SHALL ESTABLISH GRADES OF FINISH PAVEMENT TO ENSURE PROPER (POSITIVE) DRAINAGE AND PREVENT PUDDING OF WATER, ESPECIALLY IN PEDESTRIAN WALKWAYS. UNPAVED AREAS OF SITE SHALL ALSO BE GRADED FOR POSITIVE DRAINAGE. CONSULT ENGINEER SHOULD THEIR BE CONFLICTS WITH CRITICAL GRADES SHOWN HEREON.
 - CONTRACTOR SHALL VERIFY ACTUAL FINISH FLOOR ELEVATION AFTER BUILDING SET AND NOTIFY ENGINEER AND PM WITHIN 48 HOURS OF ANY DISCREPANCY.
 - PIPE JOINTS SHALL BE WRAPPED WITH GEOTEXTILE FABRIC (LAPPED 18").

18D MATCH EXISTING PAVEMENT ELEVATIONS
 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL

SHEET NO. **C-04**

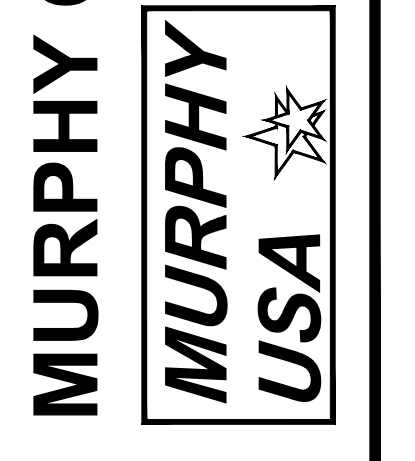


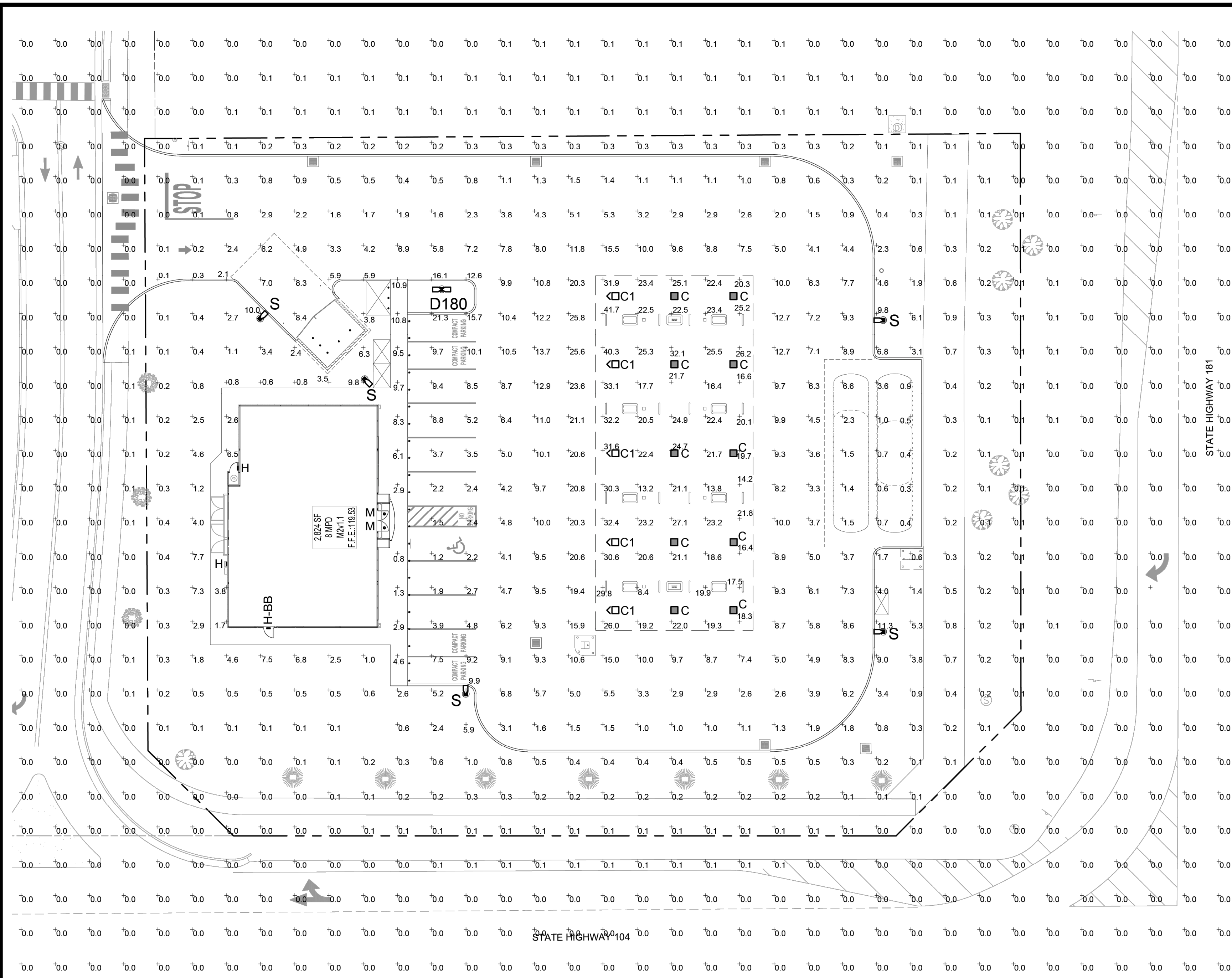
GRADING PLAN
 MURPHY USA (NTI) #8849
 22021 STATE HIGHWAY 181
 FAIRHOPE ALABAMA

CONTACT: WESLEY MILLER
 RAM ENGINEERING, LLC
 P.O. BOX 11696
 ALEXANDRIA, LA 71315
 (318) 206-3838

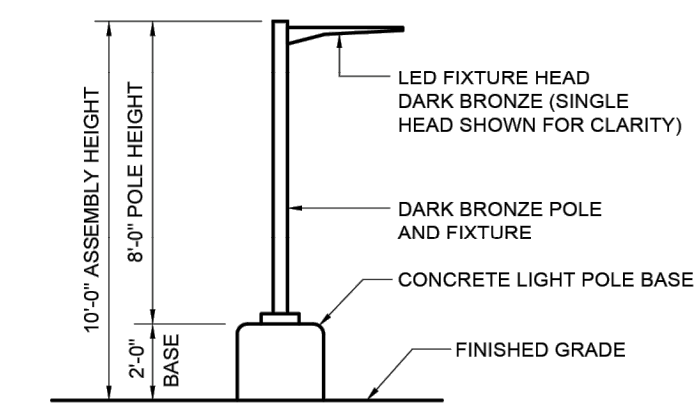


MURPHY OIL USA, INC.
 200 PEACH STREET
 EL DORADO, AR 71730





1 PHOTOMETRIC SITE PLAN
SCALE: 1"=20'-0"



2 AREA LIGHT DETAIL
SCALE: NOT TO SCALE

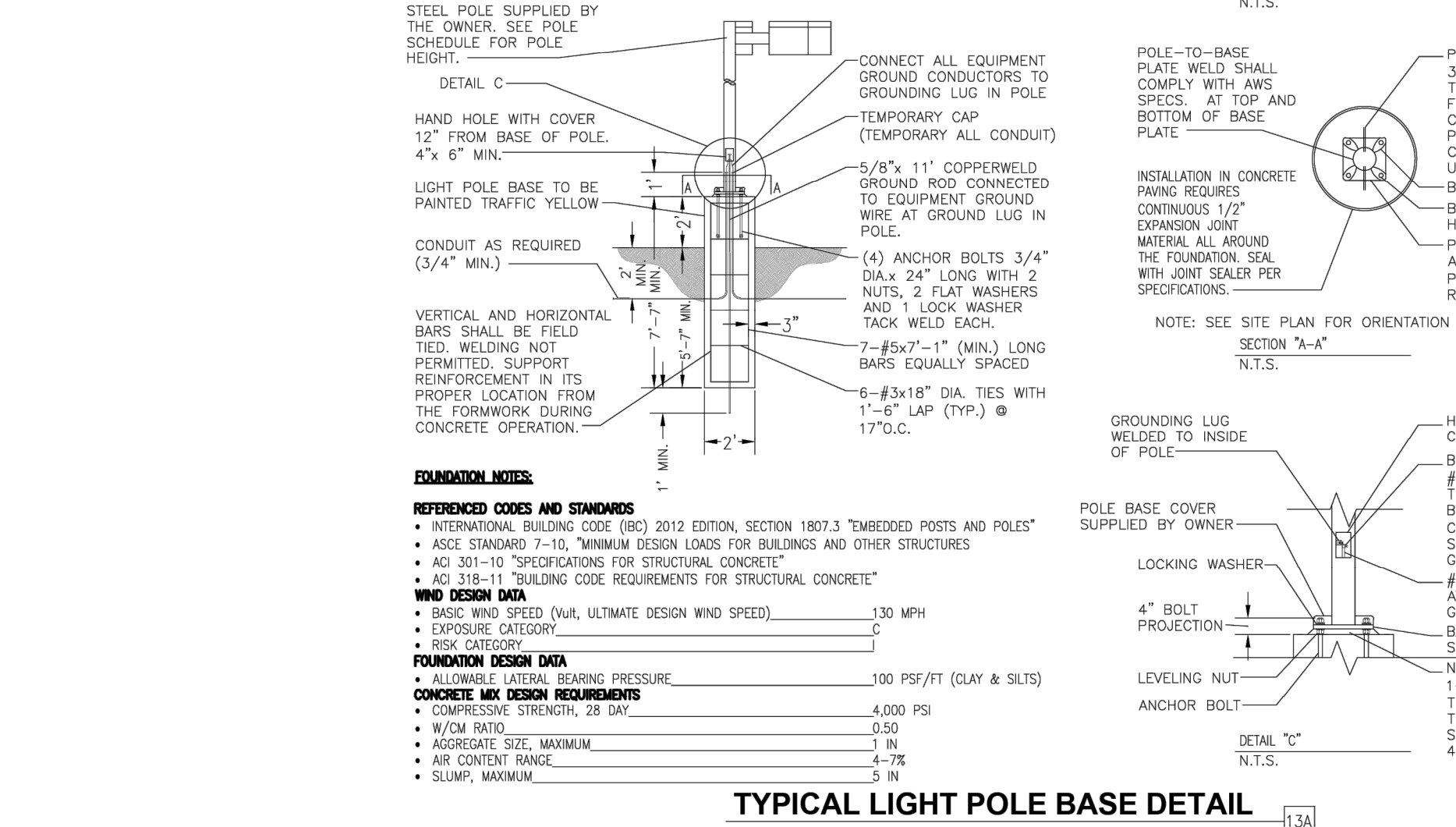
LUMINAIRE CONFIG	SYMBOL	QTY	ASSEMBLY HEIGHT	POLE HEIGHT	LUMENS	TOTAL WATTS	MODEL NUMBER	DESCRIPTION
S	[Symbol]	5	10'-0"	8'-0"	9657	63	SLM-9L-SIL-FT-UNV-50-70-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K 70 CRI, SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW
D180	[Symbol]	1	10'-0"	8'-0"	9657	126	(2) SLM-9L-SIL-FT-UNV-50-70-BRZ	LSI LIGHTING, LEGACY SERIES, LW DRIVER, FLAT LENS CANOPY FIXTURE
C	[Symbol]	10	15'-0"	N/A	11148	64	CRUS-SC-LED-LW-50-UE-WHT	LSI LIGHTING, MIRADA (XWM) WALL MOUNT LUMINAIRE, 5000K CCT, 4000 LUMEN PACKAGE, BRONZE COLOR, H-BB WITH BATTERY BACK-UP
C1	[Symbol]	5	15'-0"	N/A	23269	125	CRUS-SCFT-LED-VHO-50-UE-WHT	LSI LIGHTING, LEGACY SERIES, SCFT DRIVER, FLAT LENS CANOPY FIXTURE
H	[Symbol]	2	8'-3"	N/A	4124	30	XWM 3 LED DAL 50 UE BRZ	LSI LIGHTING, LDC6 DOWN LIGHT LUMINAIRE, 3500K CCT, 2500 LUMENS, WIDE FLOOD HAZE SEMI-DIFFUSED WALL WASH REFLECTOR, WHITE OR EQUIVALENT
H-BB	[Symbol]	1	8'-3"	N/A	4124	30	XWM 3 LED DAL 50 UE BRZ	
M	[Symbol]	2	8'-8"	N/A	2333	22	LCD6LED2SLUNVDM135WF TR6RWHAZEM	

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET ALL ANCHOR BOLTS TO BE ORIENTED IN THE SAME DIRECTION (SQUARE) AT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS. ALL PROPOSED FIXTURES 'S' ARE FULL CUT-OFF, SHIELDED FIXTURES. 'C' INDICATES DIRECTION AT INSTALLATION.

LUMINAIRE CONFIG	SYMBOL	QTY	POLE HEIGHT	MODEL NUMBER	DESCRIPTION
S	[Symbol]	5	8'-0"	45QB3-511G-06-S-BRZ-4BC	LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE
D180	[Symbol]	1	8'-0"	45QB3-511G-06-D180-BRZ-4BC	LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET. POLES RATED TO 130 MPH WIND VELOCITY

FOUNDATION DESIGN DATA	ALLOWABLE LATERAL BEARING PRESSURE	100 PSF/FT (CLAY & SILTS)
CONCRETE MIN DESIGN REQUIREMENTS	COMPRESSIVE STRENGTH, 28 DAY	4,000 PSI
	W/C/R RATIO	0.50
	AGGREGATE SIZE, MAXIMUM	1 IN
	AIR CONTENT RANGE	4-7%
	SLOPE, MAXIMUM	5 IN



TYPICAL LIGHT POLE BASE DETAIL
SCALE: NOT TO SCALE

NOTES:
 1. PLAN/SECTION ON THE INFORMATION PROVIDED. ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.
 2. THE CALCULATED PHOTOMETRIC LEVELS MAY OR MAY NOT MEET CERTAIN STANDARDS OR RECOMMENDED PRACTICES OF IESNA.
 3. THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. LABORATORY TESTS ARE MADE UNDER OPTIMUM CONDITION, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.
 4. ACTUAL ILLUMINANCE LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO): VARIANCE IN LAMP LUMEN OUTPUT; LAMP TILT FACTOR; BALLAST WATTAGE OUTPUT; LINE VOLTAGE AT BALLAST; REFLECTOR SPECULARITY; LAMP LUMEN DEPRECIATION; AND LUMINAIRE DIRT DEPRECIATION.
 5. THE 26'-0" MOUNTING HEIGHT IS THE ACTUAL ASSEMBLY (POLE, BASE, AND FIXTURE) AND MAY DIFFER FROM THE FROM THE LUMINAIRE'S LUMINOUS APERTURE.
 6. THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.

Catalog #: _____ Date: _____ Project: _____
 Prepared By: _____ Date: _____ Type: _____

Slice Medium (SLM)

Outdoor LED Area Light

IP66 IK08

OVERVIEW	
Lumen Package	8,000 - 48,000
Wattage Range	63 - 401
Efficacy Range (LPW)	112 - 156
Weight (lb/box)	30 (33.6)

QUICK LINKS

Ordering Guide Performance Photometrics Dimensions

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in distribution types 2, 3, SW, T.F.T. and AM.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also available in phosphor converted amber with peak intensity at 610nm.
- Minimum CRI of 70
- Integral lower (L) and house-side shield (HS) options available for improved backlight control without sacrificing street side performance. See page 5 for more details.

Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (0% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance on Page 5)
- Total harmonic distortion: <50%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L Lumen packages rated to +40°C.
- Power factor > 90
- Input power stays constant over life.
- Field replaceable surge protection device meets a minimum Category C Low standard. Additional field replaceable surge protection device meets a minimum Category C Low standard. Additional field replaceable surge protection device meets a minimum Category C Low standard.
- Driver is fully enclosed in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.

Installation

- A single fastener secures the hinged door, over-voltage the housing and provides quick and easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional B3 drill pattern. (See drawing on page 9)

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <http://www.lsiindustries.com/resources/terms-and-warranty.aspx> for more information.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant with 3000K color temperature selection.
- Title 24 Compliant: see local ordinance for qualification information.
- IP66 rated Luminaire per IEC 60598-1.
- 3G rated for ANSI C136.3 High vibration applications/applications qualified.
- HCB rated luminaire per IEC 60822 mechanical impact code.
- Design Lights Consortium (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DLC to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)
- LSI's AirLink™ wireless control system offers energy and maintenance costs while optimizing light quality 24/7.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lsiindustry.com
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 SPEC 1033.A.001

MANUFACTURER SPECIFICATION SHEET FOR SITE FIXTURES

Catalog #: _____ Date: _____ Project: _____
 Prepared By: _____ Date: _____ Type: _____

Scottsdale® Legacy (CRUS)

LED Canopy Luminaire

IP66

OVERVIEW	
Lumen Package	8,000 - 22,000
Wattage Range	38 - 152
Efficacy Range (LPW)	114 - 156
Weight (lb/box)	23 (20.4)

QUICK LINKS

Ordering Guide Performance Photometrics Dimensions

FEATURES & SPECIFICATIONS

Construction

- Features a ultra-slim 1/16" profile die-cast housing, with flat clear or diffused tempered glass lens. Unit is water-resistant, sealed and IP66 rated. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.
- Standard color is white and is finished with LSI's DuraGrip® polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.
- Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

Optical System

- Features an array of select, mid-power, high brightness, high efficiency LED, 3000K, 4000K, 5000K color temperature, 80 CRI (nominal).
- Choice of symmetric or asymmetric distribution pattern. Optional asymmetric with diffuser lens also available.
- Forward Throw distribution provides an industry leading unique distribution pattern that illuminates the area under the canopy and beyond. The forward through optic directs the light to the exterior from the gas canopy eliminating the need for supplemental floodlights and fence post lighting.
- Diffuse lens available as an option to soften brightness of the luminaire.
- 6 Lumen Packages: 8,000, 8,000, 8,000, 10,000, 13,000, 18,000 and 22,000 Lumens.

Electrical

- High performance factory programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection with integral 60V surge protection that meets IEEE C62.41.2 and ANSI C62.77-5 Location Category C Low standard. Additional field replaceable surge protection device meets a minimum Category C Low standard. Additional field replaceable surge protection device meets a minimum Category C Low standard.
- Driver components are fully enclosed in potting for moisture resistance. Complies with IEC and FCC standards. 0-10 V dimming supplied standard with all drive currents.
- Die-cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry. Support easy "knock-out" connection of primary wiring and acts as the primary heat sink for the driver.
- Universal voltage power supply, 120-277 VAC, 50/60 Hz and 347-480 VAC, 50/60 Hz input.
- 40°C to 55°C (-40°F to 131°F) ambient operating temperature. (Varies based on lumen package and mounting style see performance data for specifics.)
- Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location (see performance data for specifics.)

Hazardous Location

- Designed for lighter than air fuel applications. Product is suitable for Class 1 Divisions 2 only when properly installed per LSI installation instructions. See lsiindustry.com for specific guidance. Not available on SLM.

Installation

- One-person installation.
- Installs in a 2" or 3" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/EVCTA without fatigue and failure.
- Retro panels are available for existing Encore as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

Warranty

- LSI LED luminaires carry a 5-year warranty (extended warranty for LSI retropanels for extended warranty options).

Listings

- UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.
- Design Lights Consortium (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DLC to confirm which versions are qualified.
- Meets Buy American Act requirements.
- IDA compliant with 3000K or lower color temperature.

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Page 1/8 Rev. 08/21/23
 SPEC 1033.B.002

MANUFACTURER SPECIFICATION SHEET FOR CANOPY FIXTURE

DESIGNED BY: JMC DATE: 6/08/2026
 DRAWN BY: JMC
 REVISION NO. 1 REVISE PER COMMENTS

Galloway
 5500 Greenwood Plaza Blvd. Suite 200
 Greenwood Village, CO 80111
 303.770.8884
 GallowayUS.com

MURPHY USA

MURPHY USA
FAIRHOPE, ALABAMA
 Highway 104 & Highway 108

Project No: MOC901220
 Sheet Scale: 1"=20'-0"

Date: April, 2026
 Drawn File: Photometric-Fairhope, AL (New 104) #8949

PHOTOMETRIC SITE PLAN

L-1.0

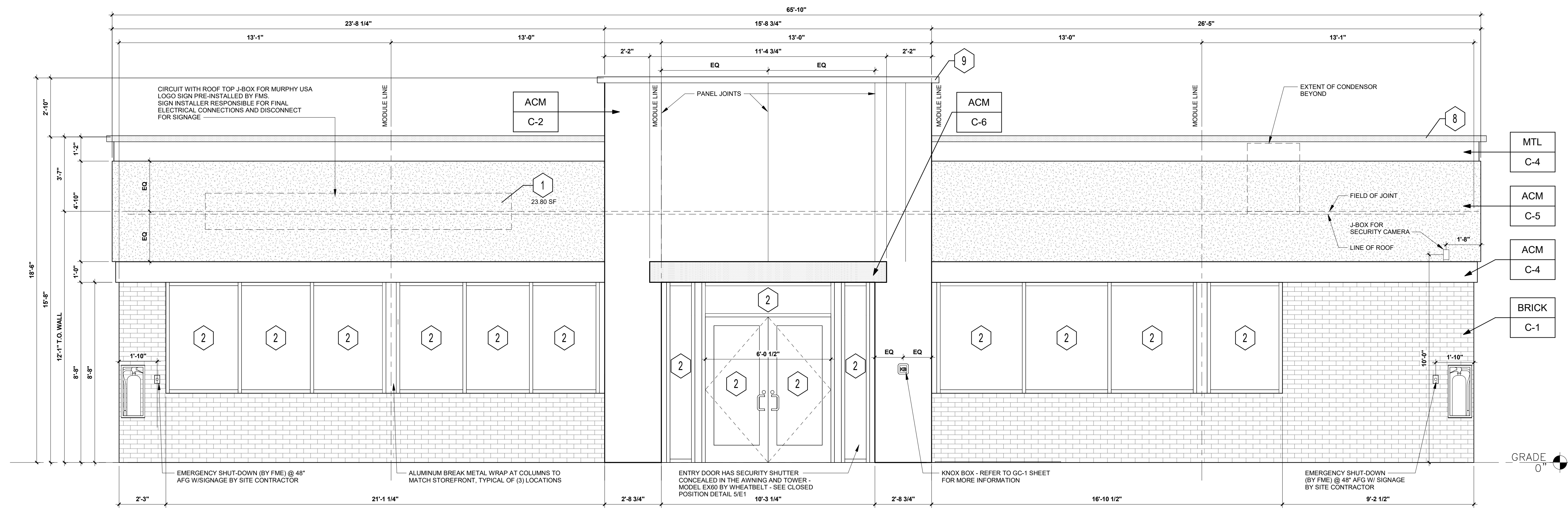
Page 61 of 120



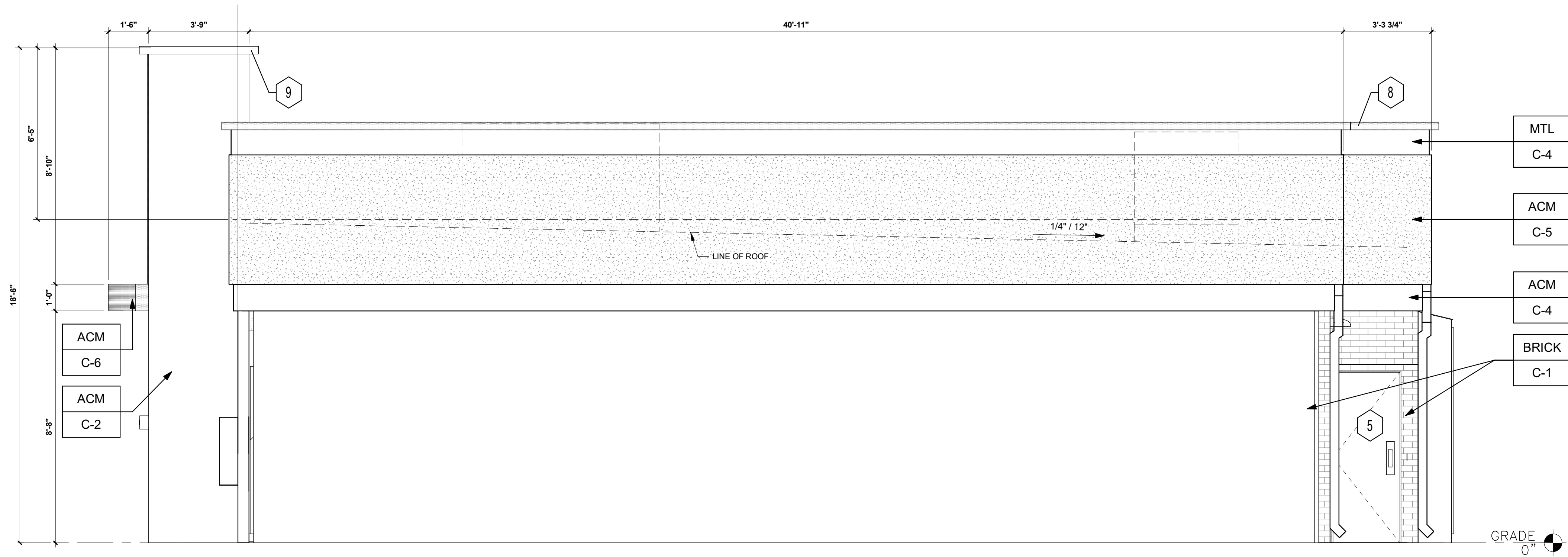
www.greenbergfarrow.com
251 West 30th Street
10th Floor
New York, New York 10001
t: 917.689.2729

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ISSUE RECORD	
DATE	REV. DESCRIPTION
04/22/2026	ENTITLEMENT SET



1 FRONT ELEVATION (FACING EAST)
3/8" = 1'-0"



2 RIGHT ELEVATION (FACING SOUTH)
3/8" = 1'-0"

- KEYED NOTES:**
- 1 CHANNEL LETTER LOGO SIGNAGE ————— BY SIGN CONTRACTOR
 - 2 BLACK ANODIZED ALUMINUM STOREFRONT SYSTEM ————— C-7
KAWNEER, YKK OR EQUAL
 - 3 EXTERIOR LIGHTING, REFER TO LIGHTING PLAN ————— SHEET EL2
 - 4 3" x 4" PAINTED METAL DOWNSPOUTS ————— C-3
 - 5 DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED ————— C-3
 - 6 OMITTED
 - 7 MURPHY STAR LOGO SIGNAGE ————— BY SIGN CONTRACTOR
 - 8 LIGHT FIXTURE - LSI ARCHER ————— C-6
 - 9 LIGHT FIXTURE - LSI ARCHER ————— C-2

- EXTERIOR FINISHES:**
- ACM ACM (3MM THICKNESS) ————— BY FMS
 - BRICK THIN BRICK ————— BY FMS
 - MTL 20 GA. SHEET METAL (UNLESS NOTED OTHERWISE) ————— BY FMS

- EXTERIOR PAINT/COLORS:**
- C-1 THIN BRICK VENEER - 'BLACK ONYX' WIRE-CUT ————— BY FMS
BY TAYLOR CLAY w/ 'ULTRA DARK' GROUT BY HOLCIM
 - C-2 REYNBOND 'PURE WHITE' BY ARCONIC ————— BY FMS
 - C-3 'TRICORN BLACK' SW #6258 ————— BY FMS
 - C-4 REYNBOND 'CADET GREY' BY ARCONIC ————— BY FMS
 - C-5 REYNBOND 'MIDNIGHT BLUE' BY ARCONIC ————— BY FMS
 - C-6 REYNBOND 'PROGRAM RED' BY ARCONIC ————— BY FMS
 - C-7 BLACK ANODIZED ALUMINUM STOREFRONT ————— BY FMS

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE

SCOTT LOIKITS

PROJECT MANAGER

MICHAEL SARKA

QUALITY CONTROL

CHRIS CERBO

DRAWN BY

JILL DE LA LIZ

PROJECT NAME

MURPHY USA

MURPHY OIL CONVENIENCE STORE

HWY 181 & HWY 104,
FAIRHOPE, AL,
36532

FREY MOSS STRUCTURE

1801 Rockdale Industrial Blvd.
Conyers, Georgia 30012

1142 Willow Run Road
Greensboro, Georgia 30642
Voice: (800) 365-6365
Fax: (770) 483-6037

FMS JOB NUMBER
G26MUXXXXX
FMS MODEL NUMBER
XXXXXX

PROJECT NUMBER
20250057.5

SHEET TITLE
ARCHITECTURAL ELEVATIONS (BUILDING)

SHEET NUMBER
A-1

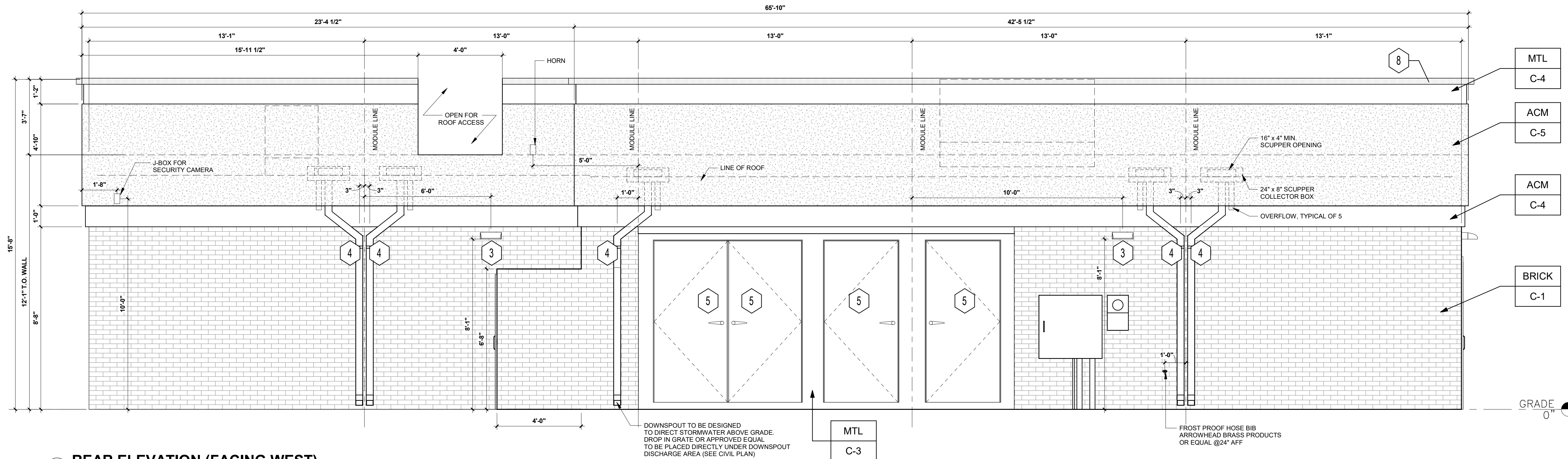
PROTO V1.1 04/15/2026
2800 SF M2 DESIGN BLDG.



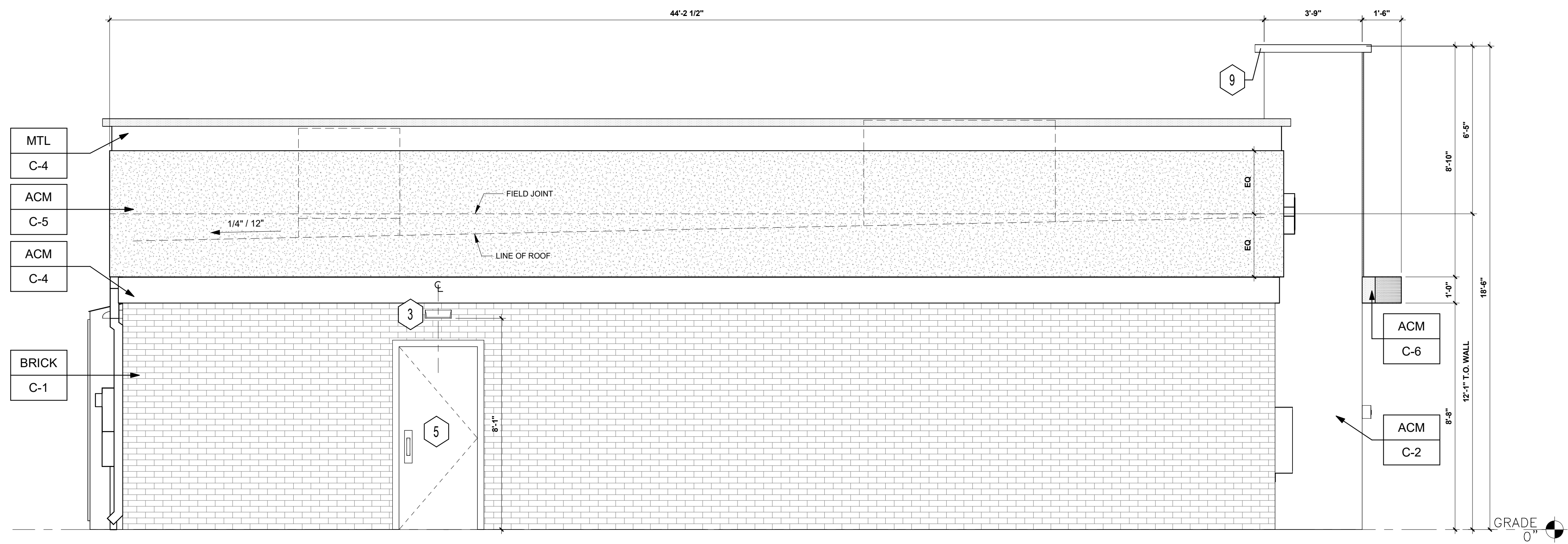
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ISSUE RECORD	
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04/22/2026	ENTITLEMENT SET



1 REAR ELEVATION (FACING WEST)
3/8" = 1'-0"



2 LEFT ELEVATION (FACING NORTH)
3/8" = 1'-0"

- KEYED NOTES:**
- 1 CHANNEL LETTER LOGO SIGNAGE ————— BY SIGN CONTRACTOR
 - 2 BLACK ANODIZED ALUMINUM STOREFRONT SYSTEM ————— C-7
KAWNEER, YKK OR EQUAL
 - 3 EXTERIOR LIGHTING, REFER TO LIGHTING PLAN ————— SHEET EL2
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 - C-3 'TRICORN BLACK' SW #6258 ————— BY FMS
 - C-4 REYNOBOND 'CADET GREY' BY ARCONIC ————— BY FMS
 - C-5 REYNOBOND 'MIDNIGHT BLUE' BY ARCONIC ————— BY FMS
 - C-6 REYNOBOND 'PROGRAM RED' BY ARCONIC ————— BY FMS
 - C-7 BLACK ANODIZED ALUMINUM STOREFRONT ————— BY FMS

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
SCOTT LOKITS

PROJECT MANAGER
MICHAEL SARKA

QUALITY CONTROL
CHRIS CERBO

DRAWN BY
JILL DE LA LUZ

PROJECT NAME



MURPHY OIL CONVENIENCE STORE
HWY 181 & HWY 104,
FAIRHOPE, AL,
36532



1801 Rockdale Industrial Blvd.
Conyers, Georgia 30012

1142 Willow Run Road
Greensboro, Georgia 30642
Voice: (800) 385-6385
Fax: (770) 483-6037

FMS JOB NUMBER
G26MLUXXXX
FMS MODEL NUMBER
XXXXXX

PROJECT NUMBER
20250057.5

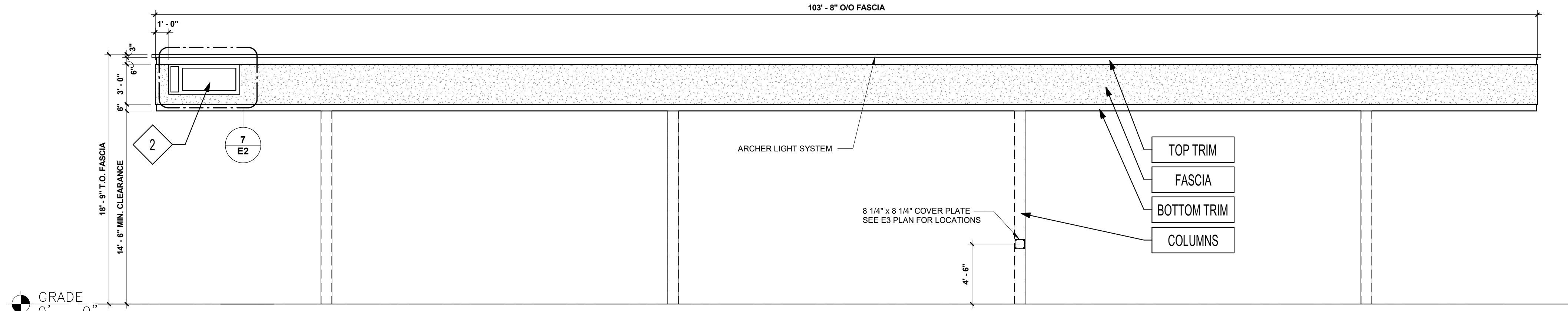
SHEET TITLE

ARCHITECTURAL ELEVATIONS (BUILDING)

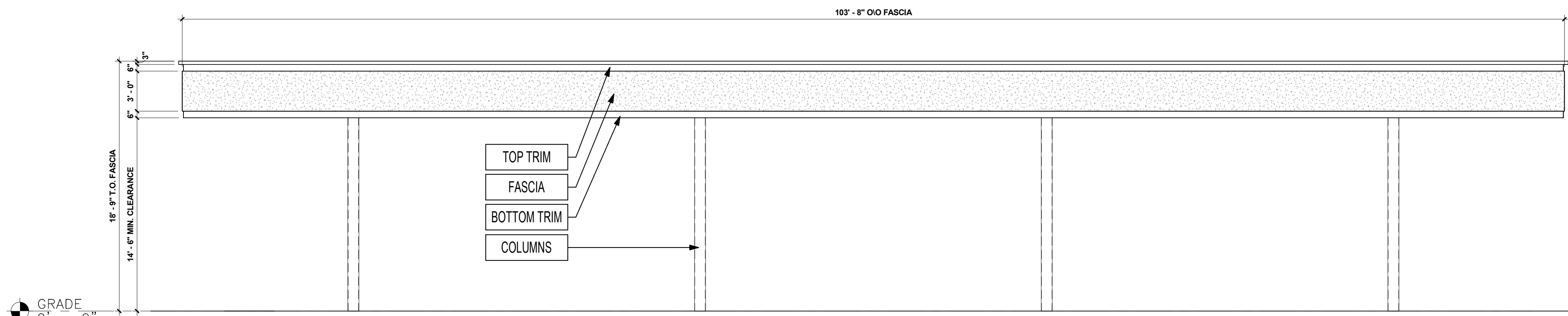
SHEET NUMBER

A-2

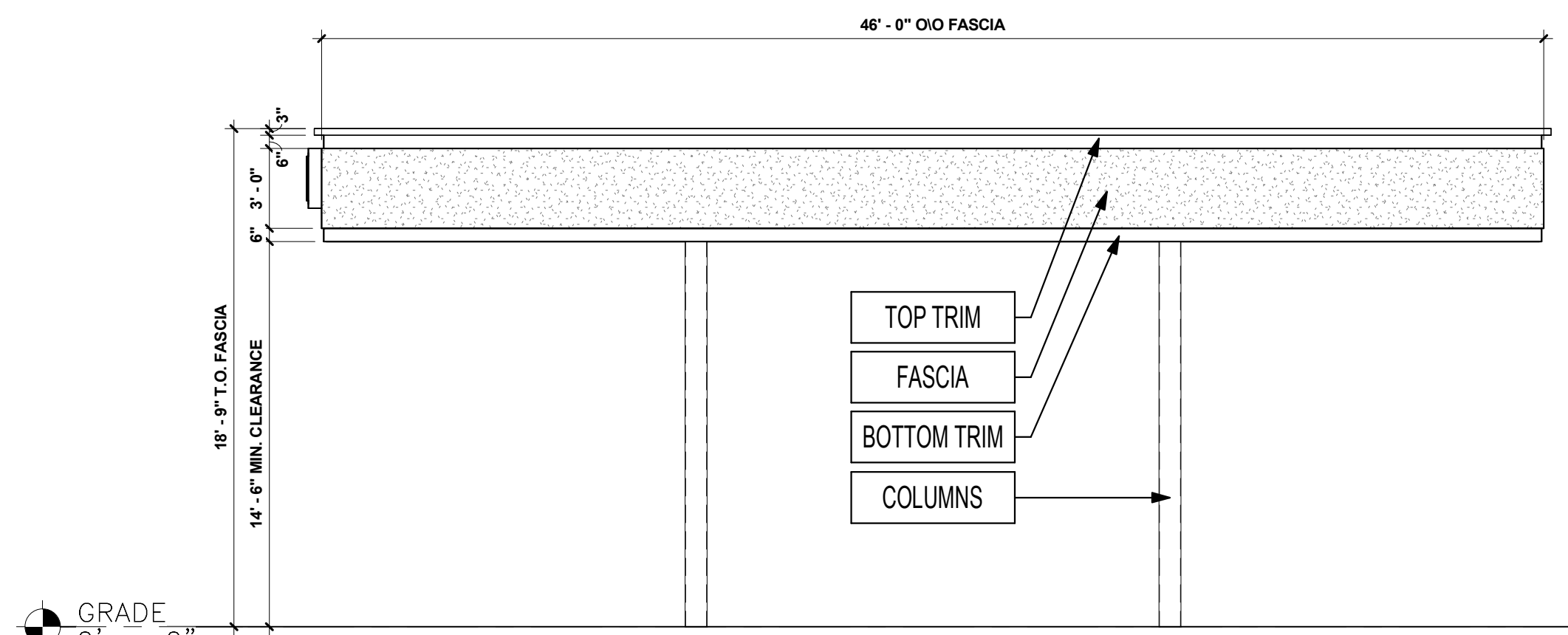
PROTO V1.1 04/15/2026
2800 SF M2 DESIGN BLDG.



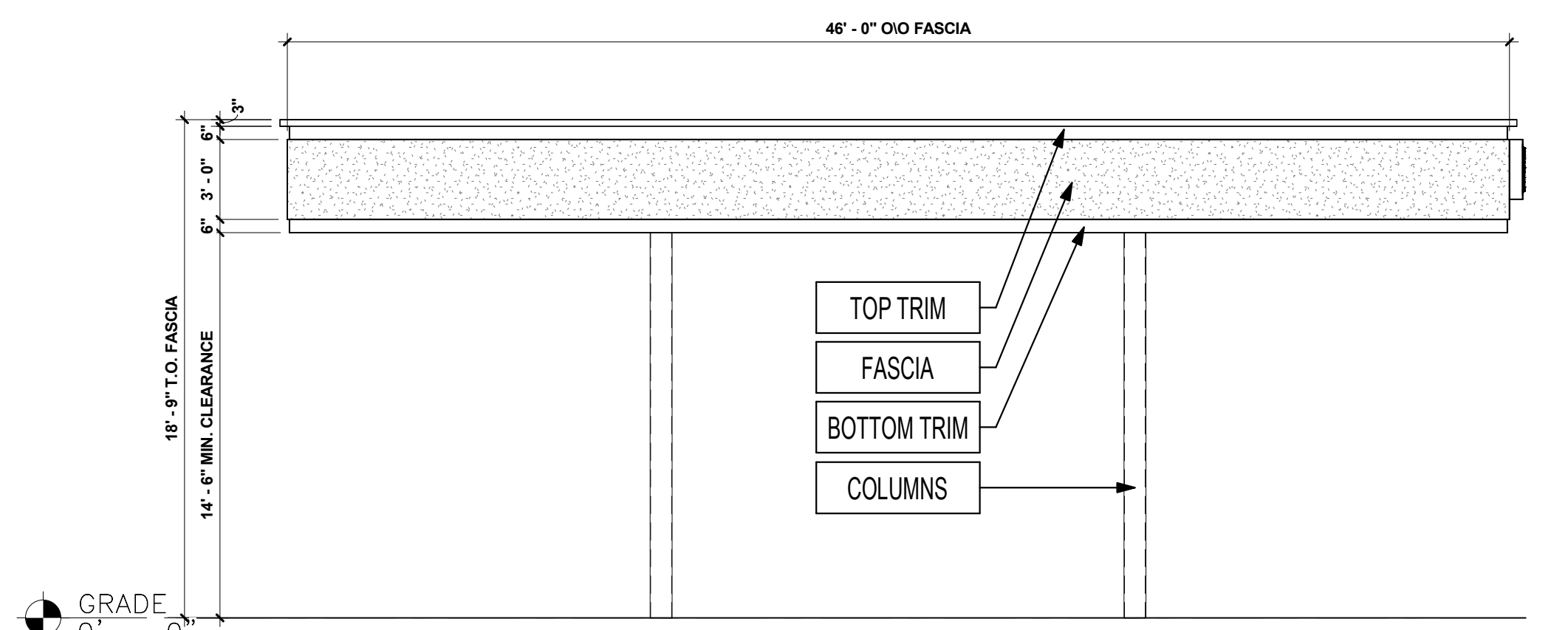
1 FRONT ELEVATION (EAST)
3/16" = 1'-0"



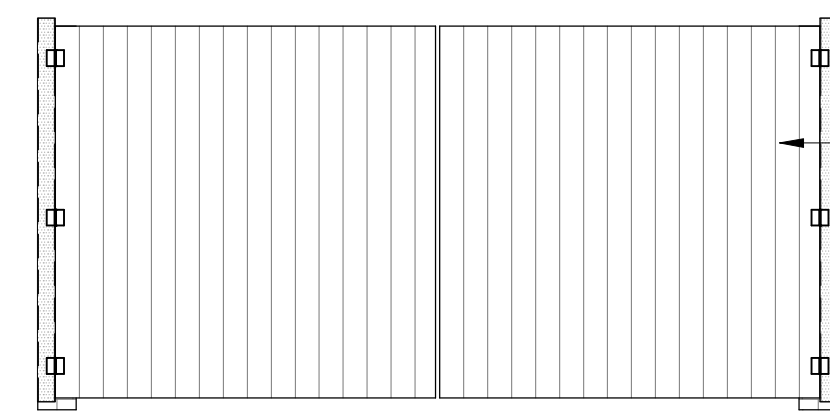
2 REAR ELEVATION (WEST)
3/16" = 1'-0"



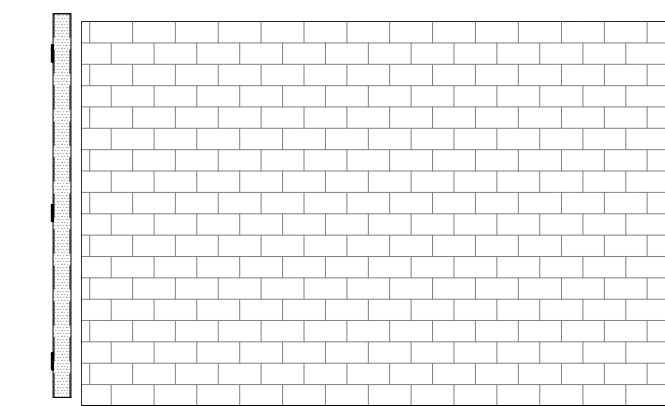
3 RIGHT ELEVATION (SOUTH)
3/16" = 1'-0"



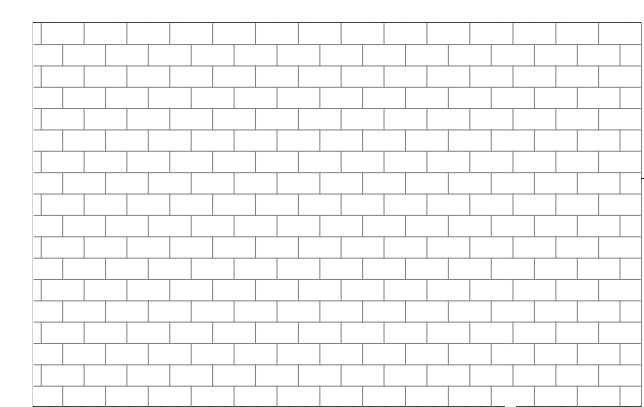
4 LEFT ELEVATION (NORTH)
3/16" = 1'-0"



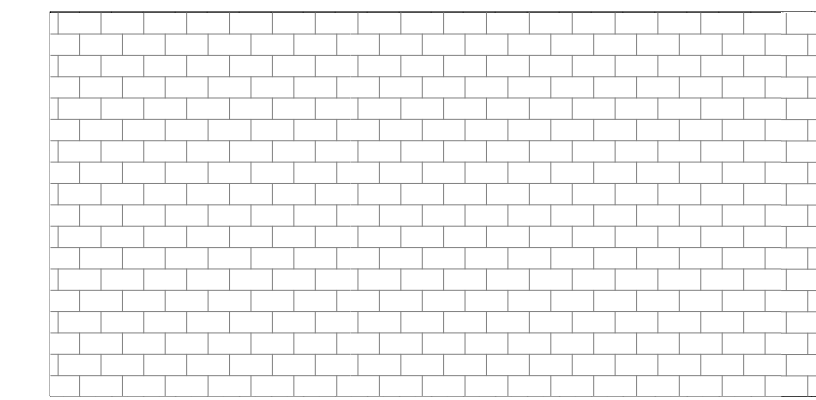
5 DUMPSTER ENCLOSER -FRONT ELEV
1/4" = 1'-0"



6 DUMPSTER ENCLOSER -RIGHT ELEV
1/4" = 1'-0"



8 DUMPSTER ENCLOSER -LEFT ELEV
1/4" = 1'-0"



7 DUMPSTER ENCLOSER -REAR ELEV
1/4" = 1'-0"

COMPOSITE FENCE GATES BY 'ULTRADECK', 'FIBERON', 'VERANDA' OR APPROVED EQUAL, SUPPLIED AND INSTALLED BY GC. GATE PLANKS COLOR TO BE INTEGRAL AND NOT PAINTED. COLOR TO MATCH 'TRICORN BLACK' SW #6258

8'-0" HIGH ENCLOSURE - CMU BLOCK, COLOR TO MATCH 'TRICORN BLACK' SW #6258 (SUPPLIED AND INSTALLED BY GC)

8'-0" HIGH ENCLOSURE - CMU BLOCK, COLOR TO MATCH 'TRICORN BLACK' SW #6258 (SUPPLIED AND INSTALLED BY GC)

8'-0" HIGH ENCLOSURE - CMU BLOCK, COLOR TO MATCH 'TRICORN BLACK' SW #6258 (SUPPLIED AND INSTALLED BY GC)

KEYED NOTES

- 1 OMITTED
- 2 CANOPY PRICE SIGNS FURNISHED AND INSTALLED BY OTHERS IN THE FIELD. CANOPY DESIGNED TO SUPPORT SIGNAGE AT ALL CORNERS

FINISH SCHEDULE

ITEM	FINISH	APPLICATOR	NOTES
FASCIA	ACM (ALUMINUM COMPOSITE MATERIAL)	REYNOBOND 'MIDNIGHT BLUE' BY ARCONIC	FURNISHED & INSTALLED BY FABRICATOR
TOP TRIM	20 GA. SHEET METAL	REYNOBOND 'CADET GREY' BY ARCONIC	FURNISHED & INSTALLED BY FABRICATOR
BOTTOM TRIM	20 GA. SHEET METAL	REYNOBOND 'CADET GREY' BY ARCONIC	FURNISHED & INSTALLED BY FABRICATOR
COLUMNS	SEE STRUCTURAL DRAWINGS	PAINTED 'PEPPERCORN' SW #7674	FURNISHED & INSTALLED BY FABRICATOR PAINTED BY SITE CONTRACTOR IN FIELD
		(1) SHOP COAT OF RUST INHIBITIVE PRIMER	FURNISHED & INSTALLED BY FABRICATOR

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
SCOTT LOKITS

PROJECT MANAGER
MICHAEL SARKA

QUALITY CONTROL
CHRIS CERBO

DRAWN BY
JILL DE LA LUZ

PROJECT NAME



MURPHY OIL FUEL FACILITY CANOPY

HWY 181 & HWY 104,
FAIRHOPE, AL,
36532

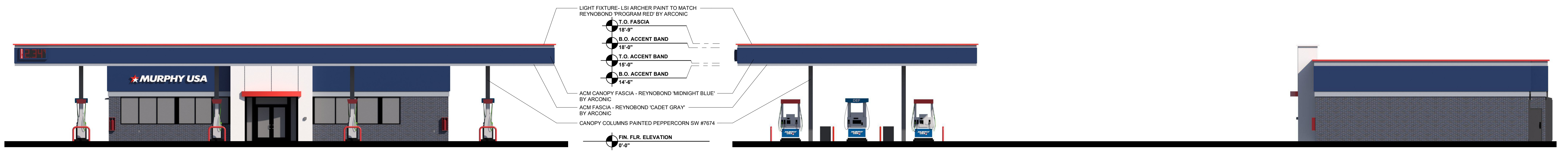
PROJECT NUMBER
20250057.5

SHEET TITLE

ARCHITECTURAL ELEVATIONS (CANOPY & DUMPSTER ENCLOSURE)

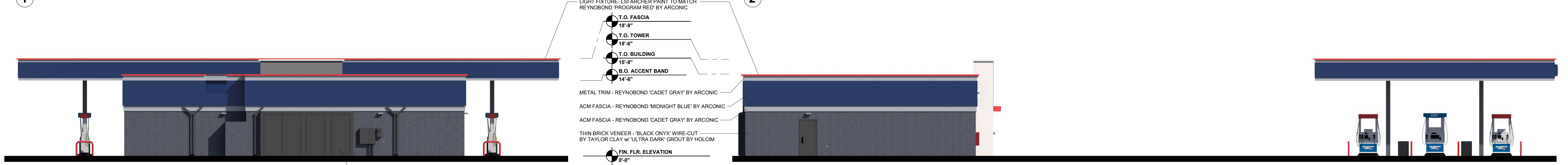
SHEET NUMBER

A-3



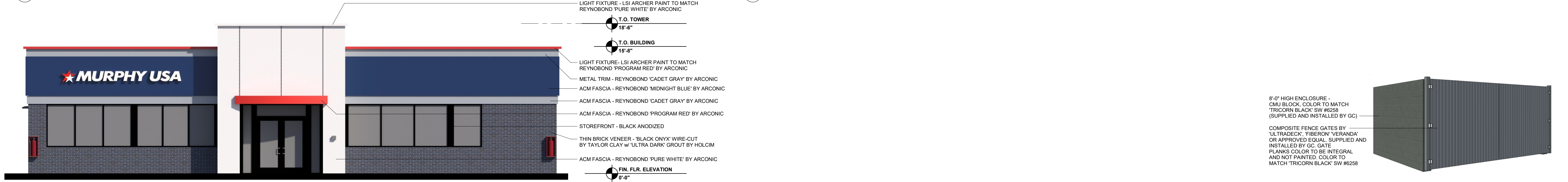
1 ELEVATION - FRONT (FACING EAST)

2 ELEVATION - RIGHT (FACING SOUTH)

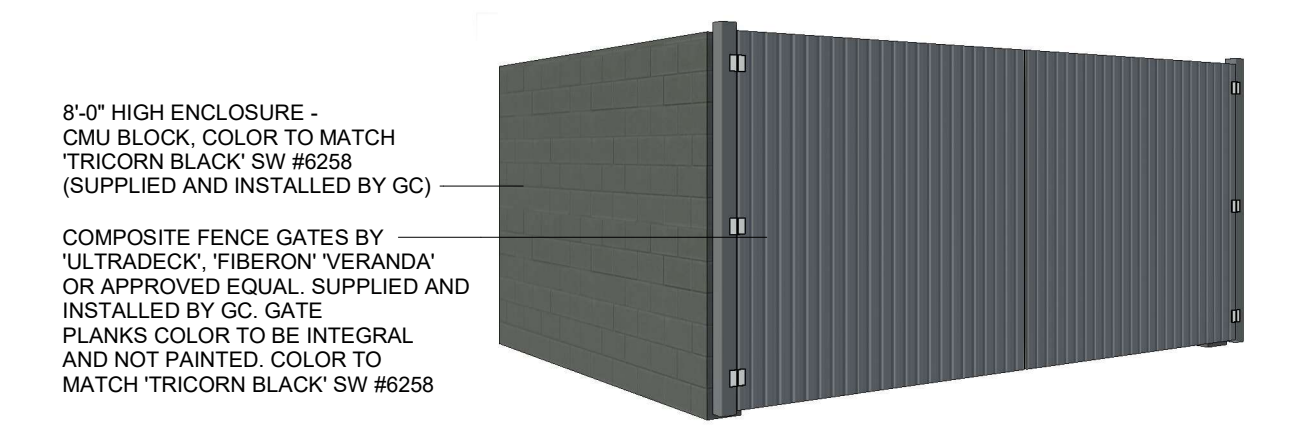


3 ELEVATION - REAR (FACING WEST)

4 ELEVATION - LEFT (FACING NORTH)



5 ELEVATION - FRONT BUILDING ONLY (FACING EAST)



6 TRASH ENCLOSURE



SIGNAGE COLOR CHART			
BUILDING - CHANNEL LETTER SIGNS FURNISHED AND INSTALLED BY THE SIGN VENDOR			
MURPHY USA & STAR LOGO	BLUE	ORACAL 8500 - 005	MIDDLE BLUE
	RED	ORACAL 8500 - 031	RED
	RETURNS	WHITE	
	TRIMCAP	WHITE JEWELLEITE	
CANOPY - PRICE SIGN FURNISHED AND INSTALLED BY THE SIGN VENDOR			
REGULAR	RED	3M 3632-73	
	WHITE	3M 3632-20	
	DIGIT	RED/WHITE	
	CABINET	PMS 295 C BLUE	

BUILDING & CANOPY SIGNS:	QTY.	HEIGHT	WIDTH	AREA S.F.	TOTAL S.F.
MURPHY USA BLDG. CHANNEL LETTER LOGO SIGN	1		GRAPHIC AREA	23.80	23.80
XSMALL CANOPY PRICE SIGN UNL.	1	27.00"	64.00"	12.00	12.00
BUILDING & CANOPY SIGNS TOTAL SIGNAGE :				35.80 S.F.	
TOTAL SIGN AREA :				35.80 S.F.	



MURPHY USA

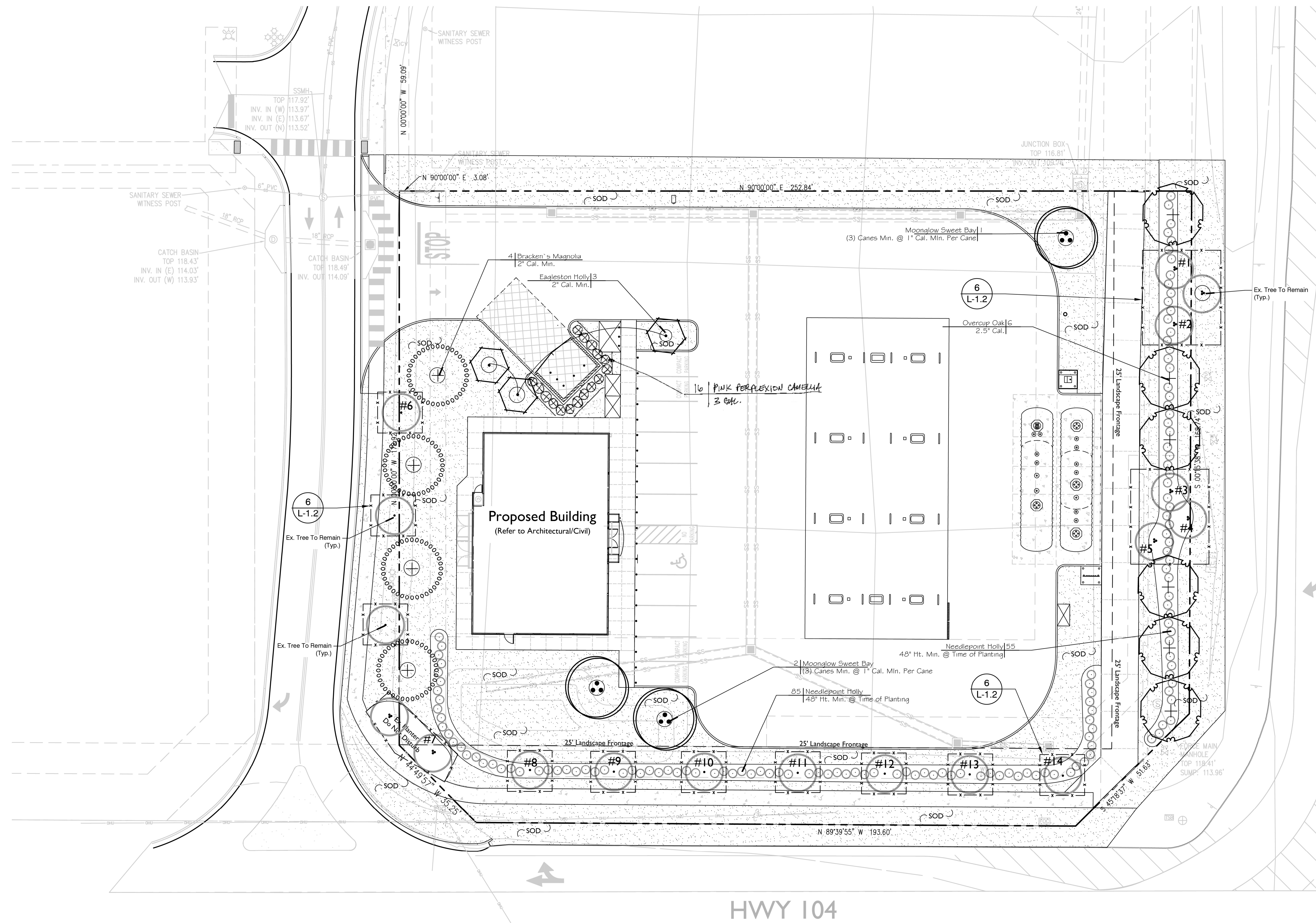
Hwy 104 & 181
Fairhope, AL



ISSUED/REVISED
Permitting 4/20/26
Permitting 6/1/26
Permitting 6/8/26

LANDSCAPE PLAN

DESIGNED BY JC	FILE NAME MURPH181
DRAWN BY JC	SHEET L-1.1
CHECKED BY JC	
PROJECT NO. 2535	
DATE 4/14/26	



HWY 181

HWY 104

- NOTES:
1. BASE SURVEY PROVIDED BY RAM ENGINEERING.
 2. LOCATION OF STRUCTURES, HARDSCAPE, AND EXISTING VEGETATION SHALL BE FIELD VERIFIED.
 3. VERIFY ALL LAYOUT AND DIMENSIONS IN FIELD.
 4. PLANT COUNTS ARE FOR CONVENIENCE ONLY. FIELD VERIFY ACCORDINGLY.
 5. CONTRACTOR IS RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE.
 6. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.
 7. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN DRAWINGS OR FIELD CONDITIONS.
 8. REFER TO ARCH. / CIVIL FOR ALL UTILITIES, GRADING, DRAINAGE, & HARDSCAPE.

TREE NOTES:

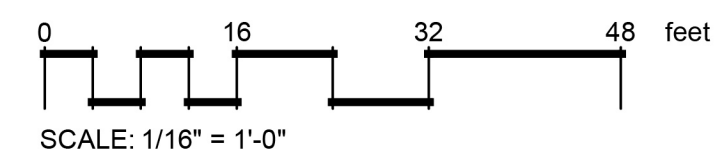
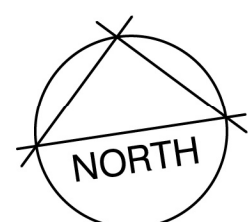
1. The existing (18) trees shown to remain & be protected shall NOT be removed and shall be protected throughout construction in accordance with the City of Fairhope Trees and Landscaping Ordinance.

PLANTING NOTE:

1. The required area between vehicular use area and public right-of-way shall be planted with a solid unbroken visual screen at least forty-eight (48) inches in height at time of planting.

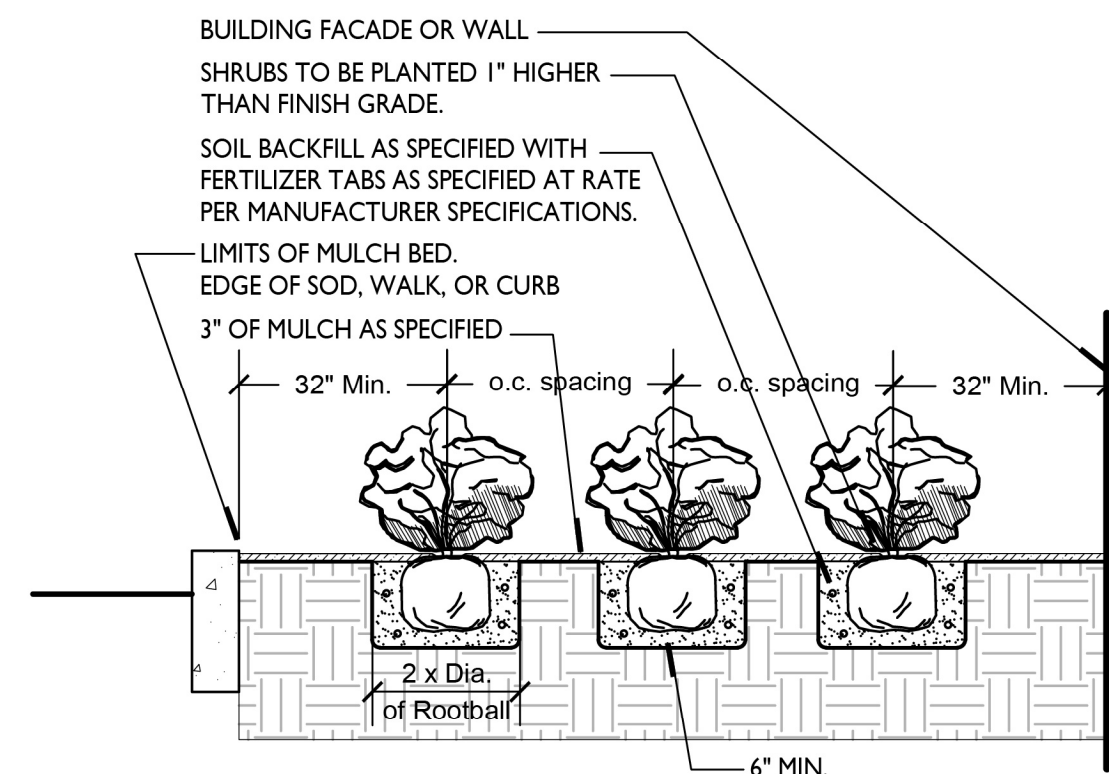
NOTES:

1. All areas disturbed by construction shall be sodded or mulched unless otherwise noted. (Typ.)
2. NO WORK SHALL BE PERFORMED WITH IN THE CITY RIGHT OF WAY WITHOUT WRITTEN PERMISSION FROM THE GOVERNING AUTHORITY.
3. See sheet L-1.2 for details & schedule.
4. Refer to Civil / Architectural drawings for all grading, drainage, utilities, hardscape, & structures.

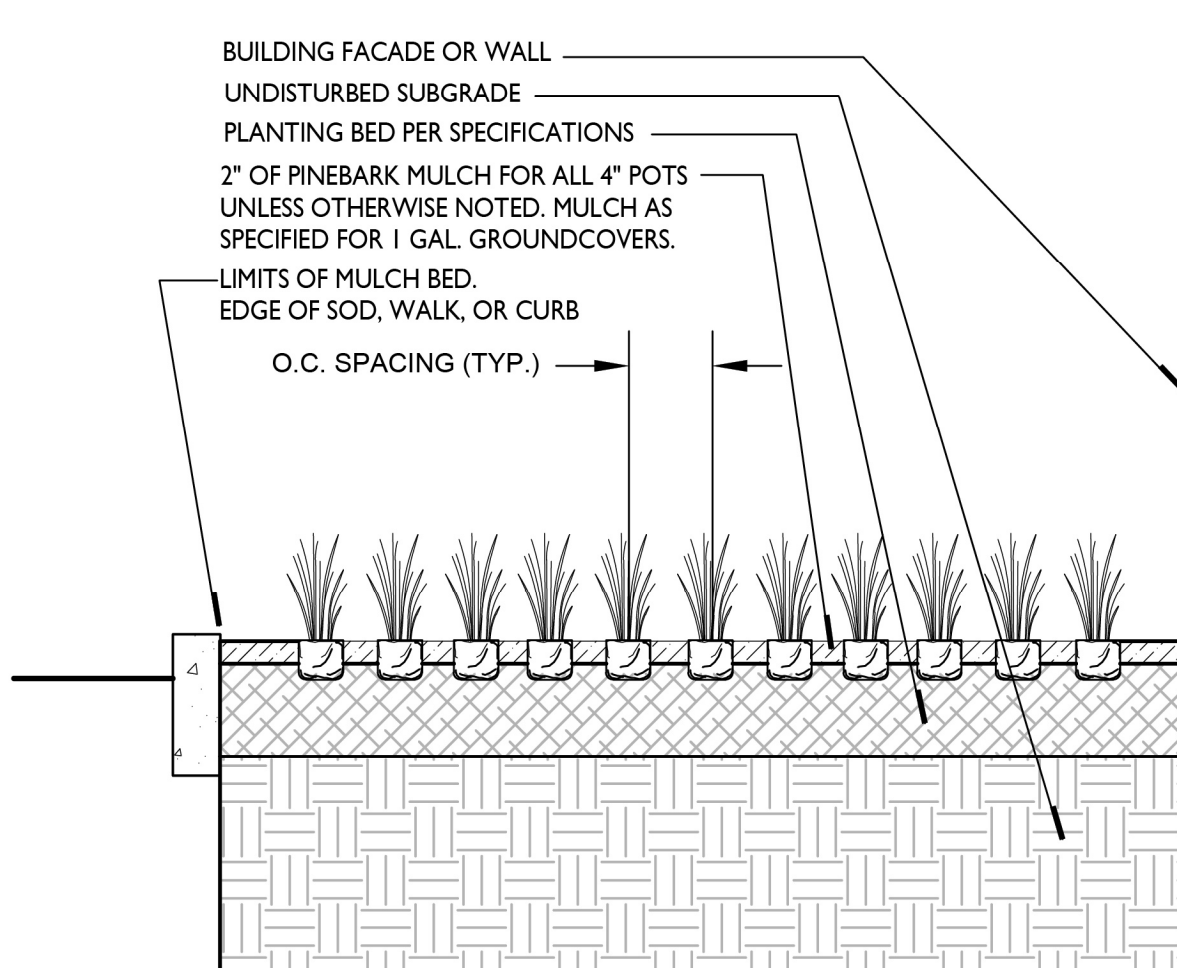


LANDSCAPE NOTES:

- This section covers furnishing and installing all landscape plants and non-plant materials covered by the drawings and these specifications. The work shall include materials, labor, equipment and services as described herein and indicated on the drawings. Also, the work shall include the maintenance of all plants and planting areas until acceptance by the Owner, and fulfillment of all guarantee provisions as herein specified.
- Before beginning work, the contractor shall thoroughly acquaint himself with the existing site conditions and proposed plans. The intent is to provide a smooth transition between existing conditions that are to remain and the new site features with minimal damage to existing trees and vegetation.
- Contractor is made aware of active existing underground utilities. It is the contractor's responsibility to familiarize himself with the location of said utilities and other obstructions. The contractor shall investigate and verify, in the field, the existence and location of all utilities and any existing irrigation piping, and take necessary precautions to prevent their disturbance and avoid interruption of service. Contractor is responsible for calling appropriate line location service. All damaged utilities shall be replaced to owners satisfaction by contractor with no additional charge to owner.
- Discrepancies between site conditions and conditions on plans shall be call to the attention of the Owner immediately.
- Existing grades shall be verified in field prior to beginning any work. Discrepancies shall be brought to the landscape architects attention immediately. Landscape contractor to provide fine grading to ensure positive drainage.
- The landscape architect shall have the right to reject any and all work and/or materials at any stage of progress which in his opinion do not meet the requirements of these plans and specifications. Such rejected material shall be removed from the site immediately and replaced with acceptable materials.
- Landscape contractor is responsible for obtaining all state and local permits and licenses required to perform this work.
- Landscape contractor shall abide by all state and local laws and ordinances. Contractor shall also conform to POA or ARB guidelines if applicable.
- All work shall comply with the current edition of the Standard Building Code published by the Southern Building Code Congress International, Inc.
- Topsoil shall be sandy/loam natural, friable, and fertile with a PH of 5.5 to 6.5. Topsoil shall be free from roots, stones, debris, noxious weeds, or any substance harmful to plant growth. Quality of Topsoil to be approved by Landscape Architect.
- Once delivered to the site, the contractor is responsible for the protection, including theft, of all materials.
- The landscape plan is to serve as a guide for installation. Field adjustment and changes to layout may be made by Landscape Architect.
- Contractor shall layout all plant material per planting plans and schedule a site meeting with landscape architect for approval with a minimum of 48 hours notice.
- Quantities shown on plant list are for convenience only.
- All groundcover & flower beds shall receive 3" minimum of planting mix consisting of decomposed pinebark or mushroom compost and blended into the top 6" of existing soil. Rake beds smooth and top dress with 2" min. of ground pinebark prior to planting.
- All tree and shrub planting pits shall be backfilled with 75% excavated soil & 25% planting mix consisting of decomposed pinebark or mushroom compost.
- All trees shrubs and groundcovers shall be planted with Woodace fertilizer tabs at rates per manufactures recommendations. All planting beds shall also be top dressed with a slow release Osmocote fertilizer or equal per manufactures recommendations prior to mulching.
- All beds shall receive Freehand pre-emergent herbicide or equal.
- Unless otherwise noted, all beds shall receive 3" compacted depth of fresh Long Leaf pine straw free from sticks and pine cones. Groundcover areas with 4" plants or plugs shall be mulched with pulverized pinebark mulch unless otherwise noted.
- All bed lines shall have 3" V-Shaped trenches. See detail.
- All plant material shall meet or exceed federal, state, and county laws requiring inspection for plant disease and insect control.
- All plant material shall be Florida #1 or better and meet the latest standards of the "American Standards for Nursery Stock".
- All trees shall be staked with arbor guy (or equal) tree stakes per manufactures recommendations.
- All disturbed areas shall be irrigated and sodded.
- Contractor shall maintain all plantings and lawn areas until final acceptance by owner and landscape architect. Unless specified otherwise, maintenance includes mowing, edging, weeding, blowing, pruning, watering, mulching, etc.
- Brown or defoliated plants shall be removed and replaced immediately.
- All materials and workmanship for landscape and irrigation shall be guaranteed for a minimum of one year from final acceptance.
- No work shall be performed in any R.O.W. without approval by the appropriate Federal, State, County, or City authority.

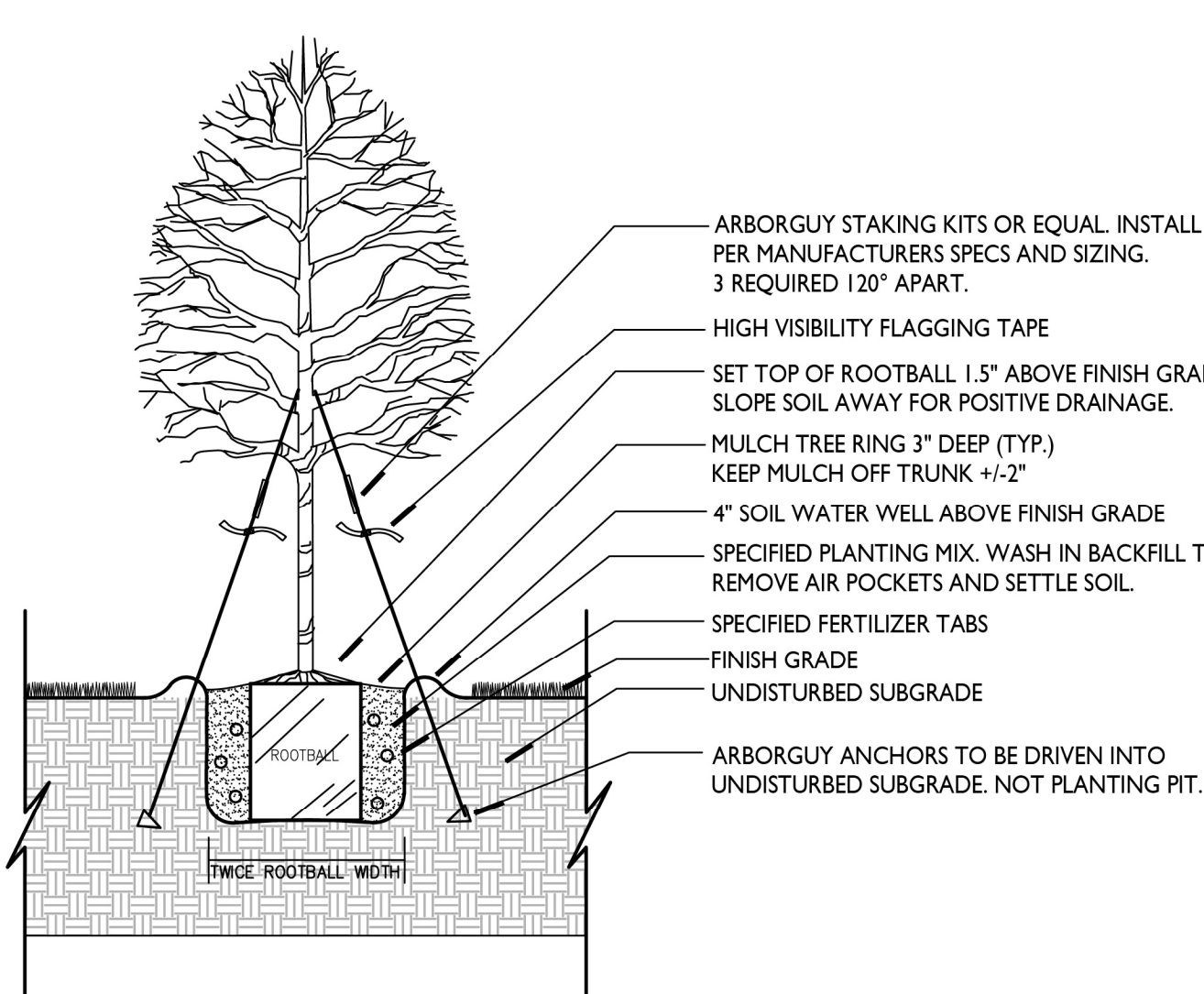


3 SHRUB PLANTING DETAIL
N.T.S. LA-02

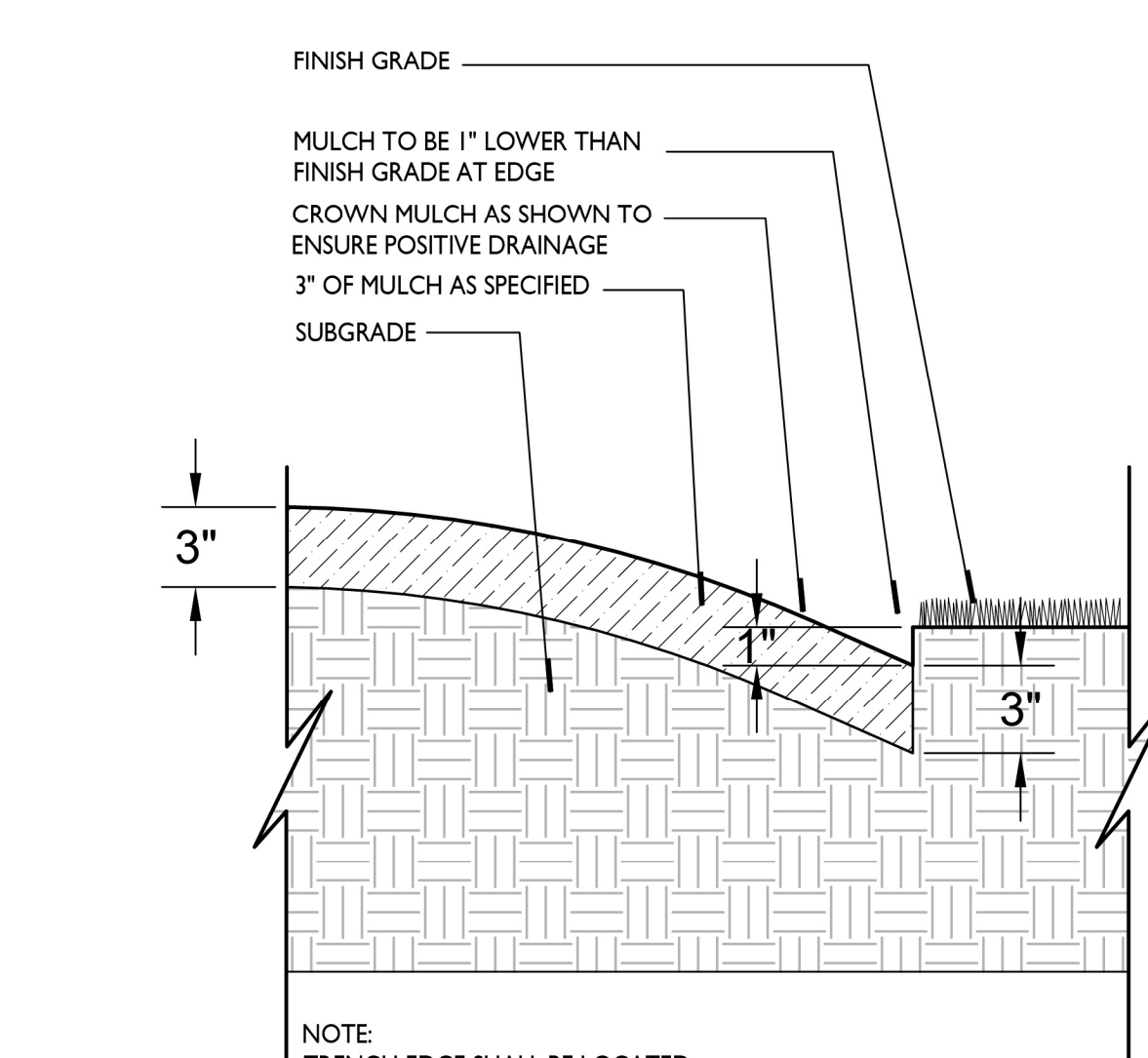


4 GROUNDCOVER PLANTING DETAIL
N.T.S. LA-03

1 LANDSCAPE NOTES
NTS LA-16



2 TREE PLANTING
N.T.S. LA-01



5 TRENCH BED EDGE
N.T.S. LA-04

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPECS	DETAIL	REMARKS
CITY REQUIRED TREES									
IE2		3	Ilex x attenuata 'Eagleston'	Eagleston Holly	2" Cal. Min.	8' Ht. Min.	30 Gal.		Single Trunk, Tree Form, No B&B. Trees Shall Meet Size Specifications Regardless of Container Size. Approve photo with LA.
MB		4	Magnolia grandiflora 'Brackens Brown Beauty'	Bracken's Magnolia	2" Cal. Min.	10' Ht. Min.	45 Gal.		Full To Ground. NO B&B. Trees Shall Meet Size Specifications Regardless of Container Size. Approve photo with LA.
MS		3	Magnolia virginiana 'Jim Wilson'	Moonglow Sweet Bay	(3) Canes Min. @ 1" Cal. Min. Per Cane	10' Ht. Min.	30 Gal.		Multi. Trunk, Tree Form, No B&B. Trees Shall Meet Size Specifications Regardless of Container Size.
QL		6	Quercus lyrata	Overcup Oak	2.5" Cal.	10' Ht. Min.	30 Gal.		No B&B. Trees Shall Meet Size Specifications Regardless of Container Size.
SHRUBS									
IN		88	Ilex cornuta 'Needlepoint'	Needlepoint Holly	48" Ht. Min. @ Time of Planting				
		16	PINK PERPLEXION CAMELLIA						
GROUND COVERS									
CT		21,693 sf	Cynodon dactylon 'Tif 419'	419 Bermuda Grass sod					Contractor shall field verify quantity.

- NOTES:**
- HARDWOOD MULCH ALL BEDS 4" DEEP. APPROVE MULCH SAMPLE WITH OWNERS REP./LA.
 - APPLY GRANULAR PRE-EMERGENT TO ALL PLANTING BEDS. SEE NOTES.
 - ALL PLANTING BEDS SHALL RECEIVE WEED BARRIER FABRIC.
 - USE WOODACE FERTILIZER TABS IN ALL PLANTING PITS. SEE NOTES.
 - PREP. PLANTING PITS & GROUNDCOVER AREAS WITH PLANTING MIX. SEE NOTES.
 - THIS PLANT LIST IS FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY.
 - SEE LANDSCAPE NOTES.

CITY OF FAIRHOPE LANDSCAPE REQUIREMENTS:

LANDSCAPE AREA REQUIREMENTS:
 Site Area = 51,269 SF x .20(20% Required Landscape) = 10,254 SF -- 16,022 SF Provided
 60% of Landscape Area Required in Frontage - 10,254 x .60 = 6152 SF Required -- 11,934 Provided

PERIMETER REQUIREMENTS:
 Hwy 181 Frontage Feet = 194.55/30' = 6 Trees in First 25' regardless of tree credits.
 Hwy 104 Frontage Feet = 219.41/30' = 7 Trees in First 25' regardless of tree credits.
 Remaining Perimeter Feet = 470/30' = 16 Trees
 Parking Requirements (1 Tree/12 Spaces) = 11 Spaces/12 = 1 Trees

Total Trees Required After Credits = (6) Hwy 181, (0) Hwy 104 (Overstory),
 2 Understory & 7 Overstory Perimeter Trees (50% Overstory), & 1 Parking Lot Tree

- PERIMETER TREE CREDITS TO REMAIN:**
- #1- Multi. Trunk (3) 1" Canes Crape Myrtle /8 = 1
 - #2- Multi. Trunk (3) 1" Canes Crape Myrtle /8 = 1
 - #3- Multi. Trunk (3) 1" Canes Crape Myrtle /8 = 1
 - #4- Multi. Trunk (3) 1" Canes Crape Myrtle /8 = 1
 - #5- Multi. Trunk (3) 1" Canes Crape Myrtle /8 = 1
 - #6- 3" Magnolia Grandiflora /8 = 1
 - #7- Multi. Trunk (3) 1" Canes Crape Myrtle /8 = 1

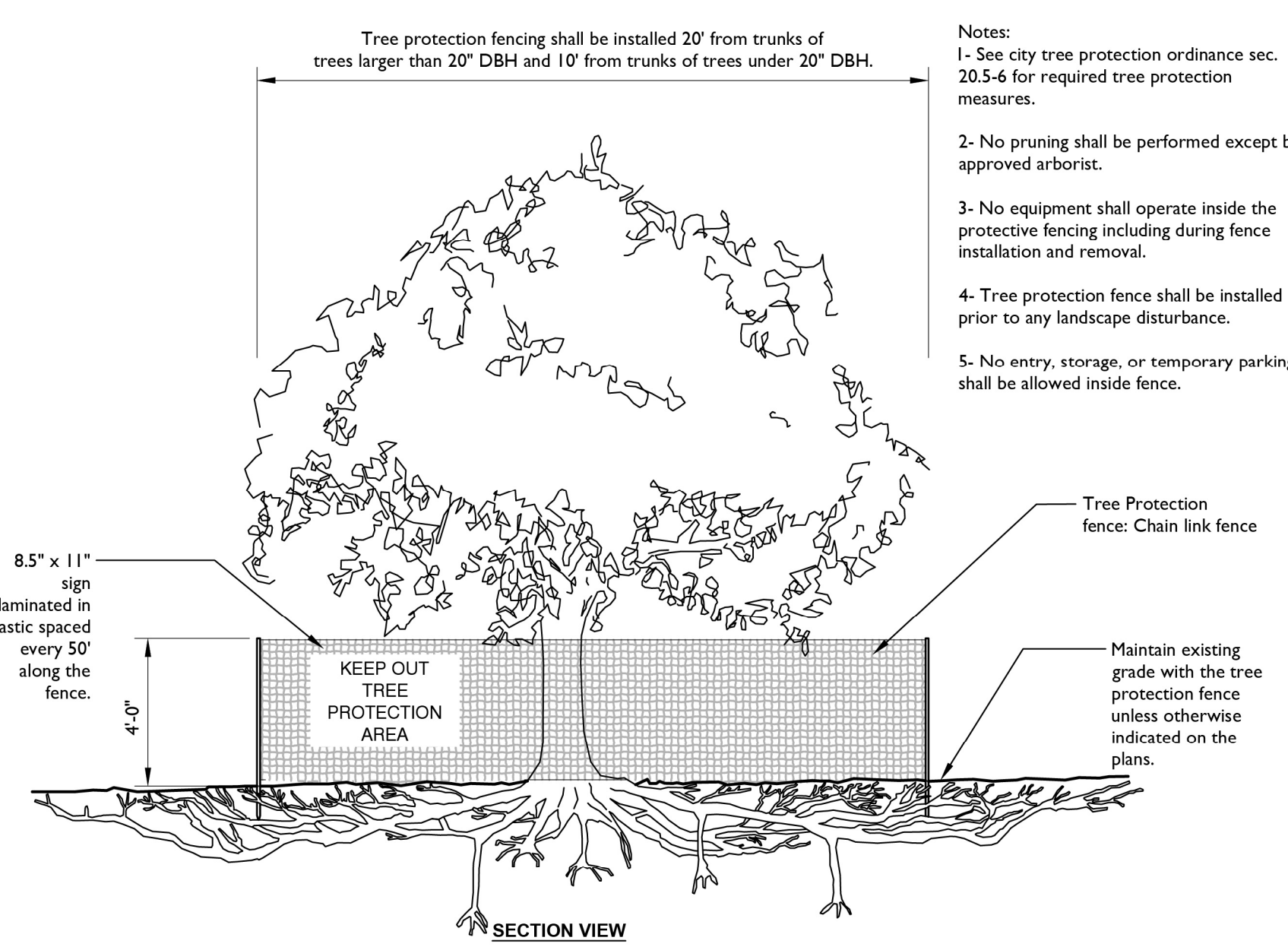
- HWY 104 FRONTAGE TREES PROPOSED TO REMAIN:**
- #8- 3" Bald Cypress /8 = 1
 - #9- 3" Bald Cypress /8 = 1
 - #10- 3" Bald Cypress /8 = 1
 - #11- 3" Bald Cypress /8 = 1
 - #12- 3" Bald Cypress /8 = 1
 - #13- 3" Bald Cypress /8 = 1
 - #14- 3" Bald Cypress /8 = 1
- Total 104 Frontage Tree Credits = 7

TREE NOTES:

- The existing (18) trees shown to remain & be protected shall NOT be removed and shall be protected throughout construction in accordance with the City of Fairhope Trees and Landscaping Ordinance.

PLANTING NOTE:

- The required area between vehicular use area and public right-of-way shall be planted with a solid unbroken visual screen at least forty-eight (48) inches in height at time of planting.



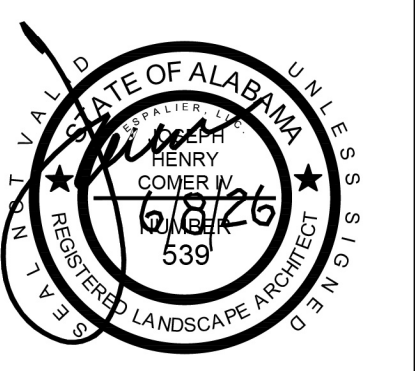
6 TREE PROTECTION DETAIL
NOT TO SCALE LA-32



Espalier, LLC
 P.O. Box 1247
 Fairhope, Alabama 36533
 P: 251.454.3500
 espalierdesign.com

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MURPHY USA
 Hwy 104 & 181
 Fairhope, AL



ISSUED/REVISED

Permitting	4/20/26
Permitting	6/1/26
Permitting	6/8/26

LANDSCAPE DETAILS

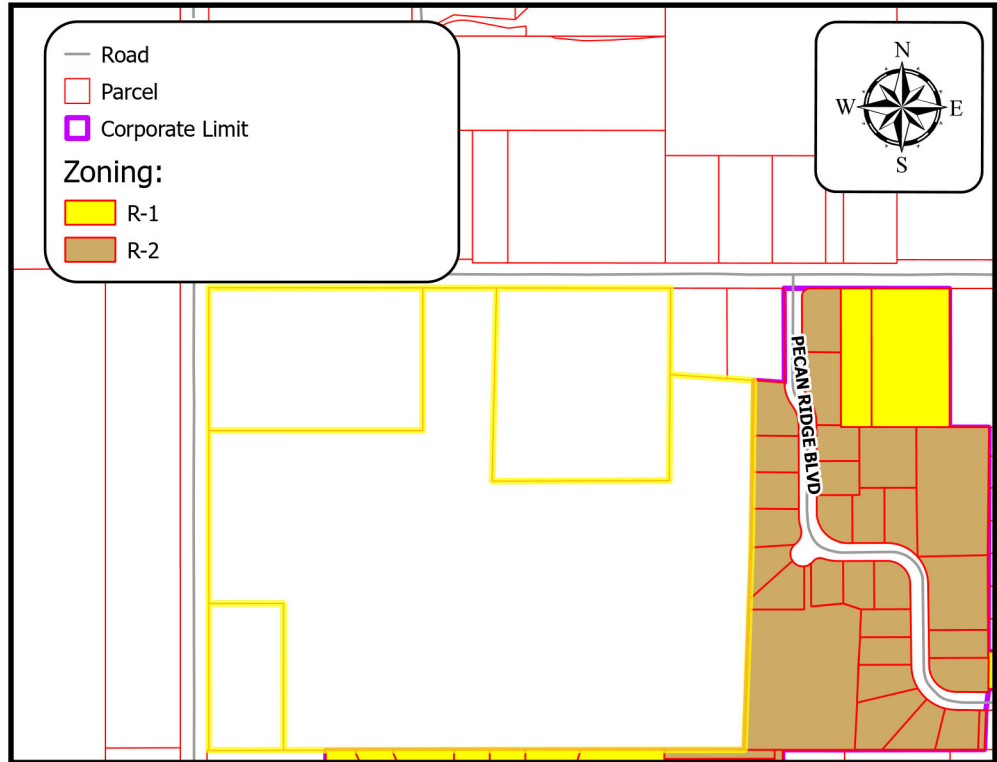
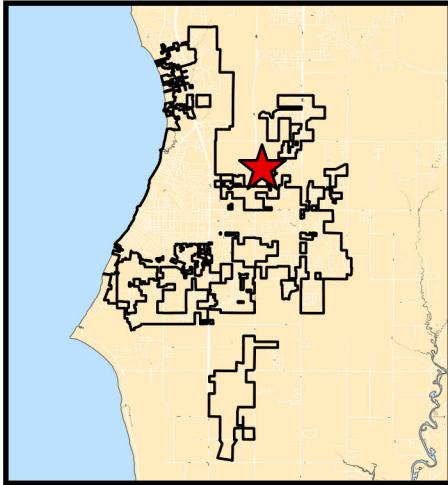
DESIGNED BY: JC
 DRAWN BY: JC
 CHECKED BY: JC
 PROJECT NO.: 2535
 DATE: 4/14/26

FILE NAME: MURPH181
 SHEET: L-1.2

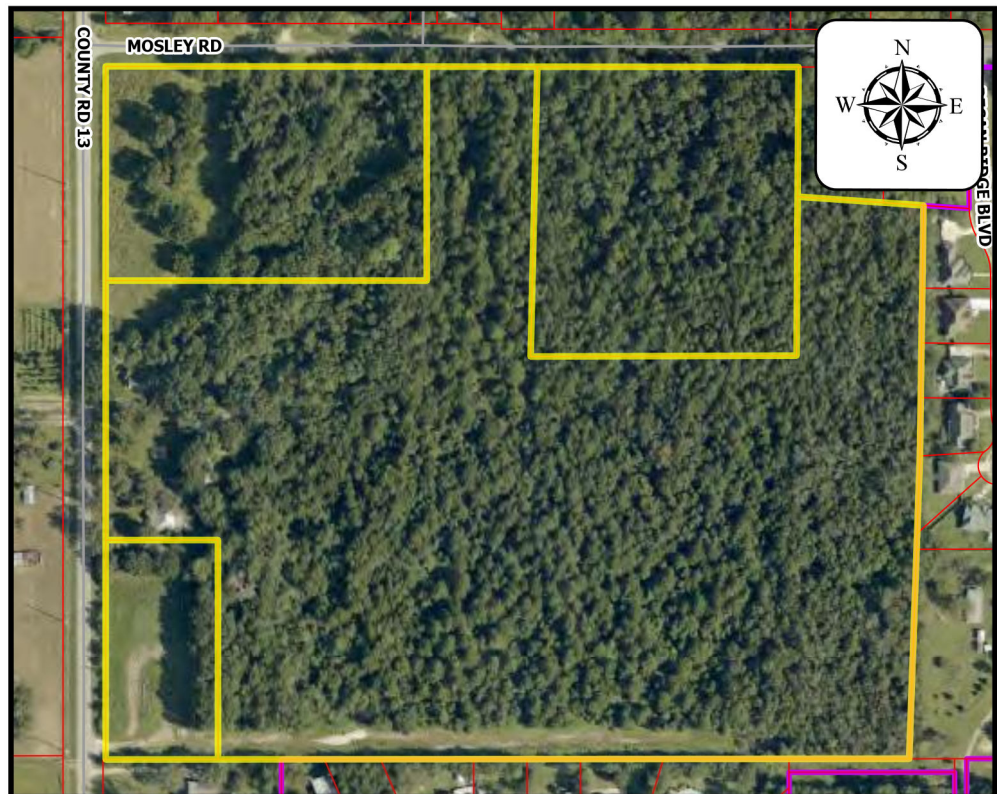
City of Fairhope Planning Commission July 6, 2026



ZC 26.06 - Tower Homes



<u>Project Name:</u>	Tower Homes
<u>Site Data:</u>	43.6 acres
<u>Project Type:</u>	Conditional annexation to R-1, Low Density Single-Family District
<u>Jurisdiction:</u>	Fairhope Planning Jurisdiction
<u>Zoning District:</u>	N/A
<u>PPIN Number:</u>	24484, 109974, 113514, 234578
<u>General Location:</u>	SE of the intersection of County Road 13 and Mosley Road
<u>Surveyor of Record:</u>	S.E. Civil, LLC
<u>Engineer of Record:</u>	S.E. Civil, LLC
<u>Owner / Developer:</u>	Krhut Enterprises, LLC
<u>School District:</u>	Fairhope Elementary School Fairhope Middle and High Schools
<u>Prepared by:</u>	Payton Rogers



SUMMARY OF REQUEST

Public hearing to consider the request of the Applicant, S.E. Civil, LLC, on behalf of the Owner, Krhut Enterprises LLC., for Conditional Annexation to R-1, Low Density Single-Family Residential District for Tower Homes. The property is located at the southeast corner of County Road 13 and Mosley Road and is 43.6± acres.

SITE HISTORY

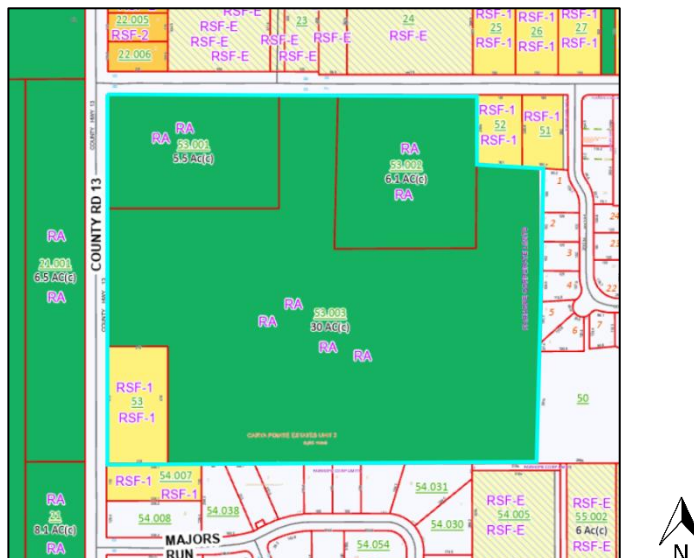
The subject site is currently located within Baldwin County. There have been no City of Fairhope Planning Commission or Board of Adjustment cases associated with this site.

STAFF COMMENTS

The applicant is requesting Conditional Annexation of the subject property utilizing an R-1, Low Density Single-Family Residential zoning district to allow redevelopment of the 43.6± acre site for single-family residential uses. Along with the request for annexation, the applicant has submitted voluntary conditions and restrictions that they wish to be implemented if the application were to be approved. As detailed in the submitted Statement of Density Commitment letter (see exhibits), the applicant wishes to voluntarily restrict the subject site to a maximum density of 1.4 units per acre (UPA).

The subject site is currently located within Baldwin County jurisdiction and is composed of four (4) parcels: Parcel A & E; Parcel B, C, & D; Parcel 1, 2, & 4; and Parcel F, as labeled on the submitted boundary survey. Currently, Parcel F is zoned RSF-1, Residential Single-Family District while the remaining parcels are all zoned RA, Rural Agricultural District.

To the North, the subject site abuts properties currently zoned RSF-E and RSF-2 within Baldwin County. To the East, the site abuts Pecan Ridge Subdivision which is currently zoned R-2 within the City of Fairhope. To the South, the site abuts Carye Pointe Estates which is currently zoned R-1 within city limits and to the West the subject site abuts properties that are currently zoned RA within Baldwin County.



The Baldwin County Zoning Ordinance defines RSF-1 Districts as being “provided to afford the opportunity for the choice of a low-density residential environment consisting of single-family homes on large lots” and requires a minimum lot area of 30,000 square feet. As for RA Districts, the county’s Zoning Ordinance describes these districts as providing for “large, open, unsubdivided land that is vacant or is being used for agricultural, forest or other rural purposes. Low-density residential development that maintains the rural character of the district...” and requires a minimum lot area of three (3) acres.

If developed under the current Baldwin County minimum lot area requirements a maximum of 17± lots could potentially be developed. However, it’s important to note that this calculation does not account for setbacks, buffering, or consideration of other necessary infrastructure which may affect the final number of potential lots.

Should the conditional annexation be approved and the applicant’s request to be zoned R-1 be granted the site will come under the regulatory purview of the City of Fairhope. As such, Article III of the City of Fairhope Zoning Ordinance defines R-1 Districts as being “*intended to provide choices of low-density suburban residential environment consisting of single-family homes on large parcels of land.*” Additionally, Article III requires all R-1 lots to have a minimum lot area of 15,000 square feet.

It should be noted that if the applicant’s request were to be approved without the voluntary conditions they propose the site could be developed with a density of 2.9 UPA. With the self-imposed condition limiting the site to a maximum density of 1.4 UPA, if approved, the total number of potential lots will be reduced by approximately half of what is allowed without the voluntary conditions.

All parcels within the subject site are currently metes-and-bounds parcels and not legal lots of record. If the conditional annexation is approved, the applicant should be advised that prior to any future re-development of the site a subdivision request will be required to create legal lots of record for any new lot configurations.

The subject site is designated as a Suburban Residential Place Type within the Fairhope Comprehensive Plan, a designation that generally supports single-family residential uses. As such, the proposed redevelopment of the site with single-family dwellings appears consistent with the intent of the Comprehensive Plan.

The current application is a request for zoning change, and as such a development plan was not submitted nor required. However, a future development consisting of 15,000± square-foot R-1 zoned properties within a predominately residential area would be considered an appropriate zoning district for the subject site.

As previously mentioned, abutting directly to the West in County jurisdiction is agriculturally zoned and utilized land (RA), while to the North there is a mix of residentially zoned and utilized parcels (RSF-E, RSF-1, and RSF-2) with lot areas ranging from 23,000± square feet to 3-acres. However, abutting to the East and South of the subject site are two (2) existing subdivisions within Fairhope city limits that have been developed for residential uses. Lot areas within these neighborhoods range from 12,000± square feet to 24,000± square feet. Therefore, while the requested R-1 zoning classification may be more intensive than the neighboring County zoning districts, it appears to be in line with the neighboring City zoning districts as well as our Comprehensive Plan.

Wetlands

The Applicant did not submit a wetland delineation with the application, and one was not required for the submittal. However, it should be noted that there appear to be potential wetlands located within the subject site. A wetland delineation will be required and must be included in any future Subdivision application(s) for the site to ensure full compliance with the City of Fairhope wetland ordinance.

Utilities

Development of the site would require water and sewer from the City of Fairhope. Riviera Utilities will provide electricity.

Citizen Comments

At the time this report was drafted one (1) citizen comment was received from a Mr. Charles Everette, the owner of 309 Pecan Ridge Blvd which directly abuts the subject site to the East. Mr. Everette’s comments may be viewed in full as an attachment to this report, but his primary concerns appear to be with: 1) whether or not the subject site is held in a trust associated with the Fly Creek Watershed; 2) how any future development may affect the existing stormwater drainage of the site; and 3) how any future development may affect traffic along Mosley Road with regard to the residents of the Pecan Ridge Subdivision.

Currently staff is unaware of any trust between the subject site and the Fly Creek Watershed. The applicant did not provide any documentation within their application detailing as such. According to Baldwin County Probate records the larger parcel within the subject site (Parcel 1, 2, & 4) which directly abuts Pecan Ridge, has been owned by Krhut Enterprises, LLC since at least 2001.

In regard to the Citizen’s stormwater drainage concerns, rezoning applications do not require a drainage plan as drainage needs are often not known until the Subdivision review phase of this type of development. However, as is required by the Fairhope Subdivision Regulations a stormwater drainage plan and assessment illustrating full compliance with the Subdivision Regulations must be included with any future subdivision applications and shall be made available to the public prior to any such request going before the Planning Commission.

Similarly, a traffic study was not provided and is not required with a rezoning application due to the fact that potential traffic impacts cannot be assessed properly until items such as the total number of lots and accesses have been determined during the Subdivision review process. However, any future development of the subject site will require full compliance with the Subdivision Regulations as it relates to traffic requirements, and any documentation shall be made available to the public prior to any such request going before the Planning Commission.

REZONING CONSIDERATIONS

Standards of Review:

The Zoning Ordinance and its associated zoning map are derived from long-range comprehensive planning studies intended to promote orderly, desirable development. Casual or unsupported amendments to the Zoning Ordinance can undermine this purpose. Therefore, rezoning requests are evaluated according to the following criteria:

1. Compliance with the Comprehensive Plan;
2. Compliance with the standards, goals, and intent of this ordinance;
3. The character of the surrounding property, including any pending development activity;
4. Adequacy of public infrastructure to support the proposed development;
5. Impacts on natural resources, including existing conditions and ongoing post-development conditions;
6. Compliance with other laws and regulations of the City;
7. Compliance with other applicable laws and regulations of other jurisdictions;
8. Impacts on adjacent property including noise, traffic, visible intrusions, potential physical impacts, and property values; and
9. Impacts on the surrounding neighborhood including noise, traffic, visible intrusions, potential physical impacts, and property values.

Recommendation:

Staff recommends **APPROVAL** of ZC 26.06 – Krhut Enterprises, LLC, request for Conditional Annexation to R-1, Low Density Single-Family Residential District with the following conditions:

1. The subject site shall be restricted to a maximum density of 1.4 units per acre

EXHIBITS

Excerpt from Table 3-2: Dimension Table – Lots and Principle Structure

Dimension District or Use	Min. Lot Area / Allowed Units Per Acre (UPA)	Min. Lot Width	Front Setback	Rear Setback	Side Setback	Street Side Setback	Max. Total Lot Coverage by All Structures	Max. Height
R/A	3 acres/ -	198'	75'	75'	25'	50'	none	30'
R-1	15,000 s.f./ -	100'	40'	35'	10' ^b	20'	40%	30' ^a
R-1a	40,000 s.f./ -	120'	30'	30'	10' ^b	20'	25%	35'
R-1b	30,000 s.f./ -	100'	30'	30'	10' ^b	20'	25%	35'
R-1c	20,000 s.f./ -	80'	30'	30'	10' ^b	20'	25%	35'

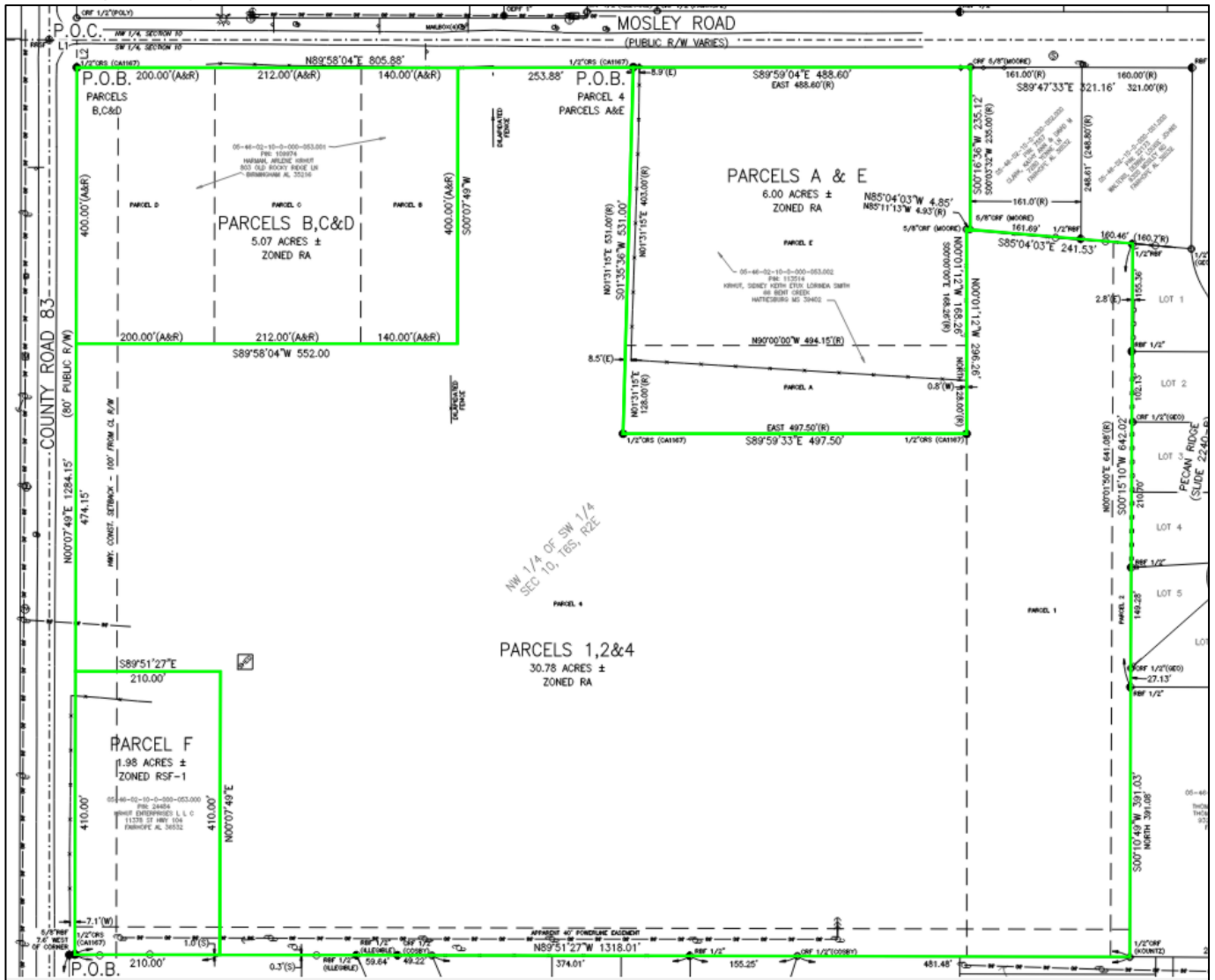
Excerpt from Table 3-1 Use Table

Zoning Districts	R-1 (a, b, c)
Use Categories / Specific Uses	
Dwelling	
Single-Family	●
Two-family	
Townhouse	
Patio Home	
Multiple-family / Apartment	
Manufactured Home	
Mixed-use	
Accessory Dwelling	
Estate	
Civic	
Elementary School	●
Secondary School	●
Education Facility	●
Library	●
Place of Worship	
Cemetery	○
Hospital	
Public Open Space	●
Common Open Space	●
Community Center or Club	○
Public Utility	○
Office	
General	
Professional	
Home Occupation	⊖
Retail	
Grocery	
Convenience Store	
General Merchandise	
Shopping Center	
Automobile Service Station	
Outdoor Sales Limited	
Outdoor Sales Lot	
Garden Center	

Zoning Districts	R-1 (a, b, c)
Use Categories / Specific Uses	
Service	
Convalescent or Nursing Home	○
Clinic	○
Outdoor Recreation Facility	○
Day Care	○
General Personal Services	
Mortuary or Funeral Home	
Automobile Repair	
Indoor Recreation	
Dry Cleaner / Laundry	
Personal Storage	
Bed & Breakfast	
Hotel / Motel	
Boarding House or Dormitory	
Recreational Vehicle Park	
Restaurant	
Bar	
Entertainment Venue	
Marina	
Kennel or Animal Hospital	
Warehouse	
Junk Yard or Salvage Yard	
Manufacturing	
Limited	
Light	
General	
Food Processing	
Rural	
Agriculture	
Rural Market	
Plant Nursery	

● = Allowed By-Right	⊖ = Special Conditions	○ = On Appeal
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Boundary Survey



Suburban Residential

These primarily residential areas generally have the largest lot sizes for single-family detached houses in Fairhope.

Development Density and Form

Lots in these areas are generally between one-quarter and one-third of an acre, with some even greater. Minimum lot widths are 75 to 100 feet, and minimum front setbacks are 30 to 40 feet. This Place Type is suburban in form and character, including relatively generous setbacks for houses. Key planning objectives for these areas include preservation of sensitive natural features, provision of usable common open space, strong multi-modal connectivity within and between developments, and avoiding a “garagescape” where streets are visually dominated by garages by encouraging rear or side-loaded garages. While lots are typically accessed by a front driveway, the visual impact of garages should be minimized by placing it at the rear of a lot, recessing it behind the front facade if the garage doors face the street, or turning it so that the garage doors do not face the street.

Geographic Form

This Place Type is expansive and has irregular geographic forms, although boundaries are typically rectilinear given that they are dictated by roads and linear property lines.

Primary Land Uses

Primary land uses for this Place Type are single-family detached houses and any ancillary uses, including outbuildings and institutional uses that support residential neighborhoods.



Suburban Residential

Building Blocks

Building Blocks described below serve as a general guide to the intended scale and character of development. Specific standards including building height, setback, lot size, and lot coverage (among other standards) are defined in the Zoning Ordinance and may vary by zoning district.

Height Range	1-3 stories (generally up to 35 feet)
Building Form	Primarily single-family detached building types but linked by an interconnected street network
Building Setback	Should be consistent within a block. Larger setbacks should be required along highways and include significant natural or planted landscape.
Streets	Blocks are longer due to larger lot sizes, but should be bounded by streets with sidewalks, planting strips, and street trees. Large blocks should be broken by pedestrian paths. Streets form an irregular grid system within the neighborhood and permanent dead-end streets should be limited to site conditions that prevent connection to other streets.
Transportation	Automobile access with complete sidewalk network and recreational trails connected to public sidewalk systems. Development should be connected to adjacent development and/or provide temporary dead-end street connections to future development.
Parking	Primarily private off-street parking with informal on-street parking for guests. Front-loaded parking is common in this Place Type, but covered parking is recessed behind the front facade of houses and driveway widths are minimal at the sidewalk.
Open Space	Preserved passive open space; resident amenities, neighborhood parks, pocket parks, private yards.



Garages should not dominate the streetscape. Front-loaded garages should be located to the rear, side-loaded, or recessed from the front facade



Suburban Neighborhoods should be set back from corridors with a substantial buffer including natural or planted landscaping. Development should include a network of streets and connections to existing and future development. (Dover Kohl)



STATEMENT OF DENSITY COMMITMENT

June 16, 2026

Tower Homes, along with its land development subsidiary Grants Mill LLC, officially commits to a self-imposed density restriction for the proposed residential subdivision located at the intersection of County Rd 13 and Mosley Rd in Fairhope, Alabama. The development will maintain a maximum density of 1.4 lots per acre. This restriction will serve as a guideline for all upcoming civil engineering, site planning, and preliminary plat designs managed by SE Civil.

This voluntary commitment reflects Tower Homes' goal of delivering thoughtful, lower-density neighborhoods that elevate the surrounding areas. By establishing a 1.4-acre density minimum, Tower Homes aims to mitigate potential earthwork, drainage system, and stream buffer impacts, ensuring a high-end, responsible development that benefits both future homeowners and the City of Fairhope.

Signature

June 16, 2026

Date

Will Hightower

Name

Vice President

Title



APPLICATION FOR ZONING DISTRICT CHANGE

Property Owner / Leaseholder Information *Please see the attached owners sheet.

Name: KRHUT ENTERPRISES L L C Phone Number: _____
 Street Address: 11378 ST HWY 104
 City: FAIRHOPE State: AL Zip: 36532

Applicant / Agent Information
If different from above.
 Notarized letter from property owner is required if an agent is used for representation.

Name: Arthur Johnson for S.E. Civil Phone Number: 251-990-6566
 Street Address: 9969 Windmill Road
 City: Fairhope State: AL Zip: 36532

Current Zoning of Property: (PIN 113514, 234578, 109974) Baldwin County - Rural Agricultural (RA).
(PIN 24484) Baldwin County - Residential Single Family (RSF-1).

Proposed Zoning/Use of the Property: R-1
 Property Address: 21400 CO RD 13 FAIRHOPE AL 36532, 21380 CO RD 13 FAIRHOPE, AL 36532
 Parcel Number: 05-46-02-10-0-000-053.001, 05-46-02-10-0-000-053.003, 05-46-02-10-0-000-053.000, 05-46-02-10-0-000-053.002
 Property Legal Description: Please see the attached supporting document.
 Reason for Zoning Change: Residential Single Family Development

- Property Map Attached YES NO
- Metes and Bounds Description Attached YES NO
- Names and Address of all Real Property Owners within 300 Feet of Above Described Property Attached. YES NO

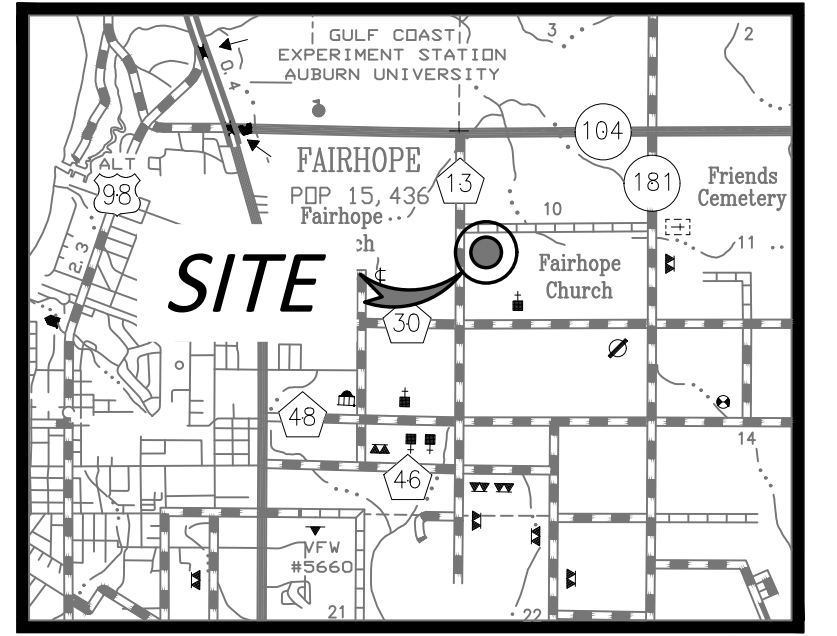
Character of Improvements to the Property and Approximate Construction Date: Residential Single Family Development

Zoning Fee Calculation:
Reference: Ordinance 1269

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Arthur Johnson for S.E. Civil (Agent) Arthur Johnson
 Property Owner/Leaseholder Printed Name Signature
05-26-2026 _____
 Date Fairhope Single Tax Corp. (If Applicable)

PROPERTY IS LOCATED IN SECTION 10, TOWNSHIP 6 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA.



VICINITY MAP (NOT TO SCALE)

LEGEND:

- P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
PIN = PARCEL IDENTIFICATION NUMBER
(R) = RECORD BEARING/DISTANCE
● CRS = CAPPED REBAR SET (SE CIVIL CA-1167)
○ CRF = CAPPED REBAR FOUND
⊗ CTIF = CRIMP TOP IRON FOUND
● RBF = REBAR FOUND (NO CAP)
○ OEPF = OPEN END PIPE FOUND
⊗ RRSF = RAILROAD SPIKE FOUND
— = WIRE FENCE
— = CHAIN LINK FENCE
— = WOOD FENCE
— = OVERHEAD POWER LINE
— = TELEPHONE PEDESTAL
— = TELEPHONE JUNCTION BOX
— = TELEPHONE MANHOLE
— = SEWER MANHOLE
— = GUY WIRE
— = UTILITY POLE
— = FIRE HYDRANT
— = WOODEN POST
— = MAILBOX
— = ELECTRIC BOX
— = SIGN

SURVEYOR'S CERTIFICATE:

SURVEY DESCRIPTIONS

PARCELS B, C, & D

COMMENCING AT A RAILROAD SPIKE FOUND AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 2 EAST; THENCE RUN SOUTH 90 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 400.00 FEET; THENCE RUN SOUTH 00 DEGREES 07 MINUTES 49 SECONDS WEST, A DISTANCE OF 40.00 FEET TO A ONE-HALF INCH CAPPED REBAR SET (SE CIVIL-CA 1167) AT THE INTERSECTION OF THE SOUTH RIGHT OF WAY OF MOSLEY ROAD WITH THE EAST RIGHT OF WAY OF COUNTY ROAD 83; BEING THE POINT OF BEGINNING; THENCE RUN NORTH 89 DEGREES 58 MINUTES 04 SECONDS EAST ALONG SAID SOUTH RIGHT OF WAY, A DISTANCE OF 552.00 FEET; THENCE RUN SOUTH 00 DEGREES 07 MINUTES 49 SECONDS WEST, A DISTANCE OF 400.00 FEET; THENCE RUN SOUTH 89 DEGREES 58 MINUTES 04 SECONDS WEST, A DISTANCE OF 552.00 FEET TO A POINT ON THE WEST RIGHT OF WAY OF COUNTY ROAD 83; THENCE RUN NORTH 00 DEGREES 07 MINUTES 49 SECONDS EAST ALONG SAID WEST RIGHT OF WAY, A DISTANCE OF 400.00 FEET TO THE POINT OF BEGINNING. TRACT CONTAINS 5.07 ACRES, MORE OR LESS.

PARCELS 1, 2, & 4

COMMENCING AT A RAILROAD SPIKE FOUND AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 2 EAST; THENCE RUN SOUTH 90 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 40.00 FEET; THENCE RUN SOUTH 00 DEGREES 07 MINUTES 49 SECONDS WEST, A DISTANCE OF 40.00 FEET TO A ONE-HALF INCH CAPPED REBAR SET (SE CIVIL-CA 1167) AT THE INTERSECTION OF THE SOUTH RIGHT OF WAY OF MOSLEY ROAD WITH THE EAST RIGHT OF WAY OF COUNTY ROAD 83; THENCE RUN NORTH 89 DEGREES 58 MINUTES 04 SECONDS EAST ALONG SAID SOUTH RIGHT OF WAY, A DISTANCE OF 805.88 FEET TO A ONE-HALF INCH CAPPED REBAR SET (SE CIVIL-CA 1167), BEING THE POINT OF BEGINNING; THENCE DEPARTING SAID SOUTH RIGHT OF WAY, RUN SOUTH 01 DEGREES 35 MINUTES 36 SECONDS WEST, A DISTANCE OF 531.00 FEET TO A ONE-HALF INCH CAPPED REBAR SET (SE CIVIL-CA 1167); THENCE RUN SOUTH 89 DEGREES 58 MINUTES 04 SECONDS WEST, A DISTANCE OF 497.50 FEET TO A ONE-HALF INCH CAPPED REBAR SET (SE CIVIL-CA 1167); THENCE RUN NORTH 00 DEGREES 01 MINUTES 12 SECONDS EAST, A DISTANCE OF 296.26 FEET TO A FIVE-EIGHTHS INCH CAPPED REBAR FOUND (MOORE); THENCE RUN SOUTH 85 DEGREES 04 MINUTES 03 SECONDS EAST, A DISTANCE OF 241.53 FEET TO A ONE-HALF INCH REBAR FOUND AT THE NORTHWEST CORNER OF LOT 1, PECAN RIDGE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN SLIDE 2240-B, PROBATE COURT RECORDS, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 00 DEGREES 15 MINUTES 10 SECONDS WEST ALONG THE WEST LINE OF SAID SUBDIVISION, A DISTANCE OF 842.00 FEET TO A ONE-HALF INCH REBAR FOUND AT THE SOUTHWEST CORNER OF LOT 6 OF SAID SUBDIVISION; THENCE RUN SOUTH 00 DEGREES 10 MINUTES 49 SECONDS WEST, A DISTANCE OF 391.03 FEET TO A ONE-HALF INCH CAPPED REBAR FOUND (KOUNTZ); THENCE RUN NORTH 89 DEGREES 51 MINUTES 27 SECONDS WEST ALONG THE NORTH LINE OF CARYA POINTE ESTATES, UNIT 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN SLIDE 1626-B, PROBATE COURT RECORDS, BALDWIN COUNTY, ALABAMA, A DISTANCE OF 1318.01 FEET; THENCE DEPARTING SAID NORTH LINE, RUN NORTH 00 DEGREES 07 MINUTES 49 SECONDS EAST, A DISTANCE OF 410.00 FEET; THENCE RUN NORTH 89 DEGREES 51 MINUTES 27 SECONDS WEST, A DISTANCE OF 210.00 FEET TO A POINT ON THE EAST RIGHT OF WAY OF COUNTY ROAD 83; THENCE RUN NORTH 00 DEGREES 07 MINUTES 49 SECONDS EAST ALONG SAID EAST RIGHT OF WAY, A DISTANCE OF 474.15 FEET; THENCE DEPARTING SAID EAST RIGHT OF WAY, RUN NORTH 89 DEGREES 58 MINUTES 04 SECONDS EAST, A DISTANCE OF 552.00 FEET; THENCE RUN NORTH 00 DEGREES 07 MINUTES 49 SECONDS EAST, A DISTANCE OF 400.00 FEET TO A POINT ON THE SOUTH RIGHT OF WAY OF MOSLEY ROAD; THENCE RUN NORTH 89 DEGREES 58 MINUTES 04 SECONDS EAST ALONG SAID SOUTH RIGHT OF WAY, A DISTANCE OF 253.88 FEET TO THE POINT OF BEGINNING. TRACT CONTAINS 30.78 ACRES, MORE OR LESS.

PARCEL F

COMMENCING AT A RAILROAD SPIKE FOUND AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 2 EAST; THENCE RUN SOUTH 90 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 40.00 FEET; THENCE RUN SOUTH 00 DEGREES 07 MINUTES 49 SECONDS WEST, A DISTANCE OF 40.00 FEET TO A ONE-HALF INCH CAPPED REBAR SET (SE CIVIL-CA 1167) AT THE INTERSECTION OF THE SOUTH RIGHT OF WAY OF MOSLEY ROAD WITH THE EAST RIGHT OF WAY OF COUNTY ROAD 83; THENCE RUN SOUTH 00 DEGREES 07 MINUTES 49 SECONDS WEST ALONG SAID SOUTH RIGHT OF WAY, A DISTANCE OF 1284.15 FEET TO A ONE-HALF INCH CAPPED REBAR SET (SE CIVIL-CA 1167), BEING THE POINT OF BEGINNING; THENCE DEPARTING SAID EAST RIGHT OF WAY, RUN SOUTH 89 DEGREES 51 MINUTES 27 SECONDS EAST, A DISTANCE OF 210.00 FEET; THENCE RUN NORTH 00 DEGREES 07 MINUTES 49 SECONDS EAST, A DISTANCE OF 410.00 FEET; THENCE RUN NORTH 89 DEGREES 51 MINUTES 27 SECONDS WEST, A DISTANCE OF 210.00 FEET TO A POINT ON THE EAST RIGHT OF WAY OF COUNTY ROAD 83; THENCE RUN SOUTH 00 DEGREES 07 MINUTES 49 SECONDS WEST ALONG SAID EAST RIGHT OF WAY, A DISTANCE OF 410.00 FEET TO THE POINT OF BEGINNING. TRACT CONTAINS 1.98 ACRES, MORE OR LESS.

PARCELS A & E

COMMENCING FROM A RAILROAD SPIKE FOUND, AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 89 DEGREES 59 MINUTES 59 SECONDS EAST A DISTANCE OF 40.00 FEET TO A POINT; THENCE RUN SOUTH 00 DEGREES 07 MINUTES 49 SECONDS WEST TO A ONE-HALF INCH CAPPED REBAR SET (SE CIVIL) ON THE SOUTH RIGHT OF WAY OF MOSLEY ROAD; THENCE RUN 89 DEGREES 58 MINUTES 04 SECONDS EAST ALONG SAID RIGHT OF WAY A DISTANCE OF 805.88 FEET TO A ONE-HALF INCH CAPPED REBAR SET (SE CIVIL) AND THE POINT OF BEGINNING; THENCE RUN SOUTH 01 DEGREES 35 MINUTES 36 SECONDS WEST, A DISTANCE OF 531.00 FEET TO A ONE-HALF INCH CAPPED REBAR SET (SE CIVIL); THENCE RUN SOUTH 89 DEGREES 58 MINUTES 04 SECONDS WEST, A DISTANCE OF 497.50 FEET TO A FIVE-EIGHTHS INCH CAPPED REBAR FOUND (MOORE); THENCE RUN SOUTH 85 DEGREES 04 MINUTES 03 SECONDS EAST, A DISTANCE OF 296.26 FEET TO A FIVE-EIGHTHS INCH CAPPED REBAR FOUND (MOORE); THENCE RUN NORTH 00 DEGREES 16 MINUTES 36 SECONDS EAST, A DISTANCE OF 235.29 FEET TO A ONE-HALF INCH CAPPED REBAR FOUND (MOORE); THENCE RUN SOUTH 00 DEGREES 07 MINUTES 49 SECONDS WEST, A DISTANCE OF 488.60 FEET TO THE POINT OF BEGINNING. TRACT CONTAINS 6.00 ACRES, MORE OR LESS.

(DESCRIPTIONS COMPOSED FROM PROBATE RECORDS AND AN ACTUAL FIELD SURVEY)

WE, S.E. CIVIL, L.L.C., A FIRM OF LICENSED ENGINEERS AND LAND SURVEYORS OF FAIRHOPE, ALABAMA, HEREBY STATE THAT ALL PARTS OF THIS MAP OF SURVEY HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

Signature of David E. Diehl, dated 06-01-2026. S.E. CIVIL, L.L.C. AL. P.L.S. NO. 26014. SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.



FLOOD STATEMENT:

PROPERTY LIES IN FLOOD ZONE "X" (UNSHADED), AS SCALED FROM FLOOD INSURANCE RATE MAP NUMBER D10030661M, COMMUNITY NUMBER 015000, PANELS 0661, SUFFIX "M", MAP REVISED DATE APRIL 19, 2019.

SURVEYOR'S NOTES:

- 1. THERE MAY BE RECORDED OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
2. THERE WAS NO ATTEMPT TO DETERMINE THE EXISTENCE, LOCATION, OR EXTENT OF ANY SUB-SURFACE FEATURES.
3. SURVEY WAS CONDUCTED IN MAY 2026, AND IS RECORDED IN AN ELECTRONIC FIELD BOOK.
4. BEARINGS AND DISTANCES SHOWN HEREON WERE "COMPUTED" FROM ACTUAL FIELD TRAVERSES, AND ARE BASED ON STATE PLANE GRID, ALABAMA WEST ZONE NAD83 (2011) USING GPS OBSERVATIONS.
5. THE UTILITY INFORMATION SHOWN HEREON WAS OBTAINED BY FIELD LOCATING AND PLOTTING THE VISIBLE ABOVE GROUND UTILITY FEATURES.
6. SURVEY CONDUCTED USING INSTRUMENT NUMBER 521782, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA, NO TITLE SEARCH OR REPORT WAS PROVIDED FOR THIS SURVEY.
7. THIS SURVEY DOES NOT ESTABLISH ANY OWNERSHIP OF PROPERTY.

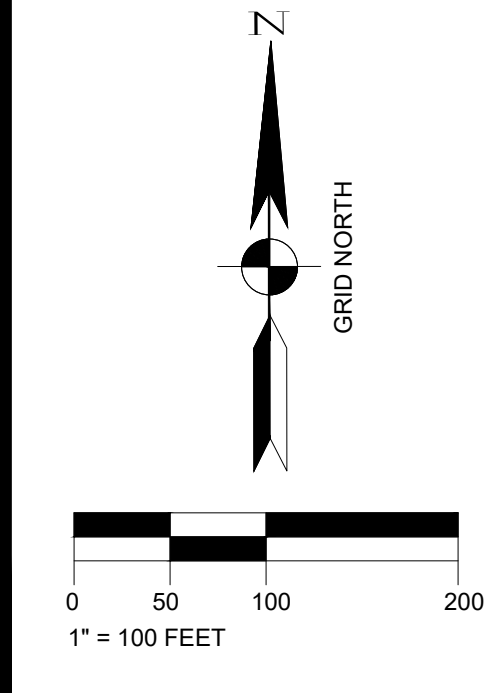
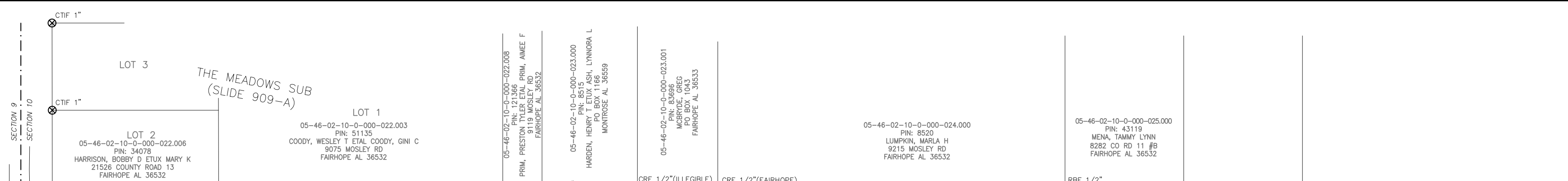
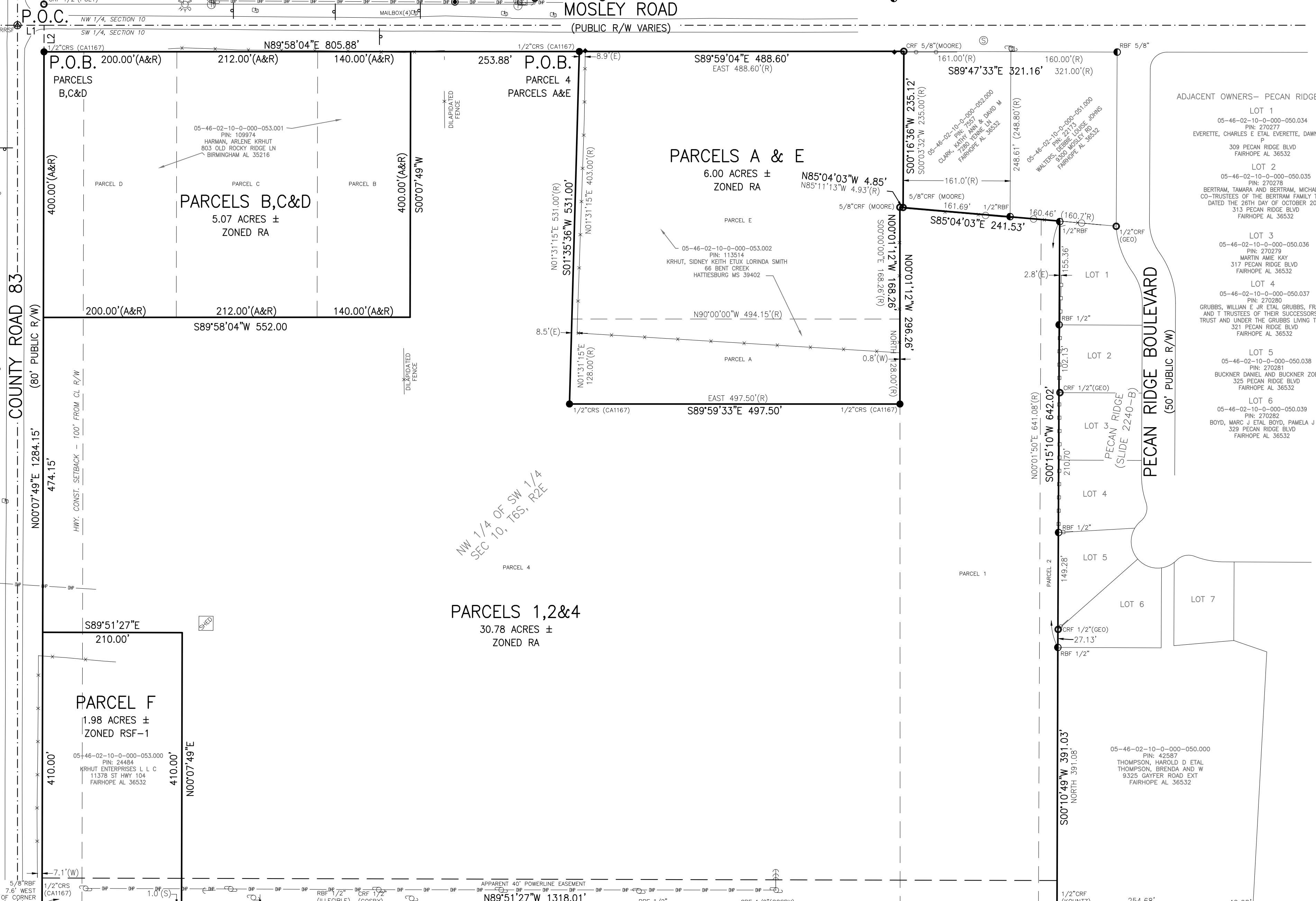
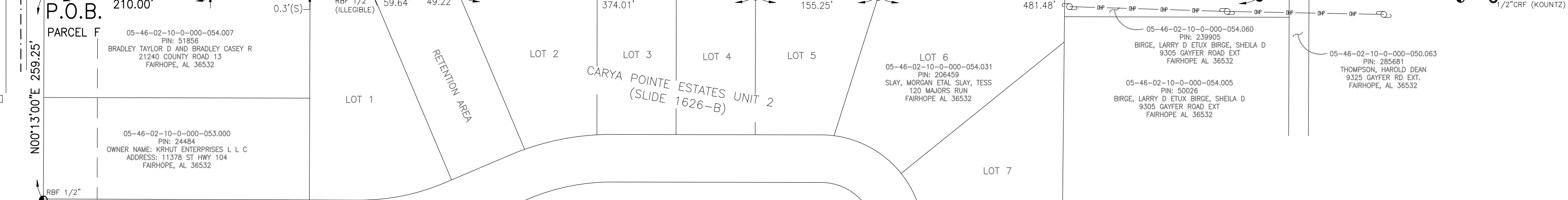
OWNER INFORMATION:

Table with 3 columns: LINE, BEARING, DISTANCE. L1: S90°00'00"E 40.00', L2: S00°07'49"W 40.00'

PARCEL NUMBER: 05-46-02-10-0-000-053.001 PIN: 109974 OWNER: KRHUT ENTERPRISES, LLC 11378 ST HWY 104 FAIRHOPE, AL 36532

ADJACENT OWNERS: CARYA POINTE ESTATES UNIT 2, LOT 3, LOT 4, LOT 5, LOT 6, LOT 7. RETENTION AREA, BRADLEY TAYLOR D AND BRADLEY CASEY R, CARYA POINTE UNIT 1, INC, O'BRIEN, JAMES O ETAL, D'AUORA, DAINE A, EPERSON, JACOB ETAL, EPERSON, COURTNEY BETH A AS TRUSTEES OF THE MITCHELL FARM, MICHHELL, JEFFREY P ETAL, MITCHELL, ELZA AND EPERSON, JACOB ETAL, EPERSON, COURTNEY BETH A AS TRUSTEES OF THE MITCHELL FARM, MITCHELL, JEFFREY P ETAL, MITCHELL, ELZA AND EPERSON, JACOB ETAL, EPERSON, COURTNEY BETH A AS TRUSTEES OF THE MITCHELL FARM.

MAJORS RUN (50' PUBLIC R/W)



Charles (Gene) Everette
309 Pecan Ridge Blvd
Fairhope, AL 36532
gene@geneeverette.com

June 26, 2026

Janine Saykes, Planning Clerk
City of Fairhope Planning & Zoning Department
451 Pecan Ave, PO Box 429
Fairhope, AL 36532
Email: planning@fairhopeal.gov

RE: Case ZC 26.06 – Public Hearing on Conditional Annexation, PPIN #234578

Dear Ms. Saykes and Members of the Fairhope Planning Commission,

I am writing in response to the Notification Letter dated June 19, 2026, regarding Case ZC 26.06, a proposed Conditional Annexation affecting PPIN #234578, located at the southeast corner of County Road 13 and Mosley Road. As an adjacent property owner, I am submitting formal written comments prior to the July 1, 2026 deadline in advance of the July 6, 2026 public hearing. I have serious concerns regarding both the nature of the proposed rezoning and an existing drainage issue that is causing ongoing damage to my property.

Concern #1: Fly Creek Watershed Trust Status and Zoning Clarification

At the time of our home purchase, we were informed that the property directly to the west of us, Parcel ID: 234578, was held in a trust associated with the Fly Creek Watershed. My neighbors have told me they were told the same to be true. We are requesting written clarification on the following:

1. Is Parcel ID 234578 currently held in a trust connected to the Fly Creek Watershed, and if so, what are the terms and restrictions of that trust?
2. What is the current zoning designation of Parcel ID 234578? The notification letter states only that the property is to be rezoned to R-1 (Low Density Single-Family Residential District for Townhomes) but does not disclose the existing zoning. This information is essential for affected neighbors to fully evaluate the scope of the proposed change.
3. Does the proposed rezoning action remove or modify any watershed-related protections or trust restrictions currently applicable to Parcel ID 234578?

We respectfully request that the Planning Commission provide clear answers to these questions prior to or at the July 6 public hearing, and that any watershed or trust encumbrances be disclosed in the public record.

Concern #2: Storm Water Drainage Damage to Adjacent Properties

A serious and ongoing drainage problem originating from Parcel ID 234578 is currently causing direct, documented damage to my property. Water from the adjoining parcel is being forced across my property, resulting in repeated fence damage – our fence has already been repaired once and is currently in need of repair again due to the volume and force of water crossing and saturating our property. This is not a minor issue; it is causing structural damage and financial harm to our property and likely to other adjacent homeowners as well.

Any development or rezoning of Parcel ID 234578 has the potential to significantly worsen this situation by increasing impervious surface area and intensifying water runoff. We therefore make the following formal requests:

1. All stormwater and surface water currently flowing from Parcel ID 234578 onto adjacent private properties must be redirected away from those properties as a condition of any annexation or rezoning approval.
2. A new and structurally reinforced fence be provided to all homeowners directly adjoining Parcel ID 234578 whose properties have been damaged by the current drainage conditions.
3. A French drain be installed along the west and south sides of my property to properly redirect water that has been, and continues to be, forced onto my property from Parcel ID 234578.
4. The undermining of my driveway, which is a direct result of the water flow from Parcel ID 234578, be assessed and repaired at the expense of the property owner or developer.

We respectfully request that a drainage and civil engineering assessment of Parcel ID 234578 be completed and made part of the public record prior to any rezoning approval, and that remediation of existing damage be required as a condition of approval.

Please note that photographs documenting the current property damage — including fence damage and driveway undermining directly caused by water flow from Parcel ID 234578 — are attached to this letter and submitted as supporting evidence.

Concern #3: Traffic Safety – Blind Intersection at Pecan Ridge Blvd. and Mosley Road

The entrance to our neighborhood at Pecan Ridge Blvd. is located at a blind intersection on Mosley Road. The sight lines at this intersection are significantly obstructed by two hills situated to the west of Pecan Ridge Blvd. along Mosley Road, making it difficult for drivers to see oncoming traffic when entering or exiting the neighborhood.

If the proposed subdivision associated with the rezoning of Parcel ID 234578 will include an entrance or exit onto Mosley Road, this existing hazard will be compounded

by a significant increase in traffic volume. We are deeply concerned about the safety risk this creates for residents of Pecan Ridge Blvd. and the traveling public.

We therefore request that the following traffic safety measure be required as a condition of any rezoning or development approval:

1. A speed table, speed break, or equivalent traffic calming device be installed on Mosley Road in the vicinity of the Pecan Ridge Blvd. intersection to reduce vehicle speeds and improve safety at this blind intersection prior to the opening of any new subdivision entrance on Mosley Road.

We request that a traffic safety study of the Pecan Ridge Blvd./Mosley Road intersection be conducted and included in the public record as part of the review of this rezoning application.

Conclusion

We are not opposed to responsible development in our community; however, we are deeply concerned that approval of this rezoning without addressing the existing drainage issues, watershed questions, and traffic safety hazards would worsen conditions that are already causing harm to neighboring property owners. We urge the Planning Commission to require full disclosure of the current zoning and trust status of Parcel ID 234578, mandate proper drainage solutions as a condition of any approval, and require a traffic safety assessment and appropriate traffic calming measures at the Pecan Ridge Blvd./Mosley Road intersection.

I plan to attend the public hearing on July 6, 2026, and respectfully request that these written comments be included in the advance report packet and entered into the record. Please feel free to contact me at gene@geneeverette.com with any questions or to provide the requested information.

Respectfully submitted,

Charles Everette

gene@geneeverette.com

251-300-0142

309 Pecan Ridge Blvd.

Fairhope, AL 36532

Adjacent Property Owner, Parcel adjoining PIN 234578



Water saturation continues to undermine the fence causing the fence to lean.



Water saturation continues to undermine the fence causing the fence to lean.



Gap underneath driveway due to erosion.



Drive has dropped about 2-3 inches due to water undermining.



Cracking of driveway due to erosion.



Erosion west of driveway pad.



Erosion west of driveway pad.



Erosion on west side of house.



Erosion on west side of house.



Erosion and sand deposits on west side of house.



Water getting into garage due to sand deposits redirecting waterflow along the west side of the house.



THE CITY OF FAIRHOPE, ALABAMA
PLANNING & ZONING DEPARTMENT

Notification Letter

June 19, 2026

RE: ZC 26.06
Public hearing for Conditional Annexation
PPIN #: 24484, 109974, 113514, 234578
Description: Applicant, S.E. Civil LLC, requests on behalf of the Owner, Krhut Enterprises LLC, Conditional Annexation to R-1, Low Density Single-Family Residential District for Tower Homes. The property is located at the southeast corner of County Road 13 and Mosley Road.

Sherry Sullivan
Mayor

Council Members

Andrea F. Booth
Jack Burrell, ACOMO
Jimmy Conyers
Joshua N. Gammon
Jay Robinson

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

Dear Fairhope Resident,

State law requires all property owners within 300’ of property to be considered for a zoning change to be notified by mail. The Baldwin County Revenue Office provided your information as a current property owner within 300’ of the zoning change request detailed above.

The City of Fairhope Planning Commission will hold a public hearing at **5:00 PM in the Council Chambers located in the Municipal Complex at 161 N. Section Street on July 6, 2026**. All written comments and/or presentation materials MUST be received by the Planning Department by no later than noon on July 1, 2026, to ensure adequate time for review and distribution to the Planning Commission prior to the public hearing. Written comments/materials received after this deadline may not be included in the advance report packet but may be submitted for the record at the public hearing.

Staff reports and application materials will be posted online during the week prior to the public hearing at www.fairhopeal.gov under the Agendas and Minutes tab.

FRAUDULENT & SUSPICIOUS EMAILS

The City of Fairhope Planning Department is aware of fraudulent emails impersonating City Staff and Commission members requesting payment for permits or services via wire transfer. Please note that the City of Fairhope will never request payment of any kind via wire transfer and application fees will always be processed prior to a case going before any Board or Commission. If you receive a suspicious message please notify the Planning Department right away and do not click any links, open attachments, or send any payment or personal information.

Should you have any questions or concerns, please contact the Planning Department.

Cordially,

Janine Saykes
Janine Saykes
Planning Clerk