



**City of Fairhope
Planning Commission Agenda
5:00 PM
Council Chambers
September 5, 2024**

Sherry Sullivan
Mayor

Council Members

Kevin G. Boone

Jack Burrell, ACMO

Jimmy Conyers

Corey Martin

Jay Robinson

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

1. Call to Order
2. Approval of Minutes
 - August 5, 2024
3. Old/New Business
 - **SD 22.18** Greenfields Subdivision - Request of the Applicant, SE Civil, for an extension of one year for Preliminary Plat.
 - **SD 21.41** Aldi Subdivision – Request of FST Aldi, Inc. of Alabama, for an additional one-year extension for Preliminary Approval of Aldi Subdivision, a 5-unit Multiple Occupancy Project.
4. Consideration of Agenda Items
 - A. SD 24.19** Public hearing to consider the request of the Applicant, Sawgrass Consulting, LLC on behalf of the Owner, FST Rockwell, LLC for preliminary plat approval of Resubdivision of Lot 1 - Rockwell Place, a 10-lot major subdivision. The property is zoned B-2, General Business District. The property is approximately 11.70 acres and is located on the east side of State Highway 181, south of the Harvest Green East Subdivision and across from The Waters Subdivision. **PPIN #625448**
 - B. ZC 24.02** Public hearing to consider the request of the Applicant, SCorUSA, LLC, acting on behalf of the Owner, Steven W. Corbett, to rezone property from B-2, General Business District to a PUD, Planned Unit Development, to be known as Legends at Point Clear. The property is approximately 13.27 acres and is located at 18323 Greeno Road. **PPINS #: 39376, 210314**

161 North Section Street

P.O. Drawer 429

Fairhope, Alabama 36533

251-928-2136

251-928-6776 Fax

www.fairhopeal.gov

©2024 CITY OF FAIRHOPE



C. ZC 24.08 Public hearing to consider the request from the City of Fairhope Planning and Zoning Department, for various proposed amendments to the City of Fairhope's Zoning Ordinance.

5. Adjourn

Sherry Sullivan
Mayor

Council Members

Kevin G. Boone

Jack Burrell, ACMO

Jimmy Conyers

Corey Martin

Jay Robinson

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

161 North Section Street

P.O. Drawer 429

Fairhope, Alabama 36533

251-928-2136

251-928-6776 Fax

www.fairhopeal.gov

Printed on recycled paper

The Planning Commission met Monday, August 5, 2024, at 5:00 PM at the City Municipal Complex, 161 N. Section Street in the Council Chambers.

Present: Lee Turner; Harry Kohler; John Worsham; Erik Cortinas; Paul Fontenot; Clarice Hall-Black; Hunter Simmons, Planning and Zoning Director; Mike Jeffries, Development Services Manager; Michelle Melton, Planner; and Cindy Beaudreau, Planning Clerk.

Absent: Jay Robinson, Hollie MacKellar and Rebecca Bryant

Chairman Turner called the meeting to order at 5:02 PM.

Approval of the Minutes July 1, 2024:

John Worsham made a motion to approve the minutes from the July 1, 2024.

Clarice Hall-Black seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, Harry Kohler, John Worsham, Erik Cortinas, Paul Fontenot, Clarice Hall-Black

NAY: None.

Old/New Business

- **SD 24.06** Waiver request for the Preliminary Plat approval for Montrose Preserve PUD from the standards of Article VI, Section M (Underground Utilities).

Summary: Hunter Simmons, Planning Director, presented the waiver request for the preliminary plat approval for Montrose Preserve PUD from the standards of Article VI, Section M (Underground Utilities). Mr. Simmons shared the aerial showing existing power lines and powerlines associated with this phase. Staff is in support of this request.

Staff recommends approval of SD 24.06 waiver request subject to the following condition:

1. This waiver only applies to Lots 1-3 of the Montrose Village PUD.

Hollie MacKellar joined the meeting.

Erik Cortinas made a motion to approve the waiver for the preliminary plat approval for Montrose Preserve PUD.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, Harry Kohler, John Worsham, Erik Cortinas, Paul Fontenot, Clarice Hall-Black

NAY: None.

Consideration of Agenda Items:

A. SD 24.12 Public hearing to consider the request of the Applicant, Jade Consulting, LLC, acting on behalf of the Owner, Two Hands Design & Development LLC, for Final Plat Approval of Hill Top – Lot 29. The property is approximately 1.131 acres and is zoned a PUD – Planned Unit Development. The property is located at 18655 Section Street. **PPIN #: 389630**

Summary: Hunter Simmons, Planning and Zoning Director, presented the request of the Applicant, Jade Consulting, LLC, acting on behalf of the Owner, Two Hands Design & Development LLC, for Final Plat Approval of Hill Top – Lot 29. Mr. Simmons stated that a fire flow test needed to be performed and since that passed, no infrastructure is needed.

Staff recommends approval of SD 24.12:

Chairman Turner opened the public hearing at 5:12pm. Having no one present to speak the public hearing was closed at 5:12pm.

John Worsham made a motion to approve SD 24.12.

Hollie MacKellar seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, Harry Kohler, John Worsham, Hollie MacKellar, Erik Cortinas, Paul Fontenot, Clarice Hall-Black

NAY: None.

B. SD 24.15 Public hearing to consider the request of the Applicant, Dewberry, acting on behalf of the Owner, Tommy Thomasson et al, for Final Plat approval for Montrose Preserve PUD, Ph. 1, a 3-lot major subdivision. The property is approximately 8.94 acres and is zoned as a PUD – Planned Unit Development. The property is located on the west side of Greeno Road and south of Sibley Street. **PPIN #: 75979**

Summary: Hunter Simmons, Planning and Zoning Director, presented the request of the Applicant, Dewberry, acting on behalf of the Owner, Tommy Thomasson et al, for Final Plat approval for Montrose Preserve PUD, Ph. 1, a 3-lot major subdivision. Mr. Simmons shared the zoning and aerial maps. A main goal was screening the subdivision from the highway and the cemetery. A 40' buffer has been added to the common area to accommodate this goal. There is a 20' buffer on lot 1. The City has accepted the ROWs and within the resolution, the City acknowledges that they do not plan to open those ROWs at this time.

Follow-Up Activities Required by Final Plat Process:

- Staff will not sign the Final Plat until the road has been installed, tested, and inspected by our Public Work Department. No punch list has been generated because road work has not been performed.
- Copy of the recorded plat (Final Plat must be recorded within 120 days).
- Maintenance and Guarantee Agreement document is not considered fully executed until the Mayor signs said agreement.

- O Remember to include the instrument # from the recorded plat
- O Remember to include 30 days in paragraph 3

Staff recommends conditional approval of SD 24.15 subject to the following conditions:

1. In lieu of fire flow requirements of the preliminary plat approval, there shall not be any further building permits given for the three lots until (a) Daphne completes the 10" water main extension AND (b) the Engineer confirms in writing the fire flow at the newly installed hydrant meets International Fire Code standards. The following note shall be added to the Plat as part of this condition, "No building permit will be issued for any lot within this subdivision until a fire flow report confirms there is adequate water to meet the fire protection requirements of the International Fire Code."
2. Roads will need to be paved and tested. Public Works shall review test results and confirm the road has passed Final Inspections prior to Staff signing the Final Plat.
3. As-builts drawings with Engineer's Certification shall be required prior to Staff signing the Final Plat.
4. Install bollard as required by Public Works.

Chairman Turner stated that he is uncomfortable passing the final plat without the roads being installed.

Jason Estes, Dewberry, stated that the work should be done in the next week.

Chairman Turner opened the public hearing at 5:20pm. Having no one present to speak the public hearing was closed at 5:20pm.

Harry Kohler asked if the construction that is underway on the south side is part of the project. Mr. Estes stated that may be Daphne Utilities. Mr. Simmons stated it may be ALDOT performing drainage repairs.

Chairman Turner requested that the trees are considered during the project. Hollie MacKellar reiterated the protection of historic trees. Mr. Simmons stated that the preconstruction meeting with the contractor will address that.

John Worsham made a motion to approve SD 24.15 with staff recommendations.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, Harry Kohler, John Worsham, Hollie MacKellar, Erik Cortinas, Paul Fontenot, Clarice Hall-Black

NAY: None.

C. SD 24.18 Public hearing to consider the request of the Applicant, S.E. Civil, acting on behalf of the Owner, 68V Overland 2021, LLC for Final plat approval of Overland Subdivision, Phase 2, a 29-lot subdivision. The property is approximately 12.48 acres and is located at the southeast corner of the intersection of County Road 48 and River Mill Drive. **PPIN #: 618027**

Mike Jeffries, Development Services Manager, presented the request of the Applicant, S.E. Civil, acting on behalf of the Owner, 68V Overland 2021, LLC for Final plat approval of Overland Subdivision, Phase 2, a 29-lot subdivision. Mr. Jeffries shared the zoning and aerial maps. Mr. Jeffries shared pictures

of the current mulch trails and his concerns of the long-term viability. Signs need to be placed on the path. Mr. Jeffries shared a second mulch trail that should be restored at the entrance next to the model home.

Follow-Up Activities Required by Final Plat Process:

- Copy of the recorded plat (Final Plat must be recorded within 120 days)
- Copy of the recorded O&M Agreement (Add Ph2 to the Ph1 O&M Agreement)
- Maintenance and Guarantee Agreement executed by the subdivider – this document is not considered fully executed until the Mayor signs said agreement.
 - o Remember to include the instrument # from the recorded plat
 - o Remember to include 30 days in paragraph 3

Staff recommends conditional approval of SD 24.18 subject to the following conditions:

1. Amend the Site Data table to read “Current Zoning: P.U.D. Ordinance #1713”
2. Add General Notes to plat:
 - o Drainage and Utility easements exists over all common areas.
 - o The Property Owners Associate is responsible for the maintenance of the walking trails and keeping them in good working order.
3. Remove Planning Director signature block from the plat.
4. Add trail markings to indicate the path through the woods to be approved by the Planning Director.

John Worsham asked why we allow mulch paths. Mr. Simmons stated that the City does not have a standard for paths. Paths have been allowed to be counted as greenspace. The maintenance plan stated the paths will be remulched four times a year along with, if there is an area of wash out, there are instructions to dig it out, fill it with rock and remulch, creating a type of French drain to stop the water from washing out the mulch.

Aaron Collins, S.E. Civil, had conversations with the client about permanent solutions to the walking trail. Chairman Turner asked if the mulch would get pushed down with people using it. Mr. Simmons stated that a liner may help, but the slope of the path is the main issue.

Paul Fontenot suggested a liner to contain the mulch and using different types of mulch and stated larger chunks of mulch will float. There are spray products that would stiffen up the mulch. The main issue would be to identify the areas of washout and take care of that. Mr. Simmons asked about the slope and would a log, cross ties or stairs help. Mr. Fontenot agreed that would help.

Hollie MacKellar asked if they had expected this and are they proud of the project. Larry Smith, S.E. Civil stated that the issue with the mulch trail is that the area has been a construction site. As the developers begin to take over, the area will get better. Ms. MacKellar asked what would make it better. Mr. Smith replied that trying to create step landings, by adding a railroad tie or timber every so often to hold the mulch and create a flatter area. Mr. Smith is proud of the boardwalk and the bottom area looks very nice with benches placed throughout. Ms. MacKellar feels like mulch should be removed all together on paths and gave an example where it had to be replaced with pine straw.

Chairman Turner continued that the preliminary plats come for approval without elevations being shot. Mr. Simmons agreed that Planning Staff only sees grading plans for common areas and not the lots. A grading plan for the whole site may be needed at the preliminary stage.

Chairman Turner opened the public hearing at 5:40pm. Having no one present to speak the public hearing was closed at 5:40pm.

John Worsham made a motion to approve SD 24.18 with modified staff recommendations.

Clarice Hall-Black seconded the motion and the motion carried with the following vote:

AYE: Lee Turner, Harry Kohler, John Worsham, Hollie MacKellar, Erik Cortinas, Paul Fontenot, Clarice Hall-Black

NAY: None.

D. ZC 24.07 Public hearing to consider the request of the Applicant, Christopher Lieb, acting on behalf of the Owner, Gerald W. Haring, to rezone property from R-1, Low Density Single-Family Residential District, to B-4, Business and Professional District. The property is approximately 0.69 acres and is located at 7671 Parker Road. **PPINS #: 98380, 7684**

Michelle Melton presented the request of the Applicant, Christopher Lieb, acting on behalf of the Owner, Gerald W. Haring, to rezone property from R-1, Low Density Single-Family Residential District, to B-4, Business and Professional District. Ms. Melton shared the zoning and aerial maps.

Staff recommends approval to the City Council of ZC 24.07 with staff conditions:

1. Regardless of the allowed uses in Table 3-1 of the Fairhope Zoning Ordinance, the following uses shall be prohibited on the subject property:
 - a. Elementary School
 - b. Secondary School
 - c. Library
 - d. Public Utility
 - e. Grocery
 - f. Convenience Store
 - g. Convalescent or Nursing Home
 - h. Outdoor Recreation Facility
 - i. Mortuary or Funeral Home
 - j. Personal Storage
 - k. Boarding House or Dormitory
 - l. Limited Manufacturing
2. Rezoning request is for the use as Professional Office. Any change in use other than Professional Office shall meet all applicable laws and regulations at the time of application.

Chris Lieb, Lieb Engineering, stated that this is a personal project to convert the home into his personal office and bring his business back to Fairhope. As a resident of Montrose, he appreciates the Planning Commission protecting the trees.

Harry Kohler asked what type of business this was. Mr. Lieb stated it is an Engineering company.

Chairman Turner opened the public hearing at 5:46pm. Having no one present to speak the public hearing was closed at 5:46pm.

Hollie MacKellar made a motion to recommend approval of ZC 24.07 to the City Council with staff recommendations.

Erik Cortinas asked to confirm the wording of condition #2. Mr. Simmons stated that if anyone requests a use other than Professional Office, that individual would need to come back for another rezoning approval.

John Worsham seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, Harry Kohler, John Worsham, Hollie MacKellar, Erik Cortinas, Paul Fontenot, Clarice Hall-Black

NAY: None.

E. ZC 24.08 Public hearing to consider the request from the City of Fairhope Planning and Zoning Department, for various proposed amendments to the City of Fairhope's Zoning Ordinance.

Hunter Simmons, Planning and Zoning Director, presented the request from the City of Fairhope Planning and Zoning Department, for various proposed amendments to the City of Fairhope's Zoning Ordinance. This amendment would require parking in the CBD for certain uses. The life blood of Fairhope has been retail and restaurants. The current trends of the recent projects are office and residential. The only one that has specific parking is residential units. The City is proposing to add a new parking requirement table in the CBD which mimics Section IV of the Zoning Ordinance verbatim. The amendment would add Table 5-1. Mr. Simmons shared the proposed parking space changes and the study that brought about these proposed changes. Mr. Simmons then shared the locations of the proposed parking spaces, the dimensions and sizes and parking credits. Chairman Turner suggested giving debits for public parking spaces being given away and a possible impact fee/fine for every public parking space given away. Mr. Simmons stated the stance has always been that staff will not support on street parking. Mr. Simmons suggested that parking credit approvals be given by the Planning Commission. Chairman Turner stated that it should come when the Site Plan approval application is presented. Hollie MacKellar agreed with Chairman Turner and that the City needs to look at a parking plan. Ms. MacKellar suggested looking at loading zones. Mr. Simmons and Chairman Turner agreed. Ms. MacKellar suggested that business owners parking in front of their business should be penalized. Mr. Simmons stated that this amendment would only affect new developments. Chairman Turner supports these amendments.

Mr. Simmons continued by sharing slides of the CBD and the parking. Mr. Simmons stated that by placing parking on site, it limits the size of the building. One business had installed a gate arm to keep the public from parking in the private parking. Ingress and egress are important when considering parking.

Staff recommends approval of ZC 24.08 to City Council.

Chairman Turner opened the public hearing at 6:08pm.

Mac Walcott asked if there is actually a parking problem. How are we identifying it? After driving around to find a spot, he may be a block and half away or two blocks away. We take a fresh look at walkability. Do the cars matter more than the people do? It's not the end of the world to have to walk a few blocks to your destination. Mr. Walcott looked at the Comp Plan which embraces mixed use. Most

of downtown is small lots. The changes that are being considered now indirectly or directly discourage development on the small lots. How do you determine the 300' thing? Because of the may category instead of a shall, the property owners are at risk way into the project. Mr. Walcott suggested crafting an ordinance with clarity.

Chairman Turner stated that a big problem that staff has recognized is that we are not getting a balance of requests now. Since we have gone to a 40' height, many buildings are going lot line to lot line without much architectural attractiveness. Chairman Turner continued that we are trying to avoid a parking emergency. The concern if we take what we have today and add more on street parking with each development, how will the retailers stay in business. Mr. Walcott suggested impact fees to build another garage. Mr. Simmons added that the parking authority is driving through every day to create a parking study.

Larry Smith, S.E. Civil, is concerned with small lots, rear parking and a lot of driveways getting to the back. Any time there needs to be parking in the rear, a business has to figure how to get to the rear which would make a lot of different driveways. Mr. Smith acknowledged that office staff also eats at the restaurants and the City is not only for visitors and asked the Planning Commissioners to keep that in mind.

Ryan Baker, 460 Elwood, stated that the parking amendment will destroy downtown. Driveways taking up parking spaces for curb cuts will create a whole new downtown. It will disincentivize multistory buildings, street front approach and businesses that may want to move here. A building may need to be torn down to build a parking lot. This amendment favors restaurant and retail and not office space. This would limit the overall feel of downtown.

Gary Gover, 300 Lincoln Street, stated that he attended the Parking Authority meeting who is working hard on these same issues. This problem needs broader participation. This also may affect pedestrian and bicycle traffic.

The public hearing was closed at 6:25pm.

Mr. Simmons stated that staff has worked with the Parking Authority. Hollie MacKellar asked how many people were on the Parking Authority. Mr. Simmons continued that many options were on the table to help with parking in the CBD. If a retail store converts into an office space, then parking would be required.

Clarice Hall-Black stated that she has not experienced a parking problem. Mr. Simmons reiterated that this amendment focuses on new development. Mr. Simmons stated that one of the main reasons for this amendment is that so people on the front end know what is required. Ms. MacKellar stated that we need to look at what the City will look like in the next 30 years and not a knee-jerk reaction.

John Worsham and Chairman Turner suggested tabling this item until the next meeting.

John Worsham made a motion to table ZC 24.08.

Erik Cortinas seconded the motion and the motion carried unanimously with the following vote:

AYE: Lee Turner, Harry Kohler, John Worsham, Hollie MacKellar, Erik Cortinas, Paul Fontenot, Clarice Hall-Black
NAY: None.

Adjournment

John Worsham made a motion to adjourn.

AYE: Lee Turner, Harry Kohler, John Worsham, Hollie MacKellar, Erik Cortinas, Paul Fontenot, Clarice Hall-Black
NAY: None.

Adjourned at 6:34pm.

Lee Turner, Chairman

Cindy Beaudreau, Secretary



This digital package has been condensed for size and some documents may not contain all the original pages. All submittals were reviewed in full by staff in preparation for the reports prepared for the Planning Commission.

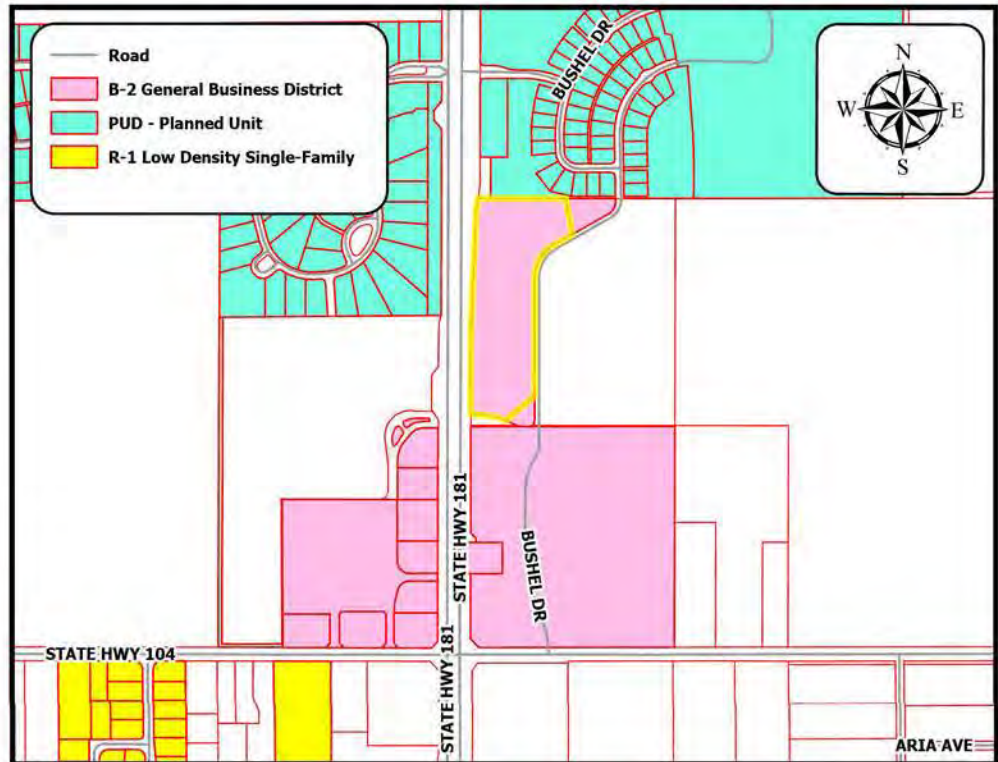
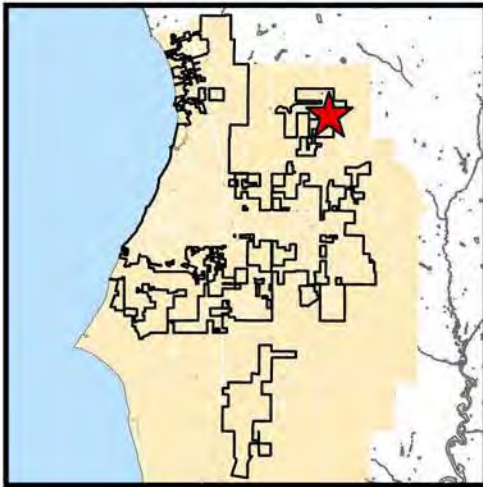
City of Fairhope

Planning Commission

September 5, 2024



SD 24.19 - Rockwell Place



Project Name:

Rockwell Place

Site Data:

11.70 acres

Project Type:

Preliminary plat approval of resubdivision

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

B-2 General Business District

PPIN Number:

625448

General Location:

NE of the intersection of AL-181 and AL-104

Surveyor of Record:

Sawgrass Consulting

Engineer of Record:

Sawgrass Consulting

Owner / Developer:

FST Rockwell, LLC

School District:

Fairhope Elementary School

Fairhope Middle and High Schools

Recommendation:

Approved w/ Conditions

Prepared by:

Name Mike Jeffries





APPLICATION FOR SUBDIVISION PLAT APPROVAL

Application Type: ☐ Village Subdivision ☐ Minor Subdivision ☐ Informal (No Fee)
☒ Preliminary Plat ☐ Final Plat ☐ Multiple Occupancy Project

Attachments: ☐ Articles of Incorporation or List all associated investors
 Date of Application: 08-12-2024

Property Owner / Leaseholder Information

Name of Property Owner: Rockwell LLC Phone Number: 251-544-7900
 Address of Property Owner: P O Box 579
 City: Bay Minette State: AL Zip: 36507

Proposed Subdivision Name: Resubdivision Lot 1, Common Areas 1 & 2 - Rockwell Place
 No. Acres in Plat: 12.97 No. Lots/Units: 12
 Parcel No: See below ** Current Zoning: B2

Authorized Agent Information

Plat must be signed by the property owner before acceptance by the City of Fairhope

Name of Authorized Agent: Sawgrass Consulting, LLC Phone Number: 251-544-7900
 Address: 30673 Sgt. E.I. Boots Thomas Dr
 City: Spanish Fort State: AL Zip: 36527
 Contact Person: TIM LAWLEY, PE

Surveyor/Engineer Information

Name of Firm: Sawgrass Consulting, LLC Phone Number: 251-544-7900
 Address: 30673 Sgt. E.I. Boots Thomas Dr
 City: Spanish Fort State: AL Zip: 36527
 Contact Person: TIM LAWLEY

Plat Fee Calculation:

Reference: Ordinance 1269

Signatures:

I certify that I am the property owner/leaseholder of the above described property and hereby submit this plat to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

Timothy D. Lawley, PE
 Property Owner/Leaseholder Printed Name

08-12-24
 Date

[Signature]
 Signature
[Signature]
 Fairhope Single Tax Corp. (If Applicable)

Ruben Davidson, III
as Secretary of FSTC

** 05-46-01-02-0-000-001.911 PPIN 625448
 05-46-01-02-0-000-001.912 PPIN 625449
 05-46-01-02-0-000-001.910 PPIN 625447

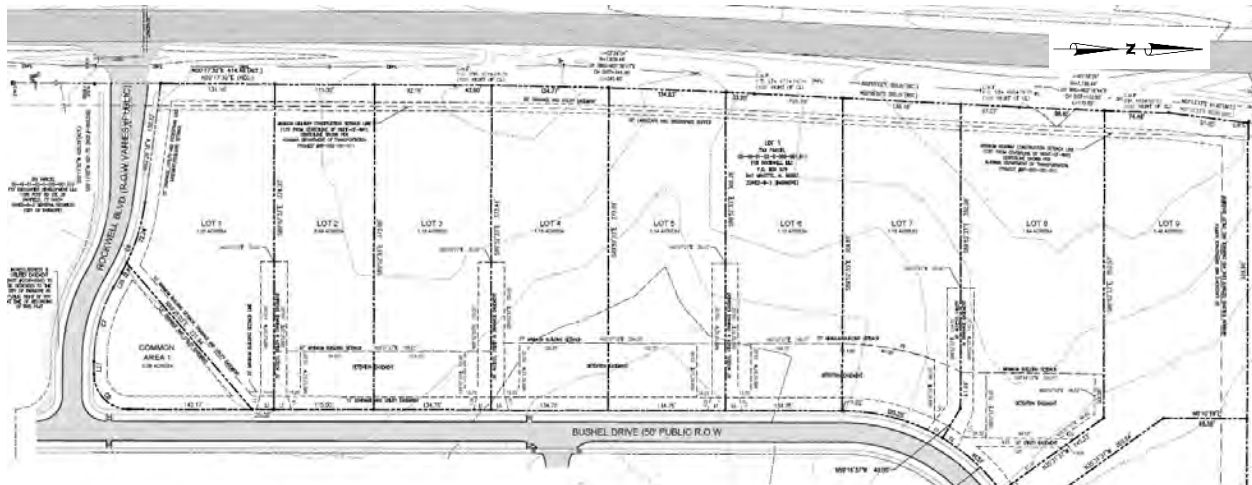
Summary of Request:

Public hearing to consider the request of the applicant, Sawgrass Consulting, LLC, acting on behalf of the Owner, FST Rockwell, LLC, for Preliminary Plat approval of Rockwell Place Resub, a 10-lot Major Subdivision. The property is approximately 11.70 acres and is zoned B-2, General Business District. The property is located on the east side of State Highway 181, south of the Harvest Green East Subdivision and across from The Waters Subdivision.

Site Data

SITE DATA	
NUMBER OF LOTS: 10 LOTS	
SMALLEST LOT SIZE: 0.90 ACRES± (39,407 S.F.±)	
TOTAL AREA: 12.97	
COMMON AREA: 1.27 ACRES± (55,284 SF±)	
PARCEL NO.: 05-46-01-02-0-000-001.503	
COMMON AREA 1 PARCEL NO.: 05-46-01-02-0-000-001.912	
COMMON AREA 2 PARCEL NO.: 05-46-01-02-0-000-001.910	
PPIN: 14535	
CURRENT ZONING & SETBACKS:	
(CITY OF FAIRHOPE)	
B-2	
FRONT = 20 FEET	
REAR = 0 FEET	
SIDE = 0 FEET	

Site Plan

	
CERTIFICATE OF APPROVAL BY REVERA UTILITIES (ELECTRIC) I, UNDERSIGNED, AS AUTHORIZED BY REVERA UTILITIES, HEREBY APPROVE THE WITNESS PLAT FOR THE LAYING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA. IN THE _____ DAY OF _____, 2024. REVERA UTILITIES _____ REVERA UTILITIES	CERTIFICATE OF ENGINEER OF RECORD I, TIMOTHY D. LARLEY, A REGISTERED ENGINEER IN THE STATE OF ALABAMA, HEREBY CERTIFY THAT I HAVE REVIEWED THE WITNESS PLAT AND THE SURVEY DATA AND FIND THAT THE SAME COMPLY WITH THE REQUIREMENTS OF THE ALABAMA ENGINEERING ACT AND THE ALABAMA ENGINEERING BOARD. I HAVE OBSERVED THE CONSTRUCTION OF THE WITNESS PLAT AND THE SAME COMPLY WITH THE REQUIREMENTS OF THE ALABAMA ENGINEERING ACT AND THE ALABAMA ENGINEERING BOARD. I HAVE OBSERVED THE CONSTRUCTION OF THE WITNESS PLAT AND THE SAME COMPLY WITH THE REQUIREMENTS OF THE ALABAMA ENGINEERING ACT AND THE ALABAMA ENGINEERING BOARD. TIMOTHY D. LARLEY, P.E. SANDWICH CONSULTING, LLC DATED THIS _____ DAY OF _____, 2024. _____ TIMOTHY D. LARLEY, P.E.
CERTIFICATE OF APPROVAL BY CITY OF FAIRHOPE PLANNING COMMISSION I, UNDERSIGNED, AS AUTHORIZED BY THE CITY OF FAIRHOPE PLANNING COMMISSION, BY APPROVAL OF THIS SUBDIVISION PLAT I PLAN THE LAYING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA. FOR THE PURPOSES OF THIS CERTIFICATE, I HAVE OBSERVED THE CONSTRUCTION OF THE WITNESS PLAT AND THE SAME COMPLY WITH THE REQUIREMENTS OF THE ALABAMA ENGINEERING ACT AND THE ALABAMA ENGINEERING BOARD. CITY OF FAIRHOPE _____ CITY OF FAIRHOPE	CERTIFICATE OF APPROVAL BY CITY OF FAIRHOPE PUBLIC UTILITIES (WATER) I, UNDERSIGNED, AS AUTHORIZED BY CITY OF FAIRHOPE PUBLIC UTILITIES, HEREBY APPROVE THE WITNESS PLAT FOR THE LAYING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA. IN THE _____ DAY OF _____, 2024. _____ CITY OF FAIRHOPE PUBLIC UTILITIES
CERTIFICATE OF BALDWIN COUNTY E-911 ADDRESSING I, UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY E-911 BOARD, HEREBY APPROVE THE ROAD AND AS SHOWN ON THE WITNESS PLAT AND HEREBY APPROVE THE WITNESS PLAT FOR THE LAYING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA. IN THE _____ DAY OF _____, 2024. _____ BALDWIN COUNTY E-911 BOARD	CERTIFICATE OF APPROVAL BY CITY OF FAIRHOPE PUBLIC UTILITIES (SEWER) I, UNDERSIGNED, AS AUTHORIZED BY CITY OF FAIRHOPE PUBLIC UTILITIES, HEREBY APPROVE THE WITNESS PLAT FOR THE LAYING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA. IN THE _____ DAY OF _____, 2024. _____ CITY OF FAIRHOPE PUBLIC UTILITIES
CERTIFICATE OF APPROVAL BY AT&T I, UNDERSIGNED, AS AUTHORIZED BY AT&T, HEREBY APPROVE THE WITNESS PLAT FOR THE LAYING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA. IN THE _____ DAY OF _____, 2024. _____ AT&T	REQUIREMENTS 30 FOOT LANDSCAPE BUFFER ALONG HIGHWAY 181 AND THE NORTH LINE OF LOTS 9 AND 10 UNLESS OTHERWISE SHOWN HEREON _____ REQUIREMENTS
LEASEHOLD OWNER FST ROCKWELL, LLC 200 3001 17th DAYTON, ALABAMA 36027	UTILITY PROVIDERS WATER - CITY OF FAIRHOPE SEWER - CITY OF FAIRHOPE ELECTRIC - REVERA UTILITIES PHONE - AT&T

Comments:

The development is a re-subdivision of lot 1 of Rockwell Place Subdivision and was recently rezoned to B-2. The infrastructure for this development already exists and is available along Bushel Drive.

- A multi-use path has been constructed along Hwy 181 along with landscaping and connects to the multi-use path to the south in the Encounter Development.
- A portion of sidewalk will be installed along the northern property line to connect the multi-use path along Hwy 181 to the existing sidewalk on Bushel Drive and connect to a sidewalk in the Harvest Green East Subdivision.
- Drainage is being master planned and designed for the entire site. A very shallow landscaped depression will be created along the front of the lots. During normal conditions they will be dry and sodded. Detention easements are located along the front of the lots.
- The drainage has been reviewed and meets the requirements of the Subdivision Regulations.
- Access points have been designated to limit the number of road cuts along Bushel Drive.
- Greenspace is provided a 30' wide Greenway along the north and west property lines that includes and the multi-use path and landscaping. None of the areas around the detention ponds are being credited as greenspace.
- A revised landscape shall be submitted incorporating landscaping around the detention areas along Bushel Drive.

The subdivision regulations contain the following criteria in Article IV.B.2. Approval Standards.

"2. Consistency with Plans, Regulations and Laws - The Planning Commission shall not approve the subdivision of land if the Commission makes a finding that such land is not suitable for platting and development as proposed, due to any of the following:

a. The proposed subdivision is not consistent with the City's Comprehensive Plan, and/or the City's Zoning ordinance, where applicable;

- ***Meets***

b. The proposed subdivision is not consistent with the City's Comprehensive Plan or any other plan or program for the physical development of the City including but not limited to a Master Street Plan, a Parks Plan, a Bicycle Plan, a Pedestrian Plan, or the Capital Improvements Program;

- ***Meets***

c. The proposed subdivision is not consistent with these Regulations;

- ***Meets***

d. The proposed subdivision is not consistent with other applicable state or federal laws and regulations;
or

- ***Meets***

e. The proposed subdivision otherwise endangers the health, safety, welfare or property within the planning jurisdiction of the City."

- ***Meets***

Recommendation:

Staff recommends ***Conditional Approval*** of SD 24.19 Rockwell Place Resub **subject to the following condition:**

1. Review and approval of a revised Landscape Plan.



30673 Sgt E.L. "Boots" Thomas Dr.
Spanish Fort, AL 36527
P: 251-544-7900
www.sawgrassllc.com

August 13, 2024

Mr. Mike Jeffries, Development Services Manager
City of Fairhope
161 North Section Street
P O Drawer 429
Fairhope, AL 36533

RE: SD 24,19 Re-Sub Rockwell Place

Dear Mr. Jeffries:

We are in receipt of your comments from your review of the Re-Sub Rockwell Place application (letter dated 08-07-24) and offer the following response/revisions. Your comments are shown in **BOLD** and our response is shown in *ITALICS*.

1. **Revise application to include the common area lots. Needs to be signed by Fairhope Single Tax.**
Revised application attached.
2. **Revise Utility Provider table on plat to reflect Fairhope Sewer.**
Updated plat attached.
3. **Edit date on sewer signature block.**
Updated plat attached.
4. **Revise plat to include common areas as part of Subdivision.**
Updated plat attached.
5. **Provide greenspace plan showing acreage by type as described in Table 4-1 of the Subdivision Regulations. Be sure to review the Eligible Greenspace and Design Requirements in Article V, Section C3-4 of the Subdivision Regulations.**
Greenspace drawing is attached.
6. **Provide a more comprehensive drainage plan as discussed in DRC meeting and reflect any needed drainage easements on the plat.**
Approximate areas required for detention on lots 2-9 are shown on the greenspace drawing.
7. **Add note to plat for mandatory Site Plat Review for each lot at time of development.**
Updated plat attached.

Page 2

August 13, 2024

Re-Sub Rockwell Place

8. **Add a note to plat "Access to lots 1-7 shall be from Bushel Drive."**

Updated plat attached.

9. **Add a note to plat referencing drainage requirements. TBD on what the drainage solution/plan will become.**

Updated plat attached.

If you have any questions or need additional information, please contact me at 251-544-7900 or at tlawley@sawgrassllc.com.

Sincerely,



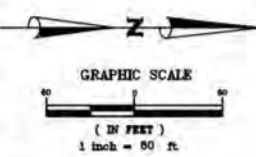
Timothy D. Lawley, PE
Sawgrass Consulting, LLC

DRAINAGE NOTES

- ALL DETENTION AND WATER QUALITY REQUIREMENTS HAVE BEEN MET FOR LOTS 1-10. NO ADDITIONAL DETENTION OR WATER QUALITY IMPROVEMENTS SHALL BE REQUIRED ON LOTS 1-10.
- STORMWATER ON LOT 1 SHALL BE ROUTED TO THE POND LOCATED IN COMMON AREA 1, VIA CONNECTION TO EXISTING 18" RCP ON LOT 1.
- STORMWATER ON LOTS 9 AND 10 SHALL BE ROUTED TO THE POND LOCATED IN COMMON AREA 2, VIA CONNECTION TO EXISTING 18" RCP ON LOT 9 AND LOT 10.
- STORMWATER ON LOTS 2 AND 3 SHALL BE ROUTED TO THE POND LOCATED ON THE EAST SIDE OF LOTS 2 AND 3.
- STORMWATER ON LOTS 4 AND 5 SHALL BE ROUTED TO THE POND LOCATED ON THE EAST SIDE OF LOTS 4 AND 5.
- STORMWATER ON LOTS 6 AND 7 SHALL BE ROUTED TO THE POND LOCATED ON THE EAST SIDE OF LOTS 6 AND 7.
- STORMWATER ON LOT 8 SHALL BE ROUTED TO THE POND LOCATED ON THE EAST SIDE OF LOT 8.

RESUBDIVISION LOT 1, COMMON AREAS 1 & 2 ROCKWELL PLACE

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C9	107.06'	312.43'	19.63	N9°55'18"E	108.54'
D6	85.14'	225.00'	21.68	N71°37'51"W	84.64'
C4	26.52'	225.00'	6.75	S57°24'06"W	26.50'
C1	20.03'	225.00'	5.10	N28°10'23"E	20.02'
C2	70.03'	225.00'	5.10	N33°16'22"E	20.02'
C8	62.82'	40.00'	89.98	N45°06'48"E	56.56'
C7	88.90'	175.00'	29.11	S75°20'37"E	87.95'



Parcel Line Table		
Line #	Length	Direction
L1	20.62'	N75°50'23"W
L2	20.00'	N0°07'27"E
L3	20.00'	N0°07'27"E
L4	20.62'	N76°05'16"E
L5	20.00'	N0°07'27"E
L6	20.00'	N0°07'27"E
L7	20.00'	N0°07'27"E
L8	20.00'	N0°07'27"E
L11	45.27'	N65°37'05"W
L18	20.62'	N75°50'23"W
L19	20.62'	N76°05'16"E
L20	20.62'	N75°50'23"W
L21	20.62'	N76°05'16"E
L23	125.76'	N0°44'12"E
L24	98.96'	N0°44'12"E
L25	16.91'	N35°31'37"W
L26	19.82'	N60°47'23"W
L27	14.79'	N89°53'51"W
L29	16.91'	N0°44'12"E

GENERAL NOTES

- INFORMATION USED TO PERFORM AND PRODUCE THIS SURVEY ARE PREVIOUS SURVEYS, BY THIS FIRM OR OTHERS, DEEDS OF RECORDS AND/OR OTHER INFORMATION AS PROVIDED BY THE CLIENT. NO TITLE SEARCH, OPINION OR ABSTRACT WAS PERFORMED BY THIS FIRM OR BY OTHERS UNDER THE DIRECTION OF THIS FIRM. IN ADDITION, THERE MAY BE OTHER INSTRUMENTS OF RECORD WITHIN THE OFFICE OF THE JUDGE OF PROBATE, AS WELL AS OTHER UNRECORDED INSTRUMENTS COULD ENCUMBER AND/OR AFFECT THE BOUNDARIES OF THIS PROPERTY THAT WERE NOT FURNISHED AT THE TIME OF SURVEY.
- BASE OF BEARING: BASED ON GRID NORTH AS DETERMINED BY RTK GPS AND REFERENCED TO NAD83, ALABAMA WEST STATE PLANE COORDINATES.
- DATE OF FIELD WORK: SEPTEMBER 2020
- TWO FOOT CONTOURS ARE REFERENCED TO NAVD83
- I HAVE CONSULTED THE FEDERAL INSURANCE ADMINISTRATION MAP, COMMUNITY PANEL NO. 0100302661M, EFFECTIVE APRIL 19, 2019, AND HAVE FOUND THAT THE DESCRIBED PROPERTY IS LOCATED IN ZONE "X" (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- ANY FLOOD ZONES GIVEN OR SHOWN ON THE FACE OF THIS DRAWING ARE SCALED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAPS (SCALED ONLY)
- NO STRUCTURES ARE PERMITTED WITHIN DRAINAGE EASEMENT INCLUDING BUILDINGS, FENCES, POOLS, ETC. STRUCTURES AND/OR IMPROVEMENTS CONSTRUCTED IN AN EASEMENT ARE SUBJECT TO REMOVAL BY THE HOME OWNERS ASSOCIATION.
- CITY OF FAIRHOPE, NOT RESPONSIBLE FOR MAINTENANCE OF COMMON AREAS OR DRAINAGE EASEMENTS.
- 15' DRAINAGE AND UTILITY EASEMENT REQUIRED ALONG ALL INTERIOR LOT LINES (7.5' EACH SIDE).
- SITE PLAN REVIEW SHALL BE REQUIRED FOR ALL LOTS AT TIME OF DEVELOPMENT.
- ACCESS TO LOTS 1-7 SHALL BE FROM BUSHEL DRIVE.

CERTIFICATE OF LEASEHOLD OWNER

STATE OF ALABAMA
COUNTY OF BALDWIN

THIS IS TO CERTIFY THAT I, TOM E. MITCHELL, MANAGING MEMBER OF ROCKWELL, LLC, AM THE LEASEHOLD OWNER OF THE LAND SHOWN AND DESCRIBED HEREON, HAVE CAUSED THE LAND EMBRACED WITHIN SAID PLAT TO BE SURVEYED, Laid OUT AND PLATTED TO BE KNOWN AS RESUBDIVISION OF LOT 1, ROCKWELL PLACE, AS PART OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 2 EAST, BALDWIN COUNTY, ALABAMA, AND THAT THE STREETS, DRIVES, ALLEYS, EASEMENTS, ETC. AS SHOWN ON SAID PLAT ARE HEREBY DEDICATED TO THE USE OF THE PUBLIC UNLESS OTHERWISE NOTED OR SHOWN HEREON.

DATED THIS _____ DAY OF _____, 20____.

TOM E. MITCHELL, MANAGING MEMBER
ROCKWELL, LLC

CERTIFICATE OF NOTARY PUBLIC

STATE OF ALABAMA
COUNTY OF BALDWIN

I, _____, A NOTARY PUBLIC IN AND FOR THE COUNTY OF BALDWIN IN THE STATE OF ALABAMA DO CERTIFY THAT WHOSE NAME IS SUBSCRIBED TO THE CERTIFICATE OF OWNERSHIP, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE SIGNED, SEALED AND DELIVERED SAID INSTRUMENT AT THIS FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSE HEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC

SURVEYOR'S CERTIFICATE AND DESCRIPTION OF LAND PLATTED

STATE OF ALABAMA
COUNTY OF BALDWIN

I, ERIC E. GOODWIN, A REGISTERED SURVEYOR OF BALDWIN COUNTY, ALABAMA, HEREBY CERTIFY THAT I HAVE SURVEYED THE BELOW DESCRIBED PROPERTY SITUATED IN BALDWIN COUNTY, ALABAMA:

LOT 1, COMMON AREA 1, COMMON AREA 2, ROCKWELL PLACE, AS RECORDED AS SLIDE 2942-B, IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA.

AND THAT THE PLAT OR MAP CONTAINED HEREON IS A TRUE AND CORRECT MAP SHOWING THE SUBDIVISION INTO WHICH THE PROPERTY DESCRIBED IS DIVIDED, GIVING THE LENGTH AND BEARINGS OF EACH LOT AND EASEMENT AND ITS NUMBER AND SHOWING THE STREETS, ALLEYS AND PUBLIC GROUNDS AND GIVING THE BEARINGS, LENGTH, WIDTH AND NAMES OF THE STREETS, SAID MAP FURTHER SHOWS RELATION OF THE LAND SO PLATTED TO THE GOVERNMENT SURVEY, AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED AT POINTS MARKED THIS (O) AS HEREON SHOWN.

I FURTHER CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

ERIC E. GOODWIN, PLS
ALABAMA LICENSE NUMBER 26621

DATE _____

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES (ELECTRIC)

THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

THIS THE _____ DAY OF _____, 20____.

AUTHORIZED SIGNATURE _____

CERTIFICATE OF APPROVAL BY CITY OF FAIRHOPE PLANNING COMMISSION

APPROVED BY THE CITY OF FAIRHOPE PLANNING COMMISSION. BY APPROVAL OF THIS SUBDIVISION PLAT THE PLANNING COMMISSION OF THE CITY OF FAIRHOPE ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THE PLAT, AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

SECRETARY _____ DATE _____

CERTIFICATE OF BALDWIN COUNTY E-911 ADDRESSING

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY E-911 BOARD, HEREBY APPROVES THE ROAD NAMES AS DEPICTED ON THE MAP WITHIN PLAT AND HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

THIS _____ DAY OF _____, OF 20____.

AUTHORIZED REPRESENTATIVE _____ DATE _____

CERTIFICATE OF APPROVAL BY AT&T

THE UNDERSIGNED, AS AUTHORIZED BY AT&T, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

THIS THE _____ DAY OF _____, 20____.

AUTHORIZED SIGNATURE _____

CERTIFICATE OF ENGINEER OF RECORD

I, TIMOTHY D. LAWLEY, A REGISTERED ENGINEER IN THE STATE OF ALABAMA HOLDING CERTIFICATE NUMBER 30859, HEREBY CERTIFY THAT I HAVE DESIGNED THE WITHIN IMPROVEMENTS IN CONFORMITY WITH APPLICABLE CODES AND LAWS AND WITH THE PRINCIPALS OF GOOD ENGINEERING PRACTICE. I FURTHER CERTIFY THAT I HAVE OBSERVED THE CONSTRUCTION OF THE WITHIN IMPROVEMENTS, THAT THE SAME CONFORMS TO MY DESIGN, THAT THE WITHIN IS A TRUE AND ACCURATE REPRESENTATION OF IMPROVEMENTS AS INSTALLED AND THAT SAID IMPROVEMENTS ARE HEREBY RECOMMENDED FOR ACCEPTANCE BY THE CITY OF FAIRHOPE, ALABAMA.

SIGNED THIS _____ DAY OF _____, 20____.

TIMOTHY D. LAWLEY, P.E.
SANGRASS CONSULTING, LLC

CERTIFICATE OF APPROVAL BY CITY OF FAIRHOPE PUBLIC UTILITIES (WATER)

THE UNDERSIGNED, AS AUTHORIZED BY CITY OF FAIRHOPE PUBLIC UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

THIS THE _____ DAY OF _____, 20____.

AUTHORIZED SIGNATURE _____

CERTIFICATE OF APPROVAL BY CITY OF FAIRHOPE PUBLIC UTILITIES (SEWER)

THE UNDERSIGNED, AS AUTHORIZED BY CITY OF FAIRHOPE PUBLIC UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA.

DATED THIS _____ DAY OF _____, 20____.

(AUTHORIZED SIGNATURE) _____

SITE DATA

NUMBER OF LOTS: 10 LOTS
SMALLEST LOT SIZE: 0.90 ACRES (39,407 S.F.)
TOTAL AREA: 12.97
COMMON AREA: 1.27 ACRES (55,284 S.F.)
PARCEL NO: 05-46-01-02-0-000-001.503
COMMON AREA 1 PARCEL NO: 05-46-01-02-0-000-001.912
COMMON AREA 2 PARCEL NO: 05-46-01-02-0-000-001.910
PPIN: 14533

CURRENT ZONING & SETBACKS

(CITY OF FAIRHOPE)

B-2

FRONT = 20 FEET
REAR = 0 FEET
SIDE = 0 FEET

REQUIRED BUFFERS:

50 FOOT LANDSCAPE BUFFER ALONG HIGHWAY 181 AND THE NORTH LINE OF LOTS 9 AND 10 UNLESS OTHERWISE SHOWN HEREON

LEASEHOLD OWNER

ROCKWELL, LLC
PO BOX 579
BAY MINETTE, ALABAMA 36507

SURVEYOR/ENGINEER

SANGRASS CONSULTING, LLC
30673 SGT E. L. "BOOTS" THOMAS DRIVE, SPANISH FORT, AL 36527
SURVEYOR: ERIC E. GOODWIN, PLS
ALABAMA LICENSE NUMBER 26621
ENGINEER: TIMOTHY D. LAWLEY, P.E.
ALABAMA LICENSE NUMBER 30859

UTILITY PROVIDERS

WATER - CITY OF FAIRHOPE
SEWER - CITY OF FAIRHOPE
ELECTRIC - RIVIERA UTILITIES
PHONE - AT&T

NUMBER	REVISION	DATE

LEGEND	
● C.R.F.	CAPPED REBAR FOUND
● B.F.	REBAR IRON FOUND
● C.M.C.	CONCRETE MONUMENT FOUND
○ C.R.S.	1/2" CAPPED REBAR SET "CA 1007-LS"
○ M.N.S.	"MAC" NAIL SET



ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT

30673 Sgt. E. L. "Boots" Thomas Drive, Spanish Fort, AL 36527 Phone: (251) 544-7900

FINAL PLAT

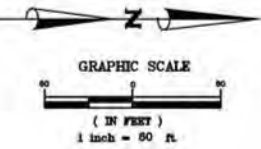
RESUBDIVISION LOT 1, COMMON AREAS 1 & 2

ROCKWELL PLACE

ROCKWELL, LLC

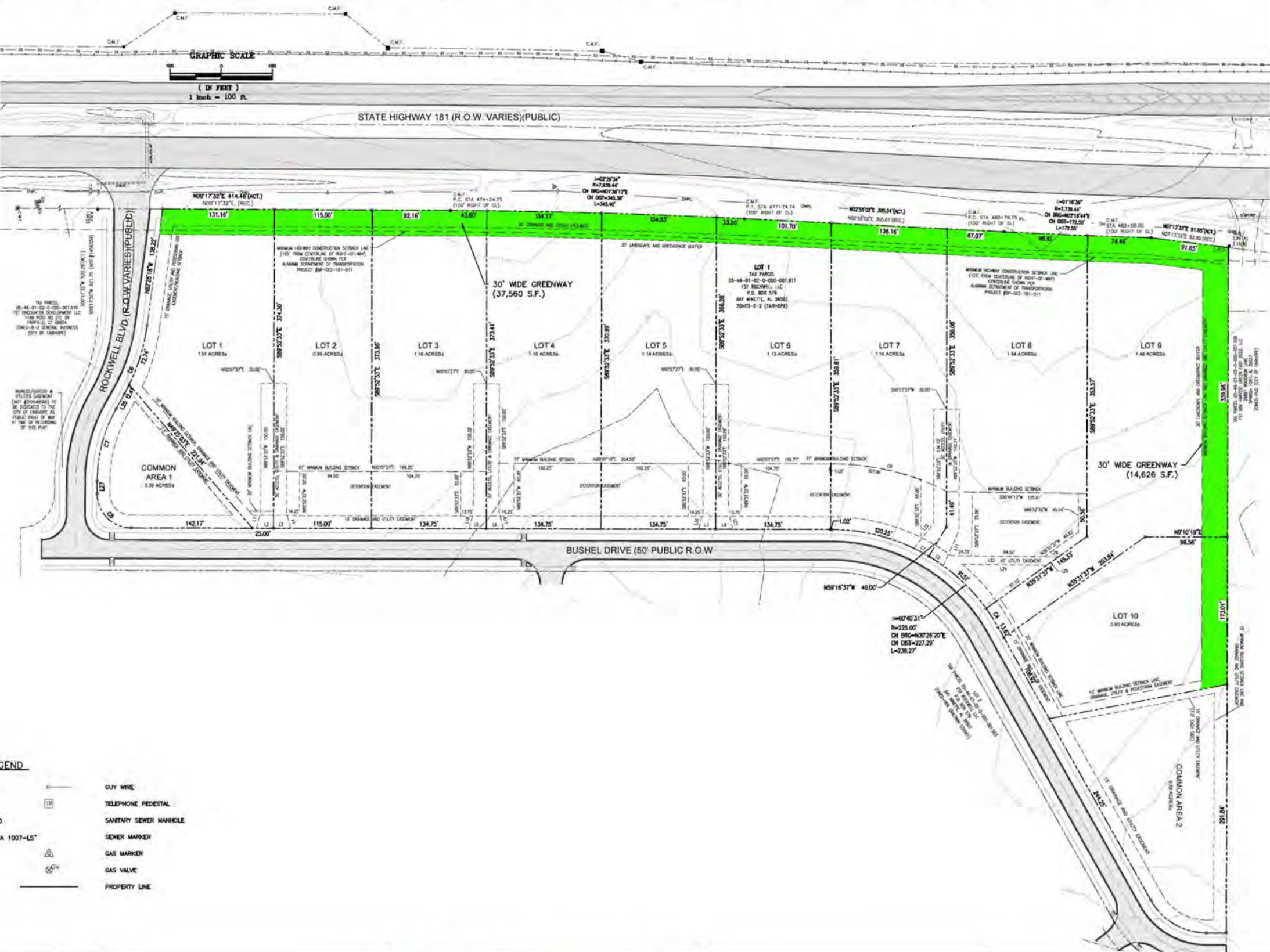
SCALE: 1"=80'
DATE: AUGUST, 2024
DRAWN BY: TDL
CHECKED BY:
SHEET: 1 OF 1

RESUBDIVISION LOT 1, COMMON AREAS 1 & 2 ROCKWELL PLACE GREENSPACE DRAWING



GREEN SPACE DATA

STATE HWY 181 = 37,644 SF
NORTH OF LOTS 9 & 10 = 14,626
TOTAL GREEN SPACE PROVIDED = 52,186 SF
TOTAL GREEN SPACE REQUIRED = 50,971 SF



LEGEND

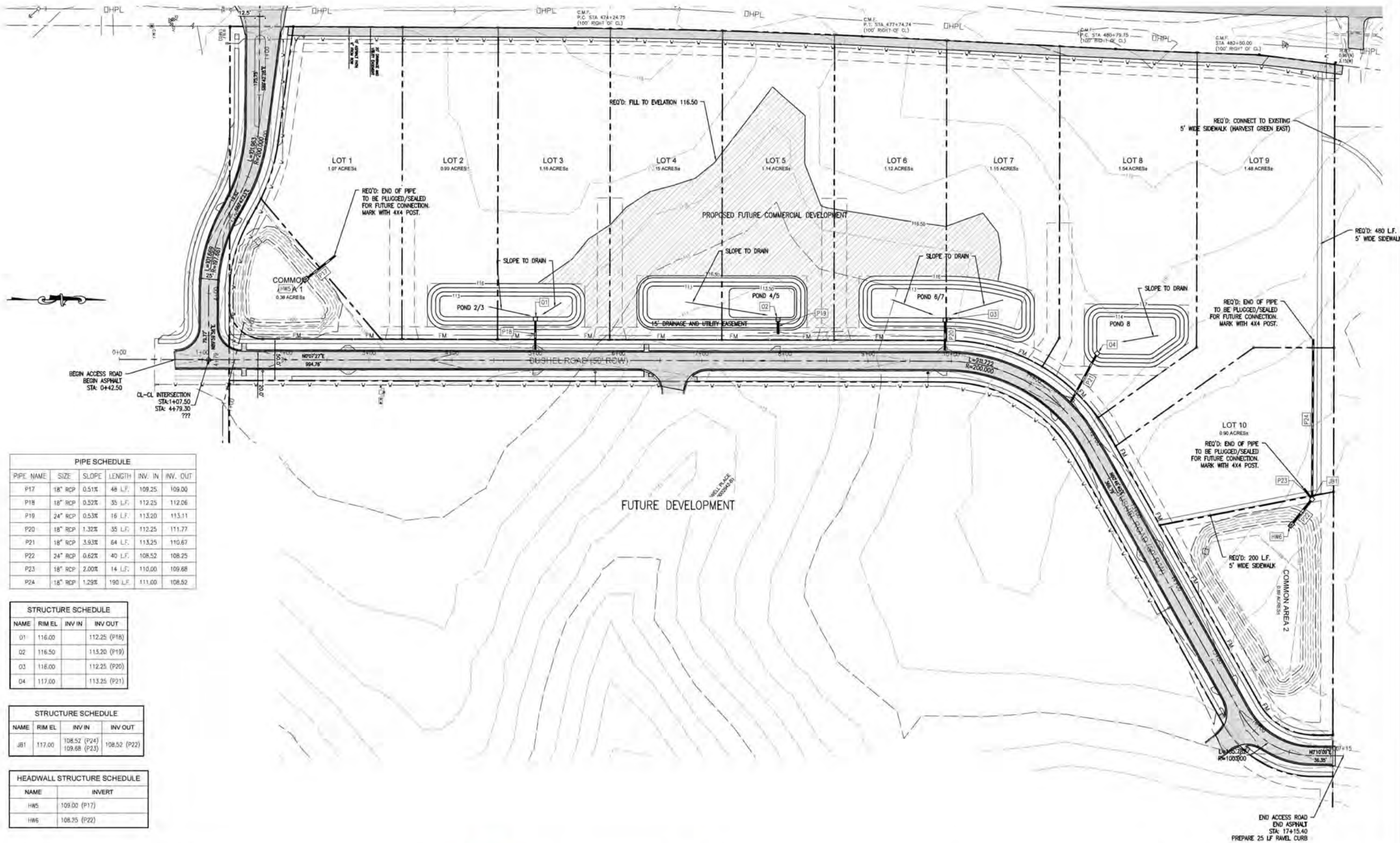
- | | | |
|----------|------------------------------------|--------------------------|
| ● C.R.F. | CAPPED REBAR FOUND | — GUY WIRE |
| ● R.B.F. | REBAR IRON FOUND | — TELEPHONE PEDESTAL |
| ■ C.M.F. | CONCRETE MONUMENT FOUND | — SANITARY SEWER MANHOLE |
| ○ | 1/2" CAPPED REBAR SET "CA 1007-LS" | — SEWER MARKER |
| ○ M.N.S. | "MAG" NAIL SET | — GAS MARKER |
| □ | TRANSFORMER | — GAS VALVE |
| — | POWER POLE | — PROPERTY LINE |

Sawgrass
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
30673 Sgl. E. 1 "Books" Thomas Drive, Spanish Fort, AL 36527 Phone: (251) 544-7900

GREENSPACE DRAWING
RESUBDIVISION LOT 1, COMMON AREAS 1 & 2
ROCKWELL PLACE
ROCKWELL, LLC

SCALE: 1"=60'
DATE: AUGUST, 2024
DRAWN BY: TDL
CHECKED BY:
SHEET: 1 OF 1

NUMBER:	REVISION:	DATE:



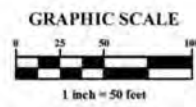
PIPE SCHEDULE						
PIPE NAME	SIZE	SLOPE	LENGTH	INV. IN	INV. OUT	
P17	18" RCP	0.51%	48 L.F.	109.25	109.00	
P18	18" RCP	0.52%	35 L.F.	112.25	112.06	
P19	24" RCP	0.53%	16 L.F.	113.20	113.11	
P20	18" RCP	1.32%	35 L.F.	112.25	111.77	
P21	18" RCP	3.93%	64 L.F.	113.25	110.67	
P22	24" RCP	0.62%	40 L.F.	108.52	108.25	
P23	18" RCP	2.00%	14 L.F.	110.00	109.68	
P24	18" RCP	1.29%	190 L.F.	111.00	108.52	

STRUCTURE SCHEDULE			
NAME	RIM EL	INV IN	INV OUT
01	116.00		112.25 (P18)
02	116.50		113.20 (P19)
03	116.00		112.25 (P20)
04	117.00		113.25 (P21)

STRUCTURE SCHEDULE			
NAME	RIM EL	INV IN	INV OUT
JB1	117.00	108.52 (P24)	108.52 (P22)

HEADWALL STRUCTURE SCHEDULE	
NAME	INVERT
HW5	109.00 (P17)
HW6	108.25 (P22)

NUMBER	REVISION	DATE





ENGINEERING • SURVEYING • CONSTRUCTION MANAGEMENT

30673 Sgt. E. V. "Boots" Thomas Drive, Spanish Fort, AL 36527 Phone: (251) 544-7900

DETENTION-NORTH SIDEWALK PLAN

ROCKWELL PLACE ROADWAY PLANS

ROCKWELL, L.L.C.



SCALE: 1"=50'

DATE: JULY 2024

DRAWN BY: CW

CHECKED BY: TL

SHEET: 5 OF 13

ROCKWELL PLACE COMMERCIAL DEVELOPMENT

22100 STATE HWY 181

11.7 ACRES COMMERCIAL (10 Lots)



Storm Water Calculations

Prepared by



08-20-2024

Project Description

Rockwell Place is located along the east side of State Highway 181 approximately 1,800 feet North of County Road 104. The address of the property is 23100 Hwy 181. The property currently consists of 2 lots, 2 common areas, and 2 public ROW's. Lot 1, common areas 1 and 2, and the public ROW for both Bushel Dr and Rockwell Blvd lie within the City of Fairhope; Lot 2 is in Baldwin County. The development will consist of a 20.8 apartment site on lot 2, and a 11.7-acre, 10 lot commercial subdivision on lot 1. This drainage report covers the 11.7-acre commercial subdivision on lot 1.

The site naturally slopes from the west to the east. Two detention ponds have been constructed on both ends of Bushel Drive to provide detention for the public ROW (for Bushel Dr. and Rockwell Blvd), lot 1, lot 9, and lot 10. Four additional ponds are proposed to be constructed to serve lots 2-8. There will be a detention pond located on the east side of lots 2&3 that serves lots 2&3, a detention pond located on the east side of lots 4&5 that serves lots 4&5, a detention pond located on the east side of lots 6&7 that serves lots 6&7, and a detention pond located on the east side of lot 8 that serves lot 8.

The detention pond located at the south end of Bushel Drive will provide water quality for lots 1-3. The large detention pond located in the SE corner of the development (Lot 2) will provide water quality for lots 4-10.

Affected Drainage Areas Pre and Post Development

The affected drainage area for the commercial development includes Lots 1-10 and the public ROW for both Bushel Drive and Rockwell Blvd. There is also a small area draining from the ALDOT Row onto the subject property from the west (approximately 1.31 acres). Under both predeveloped and post developed conditions, this water will be routed to the pond located on the east side of lots 4&5.

All onsite stormwater will be collected and conveyed to the stormwater detention ponds located at the north end and south end of the development via underground piping. The detention pond and release structure were designed to release stormwater below Pre-Development release rates for the additional stormwater runoff generated through the development of the site as noted below.

The project is located within the Fish River Watershed which has been modeled. In this watershed, detention ponds are designed to detain the 2-, 5-, 10- and 25-year storm events and withstand the 100-year storm event. For this project, the detention ponds are designed to detain all storm interval including the 100-year storm event and release peak runoff below pre-development levels.

Pre-Development vs. Post Development Surface Conditions

The property was previously used for agriculture and row crops. A conservative C-value of 0.25 was used for the existing conditions calculations. A C value of 0.5 was used for the offsite ALDOT ROW under both the predeveloped and post developed condition. For the post development condition, a C-value of 0.25 was used for undeveloped areas, 0.85 used for developed lots, and 0.9 used for internal ROW areas.

To be conservative, 25 mins was input for the time of concentration for both predeveloped drainage basins and 5 mins for all post developed basins.

Hydro CADD® Modeling for Stormwater Detention

The **Hydro CADD® Modeling** program was utilized to analyze the 2, 5, 10, 25, 50, and 100-year, 24-hour storm events using the rational method for determining stormwater run-off and detention requirements. The peak pre-development and post development discharge rates (Q) for each Return Period are provided in Appendix A. The results reflect that the Post-Development Discharge Rates are less than the Pre-Development Discharge Rates for each storm event analyzed and there is no breach of the pond during a 100-year event.

Retention Pond Outlet Control Structure and Water Quality

Pond 1 is a detention pond designed to hold water at a minimum depth of 4 feet below normal pool elevation. This is done to meet the 80% removal requirement of total suspended solids (TSS) by the City of Fairhope. The treatment volume provided within the normal pool volume of pond 1 is 15,806 CF. This is being used to provide water quality treatment for 1.17 acres of internal ROW and the developable areas of lots 1 -3 (2.55 acres). The required treatment volume for the 1.17 acres of ROW (considering 70% coverage) is 5,290 CF. The required treatment volume for the 2.55 acres of developable areas on lots 1-3 (considering 80% site coverage and reduction for 60% TSS removal by the proposed dry detention pond) is 3,128 CF. Total water quality required for the referenced 3.72 acres (as calculated above) is 8,418 CF; less than what is provided by pond 1.

Pond 1 is located on the south side of the development. Pond 1 has a normal pool of 109 feet and berm elevation of 115 feet. The internal side slopes of the pond are 3:1.

Pond 2 is located at the north end of the development. Pond 2 has a bottom of 108 feet and a berm height of 115 feet and does not retain water below normal pool depth. This is because Pond 2 discharges to the large retention pond in the NE corner of the site, which will provide the 80% TSS removal required. The treatment volume provided within the normal pool volume of the NE pond is 146,062 CF. This is being used to provide water quality treatment for the 1.08 acres of internal ROW and the developable areas of lots 4-10 (6.57 acres). Total water quality required for the referenced 7.65 acres (considering 80% site coverage and reduction for 60% TSS removal by the proposed dry detention pond(s)) is 8,059 CF; less than what is provided by the NE Pond.

The Outlet Control Structures for all ponds consist of concrete box structures with slotted weirs along one side and weir openings at the top. Details of the outlet structures are provided on the plans.

Table 1 provides the peak discharges for post developed flow compared to the pre-developed flow for each storm interval for Pond 1. Table 2 provides the peak discharge comparison for Pond 2.

Table 1: POND 1 DISCHARGE

Storm Frequency	Pre Development On-Site "Q" (cfs)	Post Development Total from Pond 1 "Q" (cfs)
2 yr	6.6	6.1
5 yr	7.9	7.3
10 yr	9.1	8.3
25 yr	10.7	9.8
50 yr	11.9	10.9
100 yr	13.2	12.1

Table 2: POND 2 DISCHARGE

Storm Frequency	Pre Development On-Site "Q" (cfs)	Post Development Total from Pond 2 "Q" (cfs)
2 yr	10.0	9.4
5 yr	12.0	11.4
10 yr	13.7	13.2
25 yr	16.0	15.5
50 yr	17.9	17.4
100 yr	19.8	19.4

As shown in Table 1 and Table 2 above, the stormwater detention ponds will detain stormwater runoff from the developed site with a controlled discharge rate less than the discharge rate prior to development for each storm return period.

Stormwater Collection and Conveyance System

The Stormwater Collection and Conveyance System is shown on the as built plans. The system has been designed to carry the 25-year storm event. Design calculations for this have been previously approved.

ROCKWELL PLACE COMMUNITY MEETING

SIGN IN SHEET

NAME	ADDRESS
Jenelle Fernandez Aaron Seims	113 Shallow Spring CV
Doug Littleton Wade	243 Big Canyon
Tim Lawley	Sawgrass
Ethan Ivey	Sawgrass
Tom Mitchell	Rockwell Hc.



its station clearly is

concrete foundations
about 2000

1. on the left side of the road
the road is

2. on the right

Timber

2. on the right

Timber

Rockwell Inc.

Tom Mitchell



ROCKWELL PLACE COMMUNITY MEETING MINUTES

Date: July 15, 2024
Location: 3 Circle Church South Campus
Time: 5:15 p.m.

Attendees:

Tim Lawley, Sawgrass
Ethan Ivey, Sawgrass
Tom Mitchell, Rockwell
Jenelle Fernandez
Aaron Seims
Dowe Littleton Wafers

Tim Lawley, Sawgrass opened the meeting at 5:20 p.m. and welcomed attendees.

Tim Lawley gives brief description of the project. He then opens the floor for questions.

Dowe asked anticipated start date for any construction. Tim responded with Sawgrass will be submitting to the City on July 23 which will put Rockwell on the September Planning Commission Agenda, ideally get approved September or October. At that point lots could be sold and it would likely take a minimum of 3-4 months of additional time before any construction could begin.

Dowe asked about lighting, street lighting, additional lighting.

Tim responded that no additional lighting is proposed at this time (other than the street lights along the internal roadways). Lighting for individual lots will be reviewed upon site plan approval.

Dowe asked when will apartments have occupants?

Tom Mitchell replied at the end of September, at the earliest.

Dowe asked about any water impacts on the west side of Highway 181.

Tom Mitchell states there will be no impact of the water across the road.

Tim explained most of the drainage (with the exception of a small area at the main entrance) on this site drains back to the east.

Jenelle asks for clarification of the 10-lot site location. Tim clarified and showed on plans.

Tim thanks attendees for coming and meeting ends at 5:28 p.m.



July 19, 2024

Sawgrass Consulting, LLC
202 Government St, Suite 225
Mobile, AL 36602

Sherry Sullivan
Mayor

Council Members:

Kevin G. Boone
Jay Robinson
Jack Burrell, ACMO
Jimmy Conyers
Corey Martin

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
Treasurer

RE: Regarding your availability request for Resubdivision of Lot 1, Rockwell Place, PARCEL NUMBER 46-01-02-0-000-001.503.

Water & Sewer: Based upon review of the proposed resubdivision of Lot 1 of Rockwell Place, water and sewer Fairhope Public Utilities is currently available. All tap fees and system development charges (SDC's) will apply, and all necessary infrastructure improvements will be at the developer's expense.

Sincerely,


Jason Brown
Project Coordinator

161 North Section St.
PO Drawer 429
Fairhope, AL 36533

251-928-2136 (p)
251-928-6776 (f)
www.fairhopeal.gov



AT&T Alabama
2155 Old Shell Rd
Mobile, AL 36607
www.att.com

T: 251.471.8361
F: 251.471.0410
w.mitchell@att.com

December 4, 2023

Tim Lawley
Sawgrass Engineering

RE: Service Availability – Rockwell Place Subdivision

Dear Mr. Lawley,

This letter is in response to your request for information on the availability of service at the above location by AT&T.

This letter acknowledges that the above referenced property is located in an area served by AT&T. Any service arrangements for this location will be subject to later discussions and agreements between the developer and AT&T. Please be advised that this letter is not a commitment by AT&T to provide service to this location.

Please contact me at the phone number included in this letter with any questions.

Thank you for contacting AT&T.

Sincerely,

A handwritten signature in black ink, appearing to read "Wade Mitchell".

Wade Mitchell
Professional – OSP Design Engineer
AT&T Alabama
2155 Old Shell Rd
Mobile, Alabama 36607
Gulf District/ Mobile Office



RIVIERA UTILITIES

413 East Laurel Avenue - Foley, AL 36535
Phone (251) 943-5001

7/19/2024

Tim Lawley
Sawgrass, LLC
30673 SGT El "Boots" Thomas Drive
Spanish Fort, AL 36527

RE: Rockwell Place Lot 1

This letter is to confirm based on the site plan received; Riviera Utilities is willing and able to provide electric service to above referenced property.

Riviera Utilities requires a 10' easement along all side property lines and a 15' easement along all front and rear property lines. Please ensure all property plats reflect the easements.

Upon final design, Riviera Utilities will provide estimates for service fees and system installation requirements to meet all Riviera specifications. Please contact the following Riviera employees concerning costs and requirements.

Name	Department	Email
Wes Abrams	Electric	wabrams@rivierautilities.com

If you have any questions or comments, contact Riviera Utilities at 251-943-5001.

Thank you,

James Wallace

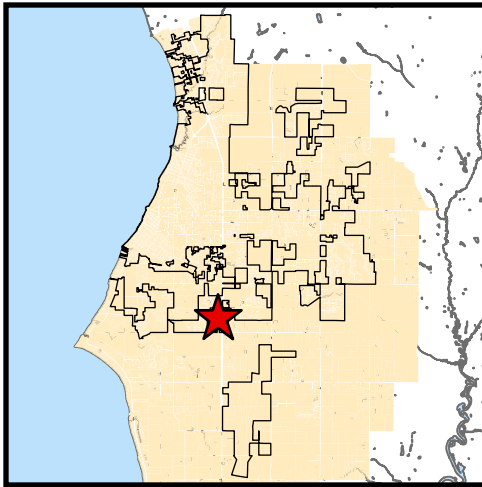
City of Fairhope

Planning Commission

September 5, 2024



ZC 24.02 - Legends at Point Clear



Project Name:

Legends at Point Clear

Site Data:

13.80 acres

Project Type:

Rezone from B-2 to PUD

Jurisdiction:

Fairhope Planning Jurisdiction

Zoning District:

B-2

PPIN Number:

39376, 210314

General Location:

West side of Greeno Road South, North of Old Battles Road/CR-34

Surveyor of Record:

SCorUSA

Engineer of Record:

SCorUSA

Owner / Developer:

Steven W. Corbett

School District:

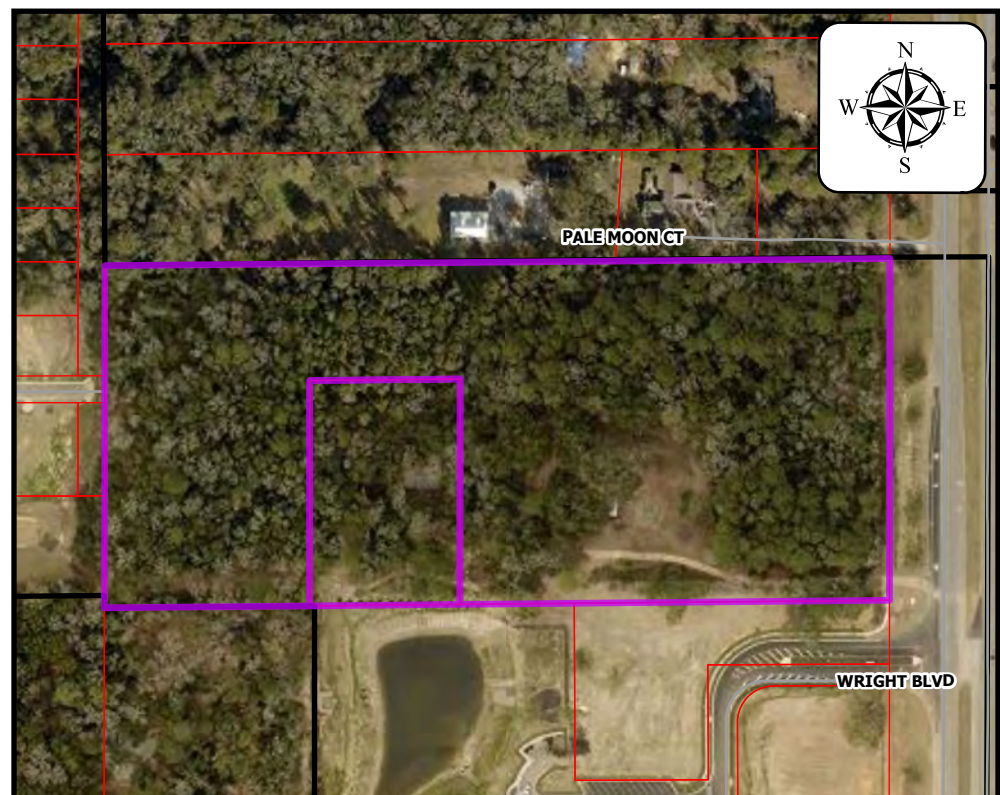
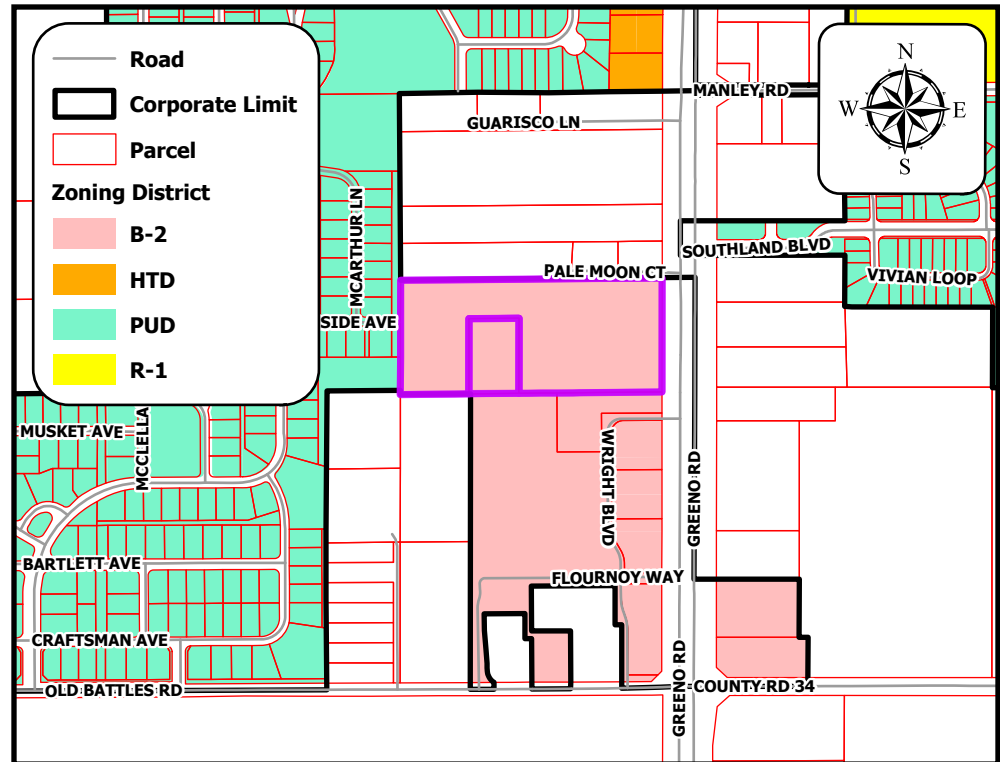
Fairhope Elementary School
Fairhope Middle and High Schools

Recommendation:

Denial

Prepared by:

HS and MM





APPLICATION FOR ZONING DISTRICT CHANGE

Property Owner / Leaseholder Information

Name: Steven W. Corbett Phone Number: 706-445-9103
 Street Address: PO Box 1609
 City: Phenix City State: AL Zip: 36868

Applicant / Agent Information

If different from above.

Notarized letter from property owner is required if an agent is used for representation.

Name: SCorUSA, LLC Phone Number: 706-718-3683
 Street Address: PO Box 1609
 City: Phenix City State: AL Zip: 36868

Current Zoning of Property: B-2
 Proposed Zoning/Use of the Property: PUD
 Property Address: 18323 GREENO RD & 18323 GREENO RD S (A)
 Parcel Number: 05-46-09-29-0-000-068.000 & 05-46-09-29-0-000-068.001
 Property Legal Description: See enclosed
 Reason for Zoning Change: see attached PUD narrative document

Property Map Attached ☒ YES ☐ NO
 Metes and Bounds Description Attached ☒ YES ☐ NO
 Names and Address of all Real Property Owners
 within 300 Feet of Above Described Property Attached. ☒ YES ☐ NO

Character of Improvements to the Property and Approximate Construction Date: January 2025

Zoning Fee Calculation:

Reference: Ordinance 1269

I certify that I am the property owner/leaseholder of the above described property and hereby submit this application to the City for review. *If property is owned by Fairhope Single Tax Corp. an authorized Single Tax representative shall sign this application.

STEVEN CORBETT
 Property Owner/Leaseholder Printed Name

Steven W Corbett
 Signature

3/19/24
 Date

Fairhope Single Tax Corp. (If Applicable)



CERTIFICATION OF PROPERTY OWNER NOTIFICATION LIST
As Required by the City of Fairhope

Hearings on Zoning Change applications require notification to all property owners within 300 feet of the property under consideration for the change. This list must be the most current property owners' records available from the Baldwin County Revenue Office.

By signing below, I Steven W. Corbett, (applicant) do hereby certify that the property owner list attached to this application was obtained from the Baldwin County Revenue Office and is a complete list of all real property owners/lessees within 300 feet of the parcel submitted for consideration by the Planning & Zoning Commission.

Signature of Applicant or Authorized Agent

3/19/24

Date of Application

LEGENDS CONCEPT RENDERING - AERIAL 1 FROM HWY 98



LEGENDS CONCEPT RENDERING - AERIAL 1 FROM PUBLIX



Summary of Request:

Applicant, SCorUSA, LLC requests to rezone two (2) parcels of approximately 13.3 acres from B-2 “General Business District” to Planned Unit Development (“PUD”). The development is to be known as Legends at Point Clear and is located at 18323 Greeno Road (South). It is north adjacent to the Publix Shopping Center at Point Clear (B-2) and directly east of Old Battles Village (PUD). Baldwin County residential zoned parcels (RSF-E, RSF-1, and High Density Residential “HDR”) also border the subject property. JADE Consulting, LLC “JADE” is the authorized agent. MOP and Site Plan Review to follow.

There are eight (8) buildings proposed.

There are two (2) commercial buildings facing Greeno Road with a total of 12,400sf. Access is by way of Greeno Road, which is a public paved road and Wright Blvd to the south from the Publix Shopping Center, which is private. A plaza is proposed facing Greeno Road.

Buildings 1 and 2 are two-story mixed-use with 23 residential units, ~16,000sf of commercial space, and ~5,000 sf of residential clubhouse.

Buildings 3-6 are multi-family residential ranging from 24 to 30 units each and are three stories high. There are 108 residential units proposed in Buildings 3-6.

In total there are 131 residential units proposed with 28,579 sf of commercial space.



Conceptual Site Plan

There is also a multi-use trail proposed that will link Old Battles Village to the Publix. The private trail is proposed to connect to the Burnside Avenue public right-of-way. Much of the trail will be a boardwalk that transects the low area, but will be designed to accommodate pedestrian, bicycle, and low-speed vehicular traffic. As drawn, the proposed trail transects over private property. Applicant stated that there will have to be easements granted at the Site Plan/MOP review phase.

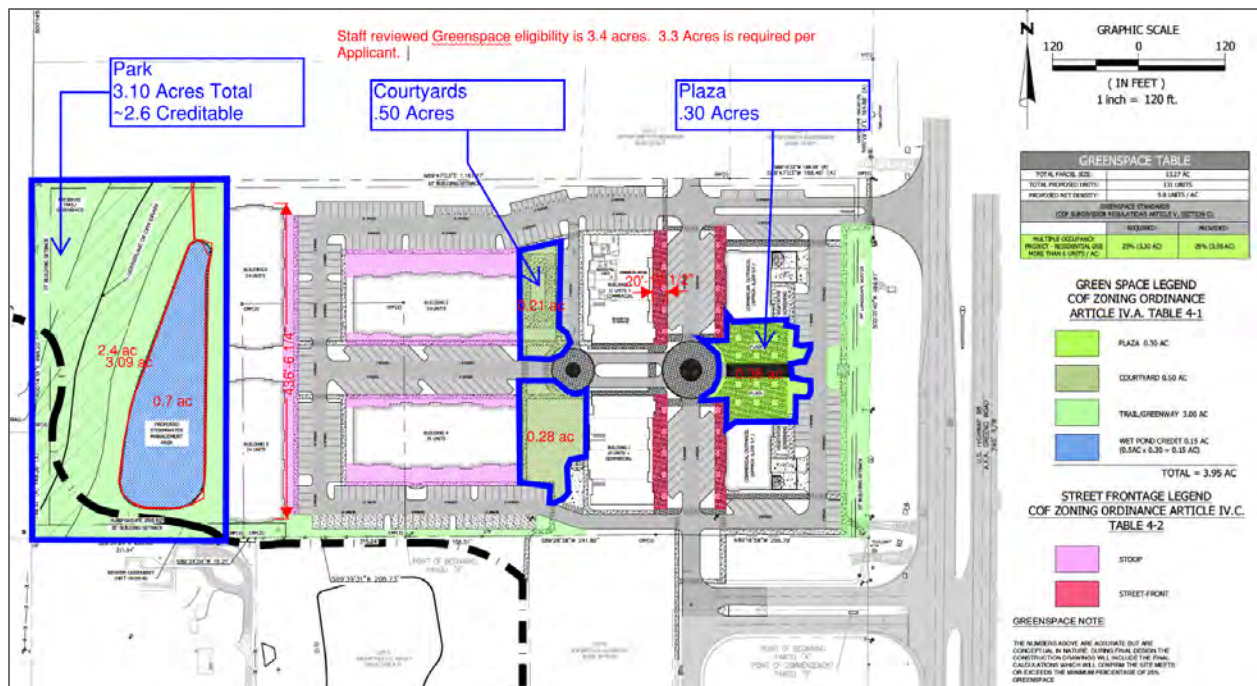
SITE DATA TABLE		
STATE OF ALABAMA COUNTY OF BALDWIN CITY OF FAYBORE		
TAX PARCEL ID:	05-46-09-29-0-000-068.000 05-46-09-29-0-000-068.001	
PARCEL SIZE:	13.27 AC	
EXISTING ZONING:	GENERAL BUSINESS (B-2)	
PROPOSED ZONING:	PLANNED UNIT DEVELOPMENT (PUD)	
PUD ACREAGE:	13.27 AC	
<u>BUILDING SETBACKS:</u>		
FRONT:	25'	
SIDE & STREET SIDE:	0' OR 20' WHEN ABUTTING RESIDENTIAL	
REAR:	25'	
<u>BUILDING AREA & DIMENSIONAL REQUIREMENTS:</u>		
BUILDING HEIGHT:	MAX. 48' TO RIDGE OF ROOF (31' TO EAVE)	
MULTI-FAMILY HOUSING:	131 TOTAL UNITS	
NET DENSITY:	131 UNITS / 13.27 AC = 9.87 UNITS/AC	
COMMERCIAL:	22,500 SF PLUS OUTPARCELS	
<u>PARKING STANDARDS:</u>		
	REQUIRED:	PROVIDED:
MIXED USE PARKING:	1 SPACE PER UNIT 131 UNITS = 131 SPACES	131 SPACES
COMMERCIAL PARKING:	0-400 SF GFA = 4 SPACES + 400-5000 SF GFA = 1 SPACE/400 SF + OVER 5000 SF = 1 SPACE/200 SF	400 SF GFA = 4 SPACES + 4600 SF/400 SF = 11 SPACES + 17500 SF / 200 SF = 87 SPACES 102 SPACES
FUTURE COMMERCIAL OUTPARCEL PARKING:	(PER CITY ZONING ORDINANCE)	
<u>SIDEWALK, PARKING SPACE, AND STREET DIMENSIONS:</u>		
SIDEWALK WIDTH:	MIN. 5' WIDTH	
PARKING SPACES:	10'x20'	
COMPACT PARKING SPACES:	8'x15'	
DRIVE AISLE:	20' MIN - 26' (FOR 3 STORY STRUCTURE)	

Additional Comments

Phasing Applicant should take measures during the initial phase of development to make sure there is diversity among the residential and commercial components, *i.e.*, the residential units built without any commercial units.

Uses Since the development is to be zoned PUD the allowed uses are determined by the Ordinance and Master Development Plan. Applicant is comfortable limiting the uses allowed within the mixed-use and commercial units in the Legends at Point Clear PUD. For example, there is a plaza on the conceptual site plan between the commercial outparcels that is an open public (civic) space that should be an enjoyable gathering place *not* beside an automotive repair/service garage at a commercial lot. If approved, Staff would recommend alterations to the proposed uses as stated below.

Greenspace Greenspace is provided by way of a plaza between the strictly commercial buildings, courtyards in front of Buildings 3 and 4 (including around a pool in front of Building 3), and a park type of greenspace in the rear. The Applicant states 3.3 acres are required to achieve the minimum 25% greenspace requirements. The Applicant's Greenspace plan illustrates 3.95 Acres of Greenspace, Staff calculated eligible items to equate to 3.4 acres IF the courtyards front public rights-of-way. It is important to note the street frontage types shown on the plan are requirements of the Village Districts or Table 4-2 and are not Greenspace types. Greenspace may be further impacted by the results of the third-party environmental review.



Eligible Greenspace

Connectivity and Buffers With Publix to the south this project is a logical extension and should emphasize connectivity and walkability. Property to the north is currently zoned residential and buffers are required and accommodated. Old Battles Village lies to the west. A major drainageway lies on the westernmost side of the subject property. While roadway connectivity is always an important goal in

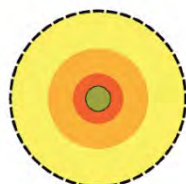
Fairhope, and there is a stub-street available at Burnside Avenue, considerations of natural areas are an exception to the rule. Preliminary plans illustrated the westernmost area as wetlands; however, a further study stated there are no wetlands on the property. Staff has contracted a third-party review to be certain. In any case, pedestrian, bicycle, and even connectivity for low-speed vehicles should be provided at a minimum. The Applicant proposes to accommodate this access by way of wooden boardwalks that span the low areas. Staff received concerns from several residents of Old Battles Village regarding proximity to existing homes. While minimum buffers can be as little as 10', no building is proposed within 275' of the western property line. Combined with the common areas in Old Battles Village, no private lot would be within 300' of a proposed building.



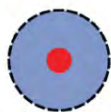
Burnside Avenue 'Stub Street'

Place Types Map with Identified Centers

Symbol Key



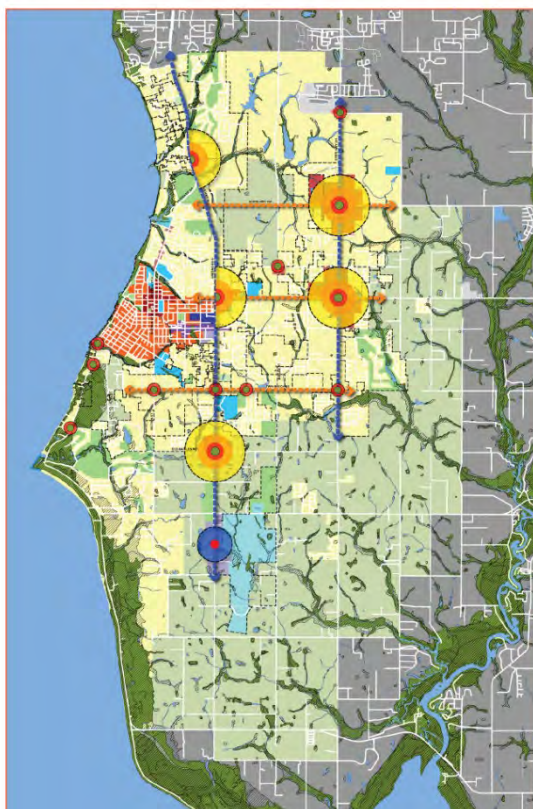
Mixed-Use Centers



Airport/Industrial/Tech Node



Small Commercial Node



Location The current Comprehensive Plan does not prescribe more intense development near this property. However, with the development of the Publix shopping center to the south, the intersection of Greeno Rd and Old Battles Rd is contemplated as a new node, or Suburban Mixed-Use node, within the currently proposed Comprehensive Plan.

The new Comprehensive Plan builds on the historic concept of a "Village Node", but introduces concepts to create places, otherwise known as Place Types. A draft copy of the Suburban Mixed-Use Center is included below. Developments within these identified Centers emphasis walkability, mixed of housing types, blended with commercial uses.

It is important to note that design guidelines, *i.e.*, “Regulations”, are critical to achieve the desired results from a visionary document like a Comprehensive Plan. Policy must be created to support desired results, which is not yet in place. For example, the summary below illustrates buildings that may be 1-3 stories tall. Current regulations limit buildings to ~~2-Stories/35’~~. It is not the intent of the new Comprehensive Plan to allow three stories on all developments for the sole purpose of increasing density, but instead to provide clear guidelines to enhance architectural details.

Excerpt of the Suburban Mixed-Use Place Type from the Draft Comprehensive Plan:

This Place Type can accommodate a mix of land uses and development patterns that are ideally more concentrated than other Suburban areas. Suburban Mixed-Use Centers should be master planned developments where uses are interconnected with streets and blocks rather than separated into individual pods.

Development Density and Form

This Place Type features buildings with a range of building footprints. However, building heights can range from one to three stories. Street setbacks should be generous along corridors, but should be shallower along internal streets. Residential in Suburban Mixed-Use Centers is encouraged when designed to be integrated into a walkable, mixed-use development. Such development ideally contains a range of attached housing types (townhouses and multi-family) with a maximum of 10 units per acre.

This Place Type is generally suburban in form and character along major corridors with limited parking between buildings and the corridor. Internal to development, buildings should front streets with parking located primarily behind or beside buildings. This is because Suburban Centers are often located along auto-dominant corridors; however, these centers can be designed to be improved versions of auto-dominant development. Interconnectivity, internal streets that support multiple modes of transportation, and a mix of uses can go a long way to making suburban development more friendly to pedestrians and bicyclists. Refer to the Community Design section for additional guidance.

Primary Land Uses

Primary land uses for this Place Type include retail, dining, personal and professional services, offices, institutional uses, and a mix of housing types.

Geographic Form

Fairhope's Suburban Centers have a generally nodal form (the opposite of linear) which is typical of Place Types considered to be “centers.” They have rectilinear shapes defined by streets and lot lines. Natural features may also be a defining feature within and at the edges of these centers.

Height Range	1-3 stories (generally up to 40 feet)
Building Form	Variety of building types and sizes clustered and grouped but linked by a connected street network
Building Setback	Should be consistent within a block but can vary to include street fronting buildings on pedestrian-oriented streets. Larger setbacks should be required along highways and include significant landscape.
Streets	Blocks are small and walkable. Streets form an irregular grid system within the neighborhood; may include alleys.
Transportation	Automobile access with complete sidewalk network and recreational trails.
Parking	On-street and private off-street, may include alley loaded garages
Open Space	Preserved passive open space; neighborhood parks, pocket parks, private yards.

Parking Per the Parking Schedule (Table 4-3), a mixed-use dwelling unit requires one space per dwelling unit. All other dwelling units require 2 spaces per dwelling unit. Per the Applicant’s Site Data Table, they provided 1 space for each of the residential units. Staff feels this is an incorrect interpretation. While the development itself is a mixed-use development, four (4) of the buildings are solely apartment buildings. Staff recommends each of the 108 units in Buildings 3-6 would require two spaces per dwelling unit. However, because this is a mixed-use development, Staff would support the parking as proposed based on a shared parking agreement where there are no reserved parking spaces for any use.

Street Frontages The proposed project uses the street frontage guidelines of Table 4-2 of the Zoning Ordinance. Streets must be publicly accessible and future plats must define accessibility and maintenance responsibility. Access to the south is challenging because Wright Blvd is a private road.

Architecture

Applicant provided an Architectural Narrative that should be implemented throughout the complete build out of the village concept creating active streetscapes and “buildings are designed to create an eclectic mix of small businesses, small scale, pedestrian nature, and a blend of outdoor to indoor integrated into the topography and natural landscapes.”

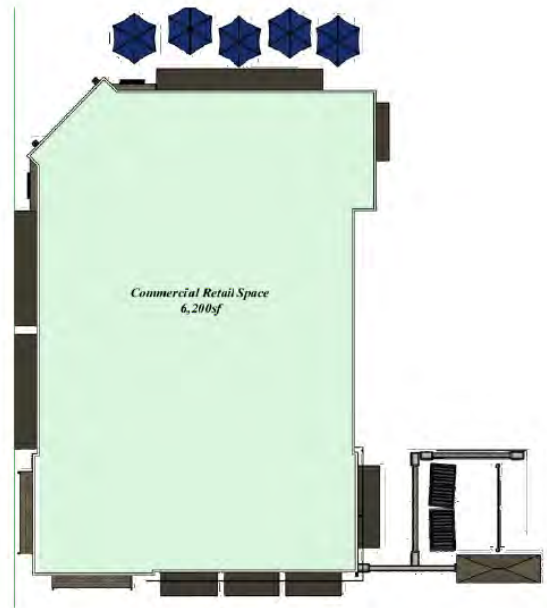
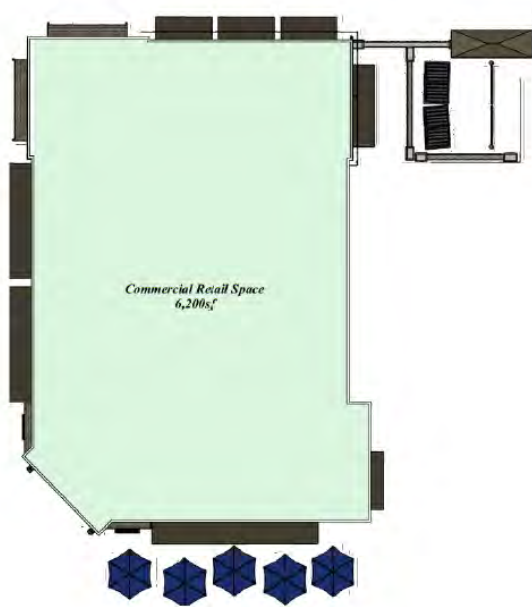
Commercial Buildings



Elevations



Proposed Plaza with Commercial



OUTPARCEL BUILDING 1 & 2 - 1 STORY COMMERCIAL RETAIL
6,200 SF Commercial
Scale: 3/32" = 1'-0"

Mixed-Use Buildings

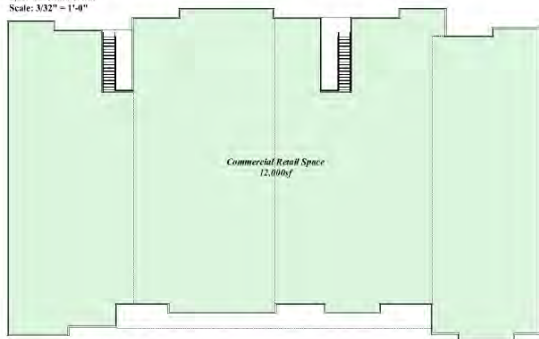


BUILDING 1 & 2 Concept Elevation - 2 STORY MIXED USE
Residential Units/Commercial
Scale: 3/32" = 1'-0"

Elevation



BUILDING 1 SECOND FLOOR - 2 STORY MIXED USE
13 Residential Units/5,157 SF Clubhouse
4,179 SF Commercial
Scale: 3/32" = 1'-0"



BUILDING 1 FIRST FLOOR - 2 STORY MIXED USE
10 Residential Units/5,157 SF Clubhouse
4,179 SF Commercial
Scale: 3/32" = 1'-0"



BUILDING 2 SECOND FLOOR - 2 STORY MIXED USE
10 Residential Units/12,680 SF Commercial
Scale: 3/32" = 1'-0"



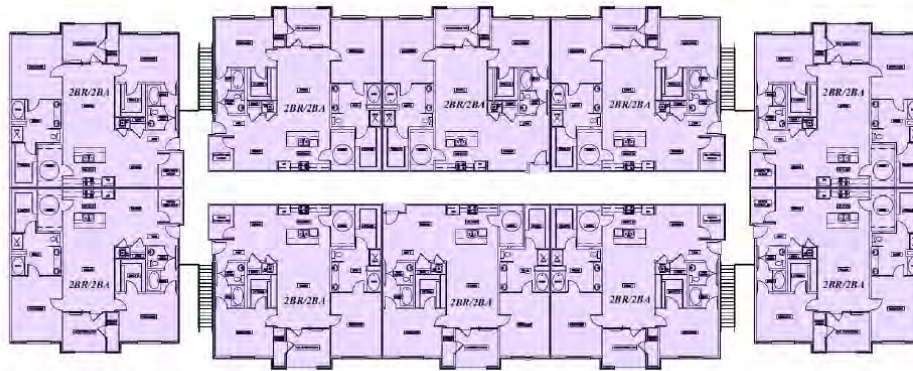
BUILDING 2 FIRST FLOOR - 2 STORY MIXED USE
13 Residential Units/5,157 SF Clubhouse
4,179 SF Commercial
Scale: 3/32" = 1'-0"

Floor Plans

Multi-Family Residential Buildings



Example Elevation



LEGENDS AT POINT CLEAR
TOTAL Residential Units- 131 Units
1BR/1BA- 19 Units (15%)
2BR/2BA- 88 Units (67%)
3BR/2BA- 24 Units (18%)

Example Floor Plan

Current regulations limit buildings to ~~two-stories-and~~ 35'. Since height is measured to the mean point of the roof, the roof peak is oftentimes higher than 35'. Staff estimates ridgelines could commonly be approximately 39'. The commercial buildings and mixed-use buildings fall within this range, but the request for 48' max roof height ~~AND three-stories does not align with current regulations~~. The Applicant supplied the following cross-section to illustrate the elevation difference throughout the site.



Staff has concerns about creating a precedent for ~~three-story~~ buildings **over the prescribed height limits** and does not feel that is the only available option. Additional height might be supported in some unique cases, such as increasing greenspace or preserving natural areas above and beyond required minimums. While this project, as currently proposed, meets minimum requirements it does not significantly go above those requirements. Alternatively, Staff questions whether a change in unit types, *i.e.*, replacing 3-bedroom units with 2- or 1-bedrooms units, would allow the Applicant to maintain the same unit counts within a two-story footprint **that falls within the height limit**. The Applicant may have other options.

Article II Section C.1.e Criteria

Fairhope's Zoning Ordinance contains nine (9) criteria by which an application for re-zoning shall be reviewed:

- (1) Compliance with the Comprehensive Plan;
- (2) Compliance with the standards, goals, and intent of this ordinance;
- (3) The character of the surrounding property, including any pending development activity;
- (4) Adequacy of public infrastructure to support the proposed development;
- (5) Impacts on natural resources, including existing conditions and ongoing post-development conditions;
- (6) Compliance with other laws and regulations of the City;
- (7) Compliance with other applicable laws and regulations of other jurisdictions;
- (8) Impacts on adjacent property including noise, traffic, visible intrusions, potential physical impacts, and property values; and,
- (9) Impacts on the surrounding neighborhood including noise, traffic, visible intrusions, potential physical impacts, and property values.

The review comments for each criterion are discussed in detail below.

- (1) Compliance with the Comprehensive Plan;

Response: The development was designed with components of the village districts. This intersection was not called out as a potential village opportunity in the 2015-1016 Comprehensive Plan; however, the Publix Shopping Center and later phases of Old Battles Village have created a Suburban Mixed-Use Center opportunity with the city zoned parcels. The City is in the process of adopting a new Comprehensive Plan that points out the Greeno Road and Old Battles Road (County Road 34) intersection (all corners) as a Suburban Mixed-Use Center. The primary land uses for a Suburban Mixed-Use Center are retail, dining, personal and professional services, offices, and a mix of housing types. The different use types are connected by pedestrian friendly streets/sidewalks with usable spaces like the proposed plaza and greenspace(s). This area is largely county zoned.

- (2) Compliance with the standards, goals, and intent of this ordinance;

Response: *PUD Planned Unit Development:* This district is intended to encourage innovative development that meets comprehensive plan goals and is tailored to the unique constraints and conditions of a particular site. This district allows flexibility in uses, designs, and building layouts as opposed to other zoning districts to better serve community needs. This development appears to meet the definition of a PUD and the intent of this ordinance.

(3) The character of the surrounding property, including any pending development activity;

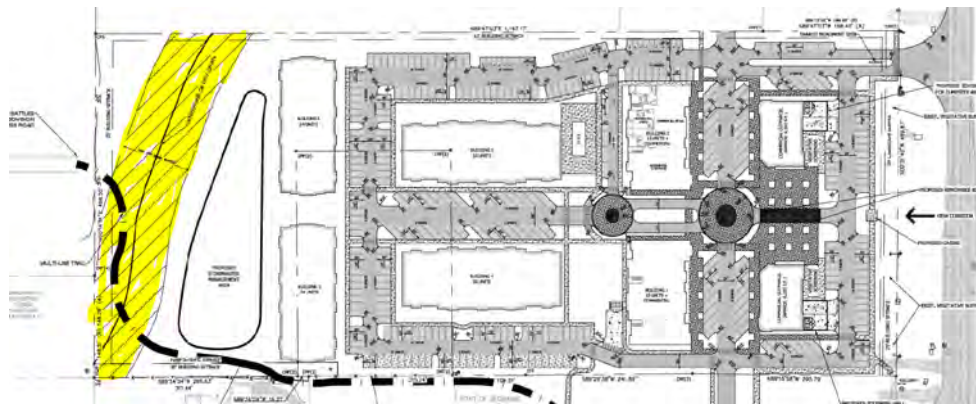
Response: The surrounding properties are mostly county zoned residential including High Density Residential; thus, a mix of retail/commercial and more residential units with city mandated green and civic spaces and connectivity should complement the surrounding property.

(4) Adequacy of public infrastructure to support the proposed development;

Response: Public infrastructure is readily available at the Publix development, but final details and associated development costs will be determined during future phases.

(5) Impacts on natural resources, including existing conditions and ongoing post-development conditions;

Response: Wetlands may be present on the subject property although Applicant has a June 12, 2024, EcoSolutions opinion stating that the potential wetland is a dry drain. *See below.* Nonetheless, Staff requested an independent 3rd party to assess and delineate the subject property. If wetlands are determined to be present, then appropriate buffers will be required during the development process. A 100' drainage easement is currently proposed. The City's 3rd party review may guide more restrictions of this easement/buffer.



(6) Compliance with other laws and regulations of the City;

Response: At the time of development all applicable laws of the City will be applied.

(7) Compliance with other applicable laws and regulations of other jurisdictions;

Response: At the time of development all applicable laws will be applied.

(8) Impacts on adjacent property including noise, traffic, visible intrusions, potential physical impacts, and property values;

Response: This is a growing Suburban Mixed-Use Center and as such there will be impacts. Details such as traffic will be fleshed out as development begins with a traffic study. The City requires landscaping and screening when incompatible land uses are adjacent. The project has amenities that are available to adjacent properties.

(9) Impacts on the surrounding neighborhood including noise, traffic, visible intrusions, potential physical impacts, and property values.;

Response: Staff do not anticipate any significant issues relating to these criteria. A traffic study will be required. All required buffers and setbacks will apply to address any concerns. The project will be thoroughly reviewed as development takes place. There will be a MOP and Site Plan Review following this initial rezoning case that will take a deeper dive into all impacts on the surrounding neighborhood.

Conclusion and Recommendation

The 'new' comprehensive plan is still a draft and currently under review. If approved, design guidelines that are incorporated into the Zoning Ordinance will be critical. In this case, the buildings have been designed and the architecture can be reviewed. Staff feels this can be evaluated, but current regulations, even within the Village Centers would limit buildings ~~to two stories~~ 35'. Without design guidelines, we hesitate to make a positive recommendation for this project fearing a precedent for future projects but do acknowledge there are many positives found within this proposed plan. Baring unforeseen results of the third-party environmental review, Staff would recommend approval of the project as proposed if all buildings were ~~two stories~~ 35'. However, there seems to be no gain from the additional height/story of the four buildings other than additional/larger units. Due to the height, in particular, we must recommend denial.

Recommendation:

Staff recommends **Denial** of ZC 24.02 to rezone PPINS: 39376 and 210314 from B-2 "General Business District" to Planned Unit Development ("PUD") and to be known as Legends at Point Clear with the following condition(s):

1. Building Heights of Buildings 3-6

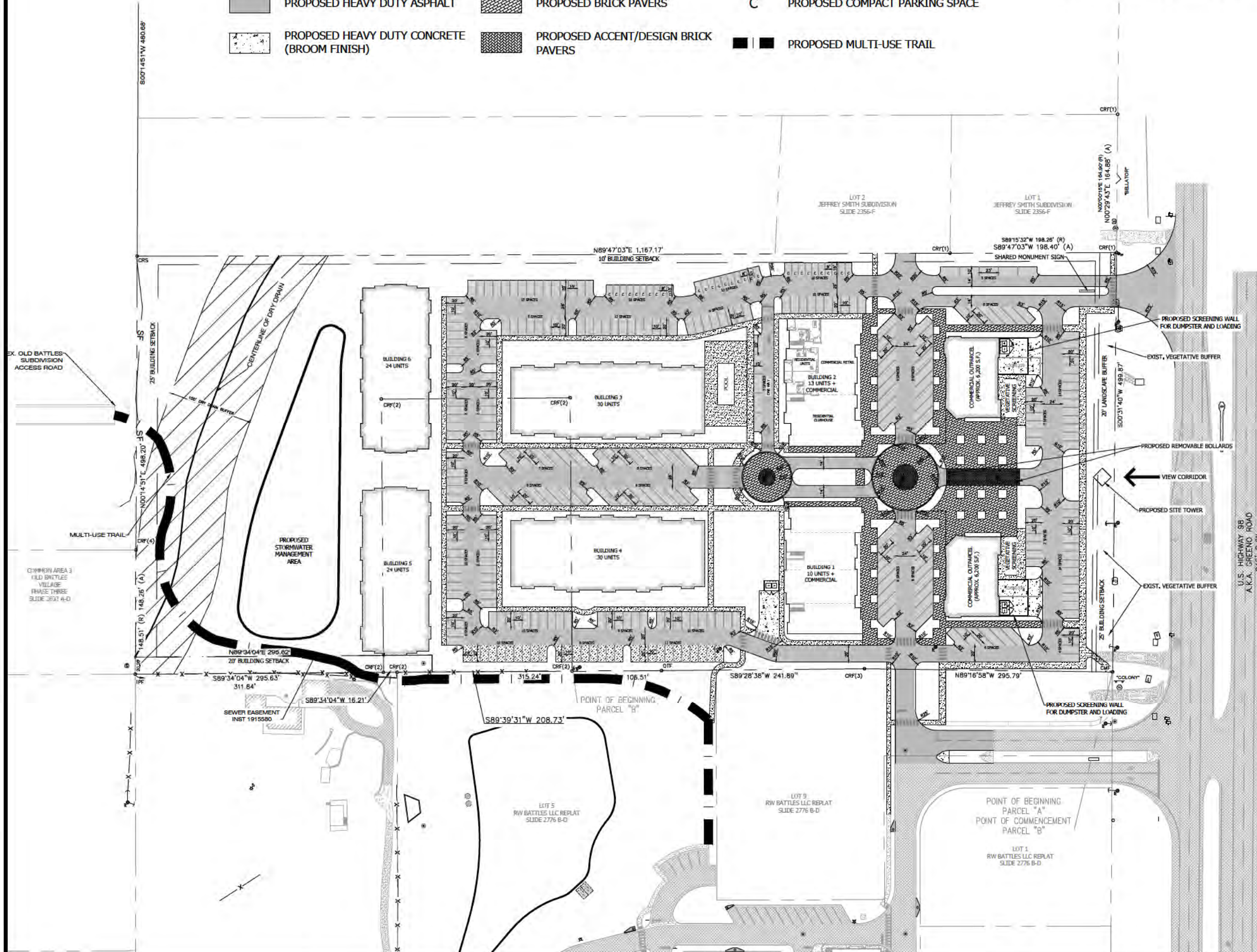
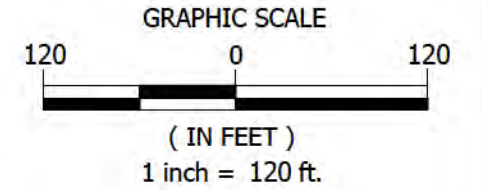
LEGEND

	PROPOSED LIGHT DUTY ASPHALT PAVEMENT		PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH)		PROPOSED PERVIOUS PARKING
	PROPOSED HEAVY DUTY ASPHALT		PROPOSED BRICK PAVERS	C	PROPOSED COMPACT PARKING SPACE
	PROPOSED HEAVY DUTY CONCRETE (BROOM FINISH)		PROPOSED ACCENT/DESIGN BRICK PAVERS		PROPOSED MULTI-USE TRAIL



JINRIGHT & ASSOCIATES DEVELOPMENT ENGINEERS
208 Greeno Road N., Ste. C Fairhope, Alabama 36532
P.O. Box 1929 Fairhope, Alabama 36533
Phone: (251) 928-3443 Fax: (251) 928-3665
jadengineers.com

DATE: 07/17/2024



SITE DATA TABLE

STATE OF ALABAMA COUNTY OF BALDWIN CITY OF FAIRHOPE		
TAX PARCEL ID:	05-46-09-29-0-000-068.000 05-46-09-29-0-000-068.001	
PARCEL SIZE:	13.27 AC	
EXISTING ZONING:	GENERAL BUSINESS (B-2)	
PROPOSED ZONING:	PLANNED UNIT DEVELOPMENT (PUD)	
PUD ACREAGE:	13.27 AC	
BUILDING SETBACKS:		
FRONT:	25'	
SIDE & STREET SIDE:	0' OR 20' WHEN ABUTTING RESIDENTIAL	
REAR:	25'	
BUILDING AREA & DIMENSIONAL REQUIREMENTS:		
BUILDING HEIGHT:	MAX. 48' TO RIDGE OF ROOF (31' TO EAVE)	
MULTI-FAMILY HOUSING:	131 TOTAL UNITS	
NET DENSITY:	131 UNITS / 13.27 AC = 9.87 UNITS/AC	
MIXED-USE COMMERCIAL:	22,000 SF	
COMMERCIAL OUTPARCEL:	12,400 SF	
PARKING STANDARDS:		
	REQUIRED:	PROVIDED:
MULTI-FAMILY PARKING:	1 SPACES PER UNIT 131 UNITS = 131 SPACES	131 SPACES
(22,000 SF) MIXED USE COMMERCIAL PARKING:	0-400 SF GFA = 4 SPACES + 400-5000 SF GFA = 1 SPACE/400 SF + OVER 5000 SF = 1 SPACE/200 SF	400 SF GFA = 4 SPACES + 4600 SF/400 SF = 11.5 SPACES + 17000 SF/200 SF = 85 SPACES 100.5 = 101 SPACES
(12,400 SF) COMMERCIAL OUTPARCEL PARKING:	0-400 SF GFA = 4 SPACES + 400-5000 SF GFA = 1 SPACE/400 SF + OVER 5000 SF = 1 SPACE/200 SF	400 SF GFA = 4 SPACES + 4600 SF/400 SF = 11.5 SPACES + 7400 SF/200 SF = 37 SPACES 52.5 = 53 SPACES
TOTAL PARKING REQUIRED:	285 SPACES	
NO USE SHALL PROVIDE MORE THAN 20% MORE THAN THE PARKING REQUIRED BY TABLE 4-3 285 * 1.2 = 342 SPACES		
TOTAL PARKING PROVIDED:	330 SPACES	
SIDEWALK, PARKING SPACE, AND STREET REQUIREMENTS:		
SIDEWALK WIDTH:	MIN. 5' WIDTH	
PARKING SPACES:	10'x20'	
COMPACT PARKING SPACES:	8'x15'	
DRIVE AISLE:	20' MIN - 26' (FOR 3 STORY STRUCTURE)	

CONCEPTUAL SITE PLAN
LEGENDS AT POINT CLEAR
PLANNED UNIT DEVELOPMENT
US HIGHWAY 98
FAIRHOPE, AL

ZONING DIMENSIONS TABLE

LOT/STRUCTURE REQUIREMENTS	B-2 REQUIREMENTS	PUD REQUIREMENTS	PROPOSED PUD
MIN. LOT AREA/ALLOWED RESIDENTIAL UNITS PER ACRE	NONE/ -	3 AC	131/13.27= 9.87 UNITS/ACRE
MIN. LOT WIDTH	NONE	-	NONE
MIN. FRONT SETBACK	20'	-	25'
MIN. REAR SETBACK	0' OR 20' WHEN ABUTTING RESIDENTIAL	-	25'
MIN. SIDE SETBACK	0' OR 10' WHEN ABUTTING RESIDENTIAL	-	0' OR 20' WHEN ABUTTING RESIDENTIAL
MIN. STREET SIDE SETBACK	0'	-	NONE
MAX. TOTAL LOT COVERAGE BY ALL STRUCTURES	N/A	-	N/A
MAX. BUILDING HEIGHT	35'	-	3-STORY STRUCTURE MAX 48' TO RIDGE OF ROOF (31' TO EAVE HEIGHT)

*WHERE A LOT ABUTS RESIDENTIAL PROPERTY TO THE REAR, THE REAR SETBACK SHALL BE 20'

*A BUILDING LOCATED IN ANY COMMERCIAL ZONE MAY HAVE A HEIGHT OF 35' IF IT CONTAINS BOTH RESIDENTIAL AND COMMERCIAL SPACE. THE RESIDENTIAL USE MUST MAKE UP AT LEAST 33% OF THE TOTAL AREA OF THE BUILDING AND BE LOCATED ON THE SECOND AND/OR THIRD FLOOR AND RETAIL OR OFFICE SPACE MUST BE LOCATED ON GROUND AND/OR SECOND FLOOR (SEE SITE PLAN REVIEW ARTICLE II, SECTION C, SUB-SECTION 2 - SITE PLAN, FOR APPROVAL PROCEDURES)

SITE DATA TABLE

STATE OF ALABAMA COUNTY OF BALDWIN CITY OF FAIRHOPE		
TAX PARCEL ID:	05-46-09-29-0-000-068.000 05-46-09-29-0-000-068.001	
PARCEL SIZE:	13.27 AC	
EXISTING ZONING:	GENERAL BUSINESS (B-2)	
PROPOSED ZONING:	PLANNED UNIT DEVELOPMENT (PUD)	
PUD ACREAGE:	13.27 AC	
<u>BUILDING SETBACKS:</u>		
FRONT:	25'	
SIDE & STREET SIDE:	0' OR 20' WHEN ABUTTING RESIDENTIAL	
REAR:	25'	
<u>BUILDING AREA & DIMENSIONAL REQUIREMENTS:</u>		
BUILDING HEIGHT:	MAX. 48' TO RIDGE OF ROOF (31' TO EAVE)	
MULTI-FAMILY HOUSING:	131 TOTAL UNITS	
NET DENSITY:	131 UNITS / 13.27 AC = 9.87 UNITS/AC	
MIXED-USE COMMERCIAL:	22,000 SF	
COMMERCIAL OUTPARCEL:	12,400 SF	
<u>PARKING STANDARDS:</u>		
	REQUIRED:	PROVIDED:
MIXED USE PARKING:	1 SPACES PER UNIT 131 UNITS = 131 SPACES	131 SPACES
(22,000 SF) MIXED-USE COMMERCIAL PARKING:	0-400 SF GFA = 4 SPACES + 400-5000 SF GFA = 1 SPACE/400 SF + OVER 5000 SF = 1 SPACE/200 SF	400 SF GFA = 4 SPACES + 4600 SF/400 SF = 11.5 SPACES + <u>17000 SF/200 SF = 85 SPACES</u> 100.5 = 101 SPACES
(12,400 SF) COMMERCIAL OUTPARCEL PARKING:	0-400 SF GFA = 4 SPACES + 400-5000 SF GFA = 1 SPACE/400 SF + OVER 5000 SF = 1 SPACE/200 SF	400 SF GFA = 4 SPACES + 4600 SF/400 SF = 11.5 SPACES + <u>7400 SF/200 SF = 37 SPACES</u> 52.5 = 53 SPACES
TOTAL PARKING REQUIRED:	285 SPACES	
NO USE SHALL PROVIDE MORE THAN 20% MORE THAN THE PARKING REQUIRED BY TABLE 4-3 285 * 1.2 = 342 SPACES		
TOTAL PARKING PROVIDED:	330 SPACES	
<u>SIDEWALK, PARKING SPACE, AND STREET REQUIREMENTS:</u>		
SIDEWALK WIDTH:	MIN. 5' WIDTH	
PARKING SPACES:	10'x20'	
COMPACT PARKING SPACES:	8'x15'	
DRIVE AISLE:	20' MIN - 26' (FOR 3 STORY STRUCTURE)	

PROVIDED PARKING BREAKDOWN TABLE

	PARKING REQUIRED	PARKING PROVIDED
MIXED USE HOUSING:	1 SPACE PER UNIT 1X131=131 SPACES	131 SPACES
(22,000 S.F.) MIXED-USE COMMERCIAL:	101 SPACES	101 SPACES
(12,400 S.F.) COMMERCIAL OUTPARCELS:	53 SPACES	53 SPACES
COMPACT PARKING SPACES	85 SPACES	30 SPACES
PERVIOUS PARKING SPACES	45 SPACES	29 SPACES
TOTAL PARKING SPACES	285 SPACES	330 SPACES*

ALLOWABLE COMMERCIAL USES:

ALL ALLOWABLE USES LISTED FOR B-2 IN THE CITY OF FAIRHOPE ZONING ORDINANCE ARTICLE III SECTION A TABLE 3-1 EXCEPT THE USES LISTED BELOW.

- CONVENIENCE STORE
- AUTOMOBILE SERVICE STATION
- OUTDOOR SALES LIMITED
- OUTDOOR SALES LOT
- GARDEN CENTER
- DAY CARE
- AUTOMOBILE REPAIR
- RECREATIONAL VEHICLE PARK
- KENNEL OR ANIMAL HOSPITAL
- LIMITED MANUFACTURING
- NO USES WITH A DRIVE THROUGH

*MAX PARKING ALLOWED =
285 x 20% = 342 SPACES

COMPARATIVE ZONING TABLE
LEGENDS AT POINT CLEAR
PLANNED UNIT DEVELOPMENT
US HIGHWAY 98
FAIRHOPE, ALABAMA

Application For:

PUD Rezoning Request

For

Legends at Point Clear

A Planned Unit Development

August 20, 2024

Applicant:

SCorUSA, LLC
PO Box 1609
Phenix City, AL 36868

Prepared by:



208 Greeno Road North, Suite C
Post Office Box 1929
Fairhope, Alabama 36533
Telephone: 251-928-3443 • Fax: 251-928.3665

Table of Contents

Table of Contents	1
List of Appendices	1
Project Team and Contact Information	2
Tax Parcel ID	3
Project Narrative	3
Architectural Narrative.....	3

List of Appendices

Appendix A	PUD Zoning Application
	1. Legal Description
Appendix B	Warranty Deed
	A. Owner Authorization
	B. Articles of Incorporation
Appendix C	List of Adjacent Property Owner
	1. Map
Appendix D	EcoSolutions Stream Assessment Letter
Appendix E	
	1. Zoning Table
	2. Vicinity Map & Underlying Zoning
	3. Tree Survey
	4. Boundary Survey
	5. Conceptual Site Plan
	6. Conceptual Greenspace Plan
	7. Architectural Building Elevation, Floor Plan & Rendering
	8. Conceptual Site Lighting Plan
	9. Conceptual Landscape Plan

Project Team and Contact Information

Developer/Owner: 	SCorUSA PO Box 1609 Phenix City, AL 36868 (706) 445-9103 Dan Nibblett dan@scorusa.com
Civil Engineer: 	JADE Consulting, LLC 208 N. Greeno Rd., Ste. C Fairhope, AL 36532 (251) 928-3443 Perry C. "Trey" Jinright III, P.E., LEED AP Paul Marcinko, P.E. tjinright@jadengineers.com pmarcinko@jadengineers.com Sherry Ruth, Project Coordinator sruth@jadengineers.com
Surveyor: 	Wattier Surveying, Inc. 4321 Downtowner Loop North, Suite 201 Mobile, AL 36609 (251) 342-2640 Mark A. Wattier, PLS wattiermark@gmail.com
Landscape Architect. 	Espalier Landscape Architecture 218 N. 8390 Gayfer Rd Ext Fairhope, AL 36532 (251) 454-3500 Joe Comer IV, ASLA joe@espalierdesign.com
Architect. 	Walcott Adams Verneuille Architects 1 S School St Fairhope, AL 36532 (251) 928-6041 Melissa Note melissa@wavarchitects.com

Tax Parcel ID

05-46-09-29-0-000-068.000

05-46-09-29-0-000-068.001

Project Narrative

The proposed project is located on two parcels that total 13.27 acres. The property is within City of Fairhope limits and is currently zoned B-2 is a mixed-use development consisting of 131 residential units, 22,500 SF of commercial units, and future commercial outparcels as shown on the PUD concept plan. The intent of this project is to utilize a single access to Highway 98 and connection to the interlocal driveway to the Publix anchored shopping center development to the South. This project will utilize water and sewer which are immediately adjacent to the site.

Full Design for this development shall be completed during the City of Fairhope typical MOP and site plan approval process.

Architectural Narrative

The concept is based on self-contained, walkable communities, surrounded by green belts, and a careful balance of residential, commercial and natural landscapes.

In keeping with similar planned communities, the architectural style should be relevant to the area and cohesive throughout the village. Given the village concept and its proximity to other local architecture in the area the proposed design style is Craftsman in nature. A Craftsman-style building emphasizes the use of natural materials and hand-worked goods. This architectural style, developed in the early 20th century, relies on well-constructed architecture highlighted with decorative details. It lends itself well to a natural surroundings and green spaces

Buildings include natural materials like brick, stone, lap siding and shingle siding. Shingle roofs and multi-pane windows are consistent with this style; as are brackets, ironwork, exposed rafter tails and quality in design. Colors are typically earth-toned and muted with wood, brick, or stone accents.

The mixed use and commercial buildings form the pedestrian-oriented core of the Village where "transparent" street-front buildings with a first-level storefront design create an active streetscape environment supporting the Village character. These buildings are designed to create a pleasant neighborhood center with an eclectic mix of small businesses, small scale, pedestrian nature, and a blend of outdoor to indoor integrated into the topography and natural landscapes.

The commercial outparcel design guidelines will reflect the style and pedestrian oriented core of the Village. Including "transparent" street-front buildings with a storefront design and an active streetscape. These buildings will be one story and should engage the outdoor and public spaces. Restaurants should provide outdoor seating and site walls of similar materials should be used to continue the facade and enclose the spaces. Buildings are to be designed to create a pleasant neighborhood center with an eclectic mix of small businesses, small scale, pedestrian nature, and a blend of outdoor to indoor integrated into the topography and natural landscapes. Flat roof buildings may be allowed upon approval provided the design is in keeping with the architectural style of the village and the roof area is limited in area. The size and shape of these buildings may vary, elevations shown within this package are conceptual and intended as a design guide.

This effort represents a significant investment in materials, building character, drives and parking, sidewalk improvements, decorative street lighting and other streetscape beautification projects.

Appendix A PUD Zoning Application
1. Legal Description

Appendix B Warranty Deed
1. Owner AuthorizationArticles of Incorporation

Appendix C List of Property Owner Withing 300' and map

Appendix D EcoSolutions Stream Assessment Letter

- Appendix E 11 x 17:
1. Zoning Table
 2. Vicinity Map & Underlying Zoning
 3. Tree Survey
 4. Boundary Survey
 5. Conceptual Site Plan
 6. Conceptual Greenspace Plan
 7. Architectural Building Elevation, Floor Plan
& Rendering
 8. Conceptual Site Lighting Plan
 9. Conceptual Landscape Plan



JINRIGHT & ASSOCIATES DEVELOPMENT ENGINEERS

August 14, 2024

City of Fairhope Planning
161 North Section St.
PO Drawer 429
Fairhope, AL 36533

RE: Legends at Point Clear
JADE No.: SCorUSA-22-1805
Application No. ZC 24.02

Dear Planning:

We respectfully submit on behalf of our client our response to comments dated August 9, 2024. Enclosed are revised plans referenced in our responses. Listed below in bold italic are our responses to the review comments:

1. Revise greenspace plan to accurately reflect the amount of greenspace provided.

Response: Conceptual Greenspace plan has been revised. The final site plan that will correspond with the construction documents will include a final green space plan that will meet the City's minimum standards

2. Consider grease traps at the multi-use areas.

Response: Grease traps will be included for all multi-use buildings (Eastern-most buildings) but are not shown on this conceptual level.

3. Per the utilities the 4 back buildings will be required to be on one master meter.

- a. Due to the elevations and heights of buildings booster pumps will be required.

Response: Understood. Our team is working internally and will work with utilities to ensure proper pressures at time of full construction document design.

- b. Additional utility meetings will be required.

Response: Understood.

4. The entrance road needs to be a ROW and easements supplied for access and utilities.

- a. A type of master development agreement needs to be agreed upon to clearly define expectations on both the developer's side and City's side.

Response: Noted. Our team will work with City staff to ensure a development agreement is implemented before final approval. We would request the city to provide examples that we can review during our design phase. Easements shall be provided, as required, on our design plans and the proposed Public ROW will be shown on the site plans once full design is completed.

5. Provide a section detail of the multi-use trail. A boardwalk was mentioned in the meeting.

Response: *An example of the proposed multi-use board walk has been provided. The final design included all required structural details to ensure the structure meets all applicable building code will be provided during site plan approval.*

6. Provide profile sections to show height.

Response: *Diagrammatic site section provided.*

7. Required upgrades to lift station on Old Battles Road is likely. TBD by the Sewer Department.

Response: *Noted. We look forward to working with city utility staff for more information about these requirements.*

Respectfully,

JADE CONSULTING, LLC

Paul Marcinko

Paul Marcinko
Project Manager

Enclosure
PM\mp











LEGENDS VILLAGE STYLE GUIDE

The concept is based on self-contained, walkable communities, surrounded by green belts, and a careful balance of residential, commercial and natural landscapes.

In keeping with similar planned communities, the architectural style should be relevant to the area and cohesive throughout the village. Given the village concept and its proximity to other local architecture in the area the proposed design style is Craftsman in nature. A Craftsman-style building emphasizes the use of natural materials and hand-worked goods. This architectural style, developed in the early 20th century, relies on well-constructed architecture highlighted with decorative details. It lends itself well to a natural surroundings and green spaces

Buildings include natural materials like brick, stone, lap siding and shingle siding. Shingle roofs and multi-pane windows are consistent with this style; as are brackets, ironwork, exposed rafter tails and quality in design. Colors are typically earth-toned and muted with wood, brick, or stone accents.

Outparcel design guidelines will reflect the style and pedestrian oriented core of the Village. Including "transparent" street-front buildings with a storefront design and an active streetscape. These buildings will be one story and should engage the outdoor and public spaces. Restaurants should provide outdoor seating and site walls of similar materials should be used to continue the facade and enclose the spaces. Buildings are to be designed to create a pleasant neighborhood center with an eclectic mix of small businesses, small scale, pedestrian nature, and a blend of outdoor to indoor integrated into the topography and natural landscapes. Flat roof buildings may be allowed upon approval provided the design is in keeping with the architectural style of the village and the roof area is limited in area.

The size and shape of these buildings may vary, elevations shown below are conceptual and intended as a design guide.



OUTPARCEL BUILDING Concept Elevation West - 1 STORY COMMERCIAL USE

Commercial
Scale: 1/8" = 1'-0"



OUTPARCEL BUILDING Concept Elevation South - 1 STORY COMMERCIAL USE

Commercial
Scale: 1/8" = 1'-0"



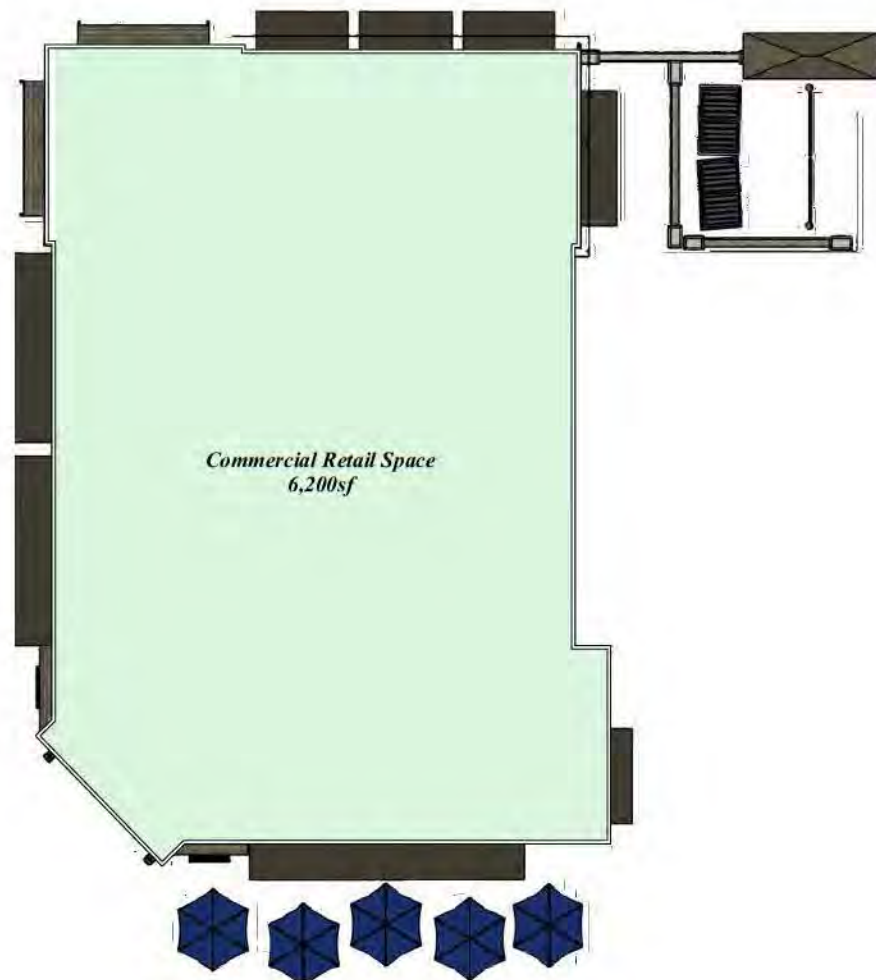
OUTPARCEL BUILDING Concept Elevation East - 1 STORY COMMERCIAL USE

Commercial
Scale: 1/8" = 1'-0"



OUTPARCEL BUILDING Concept Elevation North - 1 STORY COMMERCIAL USE

Commercial
Scale: 1/8" = 1'-0"



OUTPARCEL BUILDING 1 & 2 - 1 STORY COMMERCIAL RETAIL
 6,200 SF Commercial
 Scale: 3/32" = 1'-0"

LEGENDS VILLAGE STYLE GUIDE

The concept is based on self contained, walkable communities, surrounded by green belts, and a careful balance of residential, commercial and natural landscapes.

In keeping with similar planned communities, the architectural style should be relevant to the area and cohesive throughout the village. Given the village concept and its proximity to other local architecture in the area the proposed design style is Craftsman in nature. A Craftsman-style building emphasizes the use of natural materials and hand-worked goods. This architectural style, developed in the early 20th century, relies on well-constructed architecture highlighted with decorative details. It lends itself well to a natural surroundings and green spaces

Buildings include natural materials like brick, stone, lap siding and shingle siding. Shingle roofs and multi-pane windows are consistent with this style; as are brackets, ironwork, exposed rafter tails and quality in design. Colors are typically earth-toned and muted with wood, brick, or stone accents.

The mixed use and commercial buildings form the pedestrian oriented core of the Village where “transparent” street-front buildings with a first-level storefront design create an active streetscape environment supporting the Village character. These buildings are designed to create a pleasant neighborhood center with an eclectic mix of small businesses, small scale, pedestrian nature, and a blend of outdoor to indoor integrated into the topography and natural landscapes.

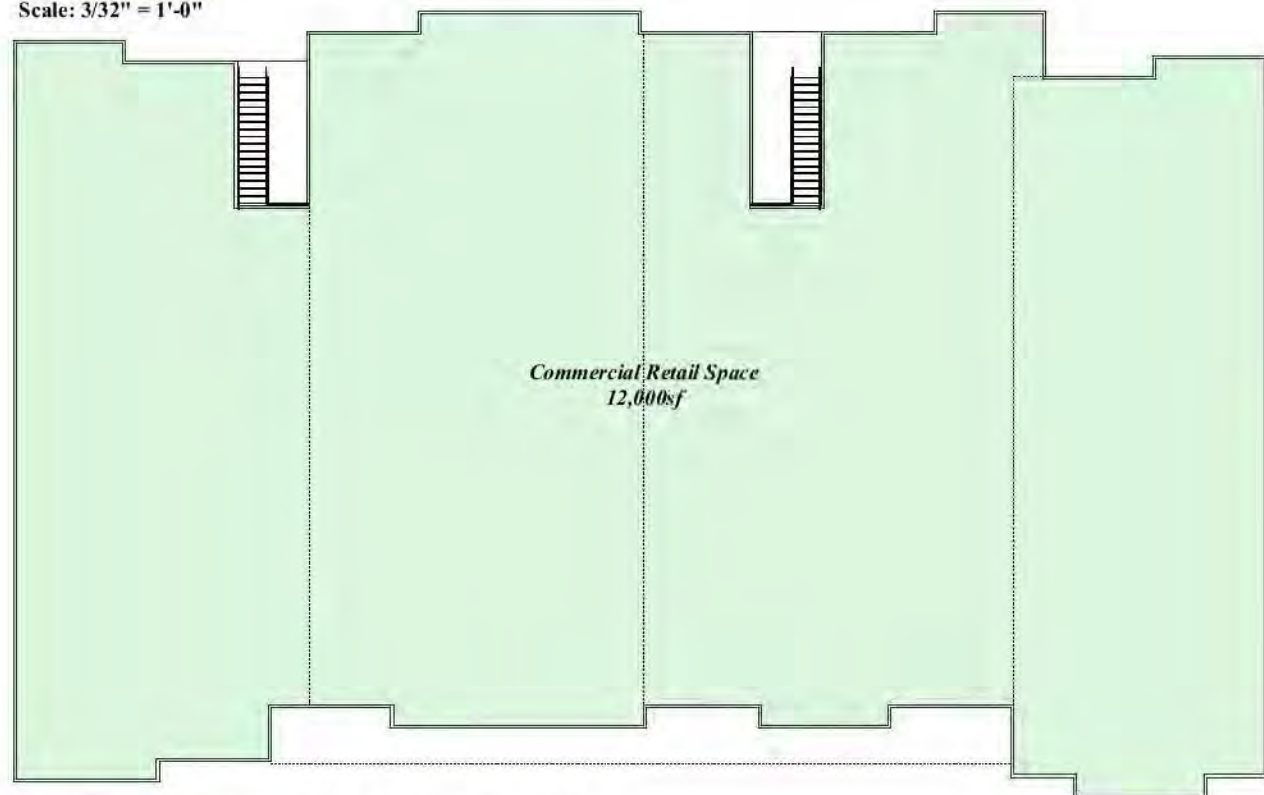
This effort represents a significant investment in materials, building character, drives and parking, sidewalk improvements, decorative street lighting and other streetscape beautification projects.



BUILDING 1 & 2 Concept Elevation - 2 STORY MIXED USE
Residential Units/Commercial
Scale: 3/32" = 1'-0"



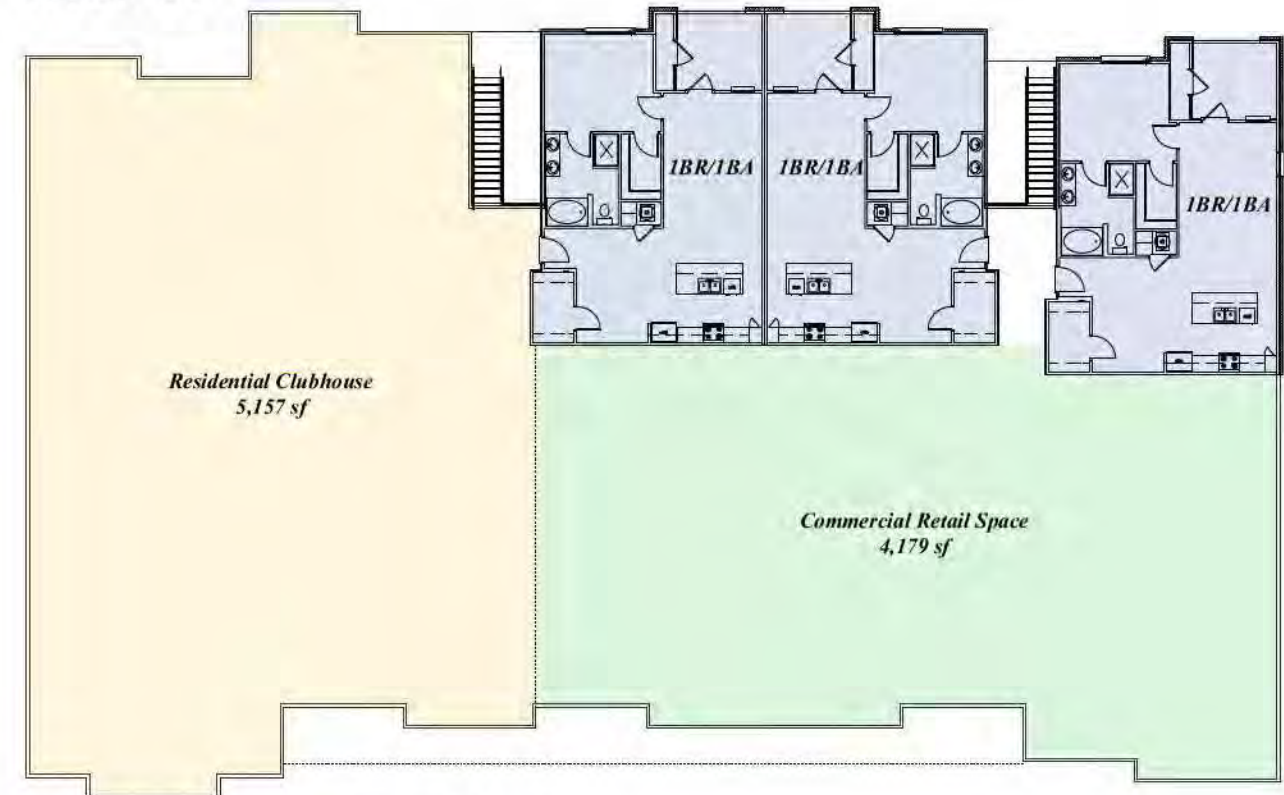
BUILDING 1 SECOND FLOOR - 2 STORY MIXED USE
 13 Residential Units/5,157 SF Clubhouse
 4,179 SF Commercial
 Scale: 3/32" = 1'-0"



BUILDING 1 FIRST FLOOR - 2 STORY MIXED USE
 10 Residential Units/12,680 SF Commercial
 Scale: 3/32" = 1'-0"



BUILDING 2 SECOND FLOOR - 2 STORY MIXED USE
 10 Residential Units/12,680 SF Commercial
 Scale: 3/32" = 1'-0"



BUILDING 2 FIRST FLOOR - 2 STORY MIXED USE
 13 Residential Units/5,157 SF Clubhouse
 4,179 SF Commercial
 Scale: 3/32" = 1'-0"

LEGENDS VILLAGE STYLE GUIDE

The concept is based on a self-contained, walkable community, surrounded by green belts, and a careful balance of residential, commercial and natural landscapes.

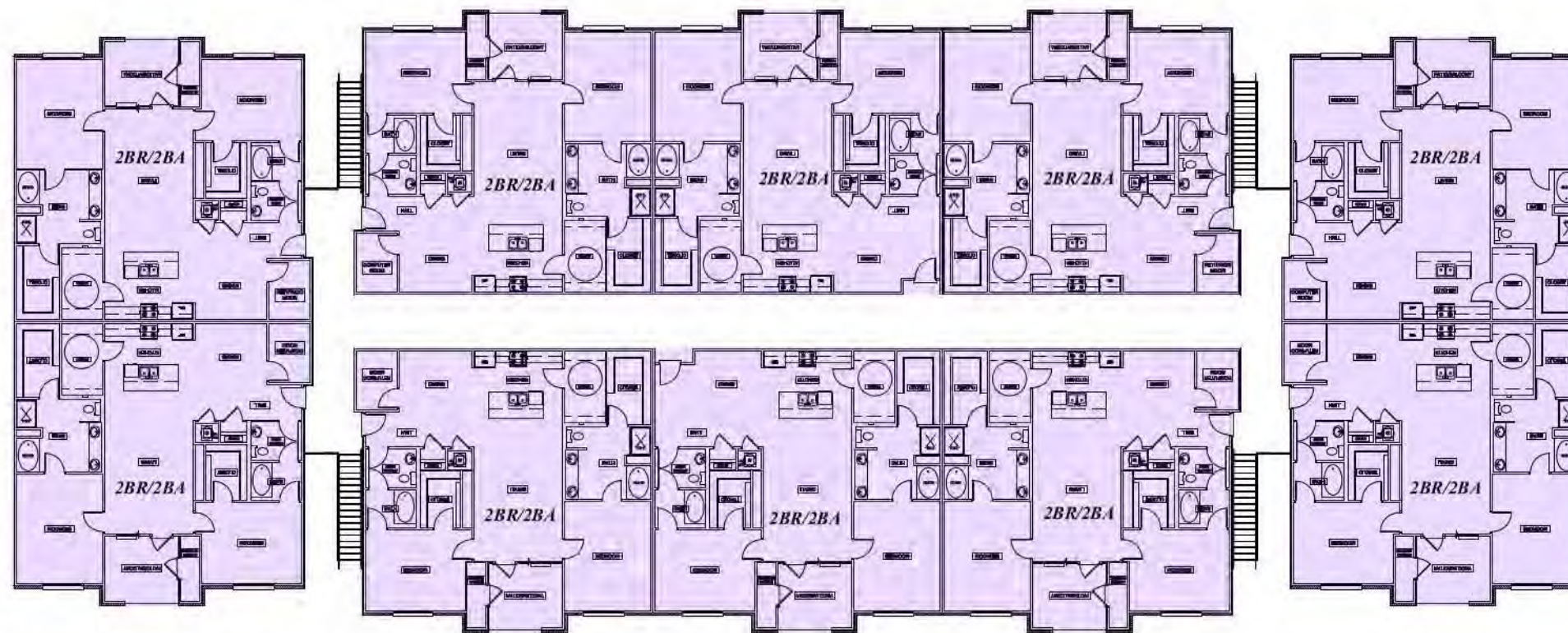
In keeping with similar planned communities, the architectural style should be relevant to the area and cohesive throughout the village. Given the village concept and its proximity to other local architecture in the area the proposed design style is Craftsman in nature. A Craftsman-style building emphasizes the use of natural materials and hand-worked goods. This architectural style, developed in the early 20th century, relies on well-constructed architecture highlighted with decorative details. It lends itself well to a natural surroundings and green spaces

Buildings include natural materials like brick, stone, lap siding and shingle siding. Shingle roofs and multi-pane windows are consistent with this style; as are brackets, ironwork, exposed rafter tails and quality in design. Colors are typically earth-toned and muted with wood, brick, or stone accents.

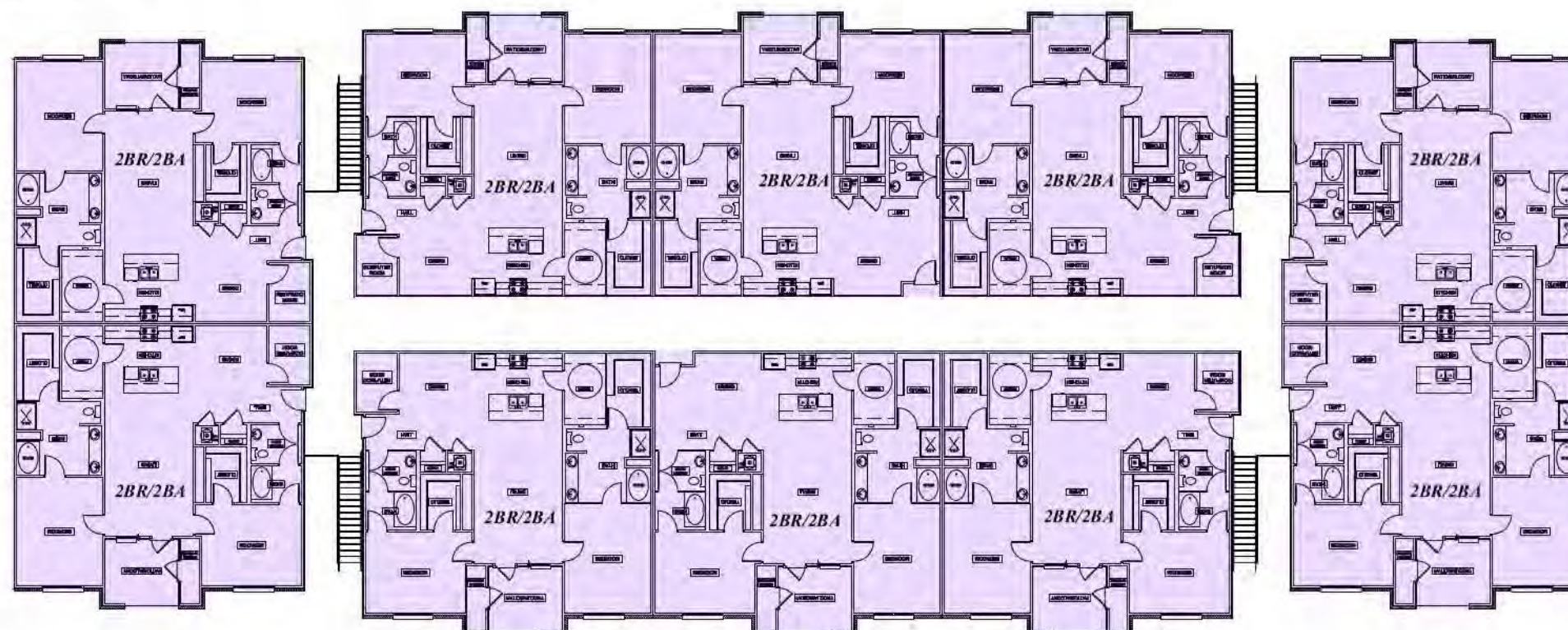
The residential buildings create neighborhood type frontages that require some transition from the streetscape area to the front building line, areas like lawns and parks create a more residential feel. These buildings are designed to create a feeling of home and community with common spaces and access to the village pedestrian paths and natural landscapes.

This effort represents a significant investment in materials, building character, green spaces and pedestrian access.





BUILDING 3 FLOOR PLAN - 3 STORY RESIDENTIAL
 30 Residential Units
 Scale: 3/32" = 1'-0"



BUILDING 4 FLOOR PLAN - 3 STORY RESIDENTIAL
 30 Residential Units
 Scale: 3/32" = 1'-0"

LEGENDS AT POINT CLEAR
 TOTAL Residential Units- 131 Units
 1BR/1BA- 19 Units (15%)
 2BR/2BA- 88 Units (67%)
 3BR/2BA- 24 Units (18%)

LEGENDS VILLAGE STYLE GUIDE

The concept is based on a self-contained, walkable community, surrounded by green belts, and a careful balance of residential, commercial and natural landscapes.

In keeping with similar planned communities, the architectural style should be relevant to the area and cohesive throughout the village. Given the village concept and its proximity to other local architecture in the area the proposed design style is Craftsman in nature. A Craftsman-style building emphasizes the use of natural materials and hand-worked goods. This architectural style, developed in the early 20th century, relies on well-constructed architecture highlighted with decorative details. It lends itself well to a natural surroundings and green spaces

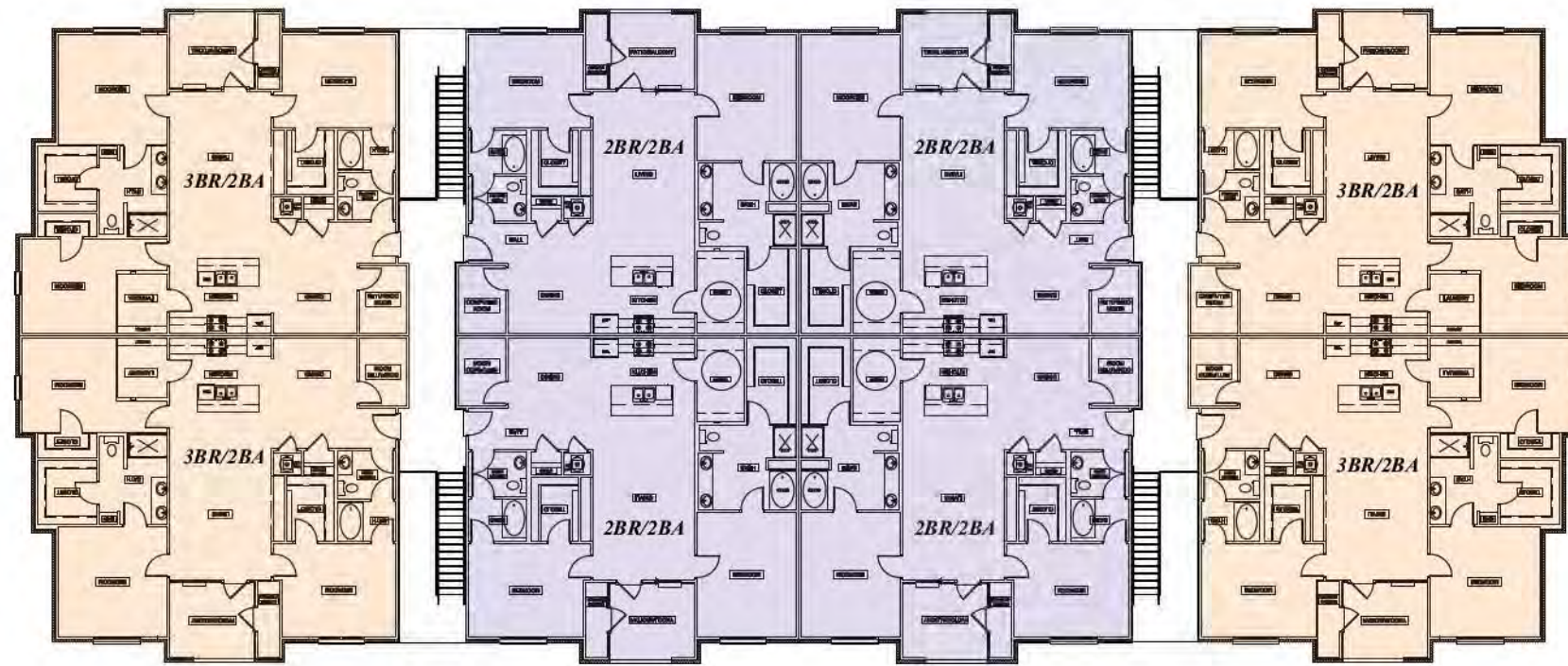
Buildings include natural materials like brick, stone, lap siding and shingle siding. Shingle roofs and multi-pane windows are consistent with this style; as are brackets, ironwork, exposed rafter tails and quality in design. Colors are typically earth-toned and muted with wood, brick, or stone accents.

The residential buildings create neighborhood type frontages that require some transition from the streetscape area to the front building line, areas like lawns and parks create a more residential feel. These buildings are designed to create a feeling of home and community with common spaces and access to the village pedestrian paths and natural landscapes.

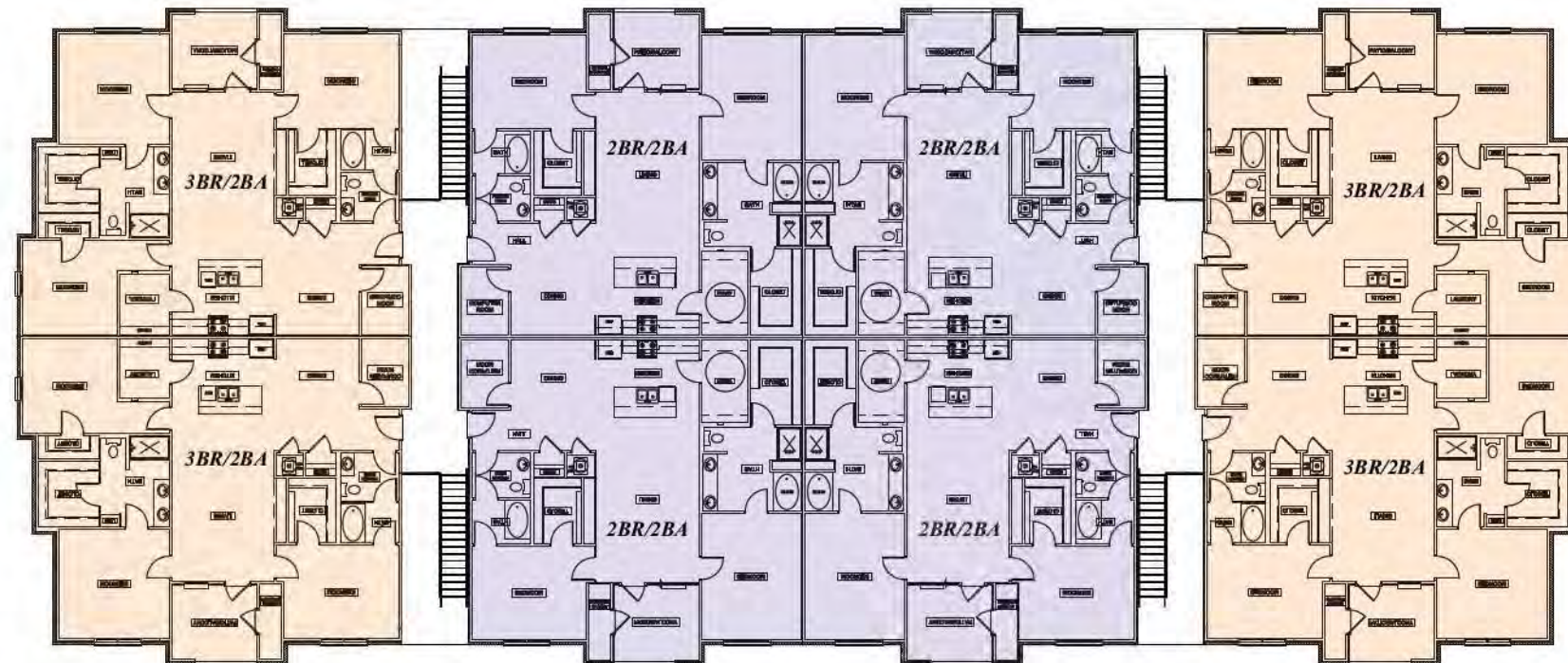
This effort represents a significant investment in materials, building character, green spaces and pedestrian access.



BUILDING 5 & 6 Concept Elevation - 3 Story Residential
Residential Units (24 Unit - 2 Bed & 3 Bed)
Scale: 1/8" = 1'-0"



BUILDING 5 FIRST FLOOR - 3 STORY RESIDENTIAL
 24 Residential Units
 Scale: 3/32" = 1'-0"



BUILDING 6 FIRST FLOOR - 3 STORY RESIDENTIAL
 24 Residential Units
 Scale: 3/32" = 1'-0"

LEGENDS AT POINT CLEAR
 TOTAL Residential Units- 131 Units
 1BR/1BA- 19 Units (15%)
 2BR/2BA- 88 Units (67%)
 3BR/2BA- 24 Units (18%)



SITE SECTION DIAGRAM
Based on Existing Topography
Scale: 1" = 40'-0"



CONCEPT PLANT SCHEDULE

- FRONTAGE TREES**
Golden Globe Maidenhair Tree
Eastern Redcedar
Live Oak
Bosque® Lacabark Elm
- BOULEVARD TREES**
Moonflow Sweet Bay
London Plane Tree
Live Oak
Bosque® Lacabark Elm
- PARKING LOT OVERSTORY TREES**
Slender Silhouette Sweet Gum
Moonflow Sweet Bay
Southern Red Oak
Southern Live Oak
Bosque® Lacabark Elm
- PARKING LOT UNDERSTORY TREES**
Eagleston Holly
Muskogee Grape Myrtle
Tonto Grape Myrtle
- PLAZA TREES**
Lavender Grape Myrtle Single Trunk
Slender Silhouette Sweet Gum
London Plane Tree
Bosque® Lacabark Elm
- BUILDING AREA TREES**
Golden Globe Maidenhair Tree
Eagleston Holly
Moon Glow Sweet Bay
Southern Red Oak
Live Oak
- STORMWATER POND TREES**
Moonflow Sweet Bay
Wildfire Black Gum
Bald Cypress
- LARGE EVERGREEN SCREENING TREES**
Eastern Redcedar
Miss Chloé Magnolia
Southern Live Oak
- COMMON PARK FLOWERING TREES**
TF Kathy Ann Yaupon Holly
Eagleston Holly
Muskogee Grape Myrtle
Shoal Creek Vitex
- EVERGREEN PERIMETER SCREENING SHRUBS**
Curly Leaf Ligustrum
Wax Myrtle
Variegated Pittosporum
Japanese Yew
Sweet Viburnum
- BUILDING SHRUB AREAS**
Plant material in these areas would match the design theme of the architecture, i.e. Coastal, Village, etc. for foundation plantings around buildings.
- COMMON PARK SHRUB AREAS**
Plantings in these areas would define open park like green spaces for gathering, events, & relaxation. Plants would be themed with style of architecture.
- PLAZA PLANTING AREAS**
- TREE WELL PLANTINGS**
- LAWN AREA**

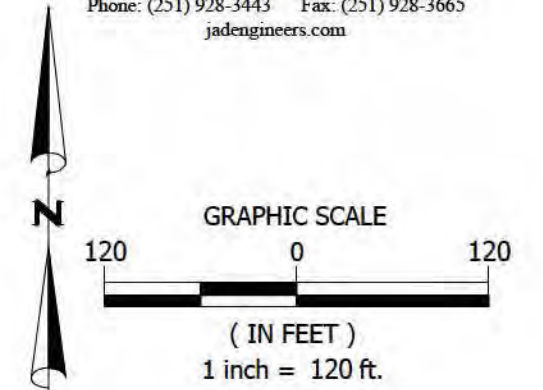
CONCEPTUAL LANDSCAPE PLAN
LEGENDS AT POINT CLEAR

U.S. Hwy 98
Fairhope, AL


ESPALIER
landscape architecture

0 40 80 120 feet
SCALE: 1" = 40'

Esplan LLC
P.O. Box 1247
Fairhope, Alabama 36533
P: 251.454.3500
espalierdesign.com
3/22/24 8/3/24
6/1/24
7/17/24



GREENSPACE TABLE		
TOTAL PARCEL SIZE:	13.27 AC	
TOTAL PROPOSED UNITS:	131 UNITS	
PROPOSED NET DENSITY:	9.8 UNITS / AC	
GREENSPACE STANDARDS (COF SUBDIVISION REGULATIONS ARTICLE V, SECTION C):		
	REQUIRED:	PROVIDED:
MULTIPLE OCCUPANCY PROJECT – RESIDENTIAL USE MORE THAN 6 UNITS / AC:	25% (3.32 AC)	25% (3.32 AC)

**GREEN SPACE LEGEND
COF ZONING ORDINANCE
ARTICLE IV.A. TABLE 4-1**

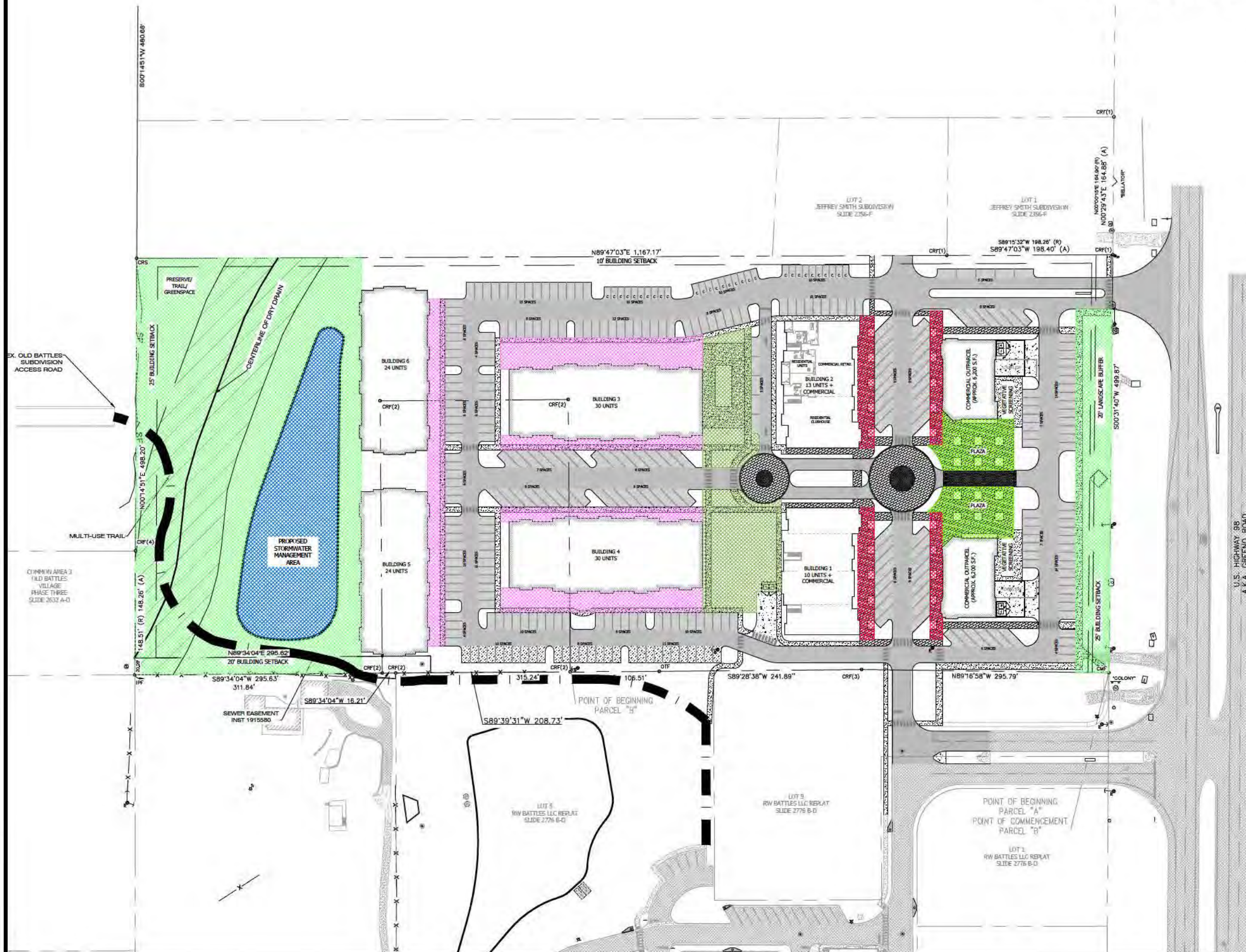
	PLAZA 0.15 AC
	COURTYARD 0.40 AC
	TRAIL/GREENWAY 2.62 AC
	WET POND CREDIT 0.15 AC (0.5AC x 0.30 = 0.15 AC)

TOTAL = 3.32 AC

**STREET FRONTAGE LEGEND
COF ZONING ORDINANCE ARTICLE IV.C.
TABLE 4-2**

	STOOP
	STREET-FRONT

**CONCEPTUAL GREENSPACE AND STREETScape PLAN
LEGENDS AT POINT CLEAR
PLANNED UNIT DEVELOPMENT
US HIGHWAY 98
FAIRHOPE, ALABAMA**



LEGENDS CONCEPT RENDERING - AERIAL 1 FROM HWY 98

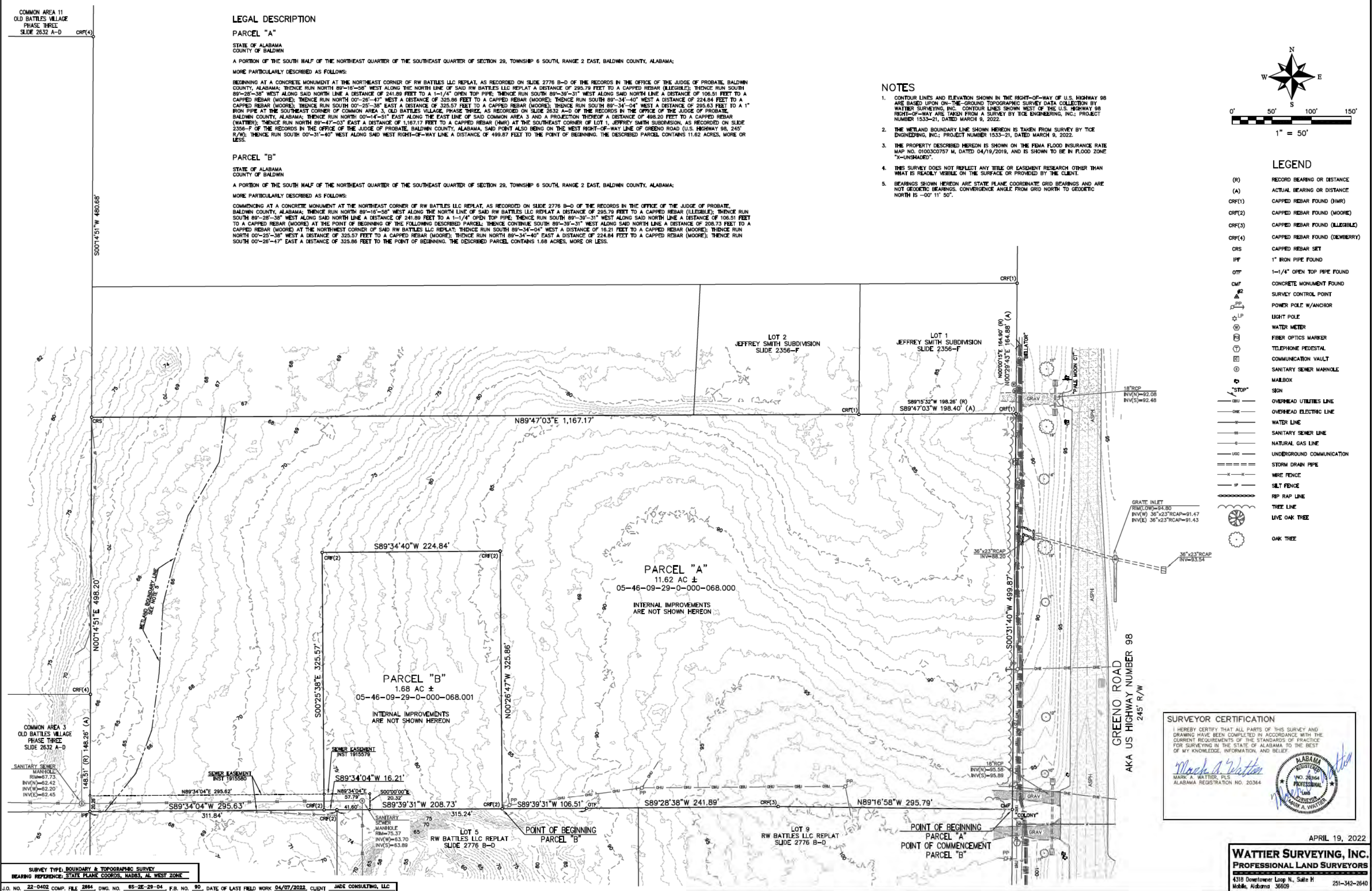


LEGENDS CONCEPT RENDERING - VIEW FROM FRONT PLAZA





4318 Downtowner Loop N., Suite H
Mobile, Alabama 36609 251-342-2640



Zoning	R-1 - Local Shopping District	M-1 - Light Industrial District	R-2 - Medium Density Single-Family	R-A - Residential/Agriculture District	Airport	Fire	Library
	R-2 - General Business District	P-1 - Parking	R-3 - High Density Single-Family	TR - Tourist Resort	Amphitheater	Fitness Center	Museum
	R-3a - Tourist Resort Lodging District	PUD - Planned Unit Development	R-3PGH - Patio/Garden Single-Family	Parades	Golf Course	Police	Parking Deck
	R-3a - Tourist Resort Commercial Service District	R-1 - Low Density Single-Family	R-3TH - Townhouse Single Family	Central Business District	City Hall	Haven	Pool
	R-4 - Business and Professional District	R1(a) - Residential Uncertain	R-4 - Low Density Multi-Family	Airfield	Civic Center	Hospital	Post Office
	HTD - Highway Transition District	R1(b) - Residential Uncertain	R-5 - High Density Dwelling Residential	Public Institutional Buildings	Courthouse	Hotel	
		R1(c) - Residential Uncertain	R-6 - Mobile Home Park District	-all other values-			

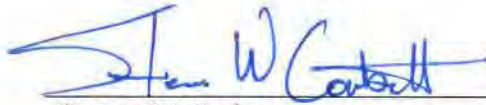


VICINITY MAP AND UNDERLYING ZONING
LEGENDS AT POINT CLEAR
PLANNED UNIT DEVELOPMENT
US HIGHWAY 98
FAIRHOPE, ALABAMA

NOTARIZED AUTHORIZATION OF OWNER

I/We, Steven W Corbett as the sole or joint fee simple title holder(s) of the property described as parcels 05-46-09-29-0-000-068.000 and 05-46-09-29-0-000-068.001 in the City of Fairhope, County of Baldwin, State of Alabama, authorize and SCorUSA, LLC & JADE Consulting, LLC and/or their consultants to act as our agent to seek City, County or state PUD, Rezone, subdivision, Site Plan/Development, Variance, DOT & DEP approvals, and/or all regulatory approvals in connection therewith, on the above referenced property.

Company:



By: Steven W Corbett

As Its: Manager/Member

Address: PO Box 1609
Phenix City, AL 36868

Phone: 706-445-9103 Fax: N/A

Email: steve@scorusa.com

STATE OF GEORGIA

COUNTY OF MUSCOGEE

The forgoing instrument was acknowledged before me this 19TH day of MARCH, 2024 by Steven W Corbett as its Manager/Member, who is personally known to me or who has produced _____ (type of ID) as identification and who did not take an oath.



NOTARY PUBLIC – STATE OF GEORGIA

NORMAN D. NIBBLETT

NAME OF NOTARY – TYPED OR PRINTED

COMMISSION NO: _____

Norman D Nibblett
NOTARY PUBLIC
Muscogee County, GEORGIA
My Commission Expires 10/21/2026

From: [Mary Pat Gallagher](#)
To: [planning](#)
Subject: ZC 24.02 Rezone of 18323 Greeno Road
Date: Sunday, August 25, 2024 1:41:58 PM

Good Afternoon Ms. Beaudreau and team,

I understand that there is a request to re-zone 18323 Greeno Road to allow building of a multi family, or apartment, complex there. I live in Old Battles Village, the neighborhood behind this lot, and I have a few concerns that I hope you could address?

If approved, how would the new multi family complex effect the traffic, water infrastructure (especially considering recent years of water restrictions), sewers; and what plans and budgets are in place to mitigate these effects?

Also, how do all of these recent multi-family projects affect our schools, their budgets and their ability to continue providing a quality education?

What plans are in place to increase the police and fire departments to better serve a more dense population and how is that to be budgeted?

Our prior town experienced very fast growth (with a significant increase in apartments over single family homes) that had a negative effect on the community as a whole. Crime increased, traffic (congestion and safety) became a problem, our schools experienced overcrowding, water was restricted every summer, infrastructure (bridges and roads) wore out and were costly to repair. But more than all of that, our community became just another suburb and most of the locals moved away. I know from experience that overbuilding apartments has a negative impact on a community and I am concerned that we have smart growth plans in place so that Fairhope grows in a healthy, planned manner that can be maintained long term.

Thank you so much for your help.

Kind regards,

Mary Pat Gallagher
617 Sharpsburg Ave.
Fairhope

Sent from my iPhone

From: [Brad Illingworth](#)
To: [planning](#)
Cc: [Jessica Illingworth](#); [Brad Illingworth](#)
Subject: Case ZC24.02: Rezone 18323 Greeno Road from B-2 to PUD
Date: Tuesday, August 27, 2024 4:11:51 PM



August 27, 2024

Regarding Case ZC24.02

Request: Rezone 18323 Greeno Road from B-2 to PUD

To whom it may concern:

At a minimum, we urgently request you do not connect the proposed apartment complex with the Old Battles neighborhood! Connecting will negatively impact our property values! In addition, I request you leave as large of tree buffer as possible between the houses on McArthur Lane and the proposed apartment complex!

We respectfully challenge this development! wequestion the following:

A- The capability of Fairhope's infrastructure (utilities, etc) to support the impact of this development

B- The proposed development is a lack of alignment with Fairhope's long standing pride and draw to single family homes (and not 'apartments')

C- The data demand for more apartments with existing volume already in development (note the large apartments being constructed at 104 and 181)

D- The workforce and labor demand within Fairhope does not support the demand for such a development

Sincerely,
Brad and Jessica Illingworth
662 McArthur Lane

Sent from my iPhone

From: 2516435085@mms.att.net
To: [planning](#)
Date: Tuesday, September 3, 2024 10:13:37 AM

We were planning on attending the meeting on the 5th, but now will be unable to. We would like to voice our opposition to the proposed development known as Legends at Point Clear and especially our opposition to Burnside becoming a thru street.

Dale and Julie Roark
667 McArthur Lane

From: greg_marx@comcast.net
To: [planning](#)
Cc: ["mary marx"](#)
Subject: Rezoning 18323 Greeno Rd
Date: Tuesday, August 27, 2024 10:44:12 AM



Dear Cindy,

We have concerns about the new zoning for an additional 133 apartment units. We are a small community that also has an HOA and if this new development should be developed Burnside street could become an access for residents for the apartment complex. This could possibly be an additional 200 vehicles going through our neighborhood. Since we are an HOA and pay monthly fees, this gives us skin in the game. The vehicles using our neighborhood for access have no skin in the game. Our speed limit is 20 mph, and I am in fear that the speed limit will not be obeyed. We have many children who ride their bikes and will be in danger of possibly getting injured. I am currently researching the possibilities of having HOA making OBV a gated community. Please reconsider what is best for our community and children.

Thanks

Greg Marx

901-361-0807

655 McArthur Lane

From: [PETER OLESKY](#)
To: [planning](#)
Subject: Opposition to 18323 Greeno Rd PUD
Date: Sunday, August 25, 2024 4:11:45 PM



I am writing in reference to 18323 Greeno Rd request for rezoning B2 to PUD. I live in Old Battles Village (OBV) and I suspect they may connect into our streets. The grid that we live in, Old Battles to Twin Beech and Greeno to Section St, already has Old Battles Place apartments and Shellbrooke Pointe apartments. This would be another 133 apartment units on 13.3 acres, already listed on the developers website as “coming soon”, they are pretty confident. Our friends at the county approved more high density residential on that little strip between Publix and Bridgette Mitchell on Old Battles Rd. When the county was making the future land use map they listed the farm fields next to OBV as potential high density residential. I called Matt McKenzie’s office and was told that “we know these folks and they will never sell”. I asked what legal standing that gave me, silence. I can’t find the current future land use map so I don’t know what it says now.

Hunter may remember a man who presented more high density residential on Section just south of the Dragonfly going east, turning north to Twin Beech near the Shellebrooke Apts. I think that the man said it was going to emulate an alpine village, little cottages built on top of each other. Call it what you like, it’s just more high density residential. I didn’t want that Publix and most of the neighbors didn’t either but I think that it was unzoned county and there were no options. The once or twice I go to Publix in a week I can drive up to the O.G. Publix. Everything that has been built or approved since OBV was approved is commercial or high density. This is not the fruit and nut or the CBD but people are trying.

I understand that land values are making it difficult for developers. That’s not our problem, it’s a problem for the land owners and the developers. Negotiate a different deal that considers the density at under 10 units per acre. The county gave more density to the developer on the land across from the Newton School on 32, Matt was the only no vote. I thought that the initial density was generous to a fault. More density can’t be the answer to every zoning issue but, that’s what the developers think. OBV used to be what the city wanted future development to look like but now we are being surrounded by things that look nothing like OBV.

I also have some thoughts on B2 that includes RV parks. That’s not good either, people are buying these RV’s, bringing them to the RV park on a drive out tag and living in them. RV parks should be in R6 or provide proof on length of stay under 90 days.

Peter Olesky
929 Charleston Loop
Fairhope
470-351-7102

From: [ChristineWeeks](#)
To: [planning](#)
Subject: Case ZC 24.02, rezone 18323 Greeno Road from B-2 to PUD
Date: Sunday, August 25, 2024 3:25:55 PM

Fairhope Planning Commission,

My husband and I live in the Old Battles Village neighborhood and received a letter regarding the rezoning of 18323 Greeno Road from B-2 to PUD. While we do not necessarily object to the rezoning of the property known as 18323 Greeno Road, we would like to express our concerns about how this development could impact our neighborhood.

We would strongly urge you to have the developer keep as many trees as possible as a buffer from the new development and our neighborhood. We would also ask that no through street be constructed into our neighborhood to attach the development to our neighborhood.

Also, there is a portion of the dry creek, Point Clear Creek, that runs behind our neighborhood but is also part of the parcel in question. Will the developers be granted permission to build on the dry creek or is that protected property?

Thank you for your consideration to our concerns. As new residents to Fairhope and to the State of Alabama, we are hopeful to continue to enjoy our new home and community in the way we purchased it.

Guy and Christine Weeks
651 McArthur Ln.
Fairhope, AL 36532



June 12, 2024

Trey Jinright
Jade Consulting, LLC
tjinright@jadengineers.com
251-928-3443

RE: Stream Assessment of PPINs: 39376 & 210314 in Fairhope, AL

Mr. Jinright,

EcoSolutions, Inc. was asked to conduct a stream assessment of parcels west of Greeno Road. The field work was conducted on May 31, 2024. The upland drainage area within the parcels does not meet the definition of an ephemeral, intermittent, or perennial stream as defined by the U.S. Army Corps of Engineers (USACE) Compensatory Stream Mitigation Standard Operating Procedures and Guidelines 2012.

The subject area includes parcel number 05-46-09-29-0-000-068.000 (PPIN: 39376) and parcel number 05-46-09-29-0-000-068.001 (PPIN: 210314) located in Fairhope, AL. The parcels are located on the west side of Greeno Road. Parcel PPIN 210314 contains a mobile home and outbuilding surrounded by woodlands. Parcel PPIN 39376 contains a single family home, outbuilding, and a cleared lawn area. The majority of both parcels are forested with mature trees such as water oak (*Quercus nigra*), camphor tree (*Cinnamomum camphora*), and shrubs such as Chinese privet (*Ligustrum sinense*). There is an upland drainage way on the west side of the site that flows roughly north to south and drains into an ephemeral stream south of the site.

The site was evaluated for stream characteristics as defined by the U.S. Army Corps of Engineers (USACE) Compensatory Stream Mitigation Standard Operating Procedures and Guidelines 2012. USACE defines an ephemeral stream as follows:

“Ephemeral Stream – An ephemeral stream has bed and bank features with flowing stormwater only during and for a short duration after precipitation events in a typical year. The streambed of an ephemeral stream is located above the water table year-round and groundwater is not a source of water for the stream. Precipitation runoff is the primary source of water for stream flow, and it typically has flowing water for a few hours to a few days after a storm event and typically has no discernable floodplain.”

The west drainage area of PPIN 39376 does have signs of surface flow including wrack lines, snags, and piles of water stained leaves. The north end of the drainage does not have any defined banks or stream bed. The south end does have isolated sections of banks, but the bed and bank features were not consistent enough for the drainage area on

this parcel to be considered an ephemeral stream. The area offsite, south of the subject parcels, does have consistent bed and bank so it meets the definition of ephemeral stream see attached maps.

The site is in the Point Clear Creek watershed and historic USGS Topo maps do show a solid blue line through the site. The unnamed tributaries in the upper reaches of the Point Clear Creek watershed have been impacted by development. Offsite, north of these parcels, is a grass yard with no bed or bank characteristics. The unnamed tributary shown on the topo maps to north and west of the parcels is now a stormwater detention basin, dry culvert under Garrison Blvd, and grass swale in the Old Battles Village subdivision. The drainage area to the north of the site does not meet the definition of ephemeral stream and is not connected to any streams north of the site in the Point Clear Creek watershed. No areas within the two parcels meet the ephemeral criteria.

All comments are based on the professional judgment of the inspector and the conditions that existed on the site at the time of the inspection. Please give us a call at 251-621-5006 or email Lewis@ecosolutionsinc.net if you have any questions or need any additional information.

Best regards,

A handwritten signature in black ink that reads "Lewis Cassidey". The signature is written in a cursive, flowing style.

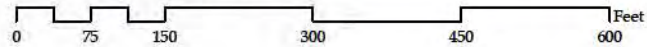
Lewis Cassidey
EcoSolutions, Inc.



EcoSolutions
ENVIRONMENTAL MEDIATION, MANAGEMENT & PLANNING
P.O. Box 361 Montrose, AL 36559
Phone: 251-621-5006 Fax: 251-621-5058

Project: Greeno Rd PIN 39376 and 210314
Applicant: Jade Consulting, LLC
1 inch = 150 feet

T-6-S, R-2-E, Sect. 29
Fairhope, AL





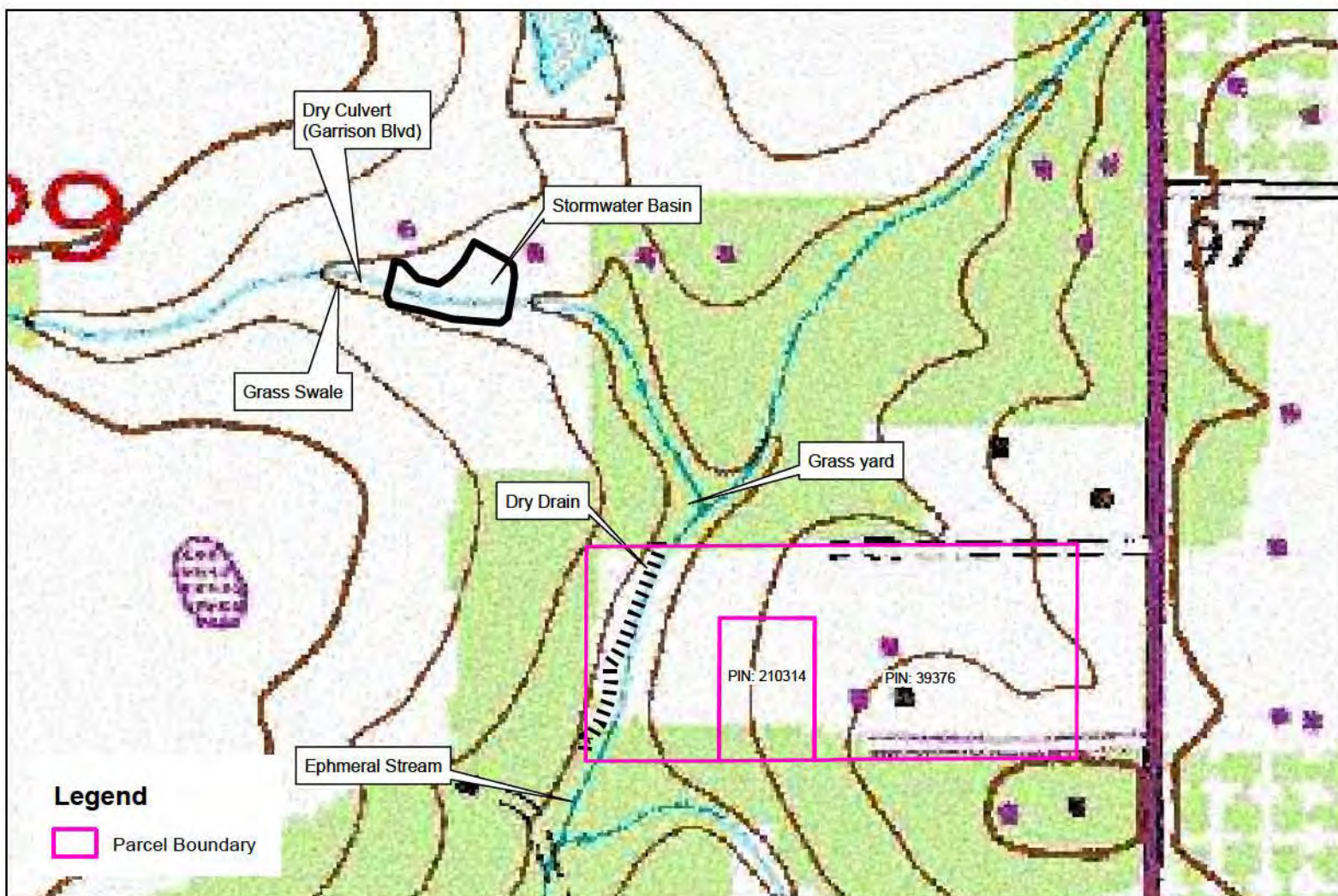
EcoSolutions
 ENVIRONMENTAL MEDIATION, MANAGEMENT & PLANNING
 P.O. Box 361 Montrose, AL 36559
 Phone: 251-621-5006 Fax: 251-621-5058

Project: Greeno Rd PIN 39376 and 210314
 Applicant: Jade Consulting, LLC
 1 inch = 300 feet

T-6-S, R-2-E, Sect. 29
 Fairhope, AL

0 150 300 600 900 1,200 Feet





EcoSolutions
ENVIRONMENTAL MEDIATION, MANAGEMENT & PLANNING
 P.O. Box 361 Montrose, AL 36559
 Phone: 251-621-5006 Fax: 251-621-5058

Project: Greeno Rd PIN 39376 and 210314
 Applicant: Jade Consulting, LLC
 1 inch = 300 feet

T-6-S, R-2-E, Sect. 29
 Fairhope, AL

